

1. Agenda

Documents: [CC_20150428_AG.PDF](#)

2. Complete Packet

Documents: [CC_20150428_PK.PDF](#)



Administrative Offices
5520 Lacy Road
Fitchburg, WI 53711-5318
Phone: (608) 270-4200 Fax: (608) 270-4212
www.fitchburgwi.gov

**AGENDA
FITCHBURG COMMON COUNCIL
APRIL 28, 2015
6:00 P.M. SPECIAL MEETING
7:30 P.M. REGULAR MEETING
CITY HALL**

NOTICE IS HEREBY GIVEN that the Fitchburg Common Council will meet at 6:00 p.m. for a Special Meeting and at 7:30 p.m. for a Regular Meeting on Tuesday, April 28, 2015 in the Council Chambers of the City Hall, 5520 Lacy Road to consider and act on the following:

(Note: Full coverage of this meeting is available through FACTv and Streaming Video, accessible on the city web site at <http://factv.fitchburgwi.gov/Cablecast/Public/Main.aspx?ChannelID=3>)

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **MAYORAL APPOINTMENTS TO COMMITTEES/COMMISSIONS** (Not Previously Appointed at the April 21, 2015 Organizational Meeting)
 - A. CEDA – Dorothy Krause
 - B. Commission on Aging – Carol Poole
 - C. TIF Advisory (2) – Dan Carpenter and Steve Arnold

Note: At the completion of item number 4, Council will recess to 7:30 p.m. to continue consideration on the remainder of the agenda:

5. **PUBLIC APPEARANCES NON-AGENDA ITEMS / NEW APPOINTMENTS**
 - A. **Non Agenda Items**
 - B. **Mayoral Appointments**
 1. New Appointments
 - a. Police and Fire Commission – Ron Johnson, Term Expires 4/21/2020
 - b. Ag & Rural Affairs Committee – Sally Kefer, Term Expires 4/17/2018
 2. Re-Appointments
 - a. Ag & Rural Affairs Committee – George Vroman, Term Expires 4/17/2018
6. **CONSENT AGENDA**

ALL ITEMS LISTED UNDER THE CONSENT AGENDA are considered routine and will be enacted by one motion. There will be no separate discussion of these items unless a motion to amend is passed in which event the item will be removed from the Consent Agenda and considered on the agenda under the appropriate section.

 - A. **APPROVAL OF MINUTES**
 1. Common Council – April 14, 2015

6. **Consent Agenda (continued)**

2. Common Council Orientation – April 14, 2015
3. Common Council Organization – April 21, 2015

B. **REFERRALS TO COMMISSIONS AND COMMITTEE**

46. **Rezoning/Conditional Use Permit Request RZ/CU-2056-15** by Samina Khan, to Rezone Property Addresses as 6200 Nesbitt Road from the B-G (General Business) District to the B-P (Professional Office) District and a Conditional Use Permit to Allow for a Proposed Daycare Use as well as an Existing Personal Training Health Club Use
 - a. Plan Commission

47. **Rezoning Request RZ-2057-15**, by Craig Raddatz, with Authorization from Hamm Fam Land LLC, to Rezone from the PDD-GIP (Planned Development District – General Implementation Plan) to the PDD-SIP (Planned Development District – Specific Implementation Plan) District
 - a. Plan Commission

48. **Ordinance 2015-O-12** An Ordinance Amending Chapter 23 to Article 1 Table 2(g), Article 5 Section 5.6.2(f)(vi), Article 5 Section 5.6.2(g), and Article 5 Table 21
 - a. Plan Commission

49. **Resolution R-53-15** Resolution Adopting Purchasing Card Procedure Manual
 - a. Finance Committee

50. **Resolution R-54-15** Resolution Adopting Partnership Agreement with Fitchburg Chamber Visitor and Business Bureau to Host “Concerts at McKee”
 - a. Finance Committee

C. **Public Safety & Human Services**

7. **ADMINISTRATOR’S REPORT**

8. **COMMISSION/COMMITTEE REPORTS**

A. **Plan Commission**

1. **Resolution R-50-15** A Resolution Approving Final Plat Request (FP-2055-15) for the Plat of Quarry Vista

2. **Resolution R-51-15** A Resolution Approving Preliminary Plat for Fahey Fields
 - a. Parks Commission

B. **Board of Public Works**

1. **Resolution R-37-15** Accepting Public Improvements for Techlands Plat
 - a. Plan Commission
 - b. Park Commission
 - c. Finance Committee

C. **Park Commission**

D. **Library Board**

E. **Commission on Aging**

F. **Resource Conservation Commission**

G. **Transportation & Transit Commission**

- H. **Community & Economic Development Authority**
- I. **Agriculture & Rural Affairs Committee**
- J. **Reports from other Commissions and Committees**
 - 1. Report and Annual Extension of Ad Hoc Committee – Fire Station Oversight Committee
- 9. **STANDING COMMITTEE REPORTS**
 - A. **Finance Committee**
 - 1. **APPROVAL OF BILLS –**
Review of Bills Under \$25,000 or Previously Pre-Approved (Council Action Not Required)
 - a. General Checks 110570 through 110709 dated April 23, 2015 Total \$202,495.19
 - 2. Approval of Bills for \$25,000 or more (Council Action Required)
 - a. Batch Dated April 23, 2015 - \$32,838.00
 - B. **Personnel Committee**
 - C. **Public Safety & Human Services**
- 10. **MAYOR’S REPORT**
 - A. Alder District Reports
- 11. **UNFINISHED BUSINESS**
- 12. **NEW BUSINESS**
- 13. **ANNOUNCEMENTS**
 - A. Next Common Council Meeting, May 12, 2015
- 14. **ADJOURNMENT¹**

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B. **Board of Public Works**

1. **Resolution R-37-15** Accepting Public Improvements for Techlands Plat
 - a. Plan Commission
 - b. Park Commission
 - c. Finance Committee

C. **Park Commission**

D. **Library Board**

E. **Commission on Aging**

F. **Resource Conservation Commission**

G. **Transportation & Transit Commission**

- H. **Community & Economic Development Authority**
- I. **Agriculture & Rural Affairs Committee**
- J. **Reports from other Commissions and Committees**
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Lisa Sanford

From: noreply@civicplus.com
Sent: Tuesday, April 21, 2015 1:12 PM
To: Lisa Sanford
Subject: Online Form Submittal: Mayoral Appointment Application Form

If you are having problems viewing this HTML email, click to view a [Text version](#).

Mayoral Appointment Application Form

****Applications may be submitted for consideration at reappointment time or when vacancies occur. They will remain on file until selected commission is filled.**

Select the Board, Commission, or Committee applying for*

Plan Commission

First Name*

Ronald

Last Name*

Johnson

Address (Public Use)*

4517 Pawnee Pass

City*

Fitchburg

State*

WI

Zip*

53711-4711

Phone Number (Public Use)*

608 274-6745

Cell Phone

Occupation/Title

Senior Administrative Program Specialist Emeritus, UW-Madison

Email (Public Use)

johnson6545@sbcglobal.net

Background experience or education that might be pertinent, including volunteer work:

Town/City of Fitchburg-Madison Gas & Electric Company Fly Ash Landfill Negotiating Committee, 1983-1984 Commissioner and Vice-Chair, City of Fitchburg Plan Commission, 1983-1995, 2009-2012 Alderperson, City of Fitchburg, 1991-2003 City of Fitchburg Labor Negotiating Team, 1991-2003 Chair, Personnel Committee, 1991-2003 Member, Library Task Force, 1991 Interim Member, Finance Committee, 1992 Chair, Ad Hoc Volunteer Firefighter Task Force, 1992 Member, Community Development Authority, 1995-1997 Chair, Board of Public Works, 1995-1999 City Council Representative to Plan Commission, 1997-2003 Chair, Ad Hoc Harlan Hills (Greene Prairie) Referendum Study Committee, 1998 Member, BUILD (Better Urban Infill Development) Steering Committee, 1999 City Council President, 1999-2001 Commissioner, Dane County Community Development Block Grant Commission, 2000-Election Inspector, City of Fitchburg, 2004- Member, Fitchburg Library Committee, 2005-2007

Reasons for your interest/willingness to serve the residents of Fitchburg through this appointment:

Long-standing interest in Fitchburg's present and future, as evidenced by prior Plan

Commission experience.

Are you currently serving on other Boards, Commissions, or Committees with the City of Fitchburg?*

Yes

No

Have you served on a Board, Commission, or Committee in Fitchburg before?* See "Background Experience" above

Yes

No

The following form was submitted via your website: Mayoral Appointment Application Form

**Applications may be submitted for consideration at reappointment time or when vacancies occur. They will remain on file until selected commission is filled.:

Select the Board, Commission, or Committee applying for: Plan Commission

First Name: Ronald

Last Name: Johnson

Address (Public Use): 4517 Pawnee Pass

City: Fitchburg

State: WI

Zip: 53711-4711

Phone Number (Public Use): 608 274-6745

Occupation/Title: Senior Administrative Program Specialist Emeritus, UW-Madison

Email (Public Use): johnson6545@sbcglobal.net

Background experience or education that might be pertinent, including volunteer work: Town/City of Fitchburg-Madison Gas & Electric Company Fly Ash Landfill Negotiating Committee, 1983-1984

Commissioner and Vice-Chair, City of Fitchburg Plan Commission, 1983-1995, 2009-2012

Aldersperson, City of Fitchburg, 1991–2003
City of Fitchburg Labor Negotiating Team, 1991–2003
Chair, Personnel Committee, 1991–2003
Member, Library Task Force, 1991
Interim Member, Finance Committee, 1992
Chair, Ad Hoc Volunteer Firefighter Task Force, 1992
Member, Community Development Authority, 1995–1997
Chair, Board of Public Works, 1995–1999
City Council Representative to Plan Commission, 1997–2003
Chair, Ad Hoc Harlan Hills (Greene Prairie) Referendum Study Committee, 1998
Member, BUILD (Better Urban Infill Development) Steering Committee, 1999
City Council President, 1999–2001

Commissioner, Dane County Community Development Block Grant Commission, 2000–

Election Inspector, City of Fitchburg, 2004–

Member, Fitchburg Library Committee, 2005–2007

Reasons for your interest/willingness to serve the residents of Fitchburg through this appointment: Long-standing interest in Fitchburg's present and future, as evidenced by prior Plan Commission experience.

Are you currently serving on other Boards, Commissions, or Committees with the City of Fitchburg?: No

Have you served on a Board, Commission, or Committee in Fitchburg before?: Yes

If yes, which: See "Background Experience" above

Additional Information:

Form Submitted on: 4/21/2015 1:12:28 PM

Submitted from IP Address: 107.208.178.73

Referrer Page: <http://wi-fitchburg.civicplus.com/FormCenter/City-Administration-9/Mayoral-Appointment-Application-Form-62>

Form Address: <http://wi-fitchburg.civicplus.com/FormCenter/City-Administration-9/Mayoral-Appointment-Application-Form-62>

Lisa Sanford

From: noreply@civicplus.com
Sent: Friday, April 17, 2015 10:43 AM
To: Lisa Sanford
Subject: Online Form Submittal: Mayoral Appointment Application Form

Categories: NEEDS ATTENTION

If you are having problems viewing this HTML email, click to view a [Text version](#).

Mayoral Appointment Application Form

****Applications may be submitted for consideration at reappointment time or when vacancies occur. They will remain on file until selected commission is filled.**

Select the Board, Commission, or Committee applying for*

Plan Commission

First Name*	Last Name*	
Sally	Kefer	
Address (Public Use)*		
5653 Vineyard Road		
City*	State*	Zip*
Fitchburg	WI	53575
Phone Number (Public Use)*		
608-835-5377		

Occupation/Title
Owner, Fitchburg Locally Grown (vegetables)

Email (Public Use)
sjkmail10@yahoo.com

Background experience or education that might be pertinent, including volunteer work:
33 years of community planning, sustainable community development, water quality protection, watershed management and Brownfield remediation with the States of Utah and Wisconsin. Team Leader for Community Adaptation for the Wisconsin Initiative on Climate Change Impacts. WI Licensed Soil Scientist and Hydrologist. M.S. Water Quality Management. Completed Hydrogeology course work at UW Madison. Community Planning/Environmental Decision-making coursework through UW Engineering Extension and at professional conferences. Former Vice President, Friends of Pheasant Branch Conservancy. Also, managed a project to raise \$3.2 million to add 19 acres of upland prairie and oak savanna to the conservancy off the north shore of Lake Mendota. Member: WI Green Building Association, WI Farmers Union, WI Academy of Sciences, WI and Madison Master Gardener Associations, 1000 Friends of Wisconsin, Friends of Pheasant Branch Conservancy, Women in Sustainable Agriculture (Green County).

Reasons for your interest/willingness to serve the residents of Fitchburg through this appointment:
I've had a long term commitment to helping WI communities to make sustainable

development decisions. I believe I will offer ideas and considerations for discussion among commissioners when land use and other planning decisions are before us. It's an important time in our city's history to participate in Fitchburg's process and I look forward to working with commissioners and city staff.

Community activities in which you have participated:

I've participated in/contributed to fund-raising events for various health research initiatives. I've participated in a number of community and non-profit environmental committees over the years. I taught basic hydrology in grade school classrooms and mentored grade school and UW students. I helped young people in Middleton get involved in community decision-making around the skate board park. I was an assistant cub scout master for Pack 540 and taught Sunday school at First Unitarian Society.

Are you currently serving on other Boards, Commissions, or Committees with the City of Fitchburg?*

Yes

No

Have you served on a Board, Commission, or Committee in Fitchburg before?*

Yes

No

Please list organization memberships and positions held

Membership in many environmental and agricultural organizations. Examples include: Wisconsin Farmers Union Women in Sustainable Agriculture (Green County) WI Green Building Association 1000 Friends of Wisconsin Wisconsin Initiative on Climate Change Impacts - former team leader for Community Adaptation workgroup. Capital Area Regional Planning Commission- former 2 year community member appointment by Dane County. Friends of Pheasant Branch - former Vice President and project manager. Continuous 20 year membership.

The following form was submitted via your website: Mayoral Appointment Application Form

**Applications may be submitted for consideration at reappointment time or when vacancies occur. They will remain on file until selected commission is filled.:

Select the Board, Commission, or Committee applying for: Plan Commission

First Name: Sally

Last Name: Kefer

Address (Public Use): 5653 Vineyard Road

City: Fitchburg

State: WI

Zip: 53575

Phone Number (Public Use): 608-835-5377

Occupation/Title: Owner, Fitchburg Locally Grown (vegetables)

Email (Public Use): sjkmail10@yahoo.com

Background experience or education that might be pertinent, including volunteer work: 33 years of community planning, sustainable community development, water quality protection, watershed management and Brownfield remediation with the States of Utah and Wisconsin. Team Leader for Community Adaptation for the Wisconsin Initiative on Climate Change Impacts. WI Licensed Soil Scientist and Hydrologist. M.S. Water Quality Management. Completed Hydrogeology course work at UW Madison. Community Planning/Environmental Decision-making coursework through UW Engineering Extension and at professional conferences.

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Are you currently serving on other Boards, Commissions, or Committees with the City of Fitchburg?: No

Have you served on a Board, Commission, or Committee in Fitchburg before?: No

Please list organization memberships and positions held: Membership in many environmental and agricultural organizations. Examples include:

Wisconsin Farmers Union

Women in Sustainable Agriculture (Green County)

WI Green Building Association

1000 Friends of Wisconsin

Wisconsin Initiative on Climate Change Impacts - former team leader for Community Adaptation workgroup.

Capital Area Regional Planning Commission- former 2 year community member appointment by Dane County.

Friends of Pheasant Branch - former Vice President and project manager. Continuous 20 year membership.



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**DRAFT MINUTES
FITCHBURG COMMON COUNCIL
APRIL 14, 2015
7:30 P.M.
CITY HALL**

1. **CALL TO ORDER** - Mayor Pfaff called the meeting to order at 7:30 p.m.
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL:** Steve Arnold, Becky Baumbach, Richard Bloomquist, Dan Carpenter, Jason Gonzalez, Dorothy Krause, Carol Poole, Patrick Stern. Others: Tony Roach, City Administrator, Patti Anderson, City Clerk.
4. **PUBLIC APPEARANCES NON-AGENDA ITEMS / NEW APPOINTMENTS** - None
5. **CONSENT AGENDA**
 - A. **APPROVAL OF MINUTES** – March 24, 2015
 - B. **REFERRALS TO COMMISSIONS AND COMMITTEE**
 42. **Final Plat Request, FP-2055-15**, Deborah Hatfield, Agent for Hamm Fam Land LLC, for The Final Plat of Quarry Vista (*Plan*)
 43. **Preliminary Plat Request PP-2054-15** by Ronald Klaas, Agent for Fahey Land LLC, for Approval of the Fahey Fields Preliminary Plat (*Plan, Parks*)
 44. **Resolution R-46-15** Authorizing Acceptance of a State/Municipal Agreement for the Reconstruction of Lacy Road from the Community Center to S. Syene Road (*BPW, Finance*)
 45. **Resolution R-49-15** Public Works Street Equipment Replacement – Street Sweeper (*BPW, Finance*)
 - C. **Public Safety & Human Services**
 - D. Motion by Baumbach, 2nd by Bloomquist to **approve** the consent agenda.
 1. **Motion carried.**
6. **ADMINISTRATOR'S REPORT**

Roach presented the Administrators Report
7. **COMMISSION/COMMITTEE REPORTS**
 - A. **Plan Commission**
 - B. **Board of Public Works**
 1. Motion by Bloomquist, 2nd by Poole to **approve Resolution R-38-15** Authorizing Acceptance of the 2015 Chip Sealing Program Bid (*Finance*)
 - a. **Motion carried.**

2. Motion by Bloomquist, 2nd by Carpenter to **approve Resolution R-41-15** Final Resolution Exercising Police Powers and Levying Special Assessments for Water Main Improvements on Glacier Valley Road in the City of Fitchburg, Wisconsin (*Finance*)
 - a. **Motion carried.**
3. Motion by Bloomquist, 2nd by Poole to **approve Resolution R-42-15** Final Resolution Exercising Police Powers and Levying Special Assessments for Sanitary Sewer Improvements on Lacy Road in the City of Fitchburg, Wisconsin (*Finance*)
 - a. **Motion carried.**
4. Motion by Bloomquist, 2nd by Poole to **approve Ordinance 2015-O-10** An Ordinance to Amend Chapter 68 – Traffic, Article II Signs, Signals, and Street Designations and Article IV – Parking (*Public Safety*)
 - a. **Motion carried.**

C. **Park Commission**

D. **Library Board**

E. **Commission on Aging**

F. **Resource Conservation Commission**

G. **Transportation & Transit Commission**

H. **Community & Economic Development Authority**

I. **Agriculture & Rural Affairs Committee**

J. **Reports from other Commissions and Committees**

8. **STANDING COMMITTEE REPORTS**

A. **Finance Committee**

1. Bloomquist reported that Finance reviewed a batch of bills **Under \$25,000 or Previously Pre-Approved** General Checks 110343 through 110569 dated April 9, 2015
Total \$ 1,429,855.48
2. Finance also preapproved:
 - a. Angus Young Associates Inc, Huegel/Jamestown Park Shelter/Meter Station – \$34,980
 - b. Ewald Automotive Group, Purchase of 2016 Ford F550 - \$34,682
 - c. Ewald Automotive Group, Purchase of 2015 Chevrolet 350 - \$25,250
3. Motion by Bloomquist, 2nd by Carpenter to approve **Bills for \$25,000** or more, batch Dated April 9, 2015 - \$ 274,775.84
 - a. **Motion carried.**

B. **Personnel Committee**

C. **Public Safety & Human Services**

9. **MAYOR'S REPORT**

- A. Mayor Pfaff presented the Mayor's report
- B. Alder District Reports - Alders Poole, Bloomquist, Stern, Carpenter, Arnold, and Baumbach presented updates on events within their districts.

10. **UNFINISHED BUSINESS** - None

11. **NEW BUSINESS** - None
12. **ANNOUNCEMENTS**
 - A. Recognition of Mayor, Shawn Pfaff
 - B. Recognition of Alderperson, Richard Bloomquist
 - C. Recognition of Alderperson, Becky Baumbach
 - D. Next Meeting Scheduled for April 21, 2015 – Organizational Meeting
 - E. Next Committee of the Whole Meeting, April 22, 2015
 - F. Next Common Council Meeting, April 28, 2015
13. Motion by Stern, 2nd by Carpenter to **adjourn**.
 - A. **Motion carried.** Time: 8:56 p.m.

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**DRAFT MINUTES
CITY COUNCIL ORIENTATION SESSION
APRIL 14, 2015
7:30 P.M.
CITY HALL**

Present: Steve Arnold, Dan Carpenter, Jason Gonzalez, Tony Hartmann, Jake Johnson, Dorothy Krause, Carol Poole, and Patrick Stern. Others: Tony Roach, City Administrator, Patti Anderson, City Clerk, and Lisa Sanford, Executive Assistant.

1. Welcome and Opening Remarks – Steve Arnold
2. Meeting Format and Agenda/Referral Information/Clerk Department Overview – Patti Anderson, City Clerk

City Clerk, Patti Anderson presented agenda and referral information, general building information, City website – listserv and council resource page, and a general overview of items handled through the clerks office. Patti also spoke regarding the April 21st Organizational Meeting and what to expect at this meeting.

3. Overview of Council Resources, Sub Zero TID Briefing, and Administration Overview – City Administrator – Tony Roach

City Administrator, Tony Roach presented an overview of the Administration staff and the City's organizational chart. Tony also presented additional information on the Council Resource portion of the website, as well as a brief update on current TID's and the proposed Sub Zero TID.

The orientation session was finished at 10:25 p.m.

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**DRAFT MINUTES
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APRIL 21, 2015
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CITY HALL**

5:30 p.m. – Council Photo

Mayor and City Council Members were sworn in by City Clerk, Patti Anderson – Many family, friends, and members of the public were present.

1. **CALL TO ORDER** - Mayor Arnold called the meeting to order at 5:40 p.m.
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL:** Julia Arata-Fratta, Dan Carpenter, Jason Gonzalez, Tony Hartmann, Jake Johnson, Dorothy Krause, Carol Poole, and Patrick Stern. Others Present: Tony Roach, City Administrator, City Attorney, Mark Sewell, and Patti Anderson, City Clerk.
4. **Election of City Council President**

Motion by Stern, 2nd by Poole to nominate Carpenter as Council President.

Motion by Krause, 2nd by Hartmann to nominate Johnson as Council President.

Each nominee was allowed five minutes to present their qualifications for Council President. A vote was taken by secret ballot per City Ordinance. Carpenter received 5 votes, Johnson received 3 votes. Carpenter was elected as Council President for the 2015-2017 term.

5. **Recommendation of Standing Committee Appointments**
Council President Carpenter presented his standing committee appointments:

Finance Committee: Stern (chair), Carpenter, Arata-Fratta

Personnel Committee: Gonzalez (chair), Poole, Krause

Public Safety & Human Services Committee: Poole (chair), Gonzalez, Hartmann

Motion by Carpenter, 2nd by Poole to approve the standing committee appointments. All ayes, **Motion carried.**

6. **Mayoral Appointments to Committee/Commissions**
a. Mayor Arnold presented the following appointments:

Board of Public Works – Krause

Plan Commission – Poole

Community & Economic Development – Arata-Fratta

EMS Commission – Stern

Transportation & Transit Commission – Gonzalez

Library Board – Carpenter

Park Commission – Johnson

Motion by Krause, 2nd by Johnson to **approve** Mayoral Committee/Commission appointments.
Motion carried.

- b. There was discussion regarding the Commission on Aging, Landmark Preservation Commission, and the TIF Advisory Committee.

At the request by Krause, Mayor Arnold nominated Krause to the Landmark Preservation Commission.

Motion by Stern, 2nd by Poole to **approve** the appointment of Krause to the Landmark Preservation Commission. **Motion carried.**

- c. The Mayor will serve as Plan Commission Chair, a member of the Board of Public Works as well as the TIF Advisory Committee.

There was discussion of the Mayor serving on these committees.

- d. Mayor Arnold nominated himself to the Community & Economic Development Authority, Motion by Krause 2nd by Hartmann to **approve** the appointment. There was discussion on this nomination.

Motion by Gonzalez, 2nd by Stern to **postpone** action on the CEDA appointment until the special meeting on April 28th. **Motion to postpone carried.**

- e. Citizen Appointment to Plan Commission

Mayor Arnold nominated Sally Kefer to the Plan Commission as a citizen member.

Sally was asked to speak regarding her background. Council members asked questions and discussed what qualities would be best to represent the Plan Commission.

Ed Kinney, 5390 Whalen Road registered to speak in support of Kefer being appointed to the Plan Commission.

Motion by Hartmann, 2nd by Johnson to **approve** the appointment of Kefer to the Plan Commission.

Roll Call Vote: Ayes: Hartmann, Johnson, Krause. Nays: Arata-Fratta, Carpenter, Gonzalez, Poole, and Stern.

Motion failed.

- 7. Motion by Stern, 2nd by Carpenter to **approve** Resolution R-47-15 Designating Official Newspaper
a. Motion carried.

- 8. Motion by Stern, 2nd by Johnson to **approve** Resolution R-48-15 Designating Official Posting Places
a. Motion carried.

9. **Announcements**

- a. Next Committee of the Whole Meeting Scheduled for April 22, 2015 at 7:00 p.m.
- b. Special Council Meeting Scheduled for April 28, 2015 at 6:00 p.m.
- c. Next Regular Council Meeting Scheduled for April 28, 2015 at 7:30 p.m.

- 10. Motion by Stern, 2nd by Carpenter to **adjourn**.
a. Motion carried. Time: 6:43 p.m.

Note: It is possible that members of and possibly a quorum of members of other government bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Fitchburg City Hall, 5520 Lacy Road, Fitchburg WI 53711,(608) 270-4200

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: April 28, 2015 Ordinance Number: **2015-O-XX**
Date to Report Back: May 26, 2015 Resolution Number:

Sponsored by: Mayor Drafted by: Planning / Zoning

TITLE: Rezone/Conditional Use Permit request RZ/CU-2056-15 by Samina Khan, to Rezone Property Addressed as 6200 Nesbitt Road from the B-G (General Business) District to the B-P (Professional Office) District and a Conditional Use Permit to Allow for a Proposed Daycare Use as well as an Existing Personal Training Health Club Use

Background: Applicant is requesting approval to rezone property addressed as 6200 Nesbitt Road from B-G to B-P district. Concurrent with the rezoning request, the applicant has submitted a conditional use permit request to allow for a proposed daycare use on the property as well as for a personal training/health club use. The personal training/health club use has operated at the current location for a few years, but under the proposed B-P zoning requires a conditional use permit.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	May 19, 2015	
2				

Amendments:



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

REZONING APPLICATION

(with concurrent CUP request)

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the B6 district to the BP district the following described property:

1. Location of Property/Street Address: 6200 Nesbitt Rd, Fitchburg, WI 53719

Legal Description - (Metes & Bounds, or Lot No. And Plat):

Description Attached

***Also submit in electronic format (MS WORD or plain text) by email to: planning@fitchburgwi.gov

2. Proposed Use of Property - Explanation of Request:

Existing, Nutrition, General Doctor. Orange shoe Gym, Personal Training, Proposed: Day care, Insurance,

3. Proposed Development Schedule:

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@fitchburgwi.gov. Additional information may be requested.

Type of Residential Development (If Applicable): _____

Total Dwelling Units Proposed: _____ No. Of Parking Stalls: _____

Type of Non-residential Development (If Applicable): _____

Proposed Hours of Operation: _____ No. Of Employees: _____

Floor Area: _____ No. Of Parking Stalls: _____

Sewer: Municipal Private Water: Municipal Private

Current Owner of Property: Global Estates LLC

Address: 6200 Nesbitt Rd, Fitchburg, WI 53719 Phone No: 608-347-8993

Contact Person: Semira Khan

Email: SKKhan97@gmail.com

Address: _____ Phone No: _____

Respectfully Submitted By: Semira Khan Semira Khan
 Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: 4/10/2015 Publish: _____ and _____

Ordinance Section No. _____ Fee Paid: \$725.00

Permit Request No. RZ/CU - 2056-15

6200 Nesbit rd. Fitchburg, wi 53719

Parcel Number: - **225/0609-072-8390-7**

SEC 7-6-9 PRT NW1/4NE1/4 & E1/2 NW1/4 DESCR AS BEG AT A PT IN C/L USH 18 1243.9 FT S OF N LN SD SEC MEASURED ALG SD C/L TH SWLY ALG SD C/L ON CRV TO R 230.4 FT TH N1DEG51'W 257.6 FT TH S63DEG41'E 156.8 FT TO POB

Parcel number - - **225/0609-072-8415-2**

SEC 7-6-9 PRT E1/2 NW1/4 & NW1/4 NE1/4 COM N1/4 COR SEC 7 TH S89DEG09'E 477.2 FT TO C/L USH 18 TH S20DEG10'W 1043.3 FT TO POB TH N89DEG09'W 226.2 FT TH S1DEG51'E 61.0 FT TH S73DEG32'E 190.9 FT TO C/L USH 18 TH NELY ALG C/L 119.7 FT TO POB SUBJ TO RD & ALSO INCL ADDL LANDS DESCR AS COM INTERS C/L USH 18 & SEC N LN TH S20DEG10'W 1043.3 FT TO POB TH N89DEG8'W 226.2 FT TH N1DEG51'W 167.2 FT TH S89DEG8'E 292.5 FT TO HWY C/L TH S20DEG10'W 177.3 FT TO POB EXC N 80 FT THF & ALSO INCL ADDL LANDS DESCR AS THE N 80 FT OF FOLL DES COM C/L HWY AT PT S20DEG10'W 1043.3 FT FR INT SD C/L & N LN SEC TH N89DEG08'W 226.2 FT N1DEG51'W 167.2 FT S89DEG08'E 292.5 FT TO C/L S20DEG10'W 177.3 FT TO POB SUBJ TO HWY SUBJ TO SIDEWALK ESMT IN DOC #4568834

Dear City of Fitchburg and Fitchburg Plan Commission,

Thank you for your time in reviewing the enclosed Rezoning Application and the Conditional Use Permit Applications for the property located at 6200 Nesbitt Rd.

The property is an existing commercial property that is currently zoned B-G (General Business), and our hope is to have it rezoned for B-P (Professional Business) so that, along with the simultaneous submitted conditional use permit application, we can have a daycare center occupy the end cap unit of the building. The daycare, Fairyland Daycare, already has a lease in place, and some daycare furniture and fixtures have already been installed.

Also, due to the requested zoning change, in addition to the daycare center's conditional use permit application, we are also submitting a conditional use permit application for the existing Orange Show Personal Training gym that has been in operation at the property for the past few years. Because of the B-P zoning, the gym's use falls into the conditional use category, just like the daycare.

On a side note, there is an insurance agency that will be soon starting their tenancy in the building, but this use is already permitted in both B-P and B-G zones. The remainder of the building is current vacant.

More information on both the daycare and gym are enclosed in this application.

Regarding the layout of the overall property, it currently has about 44 parking stalls and one big ingress to the property from Nesbitt, and we have also attached a site plan for your reference as well. With the existing businesses in the property, we do not anticipate any parking or driveway/ingress issues should the daycare be allowed to open.

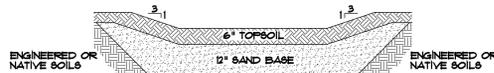
- The gym focuses on Personal Training, where they work with client one on one bases, whereby the amount of parking needed is fairly low. The hours of operation 6:00 a.m to 10:00 p.m. They maximum they work on 4 people at time.
- It should be noted that the gym and daycare are on the opposite ends of the property.
- For the insurance agency, we do not anticipate them needed too many parking stalls either; maybe 1 or 2 at one time at most. Hours of operation of the insurance agency are projected to be 8:30 – 4:30/5:00.
- For the daycare, which projects to have 34 children and 3 people on full time and some part time staff, the heaviest needs for parking is during drop-off and pick-up times. With hours that will be from 6:00am to 6:00pm, and with most of the parents only being at the center for a few minutes, we feel that our parking lot can handle the traffic (in addition to the existing stalls, we have a wide driveway along the side of the building that would also work for quick drop-offs and pick-ups).
 - It is worth noting that because of the daycare use; we will be utilizing four of the existing parking stalls behind the building for the use of a playground for the children – as noted in the attached site plan. Even with these stalls removed, there is sufficient parking for the employees of all of the building's businesses in the back.

Overall, we truly believe that if the rezoning and conditional uses are approved, 6200 Nesbitt Rd would have a daycare center that would be a great addition to the pool of existing businesses and services here in the City of Fitchburg.

GENERAL NOTES:

- A) INDIVIDUAL TREES (AND SHRUB GROUPINGS) FOUND ALONG PERIMETER OF PROPERTY AS WELL AS THOSE FOUND WITHIN LAWN AREAS TO RECEIVE BARK RINGS (AND BARK BEDS) CONSISTING OF A MIXTURE OF HARDWOOD SHREDDED BARK MULCH SPREAD TO A MINIMUM 3" DEPTH (3' WIDE BEDS FOR SHRUB GROUPINGS).
- B) "PLASTIC EDGING" TO BE VALLEY VIEW BLACK DIAMOND EDGING OR EQUIVALENT.
- C) "SEED" AREAS SHALL BE FINISH-GRADED AND SEEDED AT A RATE OF 4 LBS. PER 1000 SQ. FT.
- D) AREAS LABELED "SEED" SHALL RECEIVE A MIXTURE OF THE FOLLOWING TYPES:
40% PALMER RYEGRASS
20% BARN BLUEGRASS
20% NASSAU BLUEGRASS
20% PENNSYLVANIA CREEPING RED FESCUE
- E) AREAS LABELED "SEED WITH EROSION MAT" SHALL BE SEEDED WITH THE ABOVE-NOTED PERENNIAL SEED MIXTURE AND OVERLAID WITH EROSION MAT THAT IS THEN PINNED INTO THE SOIL.
- F) RAIN GARDEN IS TO BE EXCAVATED TO ACCOMMODATE 12" OF SAND BASE WITH 6" OF TOPSOIL. TOPSOIL IS TO BE 25% COMPOST, 75% TOPSOIL WITH 500 YD. OF POLYACRYLAMIDE POLYMER. FINE GRADING IS TO BE DONE SO THAT OVERFLOW RUNOFF WILL BE DIRECTED EAST.
- G) OWNER IS TO MAINTAIN RAIN GARDEN TO BEST ACCOMMODATE AND ENCOURAGE PERPETUAL GROWTH.

Quantity	Code Name	Common Name	Planting Size
4	●	Ironweed	Plug
4	⊙	Ohio Goldenrod	Plug
8	☼	Wild Quinine	Plug
4	○	Nodding Pink Onion	Plug
4	⊙	New England Aster	Plug
8	☼	Fox Sedge	Plug



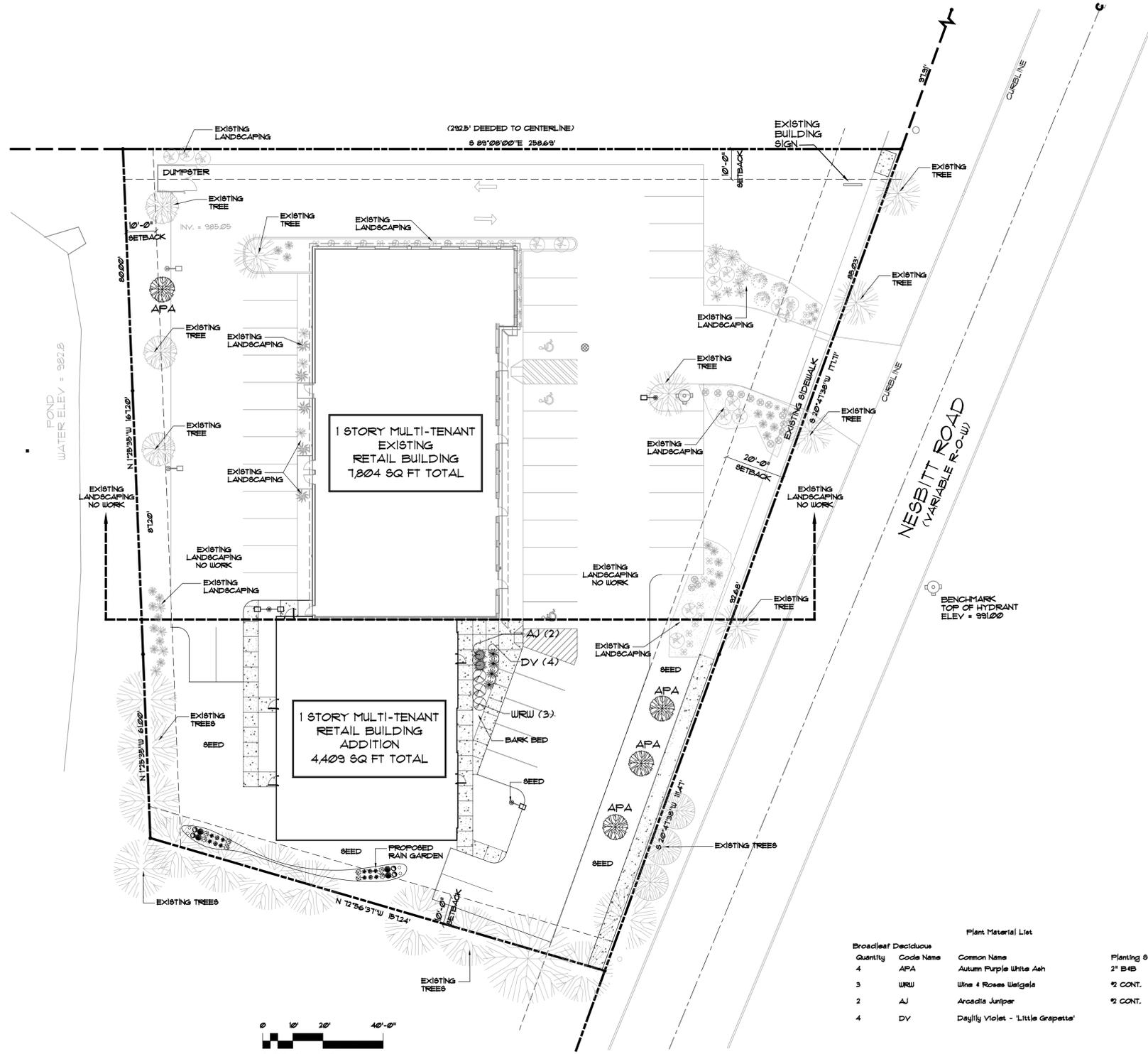
CONSTRUCTION NOTES:

CONTRACTOR SHALL OVER EXCAVATE GARDENS TO A MINIMUM DEPTH OF 2'-0" BELOW FINISH GRADE.
IF CLAY IS ENCOUNTERED DURING RAIN GARDEN CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE, REMOVE AND REPLACE WITH CLEAN ON SITE SAND/TOPSOIL MIX SO THAT THE RAIN GARDEN IS HYDRAULICALLY CONNECTED TO ACCEPTABLE PERMEABLE LAYERS BELOW.
CONTRACTOR SHALL USE CONSTRUCTION MEANS AS NOT TO COMPACT RAIN GARDEN AREAS.

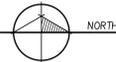
GENERAL NOTES:

RAIN GARDEN AREAS SEEDED AT 10 LBS/ACRE WITH SEED MIX AS APPROVED BY ARCHITECT. FINISH GRADE.
ANNUAL GRASS SHALL BE SEEDED AT 5 LBS/ACRE WITH THE SEED MIX IN THE RAIN GARDEN AREAS FOR EROSION CONTROL.
FERTILIZER SHALL BE SPREAD CONSISTENT WITH RECOMMENDATIONS FROM NURSERY.
STRAW MULCH SHALL BE PLACED IN THE RAIN GARDEN AREAS USING WISCONSIN DOT SPECIFICATION 621321 (METHOD A) LOCATED IN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE CITY OF FITCHBURG.

2 RAIN GARDEN
SCALE: NO SCALE

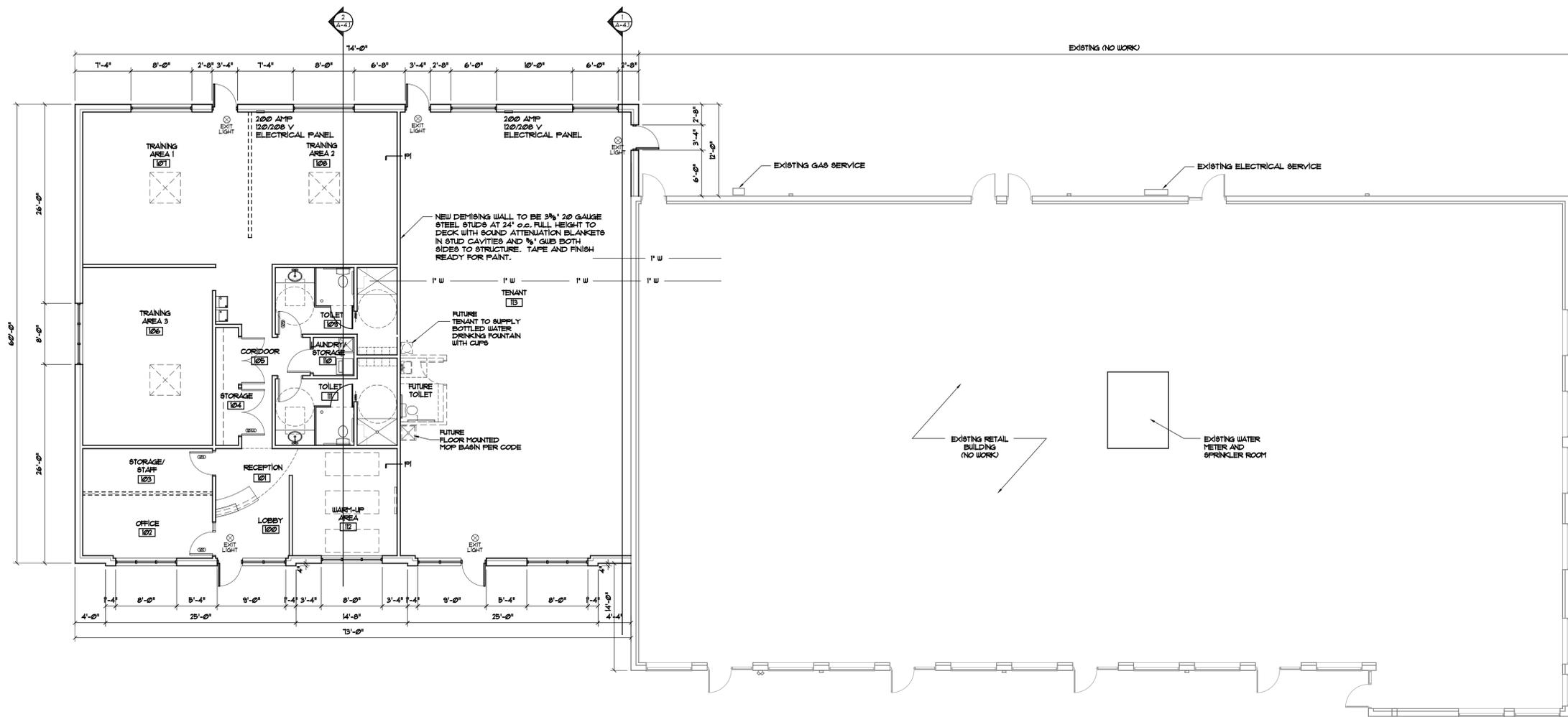


1 LANDSCAPE PLAN
SCALE: 1" = 20' - 0"



Quantity	Code Name	Common Name	Planting Size
4	APA	Autumn Purple White Ash	2" B&B
3	WRW	White Rose Weigela	1/2 CONT.
2	AJ	Arcadia Juniper	1/2 CONT.
4	DV	Daylily Violet - 'Little Grapevine'	

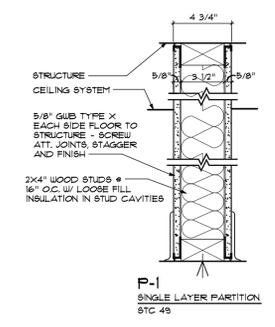
Plant Material List



1 PROPOSED SITE PLAN
A-11 SCALE: 1/8" = 1' - 0"
NORTH
SCALE 1/8" = 1'-0"

GENERAL NOTES

- MASON TO USE COLORED MORTAR TO MATCH ADJACENT BLOCK. BLOCK COLOR. VERIFY COLOR WITH ARCHITECT PRIOR TO INSTALL.
- ALL GLAZING WITHIN A 2'-0" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 8'-0" ABOVE THE WALKING SURFACE ARE TO BE TEMPERED SAFETY GLASS (TYPICAL).
- ELECTRICIAN TO PROVIDE (2) SIGN CIRCUITS PER TENANT SUITE WITH PHOTO CELL ON / TIMER OFF WIRED TO THE INDIVIDUAL SUITE PANELS. JUNCTION BOX FOR SIGN AND LIGHTING TO BE FLUSH MOUNTED ON BUILDING. (NOT SURFACE MOUNTED)
- EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS. EXIT SIGNS SHALL BE CONNECTED EMERGENCY TO AN ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES.





City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608) 270-4200

CONDITIONAL USE PERMIT APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

1. **Location of Property:**
Street Address: 6200 Nesbit Rd, Fitchburg, WI 53719
Legal Description - (Metes & Bounds, or Lot No. And Plat): See Attachment

***Also submit in electronic format (MS WORD or plain text) by email to: PLANNING@FITCHBURGWI.GOV

2. **Current Use of Property:** Personal training Gym
 3. **Proposed Use of Property:** Personal Training Gym
 4. **Proposed Development Schedule:** _____
 5. **Zoning District:** BG to Proposed BP
 6. **Future Land Use Plan Classification:** Business

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable): _____

No. of Dwelling Units by Bedroom: 1 BR 2 BR 3 BR 4 or More

No. Of Parking Stalls: 44

Type of Non-residential Development (If Applicable): _____

Proposed Hours of Operation: 6:00am to 10:00pm **No. Of Employees:** 2 to 3 at time

Floor Area: 4,500 sq. ft. **No. Of Parking Stalls:** 44

Sewer: Municipal Private **Water:** Municipal Private

Current Owner of Property: Global Estate LLC

Address: 6200 Nesbit Rd **Phone No:** 608-347-8993

Contact Person: Samira Khan

Email: SKKhan97@gmail.com

Address: _____ **Phone No:** _____

Respectfully Submitted By: Sam Khan

Owner's or Authorized Agent's Signature

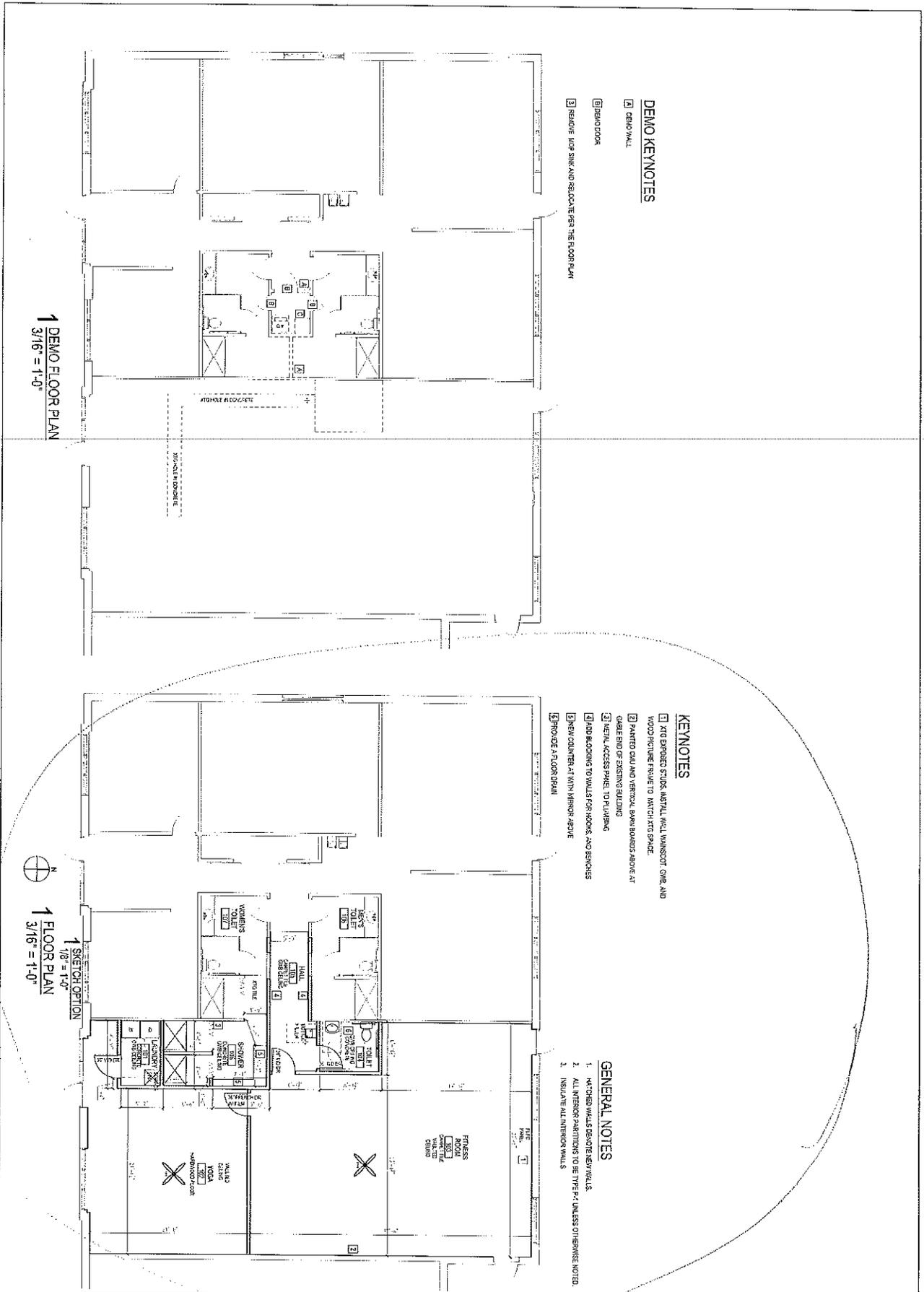
**** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.**

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** _____ **Publish:** _____

Ordinance Section No. _____ **Fee Paid:** _____

Permit Request No. _____



DEMO KEYNOTES

- 1 DEMO WALL
- 2 DEMO DOOR
- 3 REMOVE FLOOR SINK AND RELOCATE PER THE FLOOR PLAN

1 DEMO FLOOR PLAN
3/16" = 1'-0"

KEYNOTES

- 1 XTD EXPOSED STUDS, INTERIALLY WITH WAINSCOT, ONE, AND WOOD PICTURE FRAMES TO MATCH THIS SPACE.
- 2 PAINTED GYPSUM AND VERTICAL BROWN BOARDS ABOVE AT GARAGE END OF EXISTING BUILDING
- 3 METAL ACCESS PANEL TO PLUMBING
- 4 ADD BROOMING TO WALLS FOR KITCHEN, AND BROOMERS
- 5 NEW COUNTERS AT WITH KITCHEN ABOVE
- 6 PROVIDE FLOOR DRAIN

1 SKETCH OPTION
1/8" = 1'-0"

GENERAL NOTES

- 1 MATCHED WALLS RESISTIVE NEW WALLS
- 2 ALL INTERIOR PARTITIONS TO BE TYPE P-1 UNLESS OTHERWISE NOTED.
- 3 INSULATE ALL INTERIOR WALLS

ISSUANCES:	
CITY REVIEW	08/12/13
PROJECT:	
NUMBER	00000003
DATE	09.13.13
REV	
SHEET:	
A100	

**ORANGE SHOE
CONSTRUCTION DOCUMENTS**
6200 NESBITT RD
FITCHURG, WI 53719

DESTREE
architecture & design
222 West Washington Ave., Suite 310, Madison, WI 53703
ph: 608.268.1499 fax: 608.266.1498 www.destreearchitects.com



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608) 270-4200

CONDITIONAL USE PERMIT APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

1. Location of Property:

Street Address: Fairlyland Daycare, 6200 Neshitt Rd unit A, Fitchburg, WI 53719

Legal Description - (Metes & Bounds, or Lot No. And Plat): _____

See Attachment

***Also submit in electronic format (MS WORD or plain text) by email to: PLANNING@FITCHBURGWI.GOV

2. Current Use of Property: Day care Medical

3. Proposed Use of Property: Day care

4. Proposed Development Schedule: _____

5. Zoning District: BG to Proposed BP

6. Future Land Use Plan Classification: Business

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable): none

No. of Dwelling Units by Bedroom: 1 BR 2 BR 3 BR 4 or More

No. of Parking Stalls: 44

Type of Non-residential Development (If Applicable): _____

Proposed Hours of Operation: 6:00 a.m to 6:30 p.m No. of Employees: 3 at time

Floor Area: class room (3260 sq.ft) No. of Parking Stalls: 44

Sewer: Municipal Private Water: Municipal Private

Current Owner of Property: Global Estate LLC

Address: 6200 Neshitt Rd Phone No: 608-347-8993

Contact Person: Samina Khan

Email: SKKhan97@gmail.com

Address: _____ Phone No: 608-347-8993

Respectfully Submitted By: Samina Khan

Owner's or Authorized Agent's Signature

** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: _____ Publish: _____

Ordinance Section No. _____ Fee Paid: _____

Permit Request No. _____

Dear City of Fitchburg and Fitchburg Plan Commission,

Below is some information on Fairyland Daycare, LLC – the applicant for the conditional use permit for 6200 Nesbitt Rd.

Fairyland Daycare will be a daycare facility owned and operated by Ruthie Whitaker. Ruthie currently runs an in-home daycare center at 6538 Fairhaven Rd (just outside the Fitchburg borders). At her current daycare, she can only serve eight children, and with more families in the Fitchburg, Verona, and the Madison West areas having young ones, Ruthie saw the need to open a bigger daycare facility to better serve the area – with a new lease and some furniture and fixtures installed on a 3,260 sq. ft. end cap unit at 6200 Nesbitt Rd., Ruthie hopes just to do that. Projecting to be able to serve 34 children at the Nesbitt location, Ruthie will keep her in-home daycare open and run both to the best of her abilities.

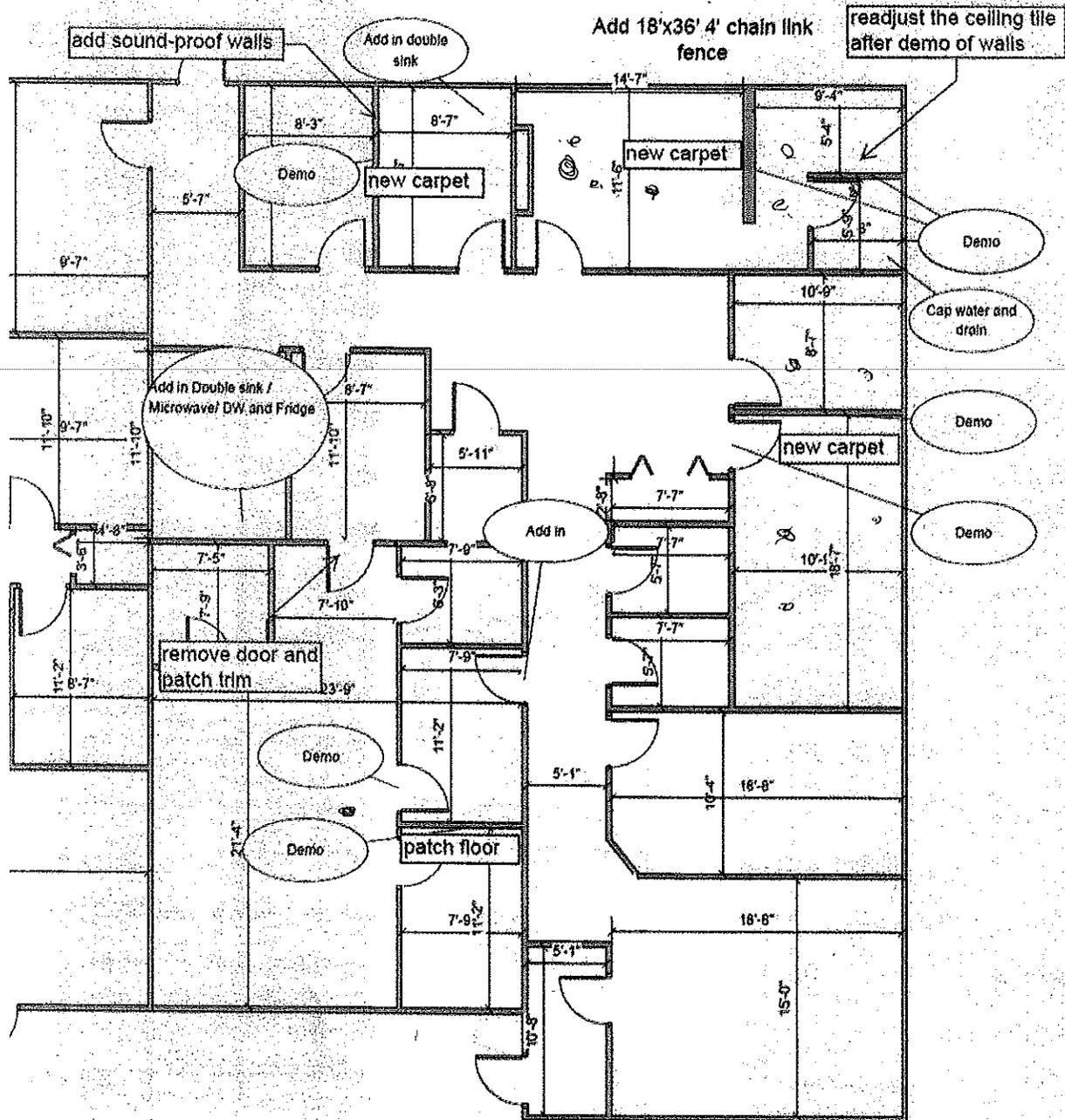
The daycare on Nesbitt will be open Monday through Friday from 6:00am to 6:00pm, and plans to later offer Saturday hours as well. As for the projected number of staff working at the daycare at any one given time, will vary Ruthie plans on having three full time and some part time employees watch over the 34 children. The children will be within the premise, or in the planned outdoor fenced play area behind the building during the listed business hours, or until they are picked up by their parents.

Even though there seems to be a lot of daycare customers, most of the traffic will be during the drop-off and pick-up times at the start and end of each day. Of course, not all of the parents will be arriving at the same time as everyone's schedule is different. Also, with the amount of parking the property offers, and with the parking needs of the other tenants of the building, we believe that there will enough stalls and space for everyone. The ingress from Nesbitt and the open area of the parking lot seem favorable as well. As for employee parking, there is sufficient parking behind the building.

- It is worth noting that because of the daycare use; we will be utilizing and turning four of the existing parking stalls behind the building for the use of a fenced playground for the children – as noted in the attached site plan. Even with these stalls removed, there is sufficient parking for the employees of all of the building's businesses in the back.
 - A side note on the playground, being behind the building the children will be away from the traffic noise from Verona Rd. and away from the front parking lot where cars are coming in. Also, the playground overlooks a retention pond.

We hope that we have provided you with enough information and background on the daycare. If you should need more information or have questions, please contact us. All parties would like the daycare to open soon as both feel that it would be a great addition to the pool of business Fitchburg offers. And lastly, Ruthie has the daycare experience and a heart of gold that will serve the surrounding area well for years to come.

Landlord and Tenant will conduct a final walkthrough of the premise to itemize specifics



FAK/ZZON 21

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
 Direct Referral Approved by:

Date Referred: April 28, 2015
 Date to Report Back: May 26, 2015

Ordinance Number: **2015-O-XX**
 Resolution Number:

Sponsored by: Mayor

Drafted by: Planning / Zoning

TITLE: Rezone Request, RZ-2057-15, by Craig Raddatz, with Authorization from Hamm Fam Land LLC, to Rezone from the PDD-GIP (Planned Development District – General Implementation Plan) to the PDD-SIP (Planned Development District – Specific Implementation Plan) district

Background: Applicant is requesting approval to rezone proposed Lot 15 of proposed Quarry Vista Plat to the PDD-SIP (Planned Development District – Specific Implementation Plan) district to allow for site and structure development of 152 multi-family dwelling units.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	May 19, 2015	
2				

Amendments:

Print Form



City of Fitchburg
Planning/zoning Department
5520 Lacy Road
Fitchburg, WI 53711 (608-270-4200)

REZONING APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the GIP district to the SIP district the following described property:

1. Location of Property / Street Address: Northeast Corner of Fitchrona Rd. & Lacy Rd.

Legal Description - (Metes & Bounds, or Lot No. And Plat):

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 1S2-1S4 as Document Number 39S9694, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin. See attached PDD-SIP submittal.

***Also submit in electronic format (MS WORD or plain text) by email to: planning@city.fitchburg.wi.us

2. Proposed Use of Property - Explanation of Request:

Apartment Homes (Multi-Family Residential)

3. Proposed Development Schedule: See attached PDD-SIP Submittal

4. Future Land Use Plan Classification: High Density Residential (HDR)

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@city.fitchburg.wi.us. Additional information may be requested.

Type of Residential Development (If Applicable): Apartment Homes (Multi-Family Residential)

Total Dwelling Units Proposed: 152 No. Of Parking Stalls: 238 total

Type of Non-residential Development (If Applicable): n/a

Proposed Hours of Operation: _____ No. Of Employees: _____

Floor Area: _____ No. Of Parking Stalls: _____

Sewer: Municipal Private Water: Municipal Private

Current Owner of Property: _____

Address: _____ Phone No: _____

Contact Person: Craig Raddatz, Fiduciary Real Estate Development, Inc.

Email: craddatz@fred-inc.com

Address: 789 N. Water St. - Suite 200, Milwaukee, WI 53202 Phone No: 414-226-4535

Respectfully Submitted By: *Craig Raddatz* *Craig Raddatz*
Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: 4/21/2015 Publish: _____ and _____

Ordinance Section No. _____ Fee Paid: \$825.00

Permit Request No. RZ-2057-15



JOSEPH LEE + ASSOCIATES, LLC

2418 Crossroads Drive, Suite 2300

Madison, Wisconsin 53718

608.241.9500

April 21, 2015

City of Fitchburg Plan Commission
c/o Mr. Thomas Hovel
City of Fitchburg Planning Department
City Hall - 5520 Lacy Road
Fitchburg, Wisconsin 53711

RE: Elan Apartments
PDD - SIP Submittal & Architectural Design Review Submittal

Mr. Hovel -

On behalf of Fiduciary Real Estate Development, Inc., please find the following Submittal Packages for the Elan Apartments enclosed:

PDD-Specific Implementation Plan / Architectural Design Review

- Re-Zoning Application Form, Architectural Application Form, and \$825 Fee
- (4) Copies of the Specific Implementation Package (11x17)
- (2) Copies of all Specific Implementation Design Drawings (24x36)
 - Civil Engineering
 - Landscape
 - Site Lighting
 - Architectural
- (1) CD with electronic files of the above, as well as an electronic file of the Legal Description

In addition to the submittal materials above, we will be providing the following information at the Plan Commission meeting for approval:

- Three-dimensional images that further illustrate the design.
- An exterior material sample board

With these Submittal Packages, we respectfully request that the Specific Implementation Plan & Architectural Design Review be placed on the Plan Commission agenda for review & approval.

Thanks for your assistance throughout this process. We are excited to be a part of this project. Please do not hesitate to contact our office at 608-241-9500 if you have any questions or need anything else.

Thank you,

Leah Teske



ELAN APARTMENT
FITCHBURG, WISCONSIN



SPECIFIC IMPLEMENTATION PLAN

APRIL 21, 2015

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- APPENDIX 'B' - General Development Plan Recording
- APPENDIX 'C' - Specific Implementation Plan
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PREVIOUS GENERAL IMPLEMENTATION PLANS

THIS DOCUMENT SHALL SERVE AS THE SPECIFIC IMPLEMENTATION PLAN TO THE PREVIOUS GENERAL DEVELOPMENT PLANS:

- THE QUARRY VISTA APARTMENT HOMES GENERAL IMPLEMENTATION PLAN DATED OCTOBER 21, 2014, AMENDED NOVEMBER 5, 2014, AND APPROVED BY THE FITCHBURG COMMON COUNCIL ON NOVEMBER 25, 2014.

THE SUBSTANTIVE & REGULATING TEXT OF THIS SPECIFIC IMPLEMENTATION DOCUMENT IS EXACTLY AS IT APPEARS IN THE GENERAL IMPLEMENTATION PLAN AMENDMENT DATED NOVEMBER 5, 2014.

PROJECT TEAM:



FIDUCIARY REAL ESTATE DEVELOPMENT, INC
789 North Water Street - Suite 200
Milwaukee, Wisconsin 53202
Contact: Craig Raddatz
414.226.4535



JLA ARCHITECTS + PLANNERS
2418 Crossroads Drive - Suite 2300
Madison, Wisconsin 53718
Contact: Joseph Lee
608.241.9500



D'ONOFRIO, KOTKE, & ASSOCIATES, INC.
7530 Westward Way
Madison, Wisconsin 53717
Contact: Bruce J. Hollar
608.833.7530

PROJECT LOCATION & GENERAL DESCRIPTION

The Elan Residential Development will be a quality high-density residential community to serve the increased demand for housing in the Fitchburg area over the next five years and beyond. It will be located on a 4.84 acre site at the north east corner of the current intersection of Fitchrona Road and Lacy Road.

- Outlot 9 - The 4.84 acre parcel for residential uses of this project.

Surrounding Context

The project site is surrounded by existing residential uses to the immediate north, south, and west with recreational uses further northeast (Quarry Ridge Recreation Area), light industrial uses further north (north of Verona Rd.), and future single family residential use to the immediate east.

Existing Topography & Wetlands

The project site has moderate topographical relief - with about 20 feet of grade drop from the southeast portion of the site to the north and west portion of the site. The northwest portion of the site is the low point of the site.

Existing Vegetation

The project site is adjacent to an existing quarry. The northern and eastern portion of the site currently contains the majority of the site's vegetation - with various trees and underbrush. There are no known landmark or heritage trees on the property. The Quarry Vista developer is delivering a cleared and graded site.

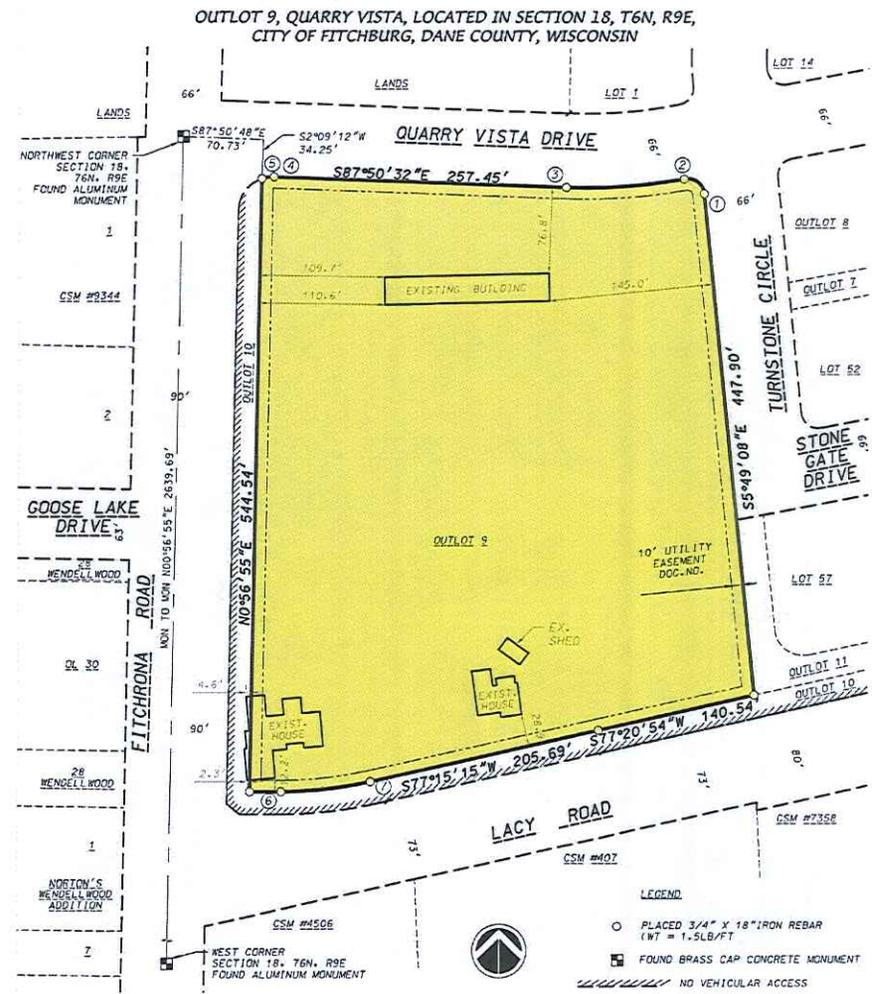


Legal Description – Outlot 9 of Quarry Vista Preliminary Plat (Entire Property)

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 152-154 as Document Number 3959694, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin to-wit:

Commencing at the Northwest corner of said Section 18; thence S89°50'48"E, 70.73 feet along the North line of said NW1/4; thence S02°09'12"W, 34.25 feet to a point of curve also being the point of beginning; thence Easterly along a curve to the right which has a radius of 30.00 feet and a chord which bears N81°49'03"E, 10.77 feet; thence S87°50'32"E, 257.45 feet to a point of curve; thence Easterly along a curve to the left which has a radius of 478.00 feet and a chord which bears N85°53'55.5"E, 104.23 feet to a point of curve; thence Southeasterly along a curve to the right which has a radius of 15.00 feet and a chord which bears S53°05'23"E, 22.04 feet; thence S05°49'08"E, 447.90 feet; thence S77°20'54"W, 140.54 feet; thence S77°15'15"W, 205.69 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 356.24 feet and a chord which bears S83°37'38"W, 79.08 feet; thence N90°00'00"W, 27.59 feet; thence N00°56'55"E, 544.54 feet to the point of beginning.

Containing 210,871 square feet (4.841 acres).



RATIONALE FOR A PLANNED DEVELOPMENT DISTRICT

As confirmed by the City Plan Commission at their September 16, 2014 meeting, in which they expressed a "preference for the applicant to use PDD zoning for this project", this project will utilize the City's PD Planned Development District instead of the City's R-H High Density District.

Specifically, in order to accomplish the goals of providing a quality high-density infill development with first class amenities, we reference the City's Ordinance with the following reasons:

- Section 22-144 – Permitted Uses (3): Only permits up to 8 units per building. While we realize dwelling structures having greater than eight dwelling units are allowed as a Conditional Use (per 22-145 (6)), we desire the long-term stability afforded under a permanent zoning classification.
- Section 22-146 – Dimensional Standards (1): Does not allow more than two multiple family dwelling unit structures per lot. We are proposing three multiple family dwelling unit structures on one lot. To make this an integrated, vibrant community, we must have the design flexibility afforded in the PD zoning for the drives, parking lots, and walking connections between buildings.
- Section 22-146 – Dimensional Standards (2) b: Requires a minimum of 2,000 square feet of lot area per each Efficiency unit, 2,200 square feet of lot area per each 1 bedroom unit, and 2,400 square feet per each 2 bedroom unit, with the provision that each structured parking space reduces the minimum lot area by 500 square feet. We are proposing 10 Efficiencies, 88 One Bedrooms, and 54 Two Bedrooms and 149 structured parking spaces. This provision would require our proposed lot to be 6.25 acres, based on our proposed 152 units. The City has already approved the lot (via approval of the final plat of Quarry Vista) at 4.84 acres and the maximum units of 156.
- Section 22-146 – Dimensional Standards (2) c: Restricts lot size to a maximum of 90,000 square feet. We are purchasing one developable lot for this project, already approved by the City, with an area of 210,871 square feet or 4.84 acres.
- Section 22-146 – Dimensional Standards (4): Sets the minimum front setback at 30 feet. In keeping with the City's desire to provide a more urban feel to multi-family residential developments, we propose a minimum 10 foot setback.
- Section 22-146 – Dimensional Standards (6): Sets the minimum street side setback at 25 feet. In keeping with the City's desire to provide a more urban feel to multi-family residential developments, we propose a minimum 10 foot setback.
- Section 22-146 – Dimensional Standards (8): Restricts the maximum building height to 45 feet. We are planning 3-stories of residential over an underground parking structure for each building. Although we have not yet developed the architectural building elevation, given the site topography and the need to work with the land, the maximum building height will likely be exceeded.

ECONOMIC & SOCIAL IMPACTS

We believe that this project will have positive economic & social impacts on the area.

Property Values and Tax Revenue

At total completion, it is estimated that this project would have a total value of approximately \$20,520,000. At this value, using the City's 2013 property tax rate the following tax receipts to the community could be realized annually:

State of Wisconsin:	\$3,500
Dane County:	\$64,000
City of Fitchburg:	\$161,000
Verona School District:	\$217,000
<u>Madison Area Tech. College:</u>	<u>\$38,000</u>
Total Projected Annual Property Tax:	\$483,500

In addition to the value of this specific project, the surrounding properties could realize an increase in values because of this project - thus creating additional tax revenues.

Impact Fees

This project should generate the following estimated Impact Fees to the City (2015 fees listed):

Park Improvement Fee	152 units x \$145 =	\$22,040
Fire Protection Fee	98 ST/1BR x \$349 =	\$34,202
	54 2BR x \$473 =	\$25,542
<u>Water Impact Fee:</u>	<u>152 units x \$691 =</u>	<u>\$105,032</u>
Total Projected Impact Fees:		\$186,816

Social Impacts

Although social impacts cannot be predicted or quantified, we believe that this project will also have a positive social impact on the area.

- The addition of this quality residential community should improve the perceived image of the immediate area.
- The addition of this quality residential community will help to keep existing residents in Fitchburg and bring new residents into Fitchburg.
- The addition of this quality residential community could serve as a catalyst for other uses - such as retail & commercial - to locate in the immediate area.
- The addition of this quality residential community could serve as an example for future development - creating higher standards in design & quality.

CONSISTENCY WITH COMPREHENSIVE PLAN

This project complies with the City of Fitchburg's Comprehensive Plan.

Specifically, the following is an analysis of how this project meets or advances the goals, objectives, and policies outlined in the Comprehensive Plan.

Land Use Goal 1:

This project preserves and enhances the natural features of the City as follows:

Objective 1: This project is consistent with the long term urban growth map and related phasing plan.

Policies: (2) This project will be served by gravity flow sanitary sewer
 (3) This project is being developed in the urban growth boundary and is not replacing high quality agricultural lands.
 (5) This project (growth) is consistent with the neighborhood plan

Objective 2: This project is protecting environmental resources by using high density, sustainable development and revitalization of underutilized land.

Policies: (2) This project is not within or near identified wetlands
 (7) This project is not within or near identified floodplains

Land Use Goal 2:

This project is a compact urban community that is visually and functionally distinct from the rural and agricultural community.

Objective 1: This is a project that is a significant reinvestment in the community as a redevelopment of underutilized land.

Policies: (1) This is a redevelopment of a former gravel pit.

Objective 3: This is a compact development that, when incorporated into the entire Quarry Vista development, will have a logical and sustainable mix of uses and building types.

Policies: (1) This project provides needed residential rental units.
 (2) This project fits in well with the existing and planned infrastructure and land uses.

Objective 5: Utilities and infrastructure are being extended to this project in an efficient manner.

Policies: (1) This project is within the urban growth area.
 (3) This high-density project makes use of the location near Fitchrona Road (3,500 cars per day) and Lacy Road (3,500 cars per day).

Objective 7: This project is within the urban service area.

Policies: (3) This project is within the urban service area.

Objective 8: This project is consistent with the recently amended map – High Density Residential.

Policies: (1) PDD zoning is consistent with the High Density Residential land use designation.

Natural Resources Goal 1:

This project will protect the natural environment.

Objective 3: This project will protect natural resources

Policies: (1) This project will meet all current City stormwater control requirements.

- (2) This project will meet all current City erosion control requirements.
- (3) This project will meet all current Floodplain and Wetland ordinances. There are no floodplains or wetlands within the project boundary.
- (5) This project is not developed on private septic.
- (7) This project features stormwater infiltration.

Housing Goal 1:

This project will provide a much in-demand housing choice: Market-rate rental units.

Objective 1: After engaging nationally recognized residential experts Tracy Cross and Associates of Schaumburg, IL to perform a market study of alternative uses, they proposed a first class apartment home community. The three stories over underground parking, with 44 to 56 unit buildings, feature average residences of 929 square feet and average rent of \$1,150 per month. This market study and our business experiences of 25 years owning in excess of 4,000 apartment residences have determined this will be highly demanded, bring quality residents and a benefit to the City of Fitchburg.

- Policies:
- (1) This project is an efficient use of land in the urban service area and provides for multi-modal friendly densities.
 - (2) This project adds variety to the Quarry Vista neighborhood
 - (4) This project will meet the demand of new employees within the Fitchburg/Verona area which is experiencing a significant influx of \$45,000 to \$80,000 per year jobs.

Housing Goal 2:

This project makes efficient use of land for housing.

Objective 1: This project is a compact neighborhood.

- Policies:
- (1) This project is efficient to serve and this preserves rural land resources.
 - (2) In order to provide a variety of housing units, we will be offering studio, one-bedroom, and two-bedroom units.
 - (4) This infill project makes wise use of land in the current urban service area, where service provisions already occur.
 - (5) We are proposing higher but livable residential density, which promotes wise use of the land resource and reduces land located elsewhere required to meet housing demand. This helps to preserve agricultural and other open space land outside the urban service area.
 - (6) By utilizing the PDD design review process, the City will be allowed to ensure sound sustainable housing design.

Objective 2: This residential development is occurring in an area with existing infrastructure and sewer.

- Policies:
- (1) This residential housing project is located in an area served by full urban services, including sanitary sewers and public water within convenient access to community facilities, employment centers, and to arterial highways.
 - (2) This project is not an unsewered subdivision.

Utilities Goal 2:

Existing urban services will be extended within the urban development boundary area as part of this project.

Objective 1: This project will improve the condition of the existing sanitary sewer and water infrastructure.

- Policies:
- (2) As part of the Quarry Vista development, both Lacy Road and Fitchrona Roads will have segments improved, including the addition of paved bike paths.

(4) Our entire project will be served with gravity flow sanitary sewer.

Objective 2: This project is being developed within the existing urban service area and adjacent to existing public infrastructure.

Policies: (1) Utilities will not be extended across substantial vacant land.
(2) Water and sewer will be extended concurrently with new streets.
(3) Utilities will not be placed in wetlands or other environmentally sensitive areas.

Transportation Goal 1:

This project is part of a coordinated land use and transportation system.

Objective 1: This project is a compact, urban development.

Policies: (1) This project features buildings closer to the sidewalks, street trees, street lighting, lower parking ratios, structured parking, and parking behind buildings.

Objective 3: In conjunction with this project, the City has been coordinating with the Town of Verona on the roadway connections to Fitchrona Road.

Policies: (2) The Quarry Vista project is dedicating appropriate road right-of-way for both Fitchrona and Lacy Roads.

Transportation Goal 2:

In conjunction with this project, a safe and efficient transportation system will be provided for the Quarry Vista neighborhood.

Objective 1: In conjunction with this project, the overall safety of the transportation system in the North Fish Hatchery Road corridor will be improved.

Objective 2: In conjunction with this project, proper traffic management and travel time reliability will be improved in the Quarry Vista neighborhood.

Policies: (2) The pattern of streets and sidewalks in the project area will maximize the connectivity of land uses within the neighborhood and to areas outside the neighborhood.
(6) This project will not have direct access to either Fitchrona or Lacy Roads.
(7) This project will not have direct access to either Fitchrona or Lacy Roads.

LAND USE

When complete, this project will contain multi-family residential uses.

Outlot 9 Land Use

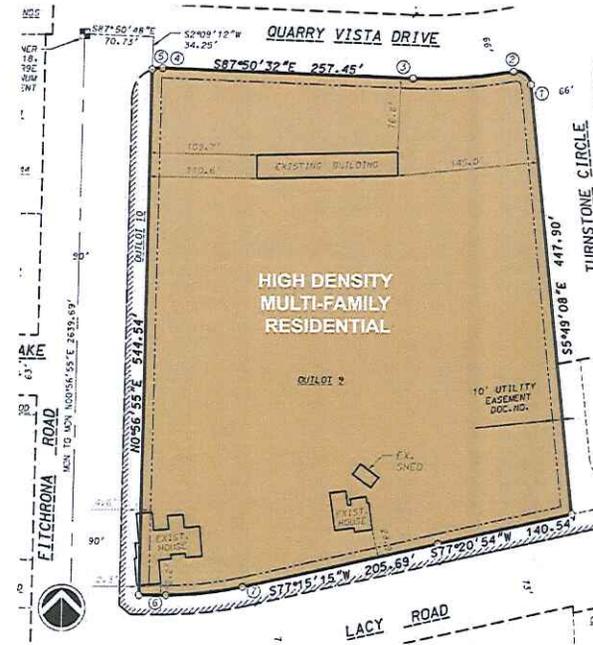
This 4.84 acre parcel will be consistent with the City's Comprehensive Plan with a High Density Multi-Family Residential Use. It will have 152 residential apartment units along with their associated common amenity spaces. At the time of this Specific Implementation Plan, the mix of residential units is as follows:

- Studio Units: 6%
- 1 or 1 Bedroom+Den Units: 58%
- 2 or 2 Bedroom+Den Units: 36%

Within each unit type there will be a variety of unit sizes - with an average unit size of approximately 929 square feet. This mix of unit types & sizes will serve a variety of potential residents.

In addition to the residential units themselves, Outlot 9 will contain various common space amenities integrated within the buildings or around the site. At the time of this Specific Implementation Plan, the anticipated common amenities are:

- Pool with sundeck
- Business Center
- Fitness Center
- Clubroom with Kitchenette
- Walking Paths with Dog Stations
- Other Green and/or Open Space for passive and active activities



SITE DESIGN & ZONING STANDARDS

The Masterplan of Outlot 9 has been thoughtfully designed to address numerous site challenges including the existing topography, storm water management, and project identity. See Appendix 'C' for the Specific Implementation Plan.

Masterplan Design Highlights:

- To work with the existing topography of the site, building pads are kept higher along the east property line, and lower along the west property line (Fitchrona Road) - stepping down to the west.
- Storm Water Management Facilities are located to allow storm water to be collected on site.
- The buildings are located & orientated to address the street edge and to help define the public realm.
- Surface parking is kept to the interior of the site to reduce its visual impact from the public streets.
- Incorporating the storm water management pond as an amenity adjacent to the project's other common space amenities help give the project a distinct entry & identity.
- Pedestrian pathways not only connect the site internally, but also connect the project site with adjacent parcels.

Off Street Parking:

The City's typical parking requirements require two parking stalls per residential dwelling unit. Based on our extensive experience in owning & managing large multi-family communities, and considering the above-mentioned unit mix, we find that this requirement would be excessive. Therefore, we are proposing a total of 1.5 parking stalls per dwelling unit - with each one and two bedroom unit having one parking stall within the underground parking structure. We believe that providing this level of parking will be appropriate for this project, will allow the site to have less impervious area, and will minimize the visual impact of surface parking lots on the site and the surrounding areas.



Bicycle Parking:

In addition to off street vehicular parking, we are proposing a total of 1.0 bicycle parking stalls per dwelling unit. Exterior stalls are located with proximity to each building's main entrance for easy access, while interior bike hooks are proposed above each Lower Level parking stall.

BUILDING NAME	UNITS	BICYCLE PARKING			RATIO
		COVERED	SURFACE	TOTAL	
A1	44	44	5	49	1.11 PER UNIT
B1	52	52	5	57	1.10 PER UNIT
B2	56	53	5	58	1.04 PER UNIT
TOTALS	152	149	15	164	1.08 PER UNIT

Storm Water Management Overview:

The following items are highlights of the Storm Water Management Design for the project:

- Storm water management will address peak control, water quality and infiltration.
- Peak control and water quality control from the dirty parking lots will occur within the wet portion of the detention pond.
- The development will take advantage of the native sandy soils and provide infiltration in a basin adjacent to the wet detention. All clean rooftop runoff from the buildings will be directed into the infiltration area that will be restored with native prairie plantings.
- All storm water management measures will meet or exceed the City of Fitchburg's ordinance requirements.
- The maintenance of all storm water management measures within Outlot 9 will be the responsibility of the property Owner.

Landscape Design:

The new landscape design for Outlot 9 of this project will meet all City of Fitchburg landscape design requirements. Please see Appendix 'C' for the Specific Implementation Landscape Plans for Outlot 9. This plan will be further developed and additional detail and information will be provided with the subsequent Specific Implementation Plan submittals.

Open Space & Recreational Space:

Each building in the Masterplan of Outlot 9 is designed with adjacent open space for passive, flexible recreation. Additionally, the upper and lower surface parking lots are separated by a central green space.

Refuse & Recycling Storage & Removal:

Each building within the development will have refuse & recycling rooms within the buildings themselves located on the Lower Level near the overhead door entrance. A private waste management company will be contracted with to provide recycling & refuse removal services as appropriate for the development.

Planned Development Zoning Standards

Under the proposed Planned Development Zoning, Outlot 9 shall meet the following Zoning Standards:

- Residential Density: 32 units per acre (maximum)
- Building Height: Maximum of 3 Stories over Parking and Maximum 60 feet (to highest roof ridge)
- Street Setback: 10' (minimum), 15' (minimum at Fitchrona Rd.) Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Side Yard Setback: 10' (minimum)
- Rear Yard Setback: 10' (minimum)
- Building Coverage: 32% of Parcel Area (maximum)
- Floor Area Ratio: 1.00 (maximum)
- Impervious Surface Ratio: 60% of Parcel Area (maximum)
- Off-Street Auto Parking: 1.5 (min), 1.75 (max.) Total Spaces per Dwelling Unit
0.9 Structured Spaces per Dwelling Unit (min.)
- Off-Street Bicycle Parking: 1.0 Bike Spaces per Dwelling Unit (min.)

Specific Implementation Plan Data

At the time of this Specific Implementation Plan, the Outlot 9 Masterplan Data is as follows. The exact data (below) is subject to change slightly as the project's design is further developed; however, the final data shall meet all Specific Implementation Plan Zoning Standards (above).

ELAN - SPECIFIC IMPLEMENTATION PLAN DATA									
BUILDING						PARKING			
NAME	USE	FOOTPRINT	FLOOR AREA	UNITS	COVERED	SURFACE	TOTAL	RATIO	
A1	Multi-Family Residential	18,179 S.F.	51,393 S.F.	44	44	26	70	1.59 PER UNIT	
B1	Multi-Family Residential	22,079 S.F.	62,247 S.F.	52	52	32	84	1.62 PER UNIT	
B2	Multi-Family Residential	22,063 S.F.	62,247 S.F.	56	53	31	84	1.50 PER UNIT	
TOTALS		62,321 S.F.	175,887 S.F.	152	149	89	238	1.57 PER UNIT	

ZONING REQUIREMENT	DESIGN VALUE	CALCULATIONS
SITE DENSITY	31.40 Units/Acre	152 Units / 4.84 AC. = 31.40
BUILDING COVERAGE	29.6% of Parcel	62,321 S.F. / 210,871 S.F. = 29.6%
FLOOR AREA RATIO	83.4% of Parcel	175,887 S.F. / 210,871 S.F. = 83.4%
IMPERVIOUS SURFACE	57.1% of Parcel	120,350 S.F. / 210,871 S.F. = 57.1%
LANDSCAPE AREA	42.9% of Parcel	90,521 S.F. / 210,871 S.F. = 42.9%

MASTER SIGN PROGRAM

In addition to address signage which will be mounted on each respective building, the permanent exterior signage for the project will consist of three (3) exterior signs that total 127.9 square feet of signage area at project completion. During the construction of the project, there will be four (4) temporary signs used. The location and design of these signs are specifically illustrated in Appendix 'D' – Master Sign Program. In summary, they will be made up of the following:

- 1.) One (1) Auxiliary Sign to provide direction to & from the Leasing Office will be located at the north end of the parking lot. This sign will have a signage area of 6 square feet. Please note that this square footage does not include the mounting posts below the sign areas (See Directional Sign D in Appendix 'D').
- 2.) One (1) Monument Sign will be located at the southeast intersection of Quarry Vista Drive at Fitchrona Road. This sign will be 72 square feet. (See Location A Sign in Appendix 'D').
- 3.) One (1) Monument Sign will be located at the northwest corner of the Building 'B1' along Quarry Vista Drive. This sign will be 48.9 square feet (See Location C Sign in Appendix 'D').
- 4.) Also note that Locations A, B, C, and D will host temporary leasing and directional signs, which will be removed by project completion. (See Appendix 'D').

ENVIRONMENTAL BENEFITS OF PLANNED DEVELOPMENT ZONING

The Environmental Benefits of using Planned Development District Zoning for this project come from the greater flexibility in both density & zoning standards that is allowed under PDD Zoning than would be allowed under the City's High Density Residential Zoning.

Reduction of Sprawl

Because of PDD Zoning, more units can be developed on this site. Therefore, this development can help meet the increasing need for residential units on less land area than would be otherwise be required under the City's High Density Residential Zoning.

Less Impervious Surface Area

The Parking Standards for PDD Zoning allow the Plan Commission to approve greater flexibility in the amount of vehicular parking that must be provided on site. In our Development Team's experience, the parking requirements of the City's High Density Residential Zoning District are excessive for this project - and would result in more impervious surface area across the site than what our plan proposes. Utilizing PDD Zoning for this project will decrease run-off and allow additional landscaped areas.

Enhanced Public Realm

With PDD Zoning, the site can be designed to enhance the character and visual aesthetics of the public realm. Under PDD Zoning, the building setbacks can be reduced to allow the buildings to be located & orientated to address the street edge and to help define the public realm. This also provides additional land area behind the buildings - so surface parking can be kept to the interior of the site and reduce its visual impact on the public streets.

ORGANIZATIONAL STRUCTURE

This project will be professionally owned and managed by an entity controlled by Fiduciary Real Estate Development, Inc.

At Fiduciary, we have a long track-record of successful property development & management throughout Wisconsin - including Fitchburg. We take pride in our great reputation, and the relationships we have with our employees, our residents, and the communities in which we are located.

Supervision

We have the most experienced, well-trained supervisory employees.

- We have Corporate reviews for each property on a bi-monthly basis – and are updated daily on emergency maintenance issues.
- Each Regional Supervisor oversees 3 to 5 properties and visits each property at least once per week. This keeps them in touch with their properties and holds each on-site Property Manager accountable.
- Each on-site Property Manager conducts a daily staff meeting and is the key contact person for each property.
- We maintain continual maintenance personnel communication so we are on top of all existing or potential maintenance issues.
- We implement thorough bi-monthly property inspections for each property.

Training

We implement a proven training program for our employees to make sure everyone knows their role and performs their responsibilities as expected.

- We maintain a 300-page manual for property management. It is a 'living document' that is updated at semi-annual manager meetings.
- We employ onsite training by both Regional supervisor and property managers.

Applicant Screening

To help ensure that we are attracting quality residents, we obtain the following information from prospective residents:

- Criminal background checks
- Credit checks
- Recommendations/Referrals of previous landlords
- Income qualifications & verifications

Track-Record of Success

We have a long track-record of successful property development & management. The key to our long-term success of multi-family residential communities is the continual reinvestment in the properties. We continually evaluate the need to upgrade & improve our properties - to maintain them as highly desirable communities that attract quality residents. For example, in the past five years at our Valley View Apartment project in Fitchburg, we have spent \$1,400,000 on roofing, siding, pool improvements, a Wi-Fi Café, and a Fitness Center. This year we are working on upgrading individual units and common area carpets.

According to Kathy Nettlesheim, Vice President of Property Management, another key to success is having excellent relationships with the communities in which we are located. We have found that the City of Fitchburg is one of the best communities that we work with – our communication is often and thorough.

PROJECT IMPLEMENTATION

At the time of this Specific Implementation Plan, we are working with the Department of Public Works to determine the specific timeline for public improvements for this project. Quarry Vista subdivision improvements, including the Fitchrona Road water main, are expected for completion by Summer 2015.

The construction of the apartment buildings is anticipated to follow the following schedule in one single phase with completion in Fall 2016:

<u>Phase</u>	<u>Buildings</u>	<u>Schedule</u>
Phase 1	'B1'	(anticipated for Summer 2015)
Phase 1	'B2'	(anticipated for Summer 2015)
Phase 1	'A1'	(anticipated for Fall 2015)

However, the residential market demand will ultimately drive the overall schedule and could speed-up or slow down the timeline for full build-out.

NEIGHBORHOOD INPUT

On October 3, 2014, we mailed out a letter and an area map (an example of each is attached in Appendix 'E') to all owners of property within 300 feet of our project. The letter invited comment, as well as attendance, at a meeting held at the Hammersley Stone Offices on Tuesday, October 14, 2014 at 5:30 PM. At this meeting, we had nine people representing the neighboring properties (see the meeting sign-in sheet in Appendix 'E'). We provided a brief overview of our project and answered questions.

APPENDIX 'A'
ALTA SURVEY & AERIAL CSM

APRIL 21, 2015

SURVEYOR'S CERTIFICATE

To: Fiduciary Real Estate Developers, Inc.
 Re: Durrey Title Circle

This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS and include there 1, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 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573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 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973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

Dated this 6th day of June, 2014

[Signature]
 BRETT J. STOPFSGAN
 8-2743
 MADISON, WISCONSIN
 LAND SURVEYOR

NOTES

- This survey was performed over District 3 of the unrecorded Durrey Plat plan.
- Surveyed for: Fiduciary Real Estate Development
 722 North Water Street, Suite 200
 Milwaukee, WI 53207

LEGAL DESCRIPTION

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on page 150-154 as Document Number 385954; Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T8N, R10E, City of Fitchburg, Dane County, Wisconsin (hereinafter "the Property"). Commencing at the Northwest corner of said Section 18, thence S89°50'48"E, 70.73 feet along the north line of said NW1/4, thence S00°12'16", 34.25 feet to a point of curve also being the point of beginning, thence easterly along a curve to the right which has a radius of 30.00 feet and a chord which bears N81°02'12", 10.77 feet, thence S87°00'32"E, 257.45 feet to a point of curve, thence easterly along a curve to the left which has a radius of 475.00 feet and a chord which bears S85°15'20", 150.00 feet to a point of curve, thence southeasterly along a curve to the right which has a radius of 15.00 feet and a chord which bears S55°01'33"E, 22.04 feet, thence S55°49'18"E, 141.90 feet, thence S77°00'54"W, 140.54 feet, thence S77°12'12"W, 205.69 feet to a point of curve, thence southeasterly along a curve to the right which has a radius of 236.24 feet and a chord which bears S83°07'36"W, 79.08 feet, thence N90°00'00"W, 27.59 feet, thence N05°51'55"E, 344.54 feet to the point of beginning, containing 210,871 square feet (4.84 acres).

TITLE COMMITMENT

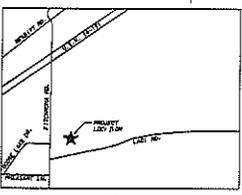
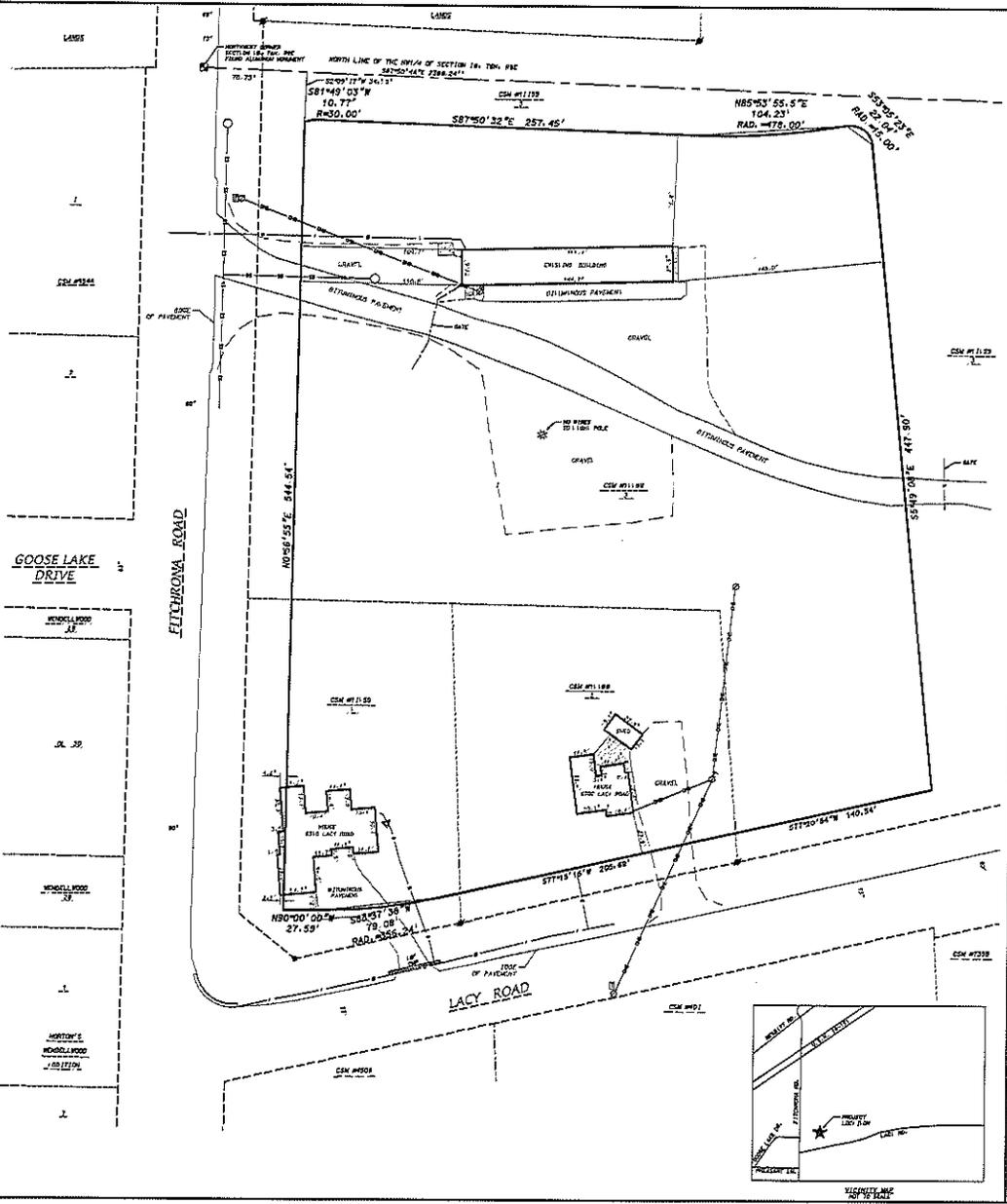
Disposition of General Tax Identified in Schedule B - Part 11
 Commitment for Title Insurance
 Issued by Knight Barry Title Group
 Commitment date: 06/12/14
 Title Insurance File No. 0712910

EXCEPTION

- 1-11, 15, 20, 42: These items are statements, standard exceptions or financial matters which cannot be shown on this survey.
- 23: Easements, restrictions and other matters shown on Certified Survey Map No. 11159 recorded August 24, 2004 as Document No. 385954.
 Note on CS# 1: No other permit or approval is needed or deemed sufficient except for the approval of CS# 1. No other permit or approval is required.
 24: House on Lot 1 is nonconforming as to the side street (Fitchburg Road) setback in -Affect subject parcel; not identifiable.
- 25: Order Establishing Utility by District recorded February 28, 1989, as Document No. 1135023.
 -Affects subject parcel; not identifiable.
- 26: Notice Affecting Real Estate situated within the Town of Fitchburg dated September 27, 1978 and recorded September 21, 1978 in the Office of the Register of Deeds for Dane County in Volume 995 of Records, page 8 as Document No. 128245.
 -Affects subject parcel; not identifiable.
- 27: Notice Affecting Real Estate situated within the Town of Fitchburg dated September 21, 1978 and recorded September 21, 1978 in the Office of the Register of Deeds for Dane County in Volume 995 of Records, page 833 as Document No. 128319.
 -Affects subject parcel; not identifiable.
- 28: Ordinance recorded on August 8, 1983 as Document No. 124737.
 -Affects subject parcel; not identifiable.
- 29: Resolution and Order Altering the Boundary Lines of Fitchburg Utility District No. 1, recorded in Volume 2373 of Records, page 43 as Document No. 259374.
 -Located on land east of the subject corner.
- 30: Individual Conveyance of Easement recorded on April 16, 2002 as Document No. 3475530.
 -Is not located on subject parcel; located within the current Fitchburg Road right-of-way.
- 31: Mortgage from Home Farm Land, LLC to Independent Bank in the amount of \$300,000.00 dated December 6, 2004 and recorded December 13, 2004 as Document No. 400300 - Lots 2 and 3 CS# 11159.
- 32: Assignment of Rents from Home Farm Land, LLC to Independent Bank recorded December 13, 2004 as Document No. 400304 - Lots 2 and 3 CS# 11159.
- 33: Mortgage from Knight Barry Mortgage and Loan Mortgage to Mortgage Electronic Registration Systems, Inc. setting aside as a nominee for Lender, Certificate of Sale, FTS, and the assignments and releases to the amount of \$189,000.00 dated January 13, 2006 and recorded January 26, 2006 as Document No. 438214.
 The mortgagee's name does not appear on the original of record or Federal National Mortgage Association by an instrument recorded November 11, 2011 in Document No. 4928623.

LEGEND

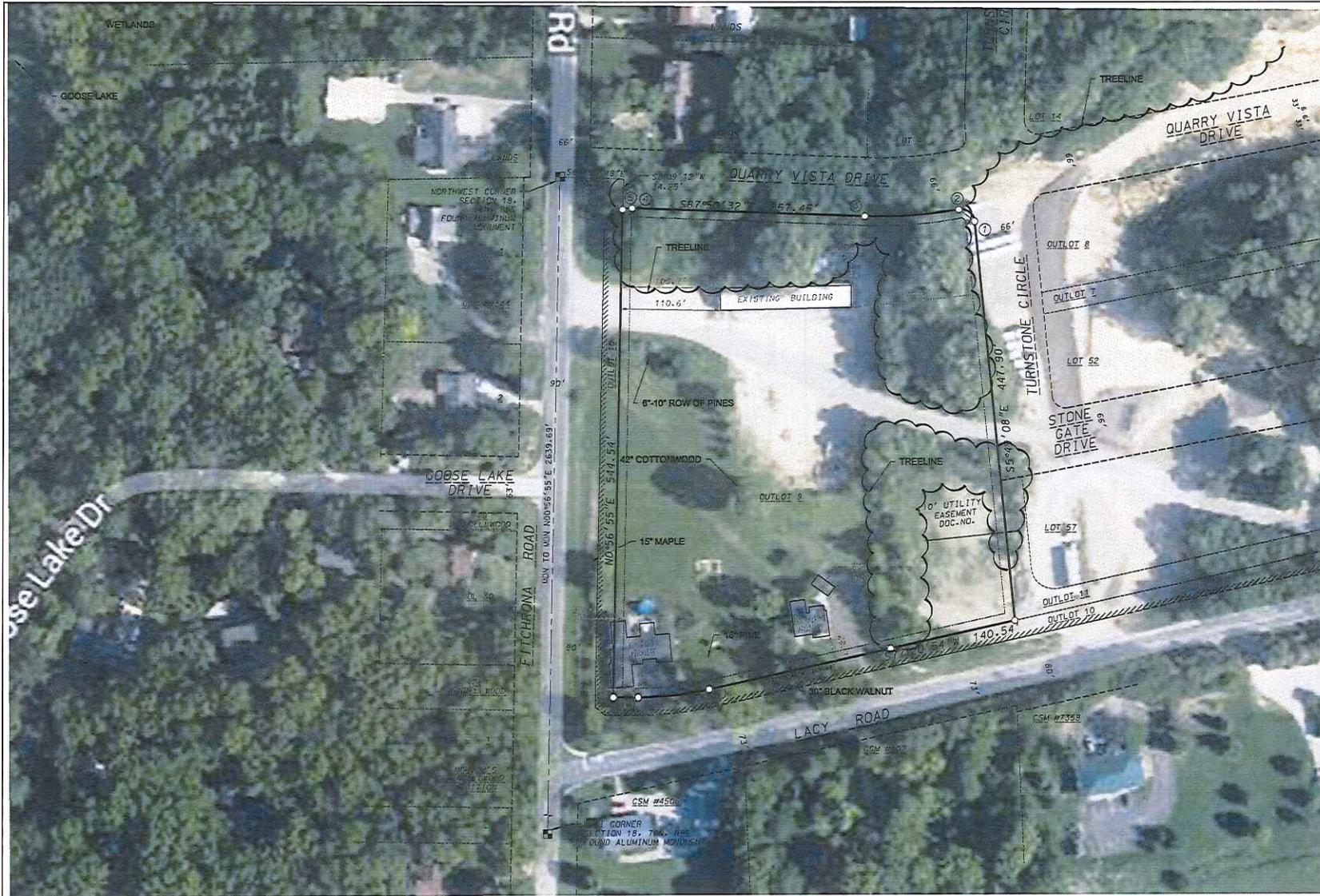
- ▣ FIELD PILE MONUMENT
- ▣ FOUND 1" IRON PILE
- ▣ FOUND 2 1/2" IRON BENT
- S—S— SANITARY SEWER
- G—G— GAS MAIN
- O—O— OVERHEAD ELECTRIC
- TELEPHONE MONUMENT
- MARKER
- POWER POLE W/LIGHT
- POWER PILE
- GUY WIRE
- VALVE
- MONITORING WELL
- FENCE
- CONC. CURB
- CONCRETE



D'AMADIO BROTHERS & ASSOCIATES, INC.
 7255 W. WISCONSIN AVE., MILWAUKEE, WI 53227
 Phone: 414.437.2510 Fax: 414.437.1133
 WWW.ALTACASH-REGISTERED-LAND-SURVEYING.COM

ALTACASH LAND TITLE SURVEY
PART OF LOTS 1, 2, AND 3, CERTIFIED SURVEY MAP NO. 11159
 LOCATED IN THE NW1/4 OF THE NW1/4 OF SECTION 18, T8N, R10E, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

DATE: 06-06-14
 REVISED: 06-11-14
 DRAWN BY: KRG
 FN: 14-03-104
 Sheet Number:
 1 of 1




 DOUGLAS KEITH AND ASSOCIATES, INC.
 7540 Wisconsin Ave., Madison, WI 53717
 Phone: 608.837.2500 • Fax: 608.833.1009
 YOUR MUTUAL RESPONSE FOR LAND DEVELOPMENT

AERIAL/CSM EXHIBIT
QUARRY VISTA
 CITY OF FITCHBURG, WISCONSIN



DATE: 10/28/14
 REVISED:

 DRAWN BY: GWP
 FN: 14-03-104
 Sheet Number:
 1 OF 1

APPENDIX 'B'
GENERAL DEVELOPMENT PLAN RECORDING

APRIL 21, 2015

**Planned Development District
Granting General Implementation Plan
Zoning for Portion of Quarry Vista Plat,
Part of Lots 1, 2 and 3 CSM 11159**



**KRISTI CHLEBOWSKI
DANE COUNTY
REGISTER OF DEEDS**

**DOCUMENT #
5118141
12/18/2014 11:37 AM
Trans. Fee:
Exempt #:
Rec. Fee: 30.00
Pages: 5**

Legal Description:

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 152-154 as Document Number 3959694, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin to-wit:

Commencing at the Northwest corner of said Section 18; thence S89°50'48"E, 70.73 feet along the North line of said NW1/4; thence S02°09'12"W, 34.25 feet to a point of curve also being the point of beginning; thence Easterly along a curve to the right which has a radius of 30.00 feet and a chord which bears N81°49'03"E, 10.77 feet; thence S87°50'32"E, 257.45 feet to a point of curve; thence Easterly along a curve to the left which has a radius of 478.00 feet and a chord which bears N85°53'55.5"E, 104.23 feet to a point of curve; thence Southeasterly along a curve to the right which has a radius of 15.00 feet and a chord which bears S53°05'23"E, 22.04 feet; thence S05°49'08"E, 447.90 feet; thence S77°20'54"W, 140.54 feet; thence S77°15'15"W, 205.69 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 356.24 feet and a chord which bears S83°37'38"W, 79.08 feet; thence N90°00'00"W, 27.59 feet; thence N00°56'55"E, 544.54 feet to the point of beginning. Containing 210,871 square feet (4.841 acres).

Plan Commission
Initiated By

Susan B. Badtke
Drafted By

11/4/2014
Date

**ORDINANCE NO. 2014-O-37
ZONING ORDINANCE AMENDMENT
GRANTING GENERAL IMPLEMENTATION PLAN ZONING
FOR PORTION of QUARRY VISTA PLAT, PART of LOTS 1, 2 & 3 CSM 11159**

WHEREAS, pursuant to Fitchburg Ordinance No. 87-0-06, Section 3, Zoning District Maps were adopted within the corporate limits of the City of Fitchburg until expressly altered by the City Council, and

Ordinance 2014-O-37
Page 2 of 5

WHEREAS, Fiduciary Real Estate Development, Inc. has submitted an application (RZ-2043-14) for Planned Development District General Implementation Plan (PDD-GIP) zoning for part of lots 1, 2 and 3 CSM 11159, and

WHEREAS, the Plan Commission has reviewed, after public hearing on November 18, 2014, the application in accord with ordinance standards and recommends approval of PDD-GIP zoning for part of lots 1, 2 and 3 CSM 11159, with the area more particularly described in Exhibit A.

NOW THEREFORE the City Council of the City of Fitchburg, Dane County, Wisconsin does ordain as follows:

(A) PDD-GIP zoning is hereby granted for part of lots 1, 2 and 3 CSM 11159 as particularly described in Exhibit A, and in accord with submitted plans and information which accompanied the rezoning application in a report titled "Quarry Vista Apartment Homes General Implementation Plan - Amended November 5, 2014" received on November 4, 2014. The documents referred to above are hereby made a part of this ordinance, and with the following additional requirements:

1. Approval and recording of a land division will be required prior to SIP issuance.
2. Recording of a Subdivision Improvement Agreement.
3. Necessary public improvement shall be installed and accepted prior to any building construction, unless approvals are granted to allow early start under section 24-14(b) - (e). (An operable public water supply is one necessary condition under section 24.14.)
4. Park requirements and fees shall be calculated and handled with land division approval.
5. Signage shall be handled during the PDD-SIP (Planned Development District - Specific Implementation Plan) zoning.
6. Project is approved for 152 dwelling units in 3 structures.
7. Zoning standards shall follow those outlined in the report titled "Quarry Vista Apartment Homes General Implementation Plan - Amended November 5, 2014".

(B) This ordinance shall take effect following its publication, the consent of the property owner, or the recording of a plat, whichever occurs last. However, in accord with section 22-596 of the zoning code, owners shall consent within 30 days of approval for the PDD-GIP zoning to be in effect.

(C) Applicant shall pay cost of ordinance publication to avoid a two Council meeting approval process.

(D) Approval of preliminary and final plats by the Common Council.

The above and foregoing ordinance was duly adopted by the City Council of the City of Fitchburg, at a regular meeting held on the 25th day of November, 2014.

Patti Anderson
Patti Anderson, City Clerk

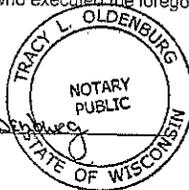
Approved: 12-2-14

Shawn Pfaff
Shawn Pfaff, Mayor

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this 2nd day of December, 2014, the above named Patti Anderson, and Shawn Pfaff to me known to be the City Clerk and Mayor (respectively) of the City of Fitchburg, and the persons who executed the foregoing instrument and acknowledged the same.

Tracy L. Oldenburg
Notary Public, State of Wisconsin



Printed Name of Notary Public: Tracy L. Oldenburg
My Commission Expires: Dec 18, 2016

Consent of the Property Owner

Name: Keith E. Hammersley
Title: Managing Member

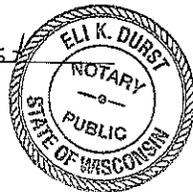
Date: 12/08/2014

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this 8 day of December, 2014, the above named Keith E. Hammersley to me known to be Member of Hawaiian Farm and Me and the person who executed the foregoing instrument and acknowledged the same.

Eli K. Durst
Notary Public, State of Wisconsin

Printed Name of Notary Public: Eli K. Durst
My Commission Expires: 12/18/16



Consent of Mortgage Holder:

Oak Bank
By Mary B. Schuchardt Date: 12-8-14
Mortgage Holder, Senior Vice President
Mary B. Schuchardt, Senior Vice President

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this 8 day of December, 2014, the above named

Mary B. Schuchardt to me known to be the Senior Vice President of Oak Bank and the person who executed the foregoing instrument and acknowledged the same.

Carol Van Pee
Notary Public, State of Wisconsin

Printed Name of Notary Public: Carol Van Pee
My Commission Expires: 3-13-16



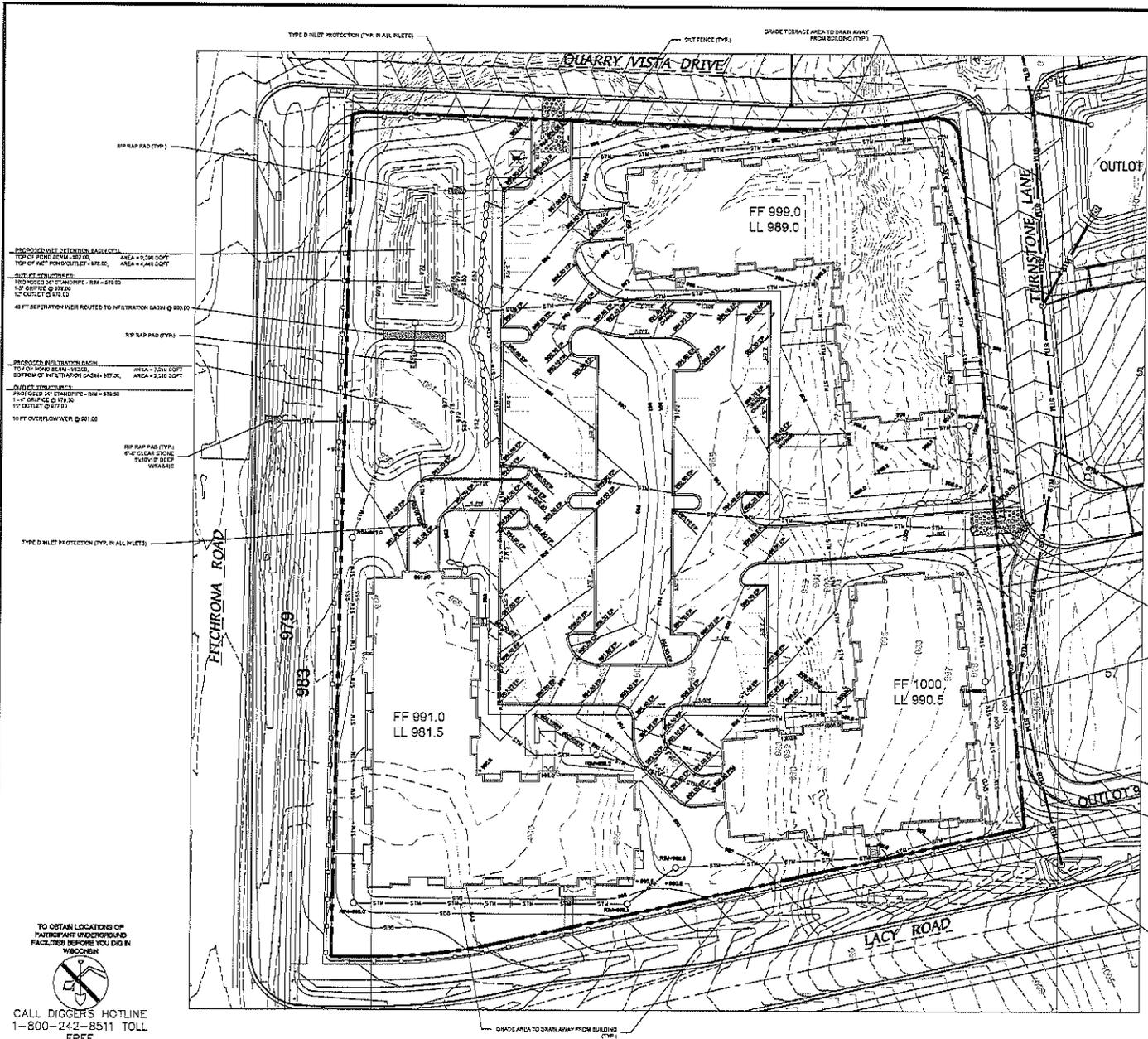
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Commencing at the Northwest corner of said Section 18; thence S89°50'48"E, 70.73 feet along the North line of said NW1/4; thence S02°09'12"W, 34.25 feet to a point of curve also being the point of beginning; thence Easterly along a curve to the right which has a radius of 30.00 feet and a chord which bears N81°49'03"E, 10.77 feet; thence S87°50'32"E, 257.45 feet to a point of curve; thence Easterly along a curve to the left which has a radius of 478.00 feet and a chord which bears N85°53'55.5"E, 104.23 feet to a point of curve; thence Southeasterly along a curve to the right which has a radius of 15.00 feet and a chord which bears S53°05'23"E, 22.04 feet; thence S05°49'08"E, 447.90 feet; thence S77°20'54"W, 140.54 feet; thence S77°15'15"W, 205.69 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 356.24 feet and a chord which bears S83°37'38"W, 79.08 feet; thence N90°00'00"W, 27.59 feet; thence N00°56'55"E, 544.54 feet to the point of beginning. Containing 210,871 square feet (4.841 acres).

APPENDIX 'C'
SPECIFIC IMPLEMENTATION PLAN

APRIL 21, 2015



LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
 ET - EDGE OF PAVEMENT
 TO - TOP OF CURB
 TW - TOP OF WALL
 BW - BOTTOM OF WALL
- LIMITS OF DISTURBANCE
- SILT FENCE/SILT SOCK
- FLOW ARROW

GENERAL NOTES

1. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CITY OF FITCHBURG STANDARDS.
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
4. IF ANY EROSION, DISCONTINUOUS OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAIN AWAY FROM BUILDING FOUNDATION AND OFFSITE DURING FINAL RESTORATION.

SITE GRADING AND EROSION CONTROL NOTES

1. ALL SITE GRADING AND EROSION CONTROL SHALL CONFORM WITH THE CITY OF FITCHBURG EROSION CONTROL ORDINANCE, CHAPTER 20 AND ANY ADDENDUMS ISSUED PRIOR TO THE CONTRACT'S BID DATE.
2. STONE TRACKING MATS AND SILT FENCE SHALL BE INSTALLED AT THE START OF SITE GRADING AND MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED. ALL TRACKING MATS AND ON STREETS THAT ARE ADJACENT TO THE WORK AREA SHALL INCLUDE APPROPRIATE FILTER FABRIC PRIOR TO SITE DISTURBANCE AND MAINTAINED THROUGHOUT CONSTRUCTION.
3. DISTURBED AREAS WITHIN THE CITY'S ROW SHALL BE RESTORED WITH SEED, FERTILIZER AND MULCH IN ACCORDANCE WITH THE CITY'S GRADING AND EROSION CONTROL ORDINANCE. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. ANY DISTURBED SLOPES 4:1 OR STEEPER SHALL BE RESTORED WITH MULCH AND A EROSION CONTROL MATS WITHIN 48 HRS OF FINISH. TOPSOIL AS SPECIFIED ON THE SAME. EROSION MATTING TO EXTEND 1-FOOT BELOW PERMANENT WATER ELEVATION IN THE DISTURBED POND.
4. EROSION CONTROL SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR UNTIL THE SITE HAS BEEN STABILIZED. EROSION REPAIRS AS LISTED SHALL BE THE MAIN RESPONSIBILITY THAT WILL BE ACCEPTABLE.
5. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION MEASURES AS REQUESTED IN WRITING BY THE PROJECT SUPERINTENDENT OR THE CITY OF FITCHBURG WITHIN 24 HOURS OF NOTIFICATION.
6. ONCE THE SITE HAS UNDERGONE FINAL RESTORATION AND VEGETATION HAS ESTABLISHED, THE SILT FENCE SHALL BE REMOVED AND, NECESSARY, RESTORED WITH PERMITS, SEED AND MULCH ALTERNATIVELY. IF VEGETATION HAS NOT ESTABLISHED, DISTURBED AREAS THAT MAY DRAIN TOWARD THE SILT FENCE.
7. SITE INSPECTIONS SHALL BE COMPLETED ON A WEEKLY BASIS OR AFTER EVERY RAINFALL OF AT LEAST 0.5 INCHES. ALL NECESSARY REPAIRS MUST BE COMPLETED WITHIN 24 HOURS OF NOTIFICATION.
8. ALL EXCESSIVE MUD TRACKING OFFSITE DURING ADJACENT PUBLIC THROUGHWAYS SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
9. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
11. DRAINAGING, IF APPLICABLE, SHALL BE CONDUCTED PER MUD CONTROL/WATER MANAGEMENT TECHNICAL STANDARD 1001.

PROPOSED WET DETENTION BASIN (1)
 TOP OF POND BEAM @ 820.00 AREA = 1,336 SQFT
 TOP OF WET POND OUTLET @ 818.00 AREA = 4,245 SQFT

SOIL FILTER STRUCTURE
 PROPOSED 30" STANDPIPE - 804" x 818" @ 820.00
 12" OUTLET @ 818.00
 40 FT SEPARATION W/ET ROUTED TO INFILTRATION BASIN @ 800.00

PROPOSED INFILTRATION BASIN
 TOP OF POND BEAM @ 820.00 AREA = 1,754 SQFT
 BOTTOM OF INFILTRATION @ 817.00 AREA = 3,210 SQFT

UTILITY STRUCTURES
 PROPOSED 30" STANDPIPE - 804" x 818" @ 820.00
 12" OUTLET @ 818.00
 10 FT OVERFLOW W/ET @ 801.00

RP RAP PAD (TYP.)
 6" CONC. STONE
 8" SIVERT DEEP
 WEIR

TYPE D INLET PROTECTION (TYP. IN ALL INLETS)

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
 1-800-242-8511 TOLL FREE

- PROPOSED STONE CONSTRUCTION ENTRANCE
- GRADE AREA TO DRAIN AWAY FROM BUILDING (TYP.)
- LIMITS OF DISTURBANCE = 211,950 SQFT
- LIMITS OF DISTURBANCE (TYP.)
- PROPERTY LINE
- SILT FENCE (TYP.)

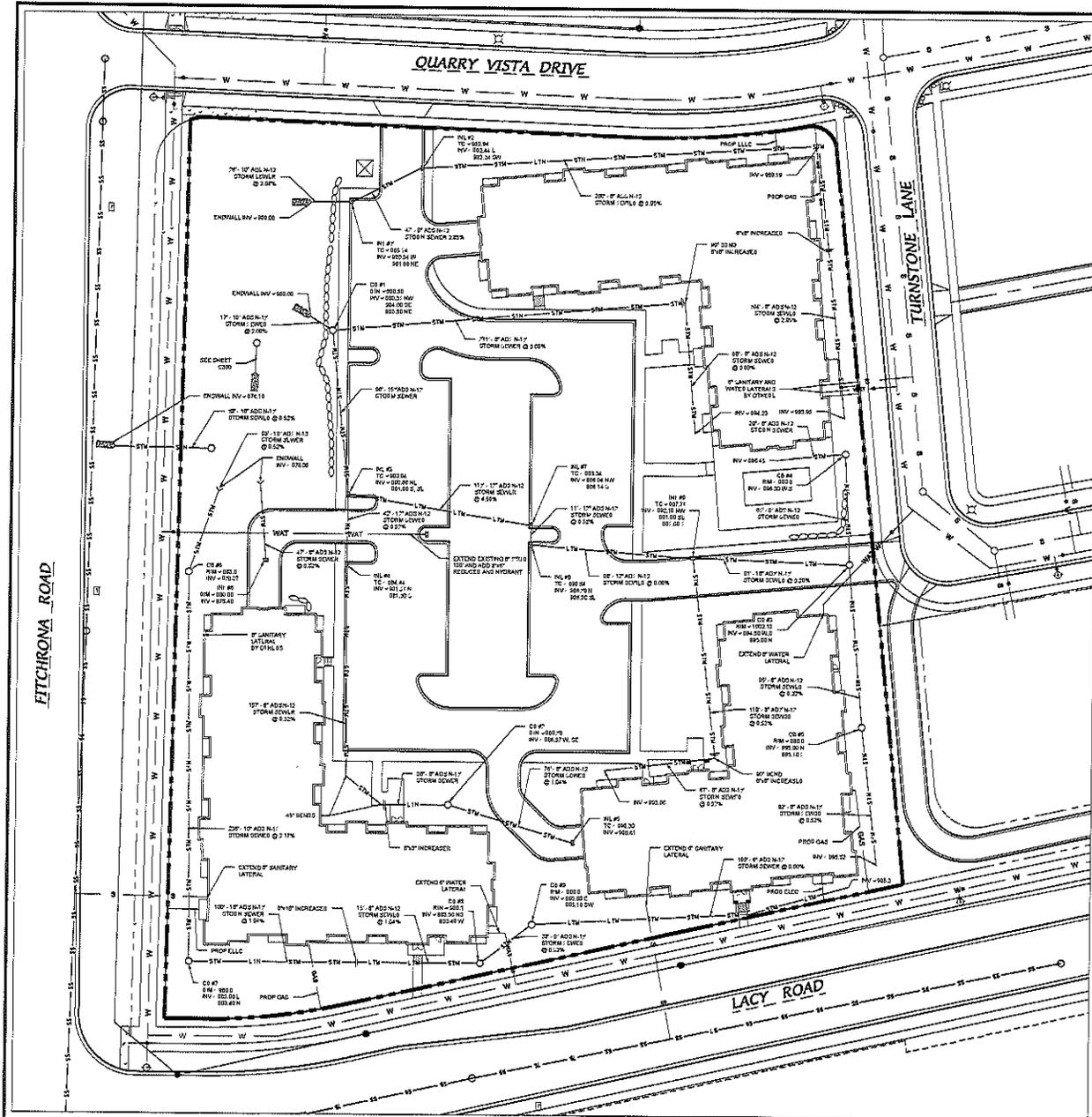
9 WINDING RIFTER AND ARCHITECT, INC.
 7530 Winterset Ave, Madison, WI, 53719
 Phone: 608.833.5350 Fax: 608.833.1649
 WWW.9WINDINGRIFTER.COM

ELAN APARTMENTS
 GRADING AND EROSION CONTROL PLAN
 FITCHBURG, WISCONSIN

DATE: 04-01-15
 REVISED:

DRAWN BY: MPT
 ENR: 14-03-104

Sheet Number
C200



UTILITY NOTES:

1. ALL STORM SEWER AND SANITARY SEWER SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN EDITION, INCLUDING ALL ACCESSORIES.
2. WATER MAIN SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF FITCHBURG AND DNR STANDARDS.
3. WATER MAIN SHALL HAVE A MINIMUM 8" OF BURY TO TOP OF PIPE.
4. CS #1 - #9 SHALL BE 24" DIAMETER PRECAST MANHOLES WITH NENNAH R-7500 D1 CASTING AND GRATE.
5. CS #1, #3, #9 - #8 SHALL HAVE NENNAH R-1550 CASTING WITH SOLID LID.
6. CS #2, #4, #5, AND #9 SHALL HAVE NENNAH R-2050 C1 CASTING AND BEEHIVE GRATE.
7. RL #1 - #4 AND #7 - #9 SHALL BE 7' X 7' PRECAST STRUCTURES WITH NENNAH R-2087 FRAME AND GRATE.
8. RL #5 AND #6 SHALL BE 7' X 7' PRECAST STRUCTURES WITH NENNAH R-1070-BTC FRAME AND GRATE.
9. CONTRACTOR TO COORDINATE SANITARY LATERAL AND WATER SERVICE ROUTING AND BUILDING CONNECTION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION.
10. ALL STORM LEADS CONNECTED TO BUILDING DOWNSPOUTS TO BE 4" ADS N-12 STORM SEWER SLOPED AT THE TIME WITH VESSELS TO THE MAIN PARALLELS TO THE BUILDING.
11. PER CITY ORDINANCES, CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VESSELS. CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 370-4700 FOR OPERATION OF THESE VESSELS.



SITE UTILITY PLAN
ELAN APARTMENTS
 R. H. B. ENGINEERING AND ARCHITECTURE, INC.

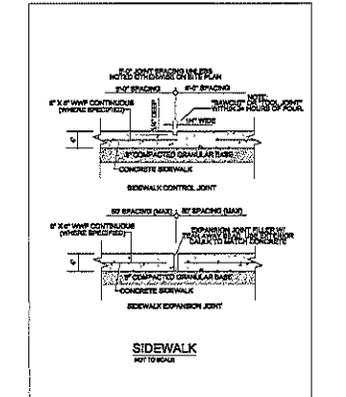
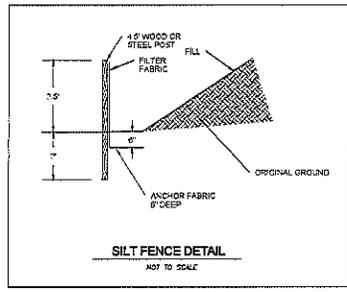
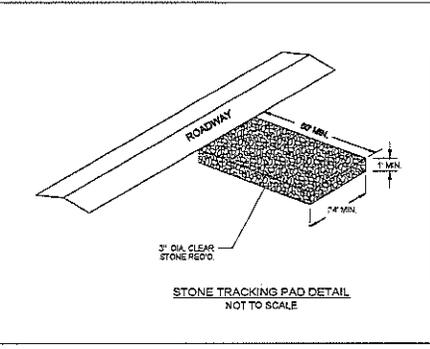
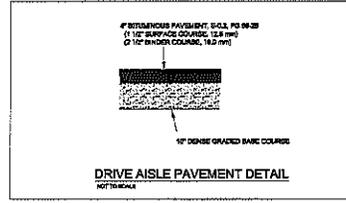
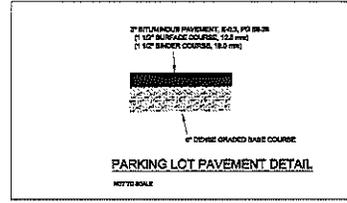
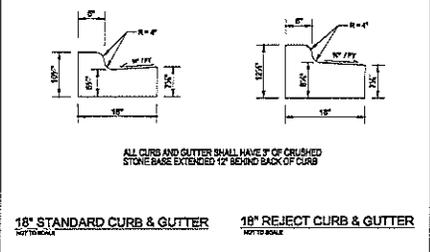
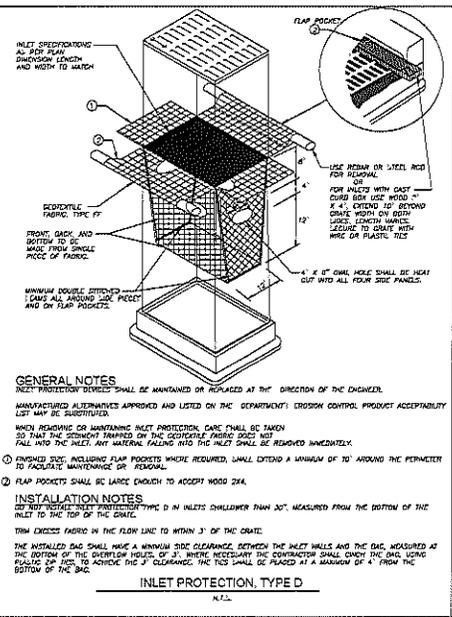
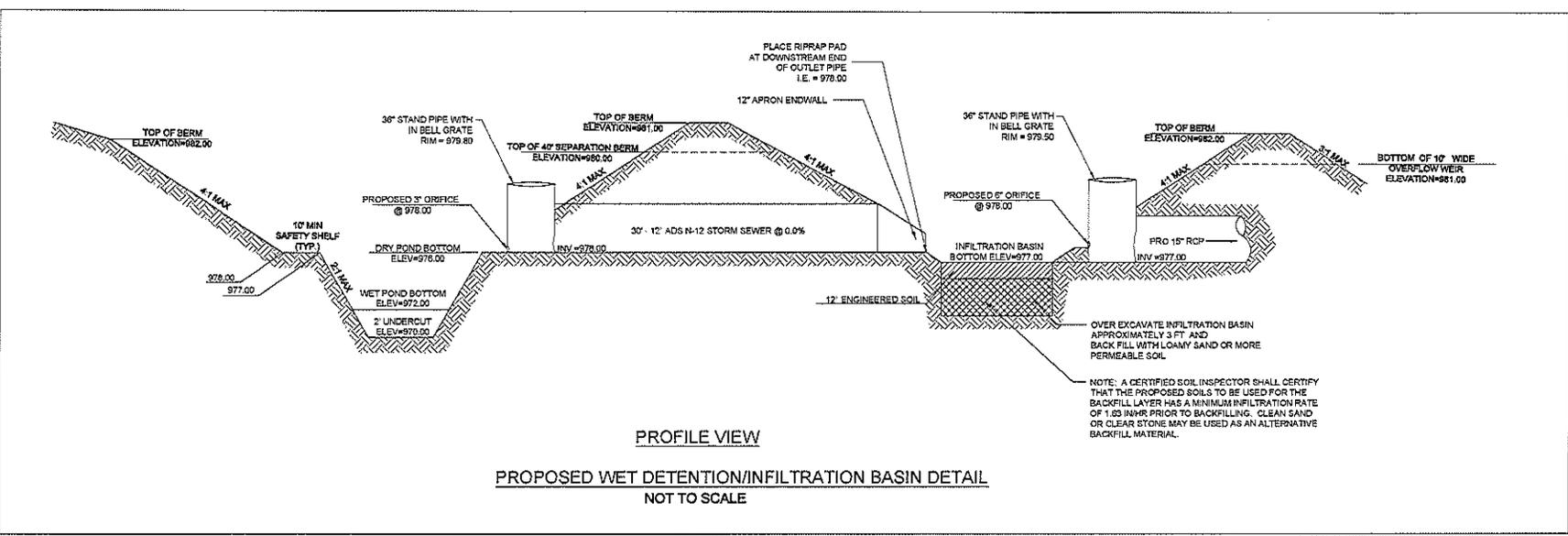


DATE: 04-01-15
 REVISION:
 DRAWN BY: JRM
 PLOT: 14-03-104
 Sheet Number:
C300

DESIGNED BY: **WATKINS & ASSOCIATES, INC.**
 2539 Woodland Way, Middleburg, VA 22117
 PHONE: (540) 884-1111 FAX: (540) 884-1112
 WWW.WATKINS-VA.COM

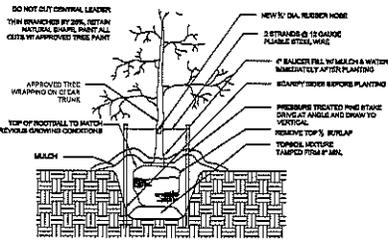
ELAN APARTMENTS

FACTORY PRODUCTION AND
 INTERLOCK, INSTALLED

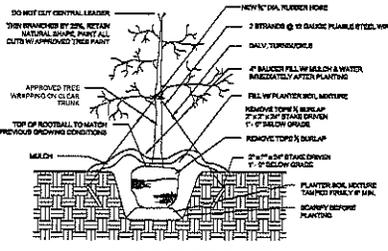


GENERAL NOTES
 INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
 MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
 WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE STRENGTH TRIMMER ON THE COVERABLE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 FINISHED SIDE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 FLAP POCKETS SHALL BE LARGED ENOUGH TO ACCEPT WOOD DIM.
INSTALLATION NOTES
 SET NEW REINFORCING PROTECTIVE TYPE D IN UNLESS CHALLENGER THAN 30\"/>

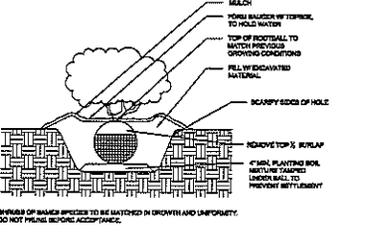
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 DRAWN BY: JSP
 DATE: 14-03-104
 Sheet Number:
 C400



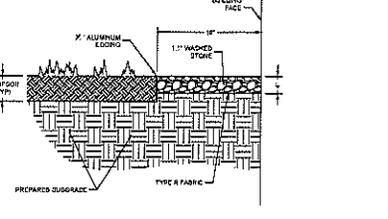
TREE PLANTING DETAIL
(TREES OVER 2" CALIPER)



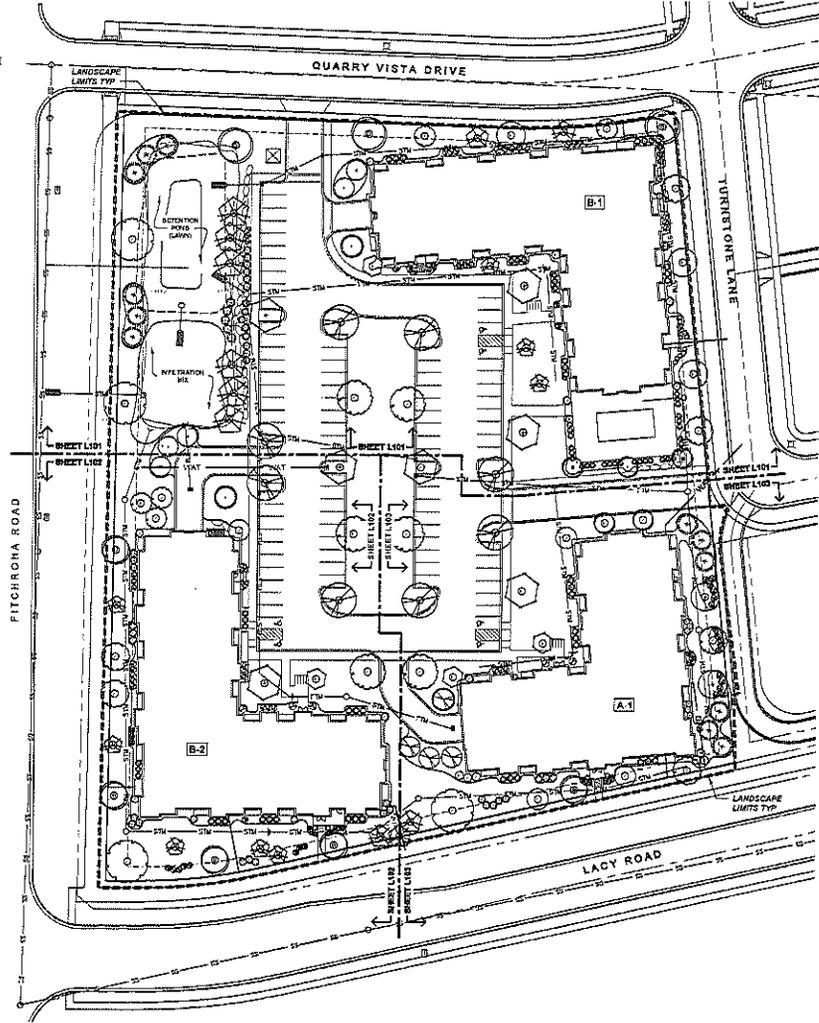
TREE PLANTING DETAIL
(TREES UNDER 2" CALIPER)



SHRUB PLANTING DETAIL



STONE MAINTENANCE EDGE

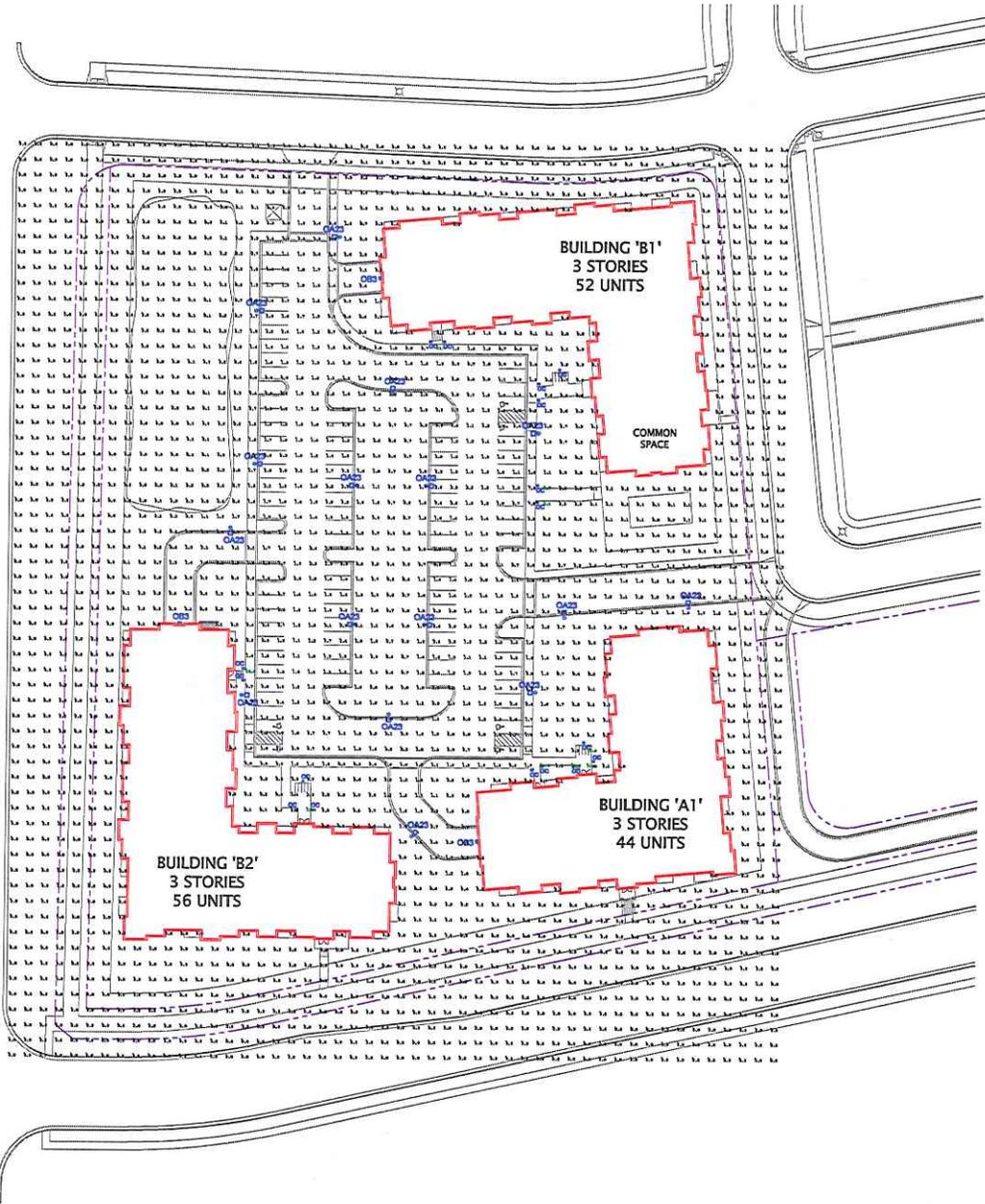


SITE LANDSCAPE PLAN - GENERAL NOTES

- CONTACT DESIGNER'S OFFICE 10 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
- ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
- LANDSCAPE EDGING SHALL BE ALUMINUM "CURVITRUE" EDGING.
- ALL "NEES" IN TURF AREAS SHALL HAVE A 3" DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH.
- ALL LANDSCAPE AREAS NOT WITHIN A PLANTING BED SHALL BE FINISH GRADED, AND SEEDED WITH TURFGRASS GUIDED PER THE PROJECT MANUAL SPECIFICATIONS UNLESS OTHERWISE NOTED.
- INFILTRATION MIX SHALL CONFORM TO PRAIRIE NURSERY "MOIST MEADOW AND RAIN GARDEN" MIX.
- ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 8" COMPACTED DEPTH OF TOPSOIL.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY ZONING ORDINANCE.
- SEE THE PROJECT MANUAL FOR SPECIFICATIONS AND REQUIREMENTS FOR PLANTING. STAKES OF TREES, WINDBARY PERIOD, MARK-ENHANCE, ETC.
- SEE DETAIL S FOR PLANTING INSTALLATION.

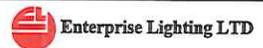
LANDSCAPE SCHEDULE

COMMON NAME	SCIENTIFIC NAME	HT.	SPR.	ROOT	NOTES
ACACIA	Acacia saligna	4'	2'	10'	10'
ADONIS	Adonis vernalis	1'	1'	1'	1'
AGAVE	Agave schottlandii	4'	2'	10'	10'
AGAVE	Agave americana	4'	2'	10'	10'
AGAVE	Agave parviflora	4'	2'	10'	10'
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AGAVE	Agave schottlandii	4'	2'	10'	10'
AGAVE	Agave americana	4'	2'	10'	10'
AGAVE	Agave parviflora	4'	2'	10'	10'
AGAVE	Agave attenuata	4'	2'	10'	10'
AGAVE	Agave schottlandii	4'	2'	10'	10'
AGAVE	Agave americana	4'	2'	10'	10'
AGAVE	Agave parviflora	4'	2'	10'	10'
AGAVE	Agave attenuata				



Qty	Label	Arrangement	Total Lamp Lumens	Lens Lumens	LFP	Description
16	OC2	SINGLE	1400	3072	0.75	LLMARC-PFF1182P16
3	OC3	SINGLE	N/A	2048	0.75	LLMARC-PFF08A
17	OC	SINGLE	N/A	1200	0.80	LLMARC-PFF01-L2720-400-80V-TD-DMGLV42-08

Calculation Summary							
Level	FootCandle	FootCandle	Units	Area	Area	Area	Area
ENTIRE SITE	10	10	76	0.25	15.2	0.2	N/A
PARKING LOT & DRIVES	10	10	1.44	0.5	0.4	3.00	13.75



QUARRY VISTA / ELAN
RESIDENTIAL DEVELOPMENT
FITCHBURG, WISCONSIN

SITE LIGHTING PLAN

DATE: APR. 15, 2015 SCALE: 1" = 30'-0" SHEET NUMBER: E1

Job Name
Quarry Vista - current site

Bid Date
Dec 10, 2014

Submission Date
Dec 10, 2014

Submitted by Enterprise Lighting, LTD.	Job Name: Quarry Vista - current site	Catalog Number: PFT11523P15	Type: OA23
 Enterprise Light	Notes:		

COOPER LIGHTING - LUMARK 

DESCRIPTION

The Lumark Tribute Pole/Fixture Combo features all you need for easy selection and installation for poles and fixtures. Including the quality, die-cast Tribute area luminaire and 8" arm complete with lamp, square straight steel pole and necessary anchorage. Available in single or dual fixture combinations.

The Tribute/Pole Combo is ideal for parking areas, access roadways and other general off street area/site lighting applications.

SPECIFICATION FEATURES

Construction

Rugged one-piece die-cast aluminum housing and door frame finished in dark bronze polyester powder paint. One-piece silicone gasket protects the optical chamber from performance degrading contaminants. One (1) stainless spring latch and two (2) stainless steel hinges allow toolless opening and removal of door frame. U.L. Listed and CSA certified for wet locations.

Reflector

Hydroformed anodized aluminum reflector offered in an adjustable Type III or a Type IV distribution. Optical modules are field rotatable in 30° increments and offered standard with medium or mogul-base lampholders.

Electrical

Ballast and related electrical componentry are hard mounted to die-cast housing for optimal heat transfer and operating efficiency.

Mounting

Extruded 8" aluminum arm features internal bolt guides for easy positioning of fixture during installation to pole.

Finish

Housing and arm finished in a 5 stage premium TGIC bronze polyester powder coat paint.

Pole

Shaft is one piece construction ASTM A500 grade "B" steel, shot blasted and finished in dark bronze polyester powder coat. Anchor base is fabricated from ASTM grade steel. ASTM A368 steel full base cover is provided to enclose base plate and anchor bolts. Anchor bolts are per ASTM A578 with (2) nuts, (2) flat washers, and (1) lock washer. Hardware and threaded portion of bolt are hot dip galvanized. 3" hook for 3/4" bolt. 4" hook for 1" bolt.

Catalog #	Type
Project	
Comments	Date
Prepared by	



PFT TRIBUTE AND POLE COMBO

150 - 400 W
High Pressure Sodium
Pulse Start Metal Halide

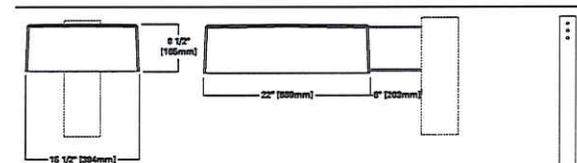
15' - 30'
Square Straight
Steel Pole

POLE AND FIXTURE COMBO

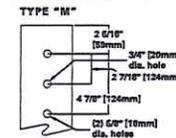


LAMP TYPE	WATTAGE
Pulse Start Metal Halide (PSM)	150, 300, 330, 400W
High Pressure Sodium (HPS)	150, 300, 400W

DIMENSIONS



DRILLING PATTERNS



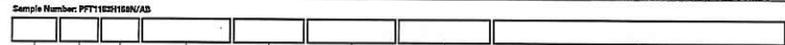
TECHNICAL DATA (Fixture)
U.L. Wet Location Listed
CSA Certified
EISA Compliant

ENERGY DATA
M-Reactance Ballast Input Watts
150W HPS HPF (150 Watts)
150W MP HPF (155 Watts)
CWA Ballast Input Watts
250W MP HPF (230 Watts)
250W HPS HPF (255 Watts)
320W MP HPF (305 Watts)
400W MP HPF (452 Watts)
400W HPS HPF (465 Watts)

EPA
Effective Projected Area: (Sq. Ft.)
Single: 1.62
Dual: 3.24

SHIPPING DATA
Approximate Net Weight:
39 lbs. (1773 gpt.)

ORDERING INFORMATION



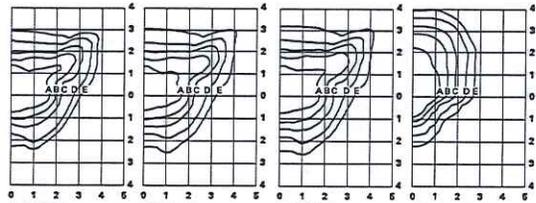
Series	Number of Fixtures	Lamp Wattage	Distribution	Lamp Type *	Pole Height	Zone	Options *
PFT-Tribute Pole Combo	1=1 2=2	15=150W 25=250W 32=320W 40=400W	23=Type III/II 24=Type IV	=Pulse Start Metal Halide High Pressure Sodium	15=15' 20=20' 25=25' 30=30'	=90 MPH Wind Zone =100 MPH Wind Zone	N/A=No Anchor Bolt (Used when ordered separately)

Notes: 1 8 inch arm and pole section included with fixture. Lamp included with all PFT configurations.
2 NAB models available by specifying NAB (E: PFT11523N15/AB).
3 Note: Supplied with Multi-Tab ballast 125209/60/77 (w/ind 27V) with square straight steel shaft, anchor bolts, template, base cover and hardware.

Lamp Series/Number of Fixtures	Pole Height	Wattage	Distribution	90 MPH *	100 MPH *	
HIGH PRESSURE SODIUM (HPS)						
Single Fixture						
	15' Pole	150W HPS	Type III/II	PFT11523H15 *	PFT11523H15 *	
		400W HPS	Type IV	PFT1154FH15 *	PFT1154FH15 *	
	20' Pole	250W HPS	Type III/II	PFT1254FH20 *	PFT1254FH20 *	
		400W HPS	Type IV	PFT1254FH20 *	PFT1254FH20 *	
	25' Pole	250W HPS	Type III/II	PFT1254FH25 *	PFT1254FH25 *	
		400W HPS	Type IV	PFT1254FH25 *	PFT1254FH25 *	
	30' Pole	250W HPS	Type III/II	PFT1252H30 *	PFT1252H30 *	
		400W HPS	Type IV	PFT1402H30 *	PFT1402H30 *	
	Dual Fixture					
		15' Pole	150W HPS	Type III/II	PFT21523H15 *	PFT21523H15 *
			400W HPS	Type IV	PFT2154FH15 *	PFT2154FH15 *
		20' Pole	250W HPS	Type III/II	PFT2254FH20 *	PFT2254FH20 *
400W HPS			Type IV	PFT2254FH20 *	PFT2254FH20 *	
25' Pole		250W HPS	Type III/II	PFT2254FH25 *	PFT2254FH25 *	
		400W HPS	Type IV	PFT2254FH25 *	PFT2254FH25 *	
30' Pole		250W HPS	Type III/II	PFT2252H30 *	PFT2252H30 *	
		400W HPS	Type IV	PFT2402H30 *	PFT2402H30 *	
PULSE START METAL HALIDE (PSMH)						
Single Fixture						
		15' Pole	150W PSMH	Type III/II	PFT11523P15 *	PFT11523P15 *
			400W PSMH	Type IV	PFT1154FP15 *	PFT1154FP15 *
	20' Pole	250W PSMH	Type III/II	PFT1254FP20 *	PFT1254FP20 *	
		400W PSMH	Type IV	PFT1254FP20 *	PFT1254FP20 *	
	25' Pole	250W PSMH	Type III/II	PFT1254FP25 *	PFT1254FP25 *	
		400W PSMH	Type IV	PFT1254FP25 *	PFT1254FP25 *	
	30' Pole	250W PSMH	Type III/II	PFT1252P25 *	PFT1252P25 *	
		400W PSMH	Type IV	PFT1402P25 *	PFT1402P25 *	
	30' Pole	250W PSMH	Type III/II	PFT1252P30 *	PFT1252P30 *	
		400W PSMH	Type IV	PFT1402P30 *	PFT1402P30 *	
	Dual Fixture					
		15' Pole	150W PSMH	Type III/II	PFT21523P15 *	PFT21523P15 *
400W PSMH			Type IV	PFT2154FP15 *	PFT2154FP15 *	
20' Pole		250W PSMH	Type III/II	PFT2254FP20 *	PFT2254FP20 *	
		400W PSMH	Type IV	PFT2254FP20 *	PFT2254FP20 *	
25' Pole		250W PSMH	Type III/II	PFT2254FP25 *	PFT2254FP25 *	
		400W PSMH	Type IV	PFT2254FP25 *	PFT2254FP25 *	
30' Pole		250W PSMH	Type III/II	PFT2252P25 *	PFT2252P25 *	
		400W PSMH	Type IV	PFT2402P25 *	PFT2402P25 *	
30' Pole		250W PSMH	Type III/II	PFT2252P30 *	PFT2252P30 *	
		400W PSMH	Type IV	PFT2402P30 *	PFT2402P30 *	

Refer to the Stock Guide for availability.
 * 0 or 9 are not used where needed to designate a heavier gauge pole.
 † Supplied with AA Square Straight Steel shaft (SS2), anchor bolts (AB1), template (TMP) Hardware and base cover. 15' models SS2AA15P15A, 20' models SS2AA20P15A and 25' models SS2AA25P15A.
 ‡ Supplied with GA Square Straight Steel shaft (SS3), anchor bolts (AB1), template (TMP) Hardware and base cover. 20' models SS2GA20P15A and 25' models SS2GA25P15A.
 § Supplied with SM Square Straight Steel shaft (SS3), anchor bolts (AB1), template (TMP) Hardware and base cover. 20' models SS2SM20P15A and 25' models SS2SM25P15A.
 ¶ Supplied with 88 Square Straight Steel shaft (SS3), anchor bolts (AB1), template (TMP) Hardware and base cover. 20' models SS28820P15A and 25' models SS28825P15A.
 †† Supplied with 88 Square Straight Steel shaft (SS3), anchor bolts (AB1), template (TMP) Hardware and base cover. 20' models SS28820P15A and 25' models SS28825P15A.
 ††† Supplied with 88 Square Straight Steel shaft (SS3), anchor bolts (AB1), template (TMP) Hardware and base cover. 20' models SS28820P15A and 25' models SS28825P15A.
 †††† Supplied with 88 Square Straight Steel shaft (SS3), anchor bolts (AB1), template (TMP) Hardware and base cover. 20' models SS28820P15A and 25' models SS28825P15A.
 ††††† Supplied with 88 Square Straight Steel shaft (SS3), anchor bolts (AB1), template (TMP) Hardware and base cover. 20' models SS28820P15A and 25' models SS28825P15A.

PHOTOMETRICS (Complete IES files available at www.cooperlighting.com)



Footcandle Table
 Select mounting height and read across for footcandle values of each beam spread line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Beam Spread				
	A	B	C	D	E
20'	2.00	1.50	0.75	0.30	0.15
25'	2.00	1.50	0.50	0.20	0.10
30'	1.33	1.00	0.34	0.13	0.06

PFT1252P25 250-Watt MP 22,000-Lumen Clear Lamp Type III Formed
 PFT1252P25 320-Watt MP 30,000-Lumen Clear Lamp Type III Formed
 PFT14022H30 400-Watt MP 40,000-Lumen Clear Lamp Type III Formed
 PFT14022H30 400-Watt HP 50,000-Lumen Clear Lamp Type IV

Submitted by Enterprise Lighting, LTD.	Catalog Number: XTOR3A	Type: OB3
 Job Name: Quarry Vista - current site	Notes:	

DESCRIPTION

The patent pending Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks.

SPECIFICATION FEATURES

Construction
Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and large design. The small housing is available in 10W and 20W. The large housing is available in the 30W model. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three (3) half-inch, NPT threaded conduit entry points. The universal back box supports both the small and large forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Optical
Silicone anodized optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Solid state LED Crosstour luminaires are thermally optimized with five (5) lumen packages in cool 5000K or neutral warm 3500K LED color temperature (CCT).

Electrical
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 10W models operate in -40°C to 40°C (-40°F to 104°F). 20W and 30W models operate in -30°C to 40°C (-22°F to 104°F). High ambient 50°C models available. Crosstour luminaires maintain greater than 70% of initial

Catalog #	Type
Project	Date
Comments	
Prepared by	

light output after 72,000 hours of operation. Three (3) half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

Finish
Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

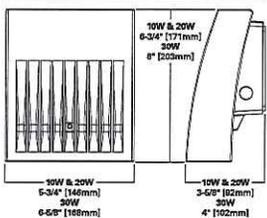
Warranty
Five-year limited warranty.



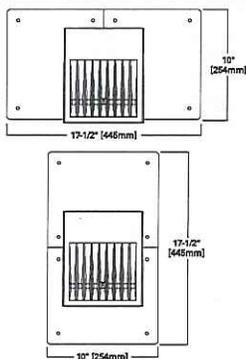
XTOR CROSSTOUR LED

APPLICATIONS:
WALL / SURFACE
POST / BOLLARD
LOW LEVEL
FLOODLIGHT
INVERTED
SITE LIGHTING

DIMENSIONS



ESCUTCHEON PLATES



CERTIFICATION DATA
UL/cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
ARRA Compliant
ADA Compliant
NOM Compliant Models
IP68 Ingressed Protection Rated
Lighting Facts® Registered
DesignLights Consortium® Qualified*
Title 24 Compliant

TECHNICAL DATA
40°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum

EPA
Effective Projected Area:
(Sq. Ft.)
XTOR1A/XTOR2A=0.34
XTOR3A=0.45

SHIPPING DATA:
Approximate Net Weight:
3.7 - 5.25 lbs. [1.7 - 2.4 kgs.]

Cooper Lighting
by **ETC-®**

*www.designlights.org
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Submitted by Enterprise Lighting, LTD.	Catalog Number: XTOR3A	Type: OB3
 Job Name: Quarry Vista - current site	Notes:	

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
25°C	> 91%	> 350,000
40°C	> 91%	> 340,000
50°C	> 91%	> 330,000
10W Model		
25°C	> 91%	> 340,000
40°C	> 90%	> 320,000
50°C	> 90%	> 300,000
20W Model		
25°C	> 91%	> 340,000
40°C	> 91%	> 320,000
50°C	> 91%	> 300,000
30W Model		
25°C	> 91%	> 340,000
40°C	> 91%	> 320,000
50°C	> 90%	> 300,000

LUMENS - CRI/CCT TABLE

LED Information	XTOR1A	XTOR2A	XTOR2A-N	XTOR3A	XTOR3A-N
Delivered Lumens (Wall Mount)	734	1432	1323	2640	2273
Delivered Lumens (With Flood Accessory Kit)	713	1424	1315	2614	2243
B.U.G. Rating*	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0
CCT (Kelvin)	5000	5000	3500	5000	3500
CR1 (Color Rendering Index)	67	65	68	65	68
Power Consumption (Watts)	8W	21W	21W	30W	30W

* B.U.G. Rating does not apply to floodlighting.

CURRENT DRAW

Voltage	Model Series		
	10W	20W	30W
120V	0.05A	0.21A	0.29A
208V	0.04A	0.13A	0.18A
240V	0.04A	0.12A	0.16A
277V	0.03A	0.10A	0.14A
347V	0.03A	0.08A	0.11A

ORDERING INFORMATION

Sample Number: XTOR2A-N-WT-PC1	LED Kelvin Color*	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR1A=Small Door, 10W XTOR2A=Small Door, 20W XTOR3A=Small Door, 30W	[Blank]=Bright White (Standard) 5000K N=Neutral Warm White, 3500K	[Blank]=Carbon Bronze (Standard) WT=Summit White	347V=347V* PC1=Photocontrol 120V* PC2=Photocontrol 208-277V** HA=50 C High Ambient*	WG=XTOR-Wire Guard* XTORFLD-KNCK=Knuckle Floodlight Kit* XTORFLD-TRN=Trunion Floodlight Kit* XTORFLD-KNCK-WT=Knuckle Floodlight Kit, White* XTORFLD-TRN-WT=Trunion Floodlight Kit, White*

NOTES: 1 DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2 XTOR1A not available in 3500K. 3 Photocontrols are factory installed. 4 Order PC1 for 347V models. 5 Thru-branch wiring not available with HA option or with 347V. 6 Wire guard for wall/surface mount. Not for use with floodlight kit accessory. 7 Floodlight kit accessory supplied with knuckle (KNCK) or trunion (TRN) base, small and large top views and small and large impact shields.

STOCK ORDERING INFORMATION

10W Series	20W Series	30W Series
XTOR1A=10W, 5000K, Carbon Bronze	XTOR2A=20W, 5000K, Carbon Bronze	XTOR3A=30W, 5000K, Carbon Bronze
XTOR1A-WT=10W, 5000K, Summit White	XTOR2A-N=20W, 3500K, Carbon Bronze	XTOR3A-N=30W, 3500K, Carbon Bronze
XTOR1A-PC1=10W, 5000K, 120V PC, Carbon Bronze	XTOR2A-WT=20W, Summit White	XTOR3A-WT=30W, Summit White
	XTOR2A-PC1=20W, 120V PC, Carbon Bronze	XTOR3A-PC1=30W, 120V PC, Carbon Bronze



5-DAY QUICK SHIP ORDERING INFORMATION

10W Series	20W Series	30W Series
XTOR1A-WT-PC1=10W, 5000K, Summit White, 120V PC	XTOR2A-PC2=20W, 5000K, 208-277V PC, Carbon Bronze	XTOR3A-PC2=30W, 5000K, 208-277V PC, Carbon Bronze
	XTOR2A-WT-PC1=20W, 5000K, Summit White, 120V PC	XTOR3A-WT-PC1=30W, 5000K, Summit White, 120V PC
	XTOR2A-WT-PC2=20W, 5000K, Summit White, 208-277V PC	XTOR3A-WT-PC2=30W, 5000K, Summit White, 208-277V PC
	XTOR2A-N-WT=20W, 3500K, Summit White	XTOR3A-N-WT=30W, 3500K, Summit White
	XTOR2A-N-PC1=20W, 3500K, 120V PC, Carbon Bronze	XTOR3A-N-PC1=30W, 3500K, 120V PC, Carbon Bronze
	XTOR2A-N-PC2=20W, 3500K, 208-277V PC, Carbon Bronze	XTOR3A-N-PC2=30W, 3500K, 208-277V PC, Carbon Bronze
	XTOR2A-N-WT-PC1=20W, 3500K, Summit White, 120V PC	XTOR3A-N-WT-PC1=30W, 3500K, Summit White, 120V PC
	XTOR2A-N-WT-PC2=20W, 3500K, Summit White, 208-277V PC	XTOR3A-N-WT-PC2=30W, 3500K, Summit White, 208-277V PC

Cooper Lighting
by **ETC-®**

Essex
1000 Essex Boulevard
Cleveland, OH 44122
P: 773-435-4500
www.cooperlighting.com

Essex's Cooper Lighting Dealers
1251 Highway 26 South
Foothill City, CA 92303
P: 773-435-4500
www.cooperlighting.com

Specifications and dimensions subject to change without notice.

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	Submitted by Enterprise Lighting, LTD. Job Name: Quarry Vista - current site	Catalog Number: 303-B1-LEDB2-4000-UNV-T2-DIMELV-BZ-36 Notes:	Type: OC

lumière

DESCRIPTION

Eon 303 - B1 and 303 - B2 are compact, low profile, dimmable, LED bollards that provide downlight only via a fixed head. 303 - B1 has a single head on one side of the luminaire and 303 - B2 has two. Integrated heads coming off opposite sides of the luminaire. 303 - B1 and 303 - B2 come standard with universal input LED drivers (120 - 277V, 50/60 Hz). Dimming is achieved with a standard ELV, reverse phase dimming driver. Eon fixtures may be used indoors or outdoors and carry an IP66 rating. Our patented LumiLevel™ leveling system provides quick installation, easy adjustment, secure mounting and protection from vibration.

SPECIFICATION FEATURES

A ... Material

Head is precision-machined from corrosion-resistant 6061-T6 aluminum. Body is extruded aluminum and mounting base is cast from corrosion resistant silicone aluminum alloy.

B ... Finish

Fixture and mounting base are double protected by a RoHS compliant chemical film undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. Mounting base is painted black. Fixture housing and head are available in a variety of standard colors. In addition to the standard five colors offered by Lumière, the Eon bollards are also available in colors to match other outdoor Cooper brands, such as Invue. See the Finish section in the ordering detail for more information.

C ... Lens

Clear, tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock. EDGE LT option: when specified with the EDGE option, the glass will be slightly thicker, clear, tempered and sealed in the same manner referenced above. The added glass thickness will offer a brighter line of light around the edge of the glass that will accentuate the fixture's aesthetics and styling.

D ... Adjustable Mounting Base

Cast aluminum mounting base is equipped with the patented LumiLevel™ leveling system that includes mounting glass, 70 shore neoprene base, stainless steel hardware and 3/4" conduit entry. It provides quick installation, easy adjustment, secure mounting and protection from vibration.

E ... Hardware

Stainless steel hardware is standard to provide maximum corrosion-resistance.

F ... Electrical

Both models come standard with universal input LED drivers (120-277, 50/60Hz). The standard driver is ELV reverse phase dimmable.

G ... LED

LEDs are included and available in three color temperatures (2700K, 3000K & 4000K) and a variety of optics. Both color temperature and distribution must be specified when ordering - see reverse side for details and catalog logic. 303 - B1 comes standard with two mini lightbars and 303 - B2 comes standard with four mini lightbars.

H ... Labels & Approvals

UL and cUL listed, standard wet label, IP66 rated.

I ... Warranty

Lumière warrants its fixtures against defects in materials & workmanship for five (5) years. Auxiliary equipment such as transformers, ballasts and LED drivers carry the original manufacturer's warranty.

Catalog #	Type
Project	
Comments	Date
Prepared by	



EON

303-B1 / 303-B2

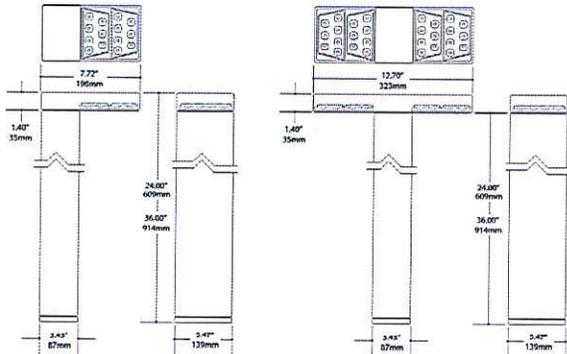
15.5 W LED
31 W LED

LED
BOLLARD

IP66

303-B1

303-B2



COOPER Lighting
www.cooperlighting.com

Specification and Dimensions subject to change without notice.
Contact your representative for additional options and finishes.

	Submitted by Enterprise Lighting, LTD. Job Name: Quarry Vista - current site	Catalog Number: 303-B1-LEDB2-4000-UNV-T2-DIMELV-BZ-36 Notes:	Type: OC

LED INFORMATION

LED	Watts	Distribution	Total Lumens	CRI	%	Life (hrs.)	Volts
LEDB2 - 2700 - T2	15.5	Type II - Lateral Throw	725	95	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 2700 - T4	15.5	Type IV - Forward Throw	709	85	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 2700 - TSX	15.5	Type V - Flood	626	65	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 3000 - T2	15.5	Type II - Lateral Throw	95	3000	50000	Universal Input (120 - 277V, 50/60Hz)	
LEDB2 - 3000 - T4	15.5	Type IV - Forward Throw	85	3000	50000	Universal Input (120 - 277V, 50/60Hz)	
LEDB2 - 3000 - TSX	15.5	Type V - Flood	65	3000	50000	Universal Input (120 - 277V, 50/60Hz)	
LEDB2 - 4000 - T2	15.5	Type II - Lateral Throw	1209	95	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 4000 - T4	15.5	Type IV - Forward Throw	1181	85	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 4000 - TSX	15.5	Type V - Flood	1044	65	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 2700 - T2	31	Type II - Lateral Throw	1436	95	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 2700 - T4	31	Type IV - Forward Throw	1410	85	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 2700 - TSX	31	Type V - Flood	1247	65	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 3000 - T2	31	Type II - Lateral Throw	95	3000	50000	Universal Input (120 - 277V, 50/60Hz)	
LEDB4 - 3000 - T4	31	Type IV - Forward Throw	85	3000	50000	Universal Input (120 - 277V, 50/60Hz)	
LEDB4 - 3000 - TSX	31	Type V - Flood	65	3000	50000	Universal Input (120 - 277V, 50/60Hz)	
LEDB4 - 4000 - T2	31	Type II - Lateral Throw	2393	95	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 4000 - T4	31	Type IV - Forward Throw	2350	85	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 4000 - TSX	31	Type V - Flood	2078	65	4000	50000	Universal Input (120 - 277V, 50/60Hz)

NOTES AND FORMULAS

- Apply appropriate light loss factors where necessary.
- Photometry is LM-79 compliant.

ORDERING INFORMATION

Sample Number: 303 - B1 - LEDB1 - 3000 - UNV - T2 - BZ

Series	Color Temperature	Optics	Finish	Height	Options
303-B1 = LED single head bollard	2700 = 2700K 3000 = 3000K 4000 = 4000K	T2 = Type II, Lateral Throw T4 = Type IV, Forward Throw TSX = Type V, Extra Wide Flood Consult factory for other optics	Painted BK = Black	24 = 24" Height 36 = 36" Height	EDGE = Edgelit Clear Tempered Glass Lane
303-B2 = LED dual head bollard	Input Voltage	Dimming	Color	WT	AP
	UNV = Universal 120 - 277V, 50/60Hz	DIMELV = Trailing Edge Phase Dimming Driver	CR = Chrome VZ = Verde	WT = White	AP = Gray (Invue)
Quantity of Mini Lightbars			DP = Dark Platinum (Invue)		GM = Graphite Metallic (Invue)
LEDB2 = Light Emitting Diode, Rev B, Two Mini Lightbar (B1 only)					
LEDB4 = Light Emitting Diode, Rev B, Four Mini Lightbars (B2 only)					

COOPER Lighting
www.cooperlighting.com

Specification and Dimensions subject to change without notice.
Contact your representative for additional options and finishes.

MASTERPLAN DATA											
BLDG	UNITS							PARKING			
	ST	1BR	1BR+	2BR	2BR+	TOTAL	BR'S	COVERED	SURFACE	TOTAL	RATIO
A1	3	15	9	14	3	44	58	44	26	70	1.59/UNIT
B1	3	17	13	16	3	52	68	52	32	84	1.62/UNIT
B2	4	19	15	15	3	56	70	53	31	84	1.50/UNIT
T.	10	51	37	45	9	152	196	149	89	238	1.57/UNIT
	6%	34%	24%	30%	6%						1.21/BR

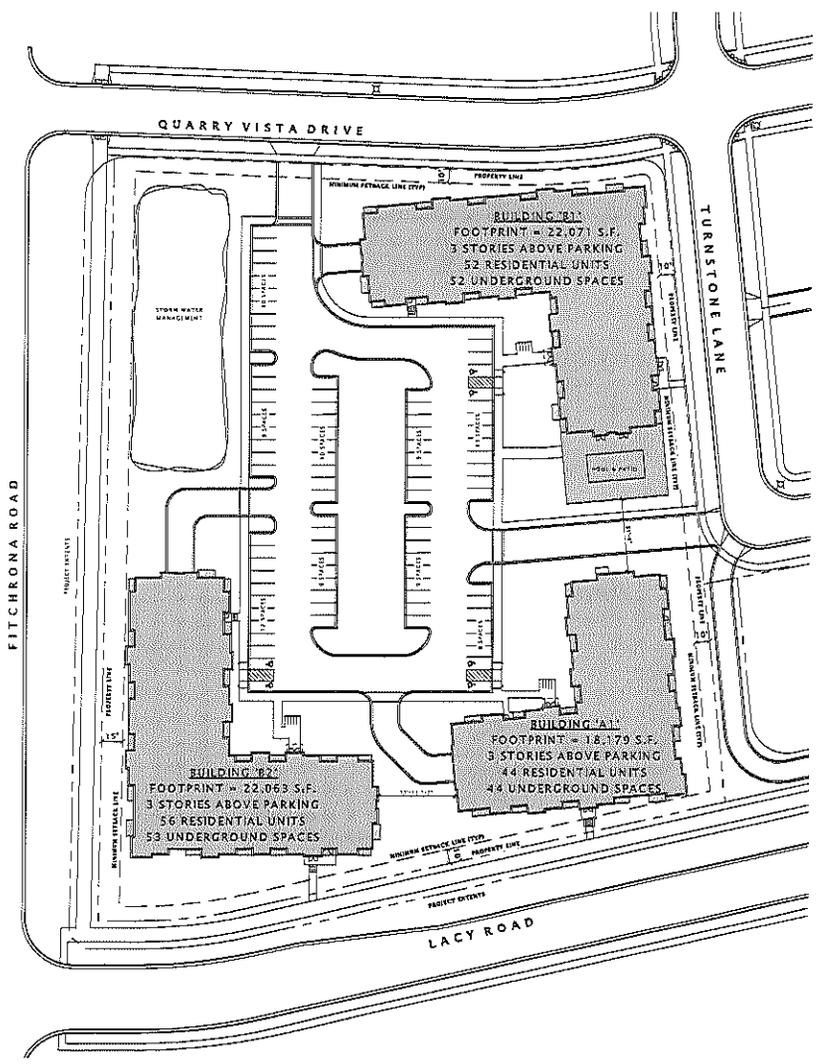
PARKING NOTES:
 COVERED VEHICULAR & BICYCLE PARKING COUNTS ARE MINIMUM. SURFACE PARKING COUNTS ARE MAXIMUM. COVERED BICYCLE PARKING SHALL BE PROVIDED IN THE LOWER LEVEL BY INDIVIDUAL STORAGE LOCKERS OR WALL/CEILING HOOKS ABOVE AUTOMOBILE SPACES.

LANDSCAPING NOTES:
 ALL LANDSCAPING ELEMENTS SHOWN ON THIS MASTERPLAN ARE CONCEPTUAL ONLY. SEE LANDSCAPE PLANS FOR INFORMATION AND DETAILS REGARDING THE ACTUAL LANDSCAPING FOR THIS PROJECT.

EXTERIOR SITE LIGHTING:
 ALL EXTERIOR LIGHTING SHALL BE ESTABLISHED, DIRECTED, AND MAINTAINED SO AS NOT TO BE CAST DIRECTLY ON PUBLIC RIGHTS-OF-WAY OR NEIGHBORING PROPERTIES-- OR BE LIGHTED IN INTENSITY OR COLORS SERIOUSLY DISTURBING TO NEIGHBORING PROPERTIES (PER CITY OF FITCHBURG ZONING CODE SECTION 22-607 (B)10.)

SEE THE FOLLOWING SHEETS FOR ADDITIONAL SITE INFORMATION:
 SHEET ASP101-A1 BUILDING 'A1'
 SHEET ASP101-B1 BUILDING 'B1'
 SHEET ASP101-B2 BUILDING 'B2'

ZONING REQUIREMENT	DESIGN VALUE	CALCULATIONS
SITE DENSITY	31.40 Units/Acre	152 Units / 4.84 AC = 31.40
BUILDING COVERAGE	29.6% of Parcel	62,321 S.F. / 210,871 S.F. = 29.6%
FLOOR AREA RATIO	83.4% of Parcel	175,887 S.F. / 210,871 S.F. = 83.4%
IMPERVIOUS SURFACE	57.1% of Parcel	120,350 S.F. / 210,871 S.F. = 57.1%
LANDSCAPE AREA	42.9% of Parcel	90,521 S.F. / 210,871 S.F. = 42.9%





ELAN RESIDENTIAL DEVELOPMENT
Fitchrona & Lacy Rd. Fitchburg, Wisconsin



SPECIFIC IMPLEMENTATION PLAN

BUILDING: A1

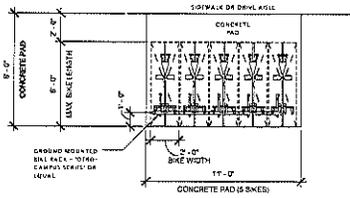
PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

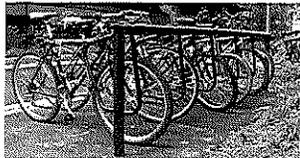


JLA PROJECT NUMBER: 14-0515

APRIL 21, 2015

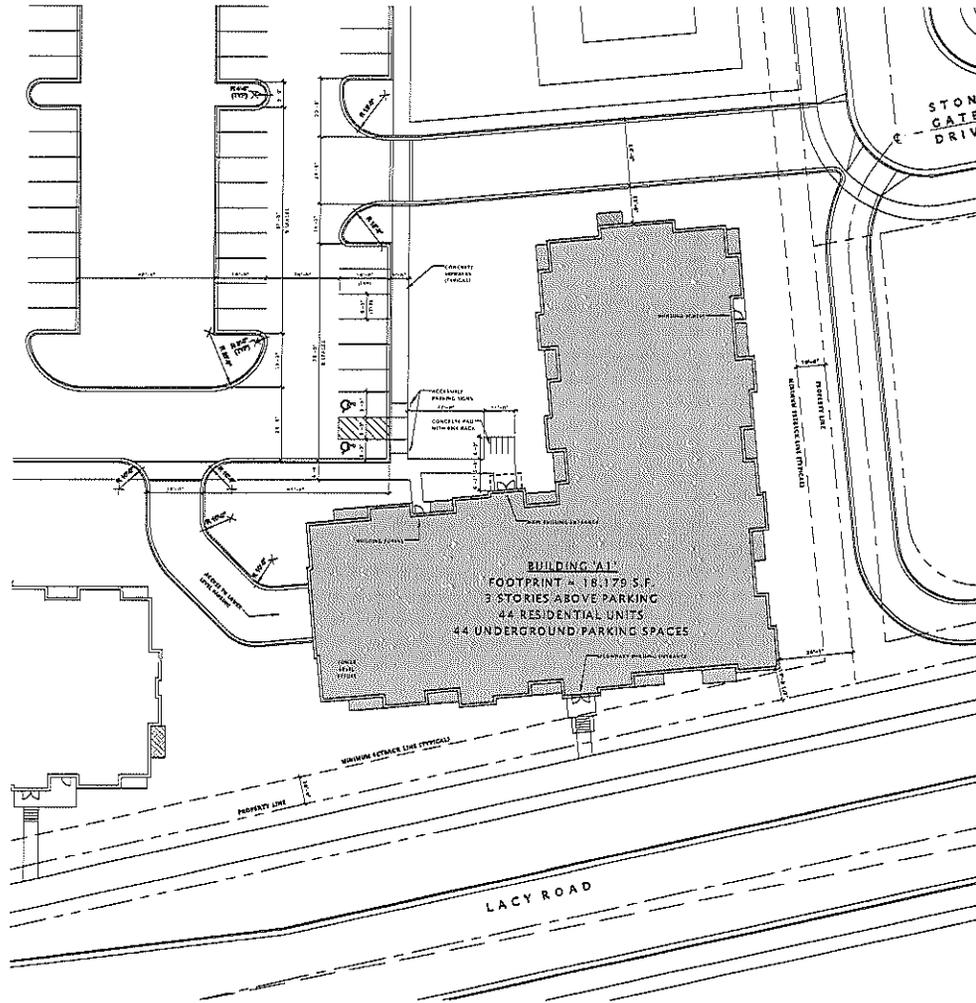


EXTERIOR BIKE PARKING
1/4" = 1'-0"



FRAME OF THE STYLE OF BIKE RACK TO BE LOCATED AT THE EXTERIOR OF EACH BUILDING (SEE SITE PLANS FOR LOCATIONS)

EXTERIOR BIKE RACK STYLE
1/8" = 1'-0"



ARCHITECTURAL SITE PLAN - 'A1' BLDG
1" = 20'-0"

JLA

JOHN J. LEE ASSOCIATES
ARCHITECTS
10000 W. CENTURY BLVD., SUITE 200
LOS ANGELES, CA 90047
TEL: 310.440.1100 FAX: 310.440.1101
WWW.JLA-ARCHITECTS.COM

Fiduciary
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
apartments

ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS

These documents (plans, progress, and notes) are for informational purposes only and do not constitute a contract. They are not to be used for construction or other purposes without the written consent of the architect.

DATE OF ISSUANCE APRIL 21, 2015

REVISION SCHEDULE

NO.	DESCRIPTION	DATE

SHEET TITLE

ARCHITECTURAL SITE PLAN - BUILDING 'A1'

SHEET NUMBER

ASP101-A1

WINDOW SCHEDULE										
NO.	SYMBOL	HEIGHT	DESCRIPTION	MANUFACTURER	MODEL	FINISH	OPERATION	GLASS ANALYSIS	GLASS TYPE	TYPE COMMENTS
								U-FAC	SHGC	
1	W-1	4'-0"	Single Hung Window, 1/2" IGU	Windsor	W-100	White	Fixed	0.25	0.42	1/2" IGU, Low E, Argon
2	W-2	4'-0"	Single Hung Window, 1/2" IGU	Windsor	W-100	White	Fixed	0.25	0.42	1/2" IGU, Low E, Argon
3	W-3	4'-0"	Single Hung Window, 1/2" IGU	Windsor	W-100	White	Fixed	0.25	0.42	1/2" IGU, Low E, Argon
4	W-4	4'-0"	Single Hung Window, 1/2" IGU	Windsor	W-100	White	Fixed	0.25	0.42	1/2" IGU, Low E, Argon
5	W-5	4'-0"	Single Hung Window, 1/2" IGU	Windsor	W-100	White	Fixed	0.25	0.42	1/2" IGU, Low E, Argon
6	W-6	4'-0"	Single Hung Window, 1/2" IGU	Windsor	W-100	White	Fixed	0.25	0.42	1/2" IGU, Low E, Argon
7	W-7	4'-0"	Single Hung Window, 1/2" IGU	Windsor	W-100	White	Fixed	0.25	0.42	1/2" IGU, Low E, Argon
8	W-8	4'-0"	Single Hung Window, 1/2" IGU	Windsor	W-100	White	Fixed	0.25	0.42	1/2" IGU, Low E, Argon
9	W-9	4'-0"	Single Hung Window, 1/2" IGU	Windsor	W-100	White	Fixed	0.25	0.42	1/2" IGU, Low E, Argon
10	W-10	4'-0"	Single Hung Window, 1/2" IGU	Windsor	W-100	White	Fixed	0.25	0.42	1/2" IGU, Low E, Argon

LOUVER SCHEDULE						
NO.	SYMBOL	HEIGHT	DESCRIPTION	MANUFACTURER	MODEL	TYPE COMMENTS
1	L-1	4'-0"	Aluminum Louver			
2	L-2	4'-0"	Aluminum Louver			
3	L-3	4'-0"	Aluminum Louver			

BUILDING 'A1' - FIRST FLOOR UNIT SCHEDULE		
UNIT NO.	PLAN TYPE	AREA
110	PLAN C2	850.13
111	PLAN C2M	850.13
112	PLAN C1	721.13
113	PLAN B1M	1121.13
114	PLAN D1M	1348.13
115	PLAN C1	1001.13
116	PLAN B1M	1252.13
117	PLAN C1	1348.13
118	PLAN B1M	1252.13
119	PLAN C1	1348.13
120	PLAN B1A	1226.13
121	PLAN B1M	1252.13
122	PLAN B1M	1252.13
123	PLAN B1M	1252.13
124	PLAN B1M	1252.13
125	PLAN B1M	1252.13
126	PLAN B1M	1252.13
127	PLAN B1M	1252.13

ENLARGED UNIT SHEET LISTING	
SHEET	TASK TITLE
A101	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6, A1.7, A1.8, A1.9, A1.10, A1.11, A1.12, A1.13, A1.14, A1.15, A1.16, A1.17, A1.18, A1.19, A1.20, A1.21, A1.22, A1.23, A1.24, A1.25, A1.26, A1.27, A1.28, A1.29, A1.30, A1.31, A1.32, A1.33, A1.34, A1.35, A1.36, A1.37, A1.38, A1.39, A1.40, A1.41, A1.42, A1.43, A1.44, A1.45, A1.46, A1.47, A1.48, A1.49, A1.50, A1.51, A1.52, A1.53, A1.54, A1.55, A1.56, A1.57, A1.58, A1.59, A1.60, A1.61, A1.62, A1.63, A1.64, A1.65, A1.66, A1.67, A1.68, A1.69, A1.70, A1.71, A1.72, A1.73, A1.74, A1.75, A1.76, A1.77, A1.78, A1.79, A1.80, A1.81, A1.82, A1.83, A1.84, A1.85, A1.86, A1.87, A1.88, A1.89, A1.90, A1.91, A1.92, A1.93, A1.94, A1.95, A1.96, A1.97, A1.98, A1.99, A1.100, A1.101, A1.102, A1.103, A1.104, A1.105, A1.106, A1.107, A1.108, A1.109, A1.110, A1.111, A1.112, A1.113, A1.114, A1.115, A1.116, A1.117, A1.118, A1.119, A1.120, A1.121, A1.122, A1.123, A1.124, A1.125, A1.126, A1.127, A1.128, A1.129, A1.130, A1.131, A1.132, A1.133, A1.134, A1.135, A1.136, A1.137, 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WINDOW SCHEDULE										
NO.	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS		U-10	U-15
							U FACTOR	SHGC	AREA	AREA
1	3'-0"	4'-0"	Double Hung Window	UPONOR	UPONOR 100	White	0.25	0.45	12.00	12.00
2	3'-0"	4'-0"	Double Hung Window	UPONOR	UPONOR 100	White	0.25	0.45	12.00	12.00
3	3'-0"	4'-0"	Double Hung Window	UPONOR	UPONOR 100	White	0.25	0.45	12.00	12.00
4	3'-0"	4'-0"	Double Hung Window	UPONOR	UPONOR 100	White	0.25	0.45	12.00	12.00
5	3'-0"	4'-0"	Double Hung Window	UPONOR	UPONOR 100	White	0.25	0.45	12.00	12.00
6	3'-0"	4'-0"	Double Hung Window	UPONOR	UPONOR 100	White	0.25	0.45	12.00	12.00
7	3'-0"	4'-0"	Double Hung Window	UPONOR	UPONOR 100	White	0.25	0.45	12.00	12.00
8	3'-0"	4'-0"	Double Hung Window	UPONOR	UPONOR 100	White	0.25	0.45	12.00	12.00
9	3'-0"	4'-0"	Double Hung Window	UPONOR	UPONOR 100	White	0.25	0.45	12.00	12.00
10	3'-0"	4'-0"	Double Hung Window	UPONOR	UPONOR 100	White	0.25	0.45	12.00	12.00

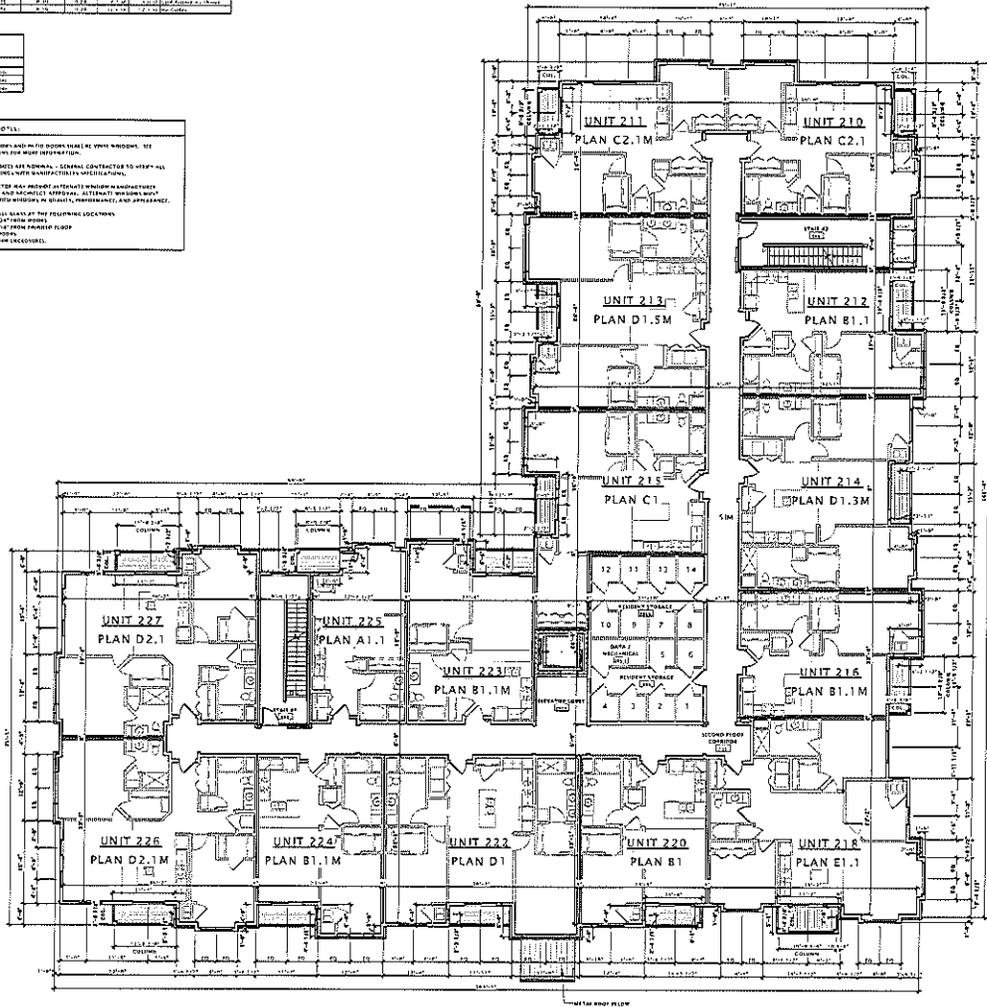
LOUVER SCHEDULE									
NO.	Width	Height	Description	Manufacturer	Model	Louver Color	Type	Frame Color	Type
1	3'-0"	4'-0"	Aluminum Louver	UPONOR	UPONOR 100	White	Fixed	White	Aluminum
2	3'-0"	4'-0"	Aluminum Louver	UPONOR	UPONOR 100	White	Fixed	White	Aluminum
3	3'-0"	4'-0"	Aluminum Louver	UPONOR	UPONOR 100	White	Fixed	White	Aluminum

BUILDING 'A1' - SECOND FLOOR UNIT SCHEDULE			
UNIT NO.	PLAN	TYPE	AREA
210	PLAN C2.1	A1.1M	814.15
211	PLAN C2.1M	A1.1M	814.15
212	PLAN B1.1	B1.1M	732.30
213	PLAN D1.1M	D1.1M	1138.30
214	PLAN D1.1M	D1.1M	1138.30
215	PLAN B1.1	B1.1M	732.30
216	PLAN D1.1M	D1.1M	1138.30
217	PLAN B1.1	B1.1M	732.30
218	PLAN D1.1M	D1.1M	1138.30
219	PLAN D1.1M	D1.1M	1138.30
220	PLAN B1.1	B1.1M	732.30
221	PLAN B1.1	B1.1M	732.30
222	PLAN D1.1M	D1.1M	1138.30
223	PLAN B1.1	B1.1M	732.30
224	PLAN B1.1	B1.1M	732.30
225	PLAN A1.1	A1.1M	814.15
226	PLAN D2.1	D2.1M	1138.30

ENLARGED UNIT SHEET LISTING	
UNIT	PLAN TYPE
A450	A1, A1.1, A1M, A1.1M, A1.1M
A451	B1, B1.1, B1.1M
A452	B1M, B1.1M, B1.1M
A453	A1.1M, B1.1M, B1.1M
A454	A1.1M
A455	C1, C1.1, C1M, C1.1M
A456	C1.1M, C1.1M, C1.1M
A457	D1, D1.1, D1.1M, D1.1M, D1.1M
A458	D1M, D1.1M, D1.1M, D1.1M, D1.1M
A459	D1.1M, D1.1M
A460	D1.1M, D1.1M, D1.1M

WINDOW NOTES:

- ALL WINDOW AND DOOR SIZES SHALL BE WITH WINDOWS. SEE MEASUREMENTS FOR MORE INFORMATION.
- WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL WINDOW SIZES WITH MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR MAY PROVIDE ALTERNATE WINDOW AND DOOR SIZES WITH OWNER'S APPROVAL. ALTERNATE WINDOW AND DOOR SIZES MUST BE IDENTICAL IN WEIGHT, PERFORMANCE, AND APPEARANCE.
- FRAME ALL SIZES AT THE FOLLOWING LOCATIONS:
 - UNIT 210
 - UNIT 211
 - UNIT 212
 - UNIT 213
 - UNIT 214
 - UNIT 215
 - UNIT 216
 - UNIT 217
 - UNIT 218
 - UNIT 219
 - UNIT 220
 - UNIT 221
 - UNIT 222
 - UNIT 223
 - UNIT 224
 - UNIT 225
 - UNIT 226



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3/12 - T-D

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FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
apartments
ELAN RESIDENTIAL DEVELOPMENT

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DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

SHEET TITLE
BUILDING 'A1'
SECOND FLOOR PLAN

SHEET NUMBER
A102-A1

WINDOW SCHEDULE										
Mark	Width	Height	Description	Material/Finish	Notes	Window Frame Profile	UNITED ANALYSIS CAPACITY	SHG	UNIT	Type Comments
W1	3'-0"	4'-0"	Single Hung Window	White Vinyl		W1000	0.75	0.75	W1000	Standard
W2	3'-0"	4'-0"	Double Hung Window	White Vinyl		W1000	0.75	0.75	W1000	Standard
W3	3'-0"	4'-0"	Double Hung Window	White Vinyl		W1000	0.75	0.75	W1000	Standard
W4	3'-0"	4'-0"	Double Hung Window	White Vinyl		W1000	0.75	0.75	W1000	Standard
W5	3'-0"	4'-0"	Double Hung Window	White Vinyl		W1000	0.75	0.75	W1000	Standard
W6	3'-0"	4'-0"	Double Hung Window	White Vinyl		W1000	0.75	0.75	W1000	Standard
W7	3'-0"	4'-0"	Double Hung Window	White Vinyl		W1000	0.75	0.75	W1000	Standard
W8	3'-0"	4'-0"	Double Hung Window	White Vinyl		W1000	0.75	0.75	W1000	Standard
W9	3'-0"	4'-0"	Double Hung Window	White Vinyl		W1000	0.75	0.75	W1000	Standard
W10	3'-0"	4'-0"	Double Hung Window	White Vinyl		W1000	0.75	0.75	W1000	Standard

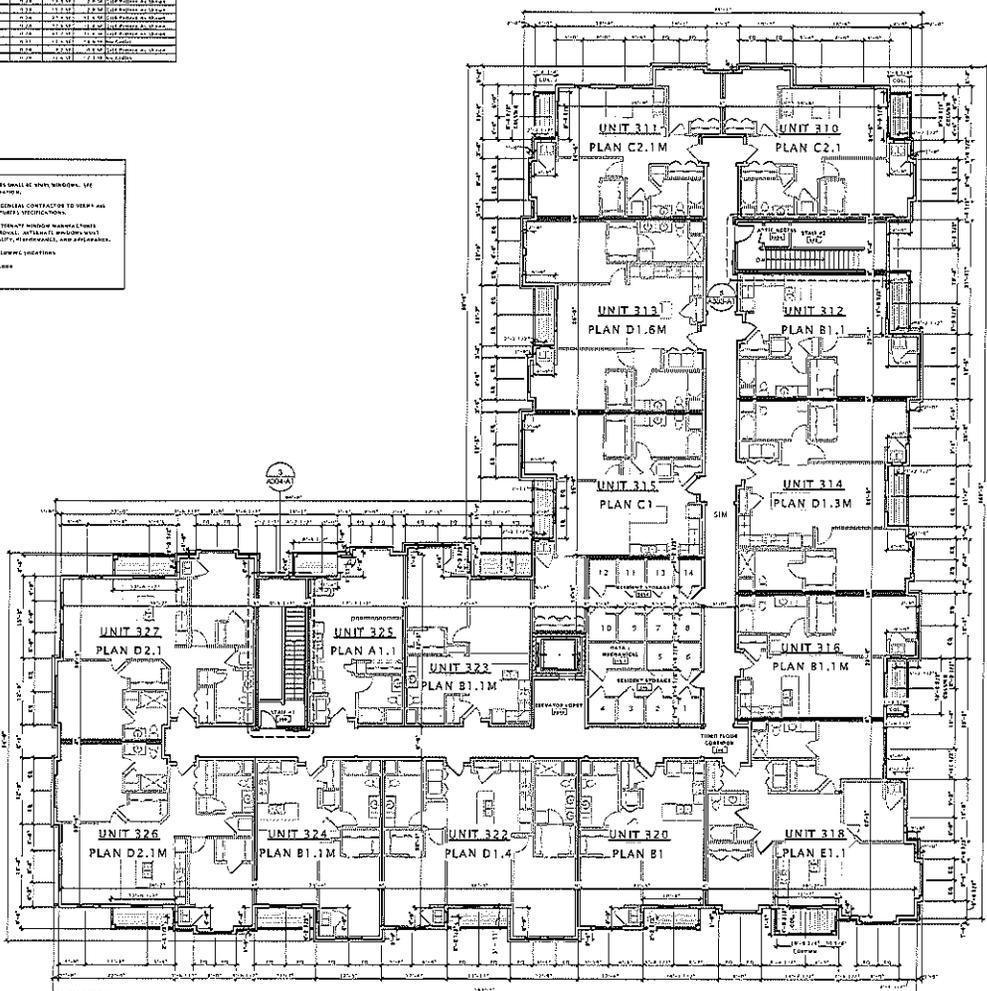
LOUVER SCHEDULE					
Mark	Width	Height	Description	Material/Finish	Type Comments
L1	3'-0"	4'-0"	Single Hung Louver	White Vinyl	Standard
L2	3'-0"	4'-0"	Double Hung Louver	White Vinyl	Standard
L3	3'-0"	4'-0"	Double Hung Louver	White Vinyl	Standard

BUILDING 'A1' - THIRD FLOOR UNIT SCHEDULE		
UNIT NO.	MARK	AREA
318	PLAN C2.8	154.34
319	PLAN C2.9	154.34
320	PLAN C2.10	154.34
321	PLAN C2.11	154.34
322	PLAN C2.12	154.34
323	PLAN C2.13	154.34
324	PLAN C2.14	154.34
325	PLAN C2.15	154.34
326	PLAN C2.16	154.34
327	PLAN C2.17	154.34
328	PLAN C2.18	154.34
329	PLAN C2.19	154.34
330	PLAN C2.20	154.34
331	PLAN C2.21	154.34
332	PLAN C2.22	154.34
333	PLAN C2.23	154.34
334	PLAN C2.24	154.34
335	PLAN C2.25	154.34
336	PLAN C2.26	154.34
337	PLAN C2.27	154.34
338	PLAN C2.28	154.34
339	PLAN C2.29	154.34
340	PLAN C2.30	154.34
341	PLAN C2.31	154.34
342	PLAN C2.32	154.34
343	PLAN C2.33	154.34
344	PLAN C2.34	154.34
345	PLAN C2.35	154.34
346	PLAN C2.36	154.34
347	PLAN C2.37	154.34
348	PLAN C2.38	154.34
349	PLAN C2.39	154.34
350	PLAN C2.40	154.34
351	PLAN C2.41	154.34
352	PLAN C2.42	154.34
353	PLAN C2.43	154.34
354	PLAN C2.44	154.34
355	PLAN C2.45	154.34
356	PLAN C2.46	154.34
357	PLAN C2.47	154.34
358	PLAN C2.48	154.34
359	PLAN C2.49	154.34
360	PLAN C2.50	154.34

ENCASED UNIT SHEET LISTING	
SHEET	PLAN TYPE
A103	A1, A1.1, A1.1M, A1.1M, A2
A104	A1, A1.1, A1.1M, A1.1M, A2
A105	A1, A1.1, A1.1M, A1.1M, A2
A106	A1, A1.1, A1.1M, A1.1M, A2
A107	A1, A1.1, A1.1M, A1.1M, A2
A108	A1, A1.1, A1.1M, A1.1M, A2
A109	A1, A1.1, A1.1M, A1.1M, A2
A110	A1, A1.1, A1.1M, A1.1M, A2
A111	A1, A1.1, A1.1M, A1.1M, A2
A112	A1, A1.1, A1.1M, A1.1M, A2
A113	A1, A1.1, A1.1M, A1.1M, A2
A114	A1, A1.1, A1.1M, A1.1M, A2
A115	A1, A1.1, A1.1M, A1.1M, A2
A116	A1, A1.1, A1.1M, A1.1M, A2
A117	A1, A1.1, A1.1M, A1.1M, A2
A118	A1, A1.1, A1.1M, A1.1M, A2
A119	A1, A1.1, A1.1M, A1.1M, A2
A120	A1, A1.1, A1.1M, A1.1M, A2
A121	A1, A1.1, A1.1M, A1.1M, A2
A122	A1, A1.1, A1.1M, A1.1M, A2
A123	A1, A1.1, A1.1M, A1.1M, A2
A124	A1, A1.1, A1.1M, A1.1M, A2
A125	A1, A1.1, A1.1M, A1.1M, A2
A126	A1, A1.1, A1.1M, A1.1M, A2
A127	A1, A1.1, A1.1M, A1.1M, A2
A128	A1, A1.1, A1.1M, A1.1M, A2
A129	A1, A1.1, A1.1M, A1.1M, A2
A130	A1, A1.1, A1.1M, A1.1M, A2
A131	A1, A1.1, A1.1M, A1.1M, A2
A132	A1, A1.1, A1.1M, A1.1M, A2
A133	A1, A1.1, A1.1M, A1.1M, A2
A134	A1, A1.1, A1.1M, A1.1M, A2
A135	A1, A1.1, A1.1M, A1.1M, A2
A136	A1, A1.1, A1.1M, A1.1M, A2
A137	A1, A1.1, A1.1M, A1.1M, A2
A138	A1, A1.1, A1.1M, A1.1M, A2
A139	A1, A1.1, A1.1M, A1.1M, A2
A140	A1, A1.1, A1.1M, A1.1M, A2
A141	A1, A1.1, A1.1M, A1.1M, A2
A142	A1, A1.1, A1.1M, A1.1M, A2
A143	A1, A1.1, A1.1M, A1.1M, A2
A144	A1, A1.1, A1.1M, A1.1M, A2
A145	A1, A1.1, A1.1M, A1.1M, A2
A146	A1, A1.1, A1.1M, A1.1M, A2
A147	A1, A1.1, A1.1M, A1.1M, A2
A148	A1, A1.1, A1.1M, A1.1M, A2
A149	A1, A1.1, A1.1M, A1.1M, A2
A150	A1, A1.1, A1.1M, A1.1M, A2
A151	A1, A1.1, A1.1M, A1.1M, A2
A152	A1, A1.1, A1.1M, A1.1M, A2
A153	A1, A1.1, A1.1M, A1.1M, A2
A154	A1, A1.1, A1.1M, A1.1M, A2
A155	A1, A1.1, A1.1M, A1.1M, A2
A156	A1, A1.1, A1.1M, A1.1M, A2
A157	A1, A1.1, A1.1M, A1.1M, A2
A158	A1, A1.1, A1.1M, A1.1M, A2
A159	A1, A1.1, A1.1M, A1.1M, A2
A160	A1, A1.1, A1.1M, A1.1M, A2
A161	A1, A1.1, A1.1M, A1.1M, A2
A162	A1, A1.1, A1.1M, A1.1M, A2
A163	A1, A1.1, A1.1M, A1.1M, A2
A164	A1, A1.1, A1.1M, A1.1M, A2
A165	A1, A1.1, A1.1M, A1.1M, A2
A166	A1, A1.1, A1.1M, A1.1M, A2
A167	A1, A1.1, A1.1M, A1.1M, A2
A168	A1, A1.1, A1.1M, A1.1M, A2
A169	A1, A1.1, A1.1M, A1.1M, A2
A170	A1, A1.1, A1.1M, A1.1M, A2
A171	A1, A1.1, A1.1M, A1.1M, A2
A172	A1, A1.1, A1.1M, A1.1M, A2
A173	A1, A1.1, A1.1M, A1.1M, A2
A174	A1, A1.1, A1.1M, A1.1M, A2
A175	A1, A1.1, A1.1M, A1.1M, A2
A176	A1, A1.1, A1.1M, A1.1M, A2
A177	A1, A1.1, A1.1M, A1.1M, A2
A178	A1, A1.1, A1.1M, A1.1M, A2
A179	A1, A1.1, A1.1M, A1.1M, A2
A180	A1, A1.1, A1.1M, A1.1M, A2
A181	A1, A1.1, A1.1M, A1.1M, A2
A182	A1, A1.1, A1.1M, A1.1M, A2
A183	A1, A1.1, A1.1M, A1.1M, A2
A184	A1, A1.1, A1.1M, A1.1M, A2
A185	A1, A1.1, A1.1M, A1.1M, A2
A186	A1, A1.1, A1.1M, A1.1M, A2
A187	A1, A1.1, A1.1M, A1.1M, A2
A188	A1, A1.1, A1.1M, A1.1M, A2
A189	A1, A1.1, A1.1M, A1.1M, A2
A190	A1, A1.1, A1.1M, A1.1M, A2
A191	A1, A1.1, A1.1M, A1.1M, A2
A192	A1, A1.1, A1.1M, A1.1M, A2
A193	A1, A1.1, A1.1M, A1.1M, A2
A194	A1, A1.1, A1.1M, A1.1M, A2
A195	A1, A1.1, A1.1M, A1.1M, A2
A196	A1, A1.1, A1.1M, A1.1M, A2
A197	A1, A1.1, A1.1M, A1.1M, A2
A198	A1, A1.1, A1.1M, A1.1M, A2
A199	A1, A1.1, A1.1M, A1.1M, A2
A200	A1, A1.1, A1.1M, A1.1M, A2

WINDOW NOTES:

- ALL WINDOWS AND PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- WINDOW UNITS ARE SUPPLIED BY THE CONTRACTOR TO BE INSTALLED BY THE CONTRACTOR WITH PROPER ATTENTION TO DETAIL.
- CONTRACTOR MAY PROVIDE ALTERNATE WINDOW UNITS WITH OWNER AND ARCHITECT APPROVAL. AT ALL TIMES, WINDOW UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- TEMPERATURE SENSORS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:
 - Living Room
 - Bedroom
 - Bathroom
 - Kitchen
 - Hallway
 - Entry
 - Staircase
 - Garage
 - Attic
 - Basement
 - Roof
 - Exterior



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SPECIFIC IMPLEMENTATION PLAN

ELAN
apartments

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PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional details. These are not final construction documents and should not be used for final bidding or construction-related activities.

DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE

SHEET TITLE

BUILDING 'A1' - THIRD FLOOR PLAN

SHEET NUMBER

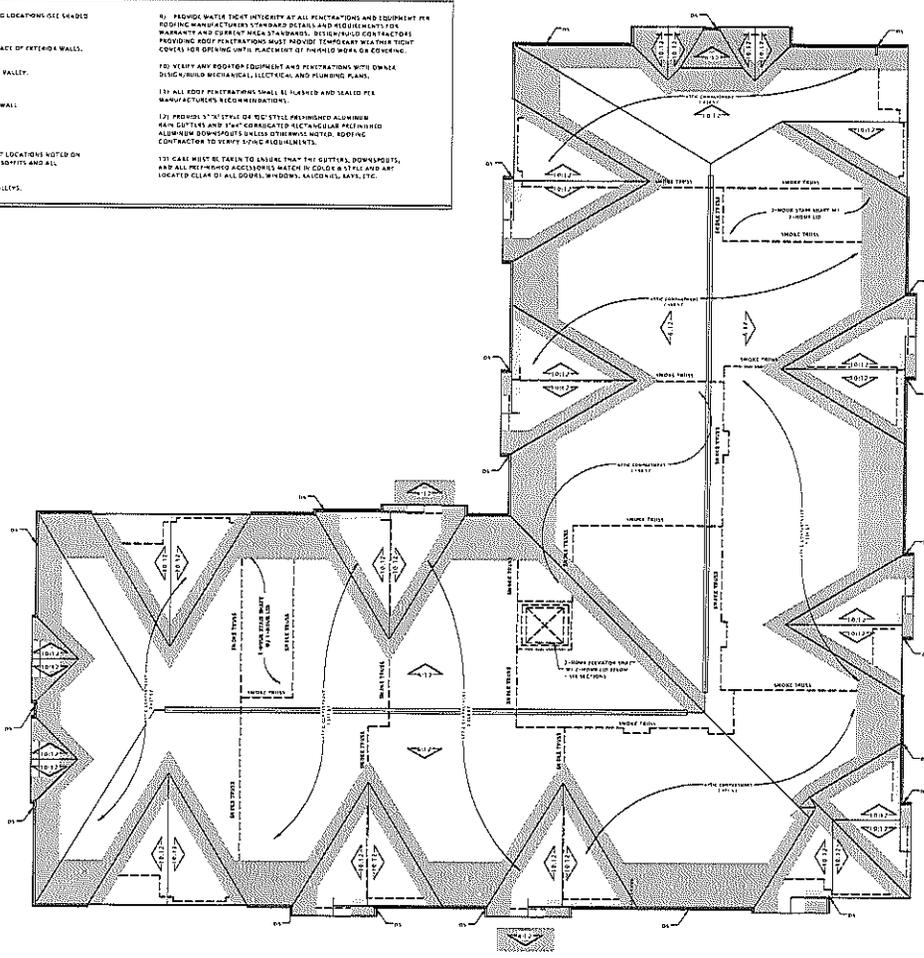
A103-A1

17 BUILDING 'A1' - THIRD FLOOR PLAN
3/22" = 1'-0"

SCALE: SHIPING TO BE FULLY SPECIFIED BY THE CONTRACTOR. SEE A103-A1.

ROOF NOTES

- 1) ROOF SHALL BE **BUILT ASSEMBLED**, UNLESS NOTED OTHERWISE. TOP CHORDS OF TRUSS SHALL BE PITCHED AS INDICATED ON ROOF PLAN. SEE ROOF ASSEMBLY SHEET FOR DETAILED INFORMATION.
- 2) AT CANTY ADD A GUY: PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF SUBSTRATE TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS/SCUPPLE DRAINING.
- 3) ROOF DRAINS/SCUPPLES ARE SHOWN FOR INTENT ONLY. PLUMBING MECHANICAL CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
- 4) ABOVE WALLS SHOWN ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL PROVIDE IN WALLS & CURBSHAW ROOF VENTS TO PROVIDE 1 1/2" OF VENT AREA PER 100 SQ. FT. OF ATTIC AREA PER ATTIC COMPARTMENT. DWASST DESIGN/BUILD MECHANICAL CONTRACTOR SHALL PROVIDE CALCULATIONS SHOWING FINAL VENTILATION PLAN PRIOR TO INSTALLATION.
- 5) OVERHANGS SHALL BE AS SHOWN ON ROOF PLAN.
- 6) PROVIDE A WATER TAPE AT THE FOLLOWING LOCATIONS SEE LEADED AREAS ON ROOF PLAN:
 - ALL CASES: RUN 4" DIA. COIL OF TAPE TO 2" MIN. OVER 1" FACE OF EXTERIOR WALL.
 - ALL VALLEYS: RUN TAPE VALLEY TO 1/2" MIN. EACH SIDE OF VALLEY. INSTALL UNDER METAL FLASHINGS AT VALLEYS.
 - ALL GABLES: RUN TAPE GABLES FROM FACE OF WALL MIN 1/2" MIN. VERTICALLY OFF FACE OF WALL.
 - ALL ROOF PENETRATIONS: FOR 2" DIA. PENETRATIONS
- 7) PROVIDE CONTINUED APPLICABLE FLASHING AT LOCATIONS NOTED ON ROOF PLAN. FLASHING SHALL EXTEND FULLY INTO ADJACENT AND ALL PENETRATIONS SHALL BE CAULKED.
- 8) PROVIDE W SHAPED METAL FLASHING AT ALL VALLEYS.
- 9) PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURER'S REQUIREMENTS AND REQUIREMENTS FOR WARRANTY AND EQUIPMENT MANUFACTURER'S REQUIREMENTS. DESIGNATED CONTRACTOR PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATHER TIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED ROOF OR FLASHING.
- 10) VERIFY ANY ROOFER EQUIPMENT AND PENETRATIONS WITH OWNER'S BUILDING MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
- 11) ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MANUFACTURER'S RECOMMENDATIONS.
- 12) PROVIDE 3" X 1/2" STEEL OR 2" DIA. STEEL FINISHED ALUMINUM MAIN COLUMNS AND 2" DIA. CORRUGATED RECTANGULAR FINISHED ALUMINUM DOWNPOUTS UNLESS OTHERWISE NOTED. ROOFING CONTRACTOR TO VERIFY SPACING ALIGNMENTS.
- 13) CARE MUST BE TAKEN TO ENSURE THAT THE GUTTERS, DOWNPOUTS, AND ALL WEATHER ACCESSORIES MATCH IN COLOR STYLE AND ARE LOCATED CLEAR OF ALL DOOR, WINDOWS, BALCONY RAILS, ETC.



17 BUILDING 'A1' - ROOF PLAN
3/22 = 1/4"

DATE PLOTTED: 10/21/2015 10:00 AM
DRAWN BY: JLA



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PROGRESS DOCUMENTS
These documents reflect changes and errors and may be subject to change, including additional detail. There are no field construction documents and they are to be used for informational or construction-related purposes.

DATE OF ISSUANCE APRIL 21, 2015

REVISION SCHEDULE		
No.	Description	Date

SHEET TITLE
BUILDING 'A1' ROOF PLAN

SHEET NUMBER
A109-A1



16 SOUTH ELEVATION - A1
1/8" = 1'-0"



16 NORTH ELEVATION - A1
1/8" = 1'-0"

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EA PROJECT NUMBER: 14-0115

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SPECIFIC IMPLEMENTATION PLAN

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DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE		
No.	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS
'A1' BUILDING

SHEET NUMBER

A200-A1

SPECIFIC IMPLEMENTATION PLAN



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DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

SHEET TITLE
EXTERIOR ELEVATIONS 'A1' BUILDING

SHEET NUMBER
A201-A1





ELAN RESIDENTIAL DEVELOPMENT
Fitchrona & Lacy Rd. Fitchburg, Wisconsin



SPECIFIC IMPLEMENTATION PLAN



BUILDING: B1

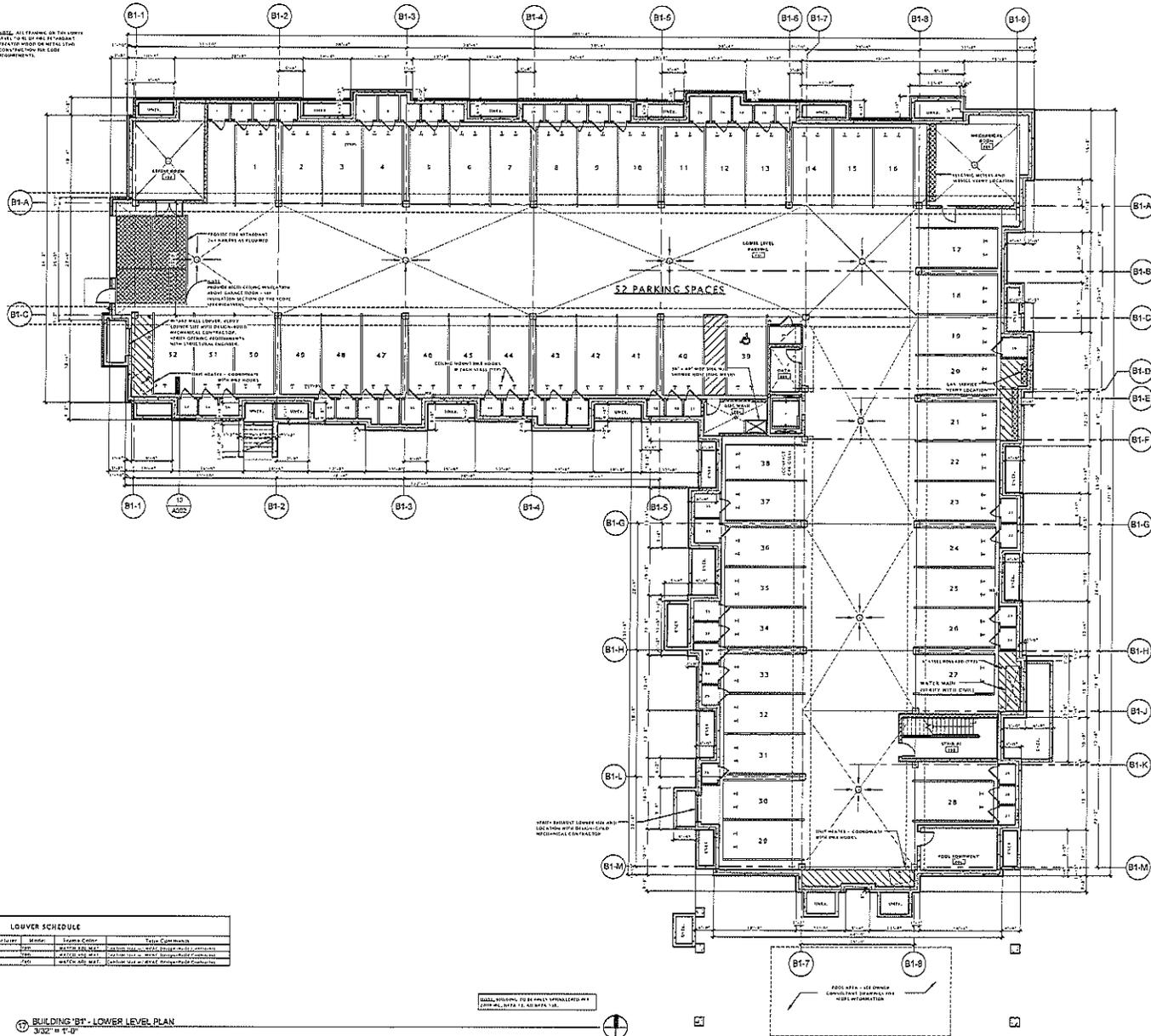
PROGRESS DOCUMENTS

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JLA PROJECT NUMBER: 14-0515

APRIL 21, 2015

NOTE: ALL FRAMING ON THIS PLAN SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CONTRACTING CODE (IMC).



LOBBY SCHEDULE					
Room No.	Area (sq ft)	Classification	Material to be used	Finish	Notes
101	1,200	RECEPTION	CONCRETE	PAINT	SEE SPECIFICATIONS
102	800	STAIRS	CONCRETE	PAINT	SEE SPECIFICATIONS
103	1,500	LOBBY	CONCRETE	PAINT	SEE SPECIFICATIONS
104	1,000	STAIRS	CONCRETE	PAINT	SEE SPECIFICATIONS
105	1,200	LOBBY	CONCRETE	PAINT	SEE SPECIFICATIONS

17 BUILDING 'B1' - LOWER LEVEL PLAN
3/22 - 1'-0"

ALL DIMENSIONS TO BE AS SHOWN UNLESS OTHERWISE NOTED.

JLA

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SPECIFIC IMPLEMENTATION PLAN

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APARTMENTS

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PROGRESS DOCUMENTS
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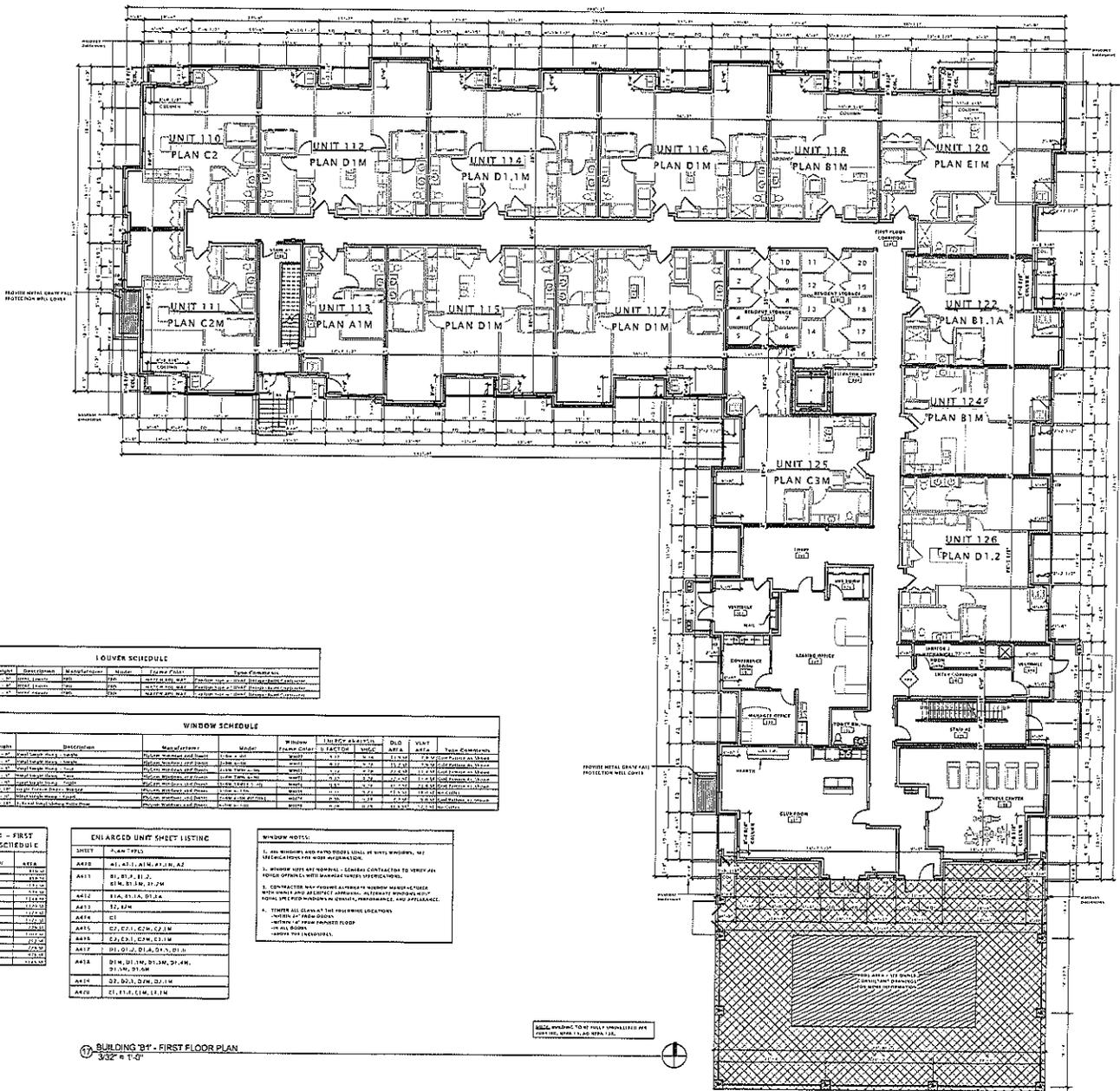
REVISION SCHEDULE		
Rev.	Description	Date

SHEET TITLE:

BUILDING 'B1' LOWER LEVEL PLAN

SHEET NUMBER:

A100-B1



Mat.	Width	Height	Description	Manufacturer	Model	Frame Color	Type Comments
1	12'-0"	6'-0"	Window	Aluminum	AW100	White	Window type - see ENR sheet A101
2	12'-0"	6'-0"	Window	Aluminum	AW100	White	Window type - see ENR sheet A101
3	12'-0"	6'-0"	Window	Aluminum	AW100	White	Window type - see ENR sheet A101

Mat.	Width	Height	Description	Manufacturer	Model	Frame Color	ENERGY RATING	UB	UFI	Type Comments
1	12'-0"	6'-0"	Window	Aluminum	AW100	White	0.85	1.0	1.0	Window type - see ENR sheet A101
2	12'-0"	6'-0"	Window	Aluminum	AW100	White	0.85	1.0	1.0	Window type - see ENR sheet A101
3	12'-0"	6'-0"	Window	Aluminum	AW100	White	0.85	1.0	1.0	Window type - see ENR sheet A101

UNIT	PLAN TYPE	AREA
110	PLAN C2	11,200
111	PLAN C2M	11,200
112	PLAN D1M	11,200
113	PLAN A1M	11,200
114	PLAN D1M	11,200
115	PLAN D1M	11,200
116	PLAN D1M	11,200
117	PLAN D1M	11,200
118	PLAN B1M	11,200
119	PLAN E1M	11,200
120	PLAN E1M	11,200
121	PLAN B1.1A	11,200
122	PLAN B1M	11,200
123	PLAN C3M	11,200
124	PLAN B1M	11,200
125	PLAN C3M	11,200
126	PLAN D1.2	11,200

SHEET	PLAN TYPE
A100	PLAN C2, D1M, E1M, A1M, A2
A101	B1, B1.1, B1.2, B1M, B1.1M, B1.2M
A102	B1M, B1.1A, B1.2A
A103	C1, C2M
A104	C2, C2.1, C2M, C2.1M
A105	C2, C2.1, C2M, C2.1M
A106	D1M, D1.1M, D1.1M, D1.1M, D1.1M, D1.1M
A107	D1M, D1.1M, D1.1M, D1.1M, D1.1M, D1.1M
A108	D1M, D1.1M, D1.1M, D1.1M, D1.1M, D1.1M
A109	D1M, D1.1M, D1.1M, D1.1M, D1.1M, D1.1M
A110	D1M, D1.1M, D1.1M, D1.1M, D1.1M, D1.1M

WINDOW NOTES:

1. ALL WINDOWS AND PARTITIONS SHALL BE WHITE PIGMENT, 90% TRANSLUCENT WITH 10% OPAQUE.
2. WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL WINDOW SIZES WITH MANUFACTURER'S SPECIFICATIONS.
3. CONTRACTOR MAY PROVIDE ALTERNATE WINDOW MANUFACTURERS WITH EQUAL OR BETTER QUALITY, PERFORMANCE, AND APPEARANCE.
4. STOPER ALL GLASS IN THE FOLLOWING LOCATIONS WITHIN 48" FROM DOOR:
 - ALL COMMON AREAS
 - ALL STAIRS
 - ALL ELEVATORS

ALL WINDOWS TO BE FULLY OPERABLE PER LOCAL CODE, UNLESS NOTED OTHERWISE.

17 BUILDING 'B1' - FIRST FLOOR PLAN
3/22' x 1/4"

JLA

JOHN L. ANDERSON ASSOCIATES
ARCHITECTS
14-00111

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SPECIFIC IMPLEMENTATION PLAN

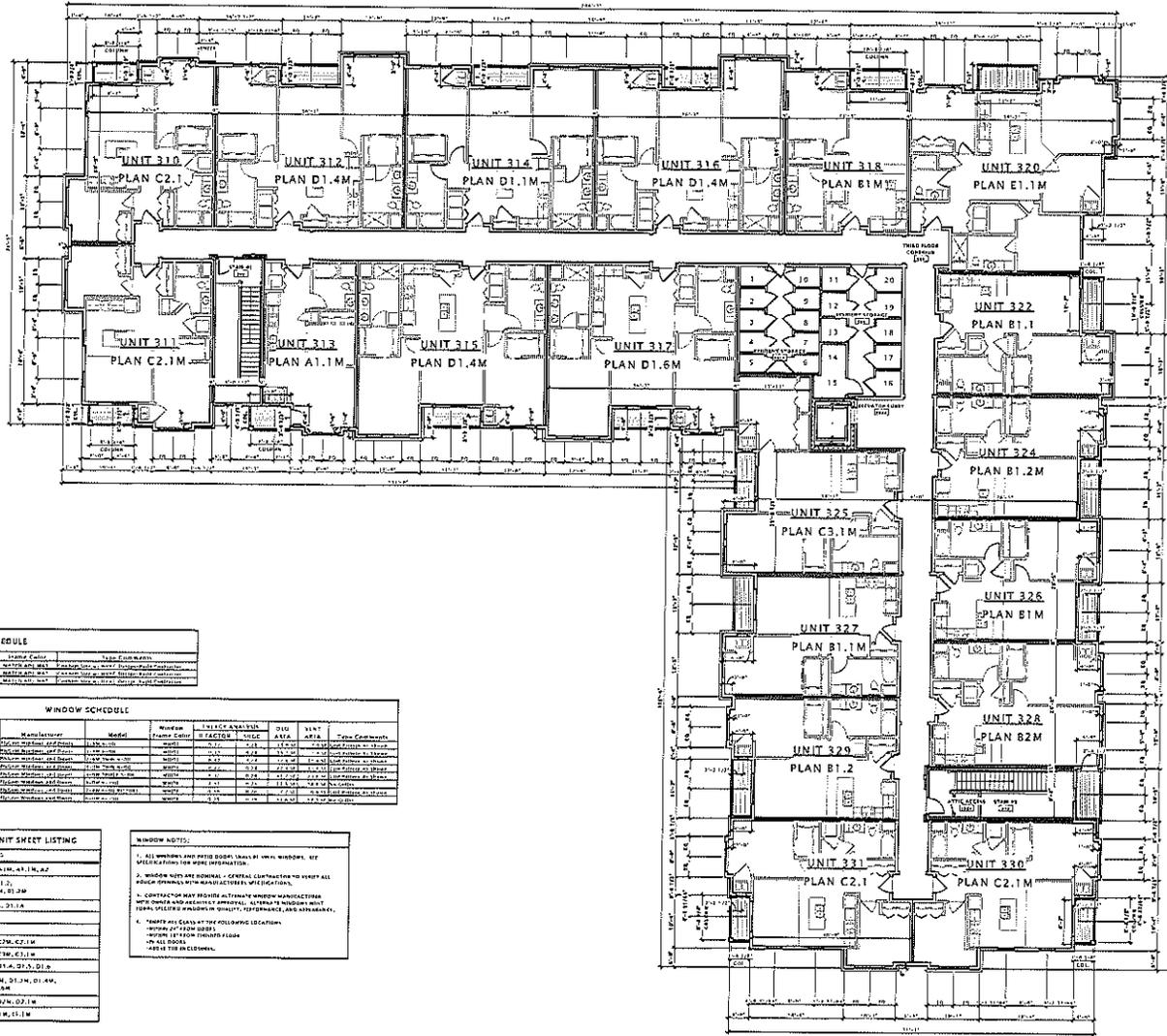
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PROGRESS DOCUMENTS
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DATE OF ISSUANCE: APRIL 21, 2015
REVISION SCHEDULE

SHEET TITLE:
BUILDING 'B1' FIRST FLOOR PLAN

SHEET NUMBER:
A101-B1



LOUVER SCHEDULE

MARK	SYMBOL	HEIGHT	MANUFACTURER	MODEL	TYPE	FINISH
L1	1'-0" x 4'-0"	1'-0"	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM
L2	1'-0" x 4'-0"	1'-0"	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM

WINDOW SCHEDULE

MARK	SYMBOL	HEIGHT	DESCRIPTION	MANUFACTURER	MODEL	FINISH	TYPE	FINISH	TYPE	COMMENTS
W1	1'-0" x 4'-0"	1'-0"	ALUMINUM WINDOW	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM
W2	1'-0" x 4'-0"	1'-0"	ALUMINUM WINDOW	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM

BUILDING 'B1' - THIRD FLOOR UNIT SCHEDULE

UNIT NO.	PLAN TYPE	AREA
310	PLAN C2.1	454.50
311	PLAN C2.1M	562.50
312	PLAN D1.4M	1271.10
313	PLAN A1.1M	583.50
314	PLAN D1.4M	1271.10
315	PLAN D1.4M	1271.10
316	PLAN D1.4M	1271.10
317	PLAN D1.6M	1345.50
318	PLAN B1M	224.50
319	PLAN B1.1M	1151.50
320	PLAN E1.1M	274.50
321	PLAN C2.1M	562.50
322	PLAN B1.1	426.50
323	PLAN B1.2	426.50
324	PLAN B1M	426.50
325	PLAN C3.1M	426.50
326	PLAN B1M	426.50
327	PLAN B1.1M	426.50
328	PLAN B2M	426.50
329	PLAN B1.2	426.50
330	PLAN C2.1M	426.50
331	PLAN C2.1	426.50

ENLARGED UNIT SHEET LISTING

SHEET	PLAN TYPE
A103	PLAN A1.1M, A1.1M, A2
A104	PLAN B1.1, B1.2
A105	PLAN B1.1M, B1.2M
A106	PLAN B1.1A, B1.1B
A107	PLAN B1.1M
A108	PLAN C1
A109	PLAN C2.1, C2.1M
A110	PLAN C2.1, C2.1M, C2.1M
A111	PLAN D1.1, D1.2, D1.3, D1.4
A112	PLAN D1.4M, D1.4M, D1.4M, D1.4M, D1.4M
A113	PLAN D1.4M, D1.4M, D1.4M, D1.4M, D1.4M
A114	PLAN D1.4M, D1.4M, D1.4M, D1.4M, D1.4M
A115	PLAN D1.4M, D1.4M, D1.4M, D1.4M, D1.4M
A116	PLAN D1.4M, D1.4M, D1.4M, D1.4M, D1.4M
A117	PLAN D1.4M, D1.4M, D1.4M, D1.4M, D1.4M
A118	PLAN D1.4M, D1.4M, D1.4M, D1.4M, D1.4M
A119	PLAN D1.4M, D1.4M, D1.4M, D1.4M, D1.4M
A120	PLAN D1.4M, D1.4M, D1.4M, D1.4M, D1.4M

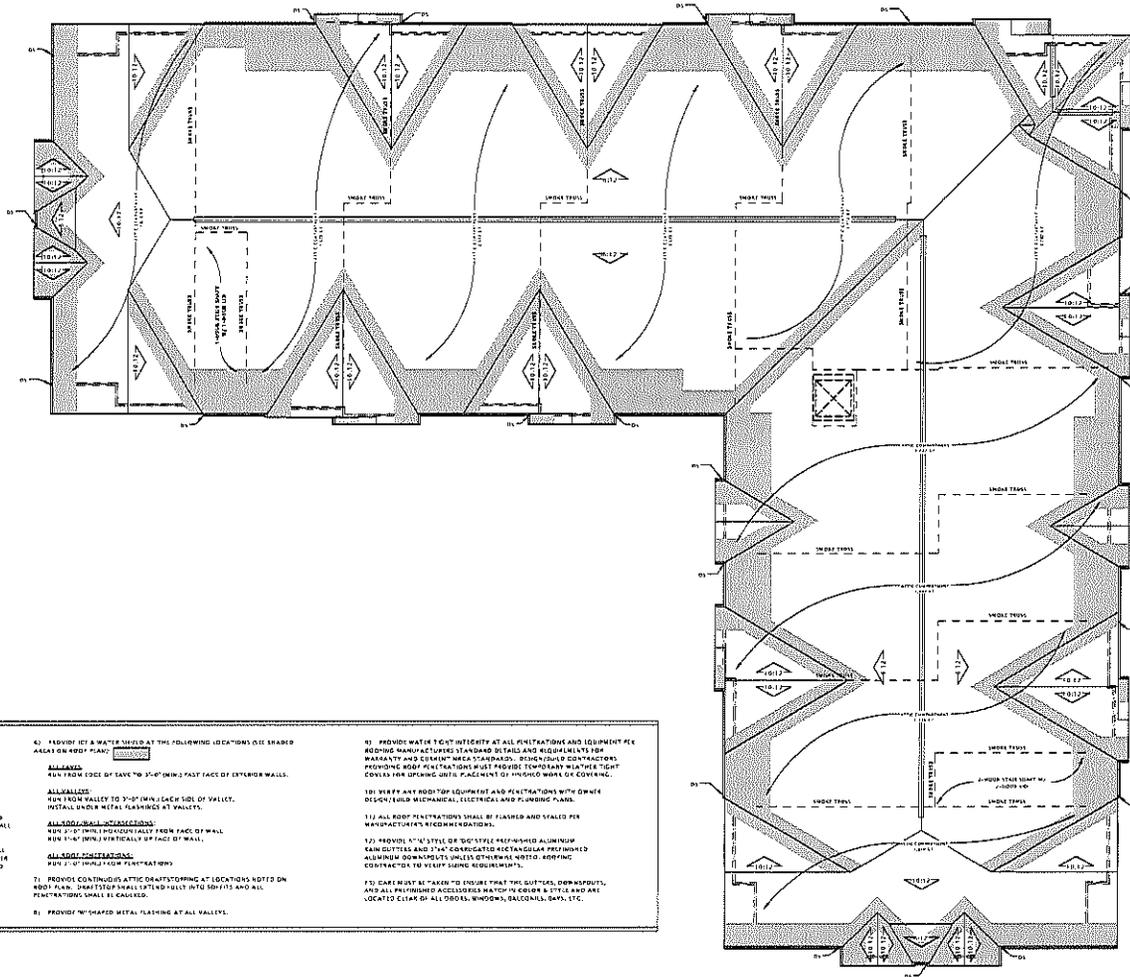
WINDOW NOTES:

- All window and door sizes shall be as shown. SEE SPECIFICATIONS FOR MORE INFORMATION.
- WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL WINDOW SIZES WITH MANUFACTURER SPECIFICATIONS.
- CONTRACTOR MAY PROVIDE ALTERNATE WINDOW MANUFACTURERS WITH OWNER AND ARCHITECT'S APPROVAL. ALTERNATE WINDOWS MUST EQUAL OR EXCEED WINDOW QUALITY PERFORMANCE DATA REQUIREMENTS.
- DOORS AND GLASS AT THE FOLLOWING LOCATIONS:
 - UNIT 310 - FROM CORRIDOR
 - UNIT 311 - FROM CORRIDOR
 - UNIT 312 - FROM CORRIDOR
 - UNIT 313 - FROM CORRIDOR
 - UNIT 314 - FROM CORRIDOR
 - UNIT 315 - FROM CORRIDOR
 - UNIT 316 - FROM CORRIDOR
 - UNIT 317 - FROM CORRIDOR
 - UNIT 318 - FROM CORRIDOR
 - UNIT 319 - FROM CORRIDOR
 - UNIT 320 - FROM CORRIDOR
 - UNIT 321 - FROM CORRIDOR
 - UNIT 322 - FROM CORRIDOR
 - UNIT 323 - FROM CORRIDOR
 - UNIT 324 - FROM CORRIDOR
 - UNIT 325 - FROM CORRIDOR
 - UNIT 326 - FROM CORRIDOR
 - UNIT 327 - FROM CORRIDOR
 - UNIT 328 - FROM CORRIDOR
 - UNIT 329 - FROM CORRIDOR
 - UNIT 330 - FROM CORRIDOR
 - UNIT 331 - FROM CORRIDOR

BUILDING 'B1' - THIRD FLOOR PLAN
3/22 @ 1/4"

SCALE: FINISH TO BE FIELD DIMENSIONS PER ARCHITECT'S NOTES, UNLESS OTHERWISE NOTED.





SCALE: REFER TO BLDG. SCHEDULE FOR SHEET TITLE, SCALE 1/8"=1'-0"



- ROOF NOTES**
- ROOF SHALL BE **ASPH/FLT** UNLESS NOTED OTHERWISE. TOP CHORDS OF TRUSSES SHALL BE FITTED AS INDICATED ON ROOF PLAN. SEE ROOF ASSEMBLY DETAIL FOR DETAILED INFORMATION.
 - AT GAMBREL ROOF AREAS: PROVIDE TAPERED INSULATION BOARD W/ALUM. FIBERGLASS OVER ROOF TRUSSES TO MAINTAIN A 1/4" MIN. ROOF MINIMUM PITCH TO ROOF DRAIN'S SCUPPER OPENINGS.
 - ROOF DRAIN'S SCUPPERS ARE SHOWN FOR FIELD ONLY. PLUMBING DESIGN/INSTALL CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL SCUPPER SIZE AND LOCATION. ROOF DRAIN'S AND SHALL COORDINATE WITH SCUPPER CONTRACTOR TO AVOID FLOOR DRAINAGE.
 - ROOF VENTS SHOWN ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL PROVIDE FINAL EXHAUST ROOF VENTS TO PROVIDE 1 S.F. OF VENT AREA PER 100 S.F. OF AT THE AREA PER ATTIC COMPARTMENT. DW/MECH DESIGN/INSTALL CONTRACTOR SHALL PROVIDE CALCULATIONS SHOWING FINAL VENTILATION PLAN PRIOR TO INSTALLATION.
 - DIMENSIONS SHALL BE AS SHOWN ON ROOF PLAN.
 - PROVIDE 1/2" SHAPED METAL FLASHING AT ALL VALLEYS.
 - PROVIDE WATER TIGHT INTERFACES AT ALL PENETRATIONS AND EQUIPMENT PER READING MANUFACTURER'S STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CERTAIN MAKE ASSEMBLIES. DESIGN/INSTALL CONTRACTOR PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WATER TIGHT COVERS FOR DRIVING WHILE PLACEMENT OF INSULATION OR CONCRETE.
 - KEEP ALL ROOF TOP EQUIPMENT AND PENETRATIONS WITH OWNER DESIGN/BUILD MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
 - ALL ROOF PENETRATIONS SHALL BE FLASHED AND STALLED PER MANUFACTURER'S REQUIREMENTS.
 - PROVIDE 1/2" x 1/2" x 1/2" TYPE OF 5015 STEEL W/SHIMMED ALUMINUM RAIN GUTTERS AND 1 1/4" CORRUGATED RECTANGULAR PREFORMED ALUMINUM DOWNSPUTS UNLESS OTHERWISE NOTED. PROVIDE CONTRACTOR TO VERIFY SIZING REQUIREMENTS.
 - CARE MUST BE TAKEN TO ENSURE THAT THE GUTTERS, DOWNSPUTS, AND ALL PENETRATIONS ACCESSED FROM TOP OF ROOF ARE LOCATED CLEAR OF ALL DOORS, WINDOWS, BALCONIES, BAYS, ETC.
 - PROVIDE 1/2" SHAPED METAL FLASHING AT ALL VALLEYS.
ALLVALLEY:
 RUN FROM EDGE OF ROOF TO 3/4" MIN. EACH SIDE OF VALLEY.
 INSTALL UNDER METAL FLASHING AT VALLEYS.
ALLDORMER FLASHINGS:
 RUN 2'-0" MIN. PARALLEL TO FACE OF WALL.
 RUN 1'-0" MIN. PARALLEL TO FACE OF WALL.
ALL ROOF PENETRATIONS:
 RUN 2'-0" MIN. FROM PENETRATIONS.

SPECIFIC IMPLEMENTATION PLAN



ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS

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DATE OF ISSUANCE APRIL 21, 2015

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS 'B1' BUILDING

SHEET NUMBER

A200-B1



15 SOUTH ELEVATION - B1
1/8" = 1'-0"



16 NORTH ELEVATION - B1
1/8" = 1'-0"



11 EAST ELEVATION - B1
1/8" = 1'-0"



12 WEST ELEVATION - B1
1/8" = 1'-0"

DATE OF ISSUANCE	APRIL 21, 2015	
REVISION SCHEDULE		
No.	Description	Date



ELAN RESIDENTIAL DEVELOPMENT
Fitchrona & Lacy Rd. Fitchburg, Wisconsin



SPECIFIC IMPLEMENTATION PLAN



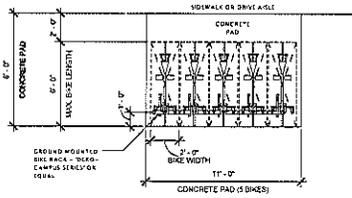
BUILDING: B2

PROGRESS DOCUMENTS

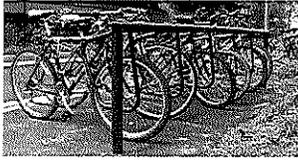
These documents reflect progress and intent and may be subject to change, including additional items. They are not final construction documents and should not be used for final bidding or construction without approval.

JLA PROJECT NUMBER: 14-0515

APRIL 21, 2015

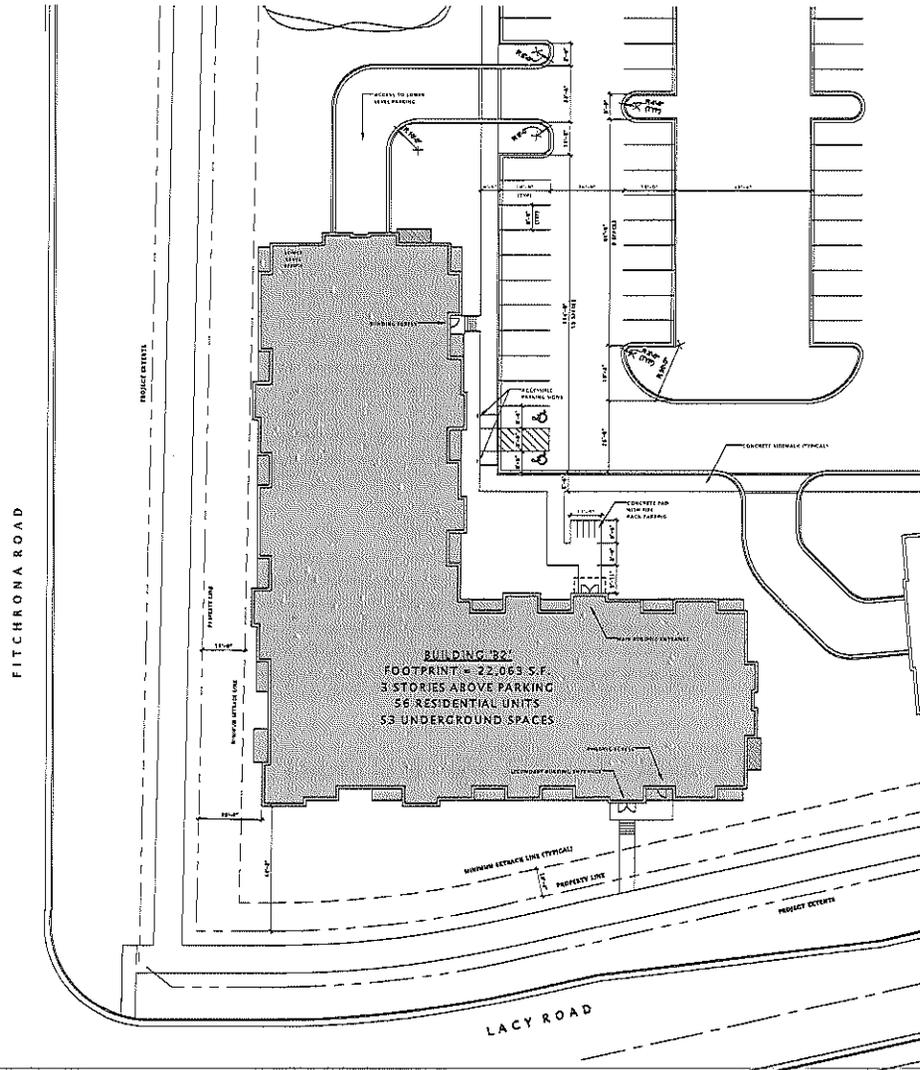


EXTERIOR BIKE PARKING
1/4" = 1'-0"



EXAMPLE OF THE STYLE OF BIKE RACK TO BE LOCATED AT THE LATER SIDE OF EACH BUILDING (SEE SITE PLANS FOR LOCATIONS)

EXTERIOR BIKE RACK STYLE
1/8" = 1'-0"



ARCHITECTURAL SITE PLAN - 'B2' BLDG
1" = 20'-0"

JLA

JOHN L. ANDERSON, P.E.
A PROFESSIONAL ENGINEER
REGISTERED IN THE STATE OF CALIFORNIA
NO. 40827
U.S. PROJECT NUMBER 14-011

Fiduciary
REAL ESTATE DEVELOPMENT INC.

FIDUCIARY REAL
ESTATE
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
APARTMENTS

ELAN RESIDENTIAL
DEVELOPMENT

PROGRESS DOCUMENTS

These documents reflect progress and other work not yet subject to change, including additional detail. There are no final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE APRIL 21, 2015

REVISION SCHEDULE

No.	Description	Date

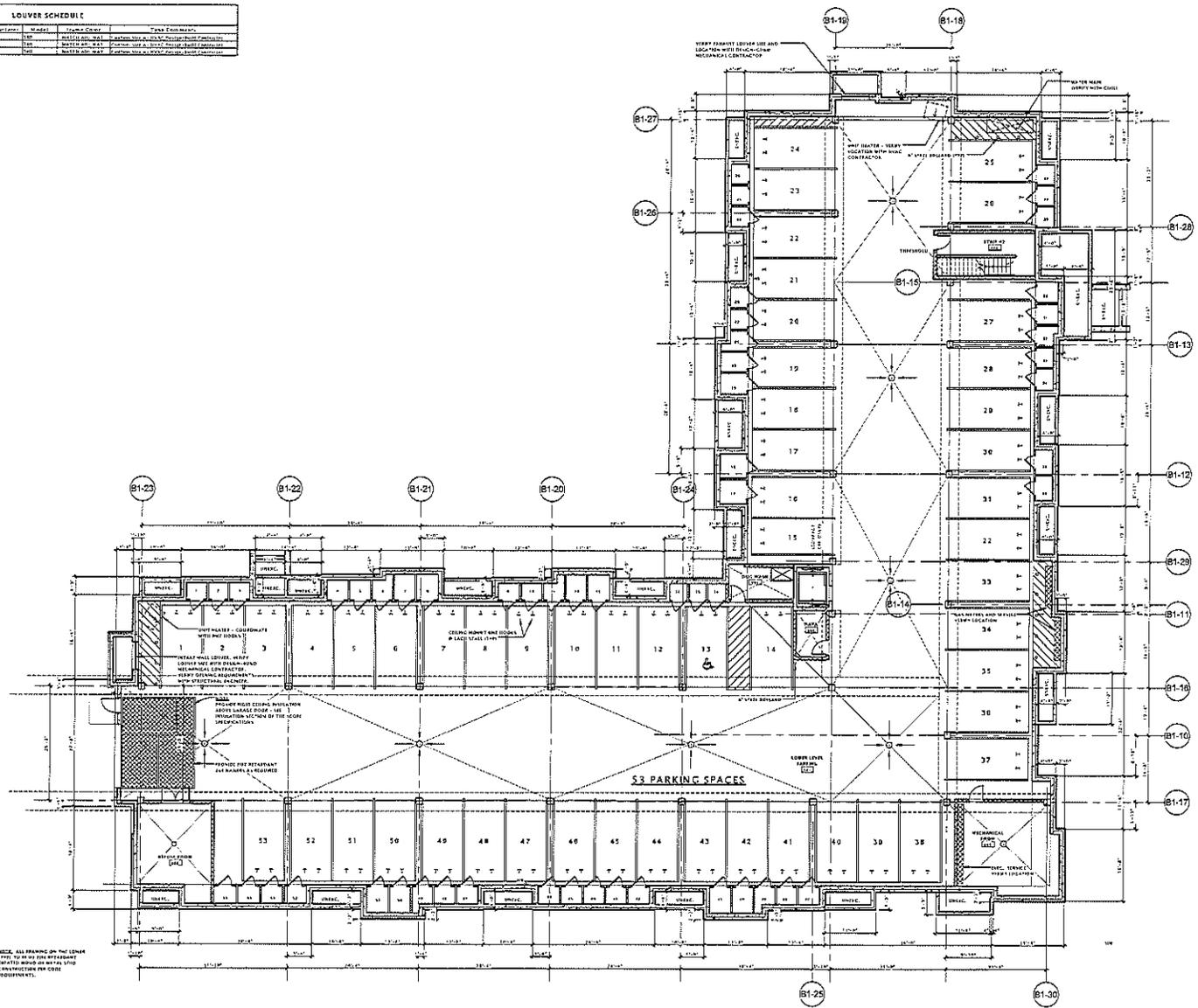
SHEET TITLE

ARCHITECTURAL SITE
PLAN - BUILDING 'B2'

SHEET NUMBER

ASP101-B2

LOUVER SCHEDULE						
Model	Width	Height	Description	Manufacturer	Model	Trade Comments
L1	4'-0"	1'-0"	Aluminum Louver	ALUMINUM	ALUMINUM	ALUMINUM
L2	4'-0"	1'-0"	Aluminum Louver	ALUMINUM	ALUMINUM	ALUMINUM
L3	4'-0"	1'-0"	Aluminum Louver	ALUMINUM	ALUMINUM	ALUMINUM
L4	4'-0"	1'-0"	Aluminum Louver	ALUMINUM	ALUMINUM	ALUMINUM



NOTE: ALL PARKING ON THIS LEVEL TO BE IN ACCORDANCE WITH THE CITY OF WASHINGTON CONSTRUCTION PER CODE REQUIREMENTS.

17 BUILDING 'B2' LOWER LEVEL PLAN
3/8" = 1'-0"

DATE: 04/21/2015
PROJECT: ELAN APARTMENTS
SHEET: A100-B2

JLA
JOSEPH LEE & ASSOCIATES
ARCHITECTS

Fiduciary
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
apartments

ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS

DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE

SHEET TITLE
BUILDING 'B2' LOWER LEVEL PLAN

SHEET NUMBER

A100-B2

WINDOW SCHEDULE										
NO.	SYMBOL	HEIGHT	DESCRIPTION	MANUFACTURER	MODEL	W-4000	FACTORY ANALYSIS	U-G	WENT	TYPE COMMENTS
						FRAMES	U-FAC TOR	U-GCP	A1/A2	A1/A2
1	W-1	4'-0"	600 Series Window							
2	W-2	4'-0"	600 Series Window							
3	W-3	4'-0"	600 Series Window							
4	W-4	4'-0"	600 Series Window							
5	W-5	4'-0"	600 Series Window							
6	W-6	4'-0"	600 Series Window							
7	W-7	4'-0"	600 Series Window							
8	W-8	4'-0"	600 Series Window							
9	W-9	4'-0"	600 Series Window							
10	W-10	4'-0"	600 Series Window							

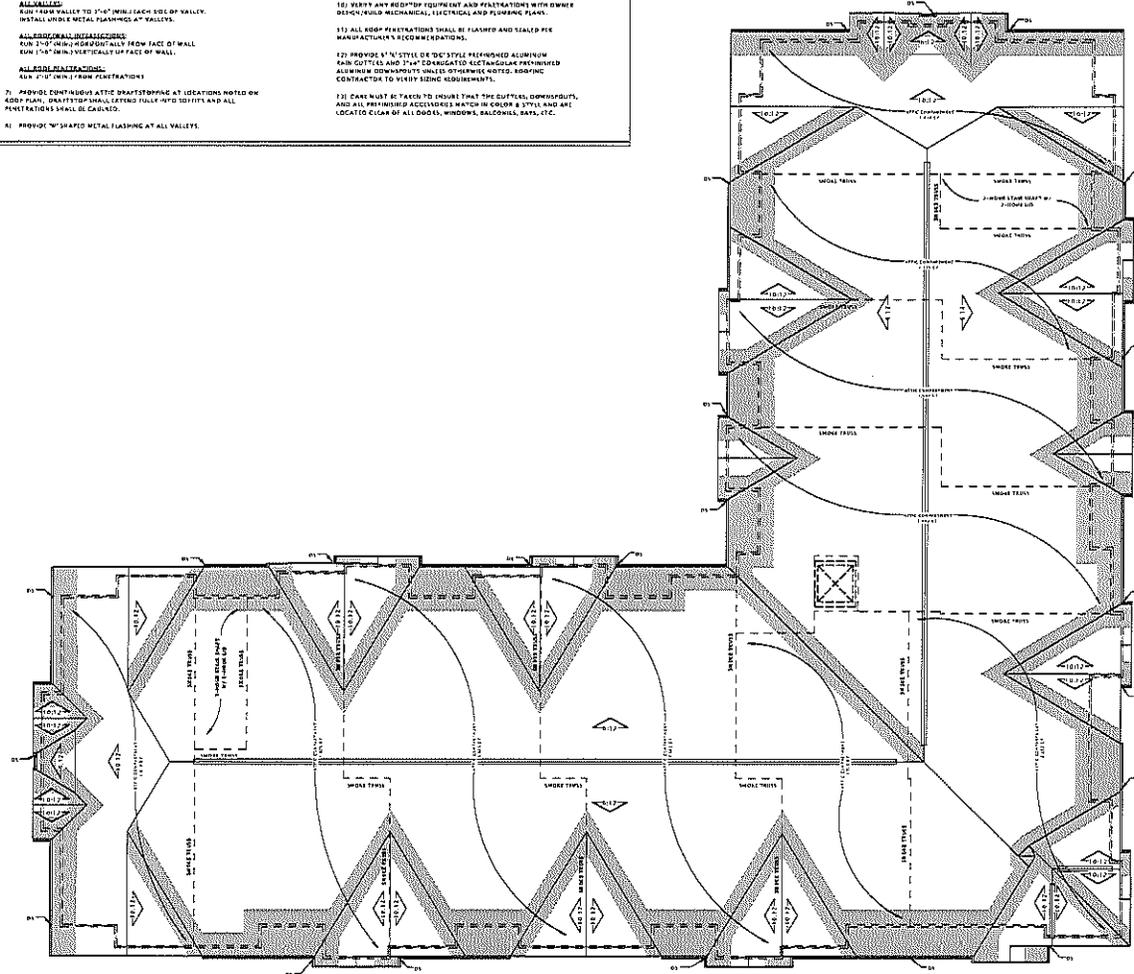
LOUVER SCHEDULE						
NO.	SYMBOL	HEIGHT	DESCRIPTION	MANUFACTURER	MODEL	TYPE COMMENTS
1	L-1	4'-0"	600 Series Louver	600 Series Louver	600 Series Louver	600 Series Louver
2	L-2	4'-0"	600 Series Louver	600 Series Louver	600 Series Louver	600 Series Louver

BUILDING 'B2' - THIRD FLOOR UNIT SCHEDULE		
UNIT NO.	PLAN TYPE	AREA
111	PLAN C2	2,510.0
112	PLAN C2	2,510.0
113	PLAN C2	2,510.0
114	PLAN C2	2,510.0
115	PLAN C2	2,510.0
116	PLAN C2	2,510.0
117	PLAN C2	2,510.0
118	PLAN C2	2,510.0
119	PLAN C2	2,510.0
120	PLAN C2	2,510.0
121	PLAN C2	2,510.0
122	PLAN C2	2,510.0
123	PLAN C2	2,510.0
124	PLAN C2	2,510.0
125	PLAN C2	2,510.0
126	PLAN C2	2,510.0
127	PLAN C2	2,510.0
128	PLAN C2	2,510.0
129	PLAN C2	2,510.0
130	PLAN C2	2,510.0
131	PLAN C2	2,510.0
132	PLAN C2	2,510.0
133	PLAN C2	2,510.0
134	PLAN C2	2,510.0
135	PLAN C2	2,510.0
136	PLAN C2	2,510.0
137	PLAN C2	2,510.0
138	PLAN C2	2,510.0
139	PLAN C2	2,510.0
140	PLAN C2	2,510.0
141	PLAN C2	2,510.0
142	PLAN C2	2,510.0
143	PLAN C2	2,510.0
144	PLAN C2	2,510.0
145	PLAN C2	2,510.0
146	PLAN C2	2,510.0
147	PLAN C2	2,510.0
148	PLAN C2	2,510.0
149	PLAN C2	2,510.0
150	PLAN C2	2,510.0
151	PLAN C2	2,510.0
152	PLAN C2	2,510.0
153	PLAN C2	2,510.0
154	PLAN C2	2,510.0
155	PLAN C2	2,510.0
156	PLAN C2	2,510.0
157	PLAN C2	2,510.0
158	PLAN C2	2,510.0
159	PLAN C2	2,510.0
160	PLAN C2	2,510.0
161	PLAN C2	2,510.0
162	PLAN C2	2,510.0
163	PLAN C2	2,510.0
164	PLAN C2	2,510.0
165	PLAN C2	2,510.0
166	PLAN C2	2,510.0
167	PLAN C2	2,510.0
168	PLAN C2	2,510.0
169	PLAN C2	2,510.0
170	PLAN C2	2,510.0
171	PLAN C2	2,510.0
172	PLAN C2	2,510.0
173	PLAN C2	2,510.0
174	PLAN C2	2,510.0
175	PLAN C2	2,510.0
176	PLAN C2	2,510.0
177	PLAN C2	2,510.0
178	PLAN C2	2,510.0
179	PLAN C2	2,510.0
180	PLAN C2	2,510.0
181	PLAN C2	2,510.0
182	PLAN C2	2,510.0
183	PLAN C2	2,510.0
184	PLAN C2	2,510.0
185	PLAN C2	2,510.0
186	PLAN C2	2,510.0
187	PLAN C2	2,510.0
188	PLAN C2	2,510.0
189	PLAN C2	2,510.0
190	PLAN C2	2,510.0
191	PLAN C2	2,510.0
192	PLAN C2	2,510.0
193	PLAN C2	2,510.0
194	PLAN C2	2,510.0
195	PLAN C2	2,510.0
196	PLAN C2	2,510.0
197	PLAN C2	2,510.0
198	PLAN C2	2,510.0
199	PLAN C2	2,510.0
200	PLAN C2	2,510.0

ENLARGED UNIT SHEET LISTING	
SHEET	PLAN TYPE
A10	A1, A1.1, A1M, A1.1M, A2
A11	B1, B1.1, B1.2, B1M, B1.1M, B1.2M
A12	B2A, B1.1A, B1.2A
A13	B2B, B1.1B, B1.2B
A14	B2C, B1.1C, B1.2C
A15	B2D, B1.1D, B1.2D
A16	B2E, B1.1E, B1.2E
A17	B2F, B1.1F, B1.2F, B1.3F, B1.4F, B1.5F, B1.6F, B1.7F, B1.8F, B1.9F, B1.10F, B1.11F, B1.12F, B1.13F, B1.14F, B1.15F, B1.16F, B1.17F, B1.18F, B1.19F, B1.20F
A18	B2G, B1.1G, B1.2G, B1.3G, B1.4G, B1.5G, B1.6G, B1.7G, B1.8G, B1.9G, B1.10G, B1.11G, B1.12G, B1.13G, B1.14G, B1.15G, B1.16G, B1.17G, B1.18G, B1.19G, B1.20G
A19	B2H, B1.1H, B1.2H, B1.3H, B1.4H, B1.5H, B1.6H, B1.7H, B1.8H, B1.9H, B1.10H, B1.11H, B1.12H, B1.13H, B1.14H, B1.15H, B1.16H, B1.17H, B1.18H, B1.19H, B1.20H
A20	B2I, B1.1I, B1.2I, B1.3I, B1.4I, B1.5I, B1.6I, B1.7I, B1.8I, B1.9I, B1.10I, B1.11I, B1.12I, B1.13I, B1.14I, B1.15I, B1.16I, B1.17I, B1.18I, B1.19I, B1.20I
A21	B2J, B1.1J, B1.2J, B1.3J, B1.4J, B1.5J, B1.6J, B1.7J, B1.8J, B1.9J, B1.10J, B1.11J, B1.12J, B1.13J, B1.14J, B1.15J, B1.16J, B1.17J, B1.18J, B1.19J, B1.20J
A22	B2K, B1.1K, B1.2K, B1.3K, B1.4K, B1.5K, B1.6K, B1.7K, B1.8K, B1.9K, B1.10K, B1.11K, B1.12K, B1.13K, B1.14K, B1.15K, B1.16K, B1.17K, B1.18K, B1.19K, B1.20K
A23	B2L, B1.1L, B1.2L, B1.3L, B1.4L, B1.5L, B1.6L, B1.7L, B1.8L, B1.9L, B1.10L, B1.11L, B1.12L, B1.13L, B1.14L, B1.15L, B1.16L, B1.17L, B1.18L, B1.19L, B1.20L
A24	B2M, B1.1M, B1.2M, B1.3M, B1.4M, B1.5M, B1.6M, B1.7M, B1.8M, B1.9M, B1.10M, B1.11M, B1.12M, B1.13M, B1.14M, B1.15M, B1.16M, B1.17M, B1.18M, B1.19M, B1.20M
A25	B2N, B1.1N, B1.2N, B1.3N, B1.4N, B1.5N, B1.6N, B1.7N, B1.8N, B1.9N, B1.10N, B1.11N, B1.12N, B1.13N, B1.14N, B1.15N, B1.16N, B1.17N, B1.18N, B1.19N, B1.20N
A26	B2O, B1.1O, B1.2O, B1.3O, B1.4O, B1.5O, B1.6O, B1.7O, B1.8O, B1.9O, B1.10O, B1.11O, B1.12O, B1.13O, B1.14O, B1.15O, B1.16O, B1.17O, B1.18O, B1.19O, B1.20O
A27	B2P, B1.1P, B1.2P, B1.3P, B1.4P, B1.5P, B1.6P, B1.7P, B1.8P, B1.9P, B1.10P, B1.11P, B1.12P, B1.13P, B1.14P, B1.15P, B1.16P, B1.17P, B1.18P, B1.19P, B1.20P
A28	B2Q, B1.1Q, B1.2Q, B1.3Q, B1.4Q, B1.5Q, B1.6Q, B1.7Q, B1.8Q, B1.9Q, B1.10Q, B1.11Q, B1.12Q, B1.13Q, B1.14Q, B1.15Q, B1.16Q, B1.17Q, B1.18Q, B1.19Q, B1.20Q
A29	B2R, B1.1R, B1.2R, B1.3R, B1.4R, B1.5R, B1.6R, B1.7R, B1.8R, B1.9R, B1.10R, B1.11R, B1.12R, B1.13R, B1.14R, B1.15R, B1.16R, B1.17R, B1.18R, B1.19R, B1.20R
A30	B2S, B1.1S, B1.2S, B1.3S, B1.4S, B1.5S, B1.6S, B1.7S, B1.8S, B1.9S, B1.10S, B1.11S, B1.12S, B1.13S, B1.14S, B1.15S, B1.16S, B1.17S, B1.18S, B1.19S, B1.20S
A31	B2T, B1.1T, B1.2T, B1.3T, B1.4T, B1.5T, B1.6T, B1.7T, B1.8T, B1.9T, B1.10T, B1.11T, B1.12T, B1.13T, B1.14T, B1.15T, B1.16T, B1.17T, B1.18T, B1.19T, B1.20T
A32	B2U, B1.1U, B1.2U, B1.3U, B1.4U, B1.5U, B1.6U, B1.7U, B1.8U, B1.9U, B1.10U, B1.11U, B1.12U, B1.13U, B1.14U, B1.15U, B1.16U, B1.17U, B1.18U, B1.19U, B1.20U
A33	B2V, B1.1V, B1.2V, B1.3V, B1.4V, B1.5V, B1.6V, B1.7V, B1.8V, B1.9V, B1.10V, B1.11V, B1.12V, B1.13V, B1.14V, B1.15V, B1.16V, B1.17V, B1.18V, B1.19V, B1.20V
A34	B2W, B1.1W, B1.2W, B1.3W, B1.4W, B1.5W, B1.6W, B1.7W, B1.8W, B1.9W, B1.10W, B1.11W, B1.12W, B1.13W, B1.14W, B1.15W, B1.16W, B1.17W, B1.18W, B1.19W, B1.20W
A35	B2X, B1.1X, B1.2X, B1.3X, B1.4X, B1.5X, B1.6X, B1.7X, B1.8X, B1.9X, B1.10X, B1.11X, B1.12X, B1.13X, B1.14X, B1.15X, B1.16X, B1.17X, B1.18X, B1.19X, B1.20X
A36	B2Y, B1.1Y, B1.2Y, B1.3Y, B1.4Y, B1.5Y, B1.6Y, B1.7Y, B1.8Y, B1.9Y, B1.10Y, B1.11Y, B1.12Y, B1.13Y, B1.14Y, B1.15Y, B1.16Y, B1.17Y, B1.18Y, B1.19Y, B1.20Y
A37	B2Z, B1.1Z, B1.2Z, B1.3Z, B1.4Z, B1.5Z, B1.6Z, B1.7Z, B1.8Z, B1.9Z, B1.10Z, B1.11Z, B1.12Z, B1.13Z, B1.14Z, B1.15Z, B1.16Z, B1.17Z, B1.18Z, B1.19Z, B1.20Z
A38	B2AA, B1.1AA, B1.2AA, B1.3AA, B1.4AA, B1.5AA, B1.6AA, B1.7AA, B1.8AA, B1.9AA, B1.10AA, B1.11AA, B1.12AA, B1.13AA, B1.14AA, B1.15AA, B1.16AA, B1.17AA, B1.18AA, B1.19AA, B1.20AA
A39	B2AB, B1.1AB, B1.2AB, B1.3AB, B1.4AB, B1.5AB, B1.6AB, B1.7AB, B1.8AB, B1.9AB, B1.10AB, B1.11AB, B1.12AB, B1.13AB, B1.14AB, B1.15AB, B1.16AB, B1.17AB, B1.18AB, B1.19AB, B1.20AB
A40	B2AC, B1.1AC, B1.2AC, B1.3AC, B1.4AC, B1.5AC, B1.6AC, B1.7AC, B1.8AC, B1.9AC, B1.10AC, B1.11AC, B1.12AC, B1.13AC, B1.14AC, B1.15AC, B1.16AC, B1.17AC, B1.18AC, B1.19AC, B1.20AC
A41	B2AD, B1.1AD, B1.2AD, B1.3AD, B1.4AD, B1.5AD, B1.6AD, B1.7AD, B1.8AD, B1.9AD, B1.10AD, B1.11AD, B1.12AD, B1.13AD, B1.14AD, B1.15AD, B1.16AD, B1.17AD, B1.18AD, B1.19AD, B1.20AD
A42	B2AE, B1.1AE, B1.2AE, B1.3AE, B1.4AE, B1.5AE, B1.6AE, B1.7AE, B1.8AE, B1.9AE, B1.10AE, B1.11AE, B1.12AE, B1.13AE, B1.14AE, B1.15AE, B1.16AE, B1.17AE, B1.18AE, B1.19AE, B1.20AE
A43	B2AF, B1.1AF, B1.2AF, B1.3AF, B1.4AF, B1.5AF, B1.6AF, B1.7AF, B1.8AF, B1.9AF, B1.10AF, B1.11AF, B1.12AF, B1.13AF, B1.14AF, B1.15AF, B1.16AF, B1.17AF, B1.18AF, B1.19AF, B1.20AF
A44	B2AG, B1.1AG, B1.2AG, B1.3AG, B1.4AG, B1.5AG, B1.6AG, B1.7AG, B1.8AG, B1.9AG, B1.10AG, B1.11AG, B1.12AG, B1.13AG, B1.14AG, B1.15AG, B1.16AG, B1.17AG, B1.18AG, B1.19AG, B1.20AG
A45	B2AH, B1.1AH, B1.2AH, B1.3AH, B1.4AH, B1.5AH, B1.6AH, B1.7AH, B1.8AH, B1.9AH, B1.10AH, B1.11AH, B1.12AH, B1.13AH, B1.14AH, B1.15AH, B1.16AH, B1.17AH, B1.18AH, B1.19AH, B1.20AH
A46	B2AI, B1.1AI, B1.2AI, B1.3AI, B1.4AI, B1.5AI, B1.6AI, B1.7AI, B1.8AI, B1.9AI, B1.10AI, B1.11AI, B1.12AI, B1.13AI, B1.14AI, B1.15AI, B1.16AI, B1.17AI, B1.18AI, B1.19AI, B1.20AI
A47	B2AJ, B1.1AJ, B1.2AJ, B1.3AJ, B1.4AJ, B1.5AJ, B1.6AJ, B1.7AJ, B1.8AJ, B1.9AJ, B1.10AJ, B1.11AJ, B1.12AJ, B1.13AJ, B1.14AJ, B1.15AJ, B1.16AJ, B1.17AJ, B1.18AJ, B1.19AJ, B1.20AJ
A48	B2AK, B1.1AK, B1.2AK, B1.3AK, B1.4AK, B1.5AK, B1.6AK, B1.7AK, B1.8AK, B1.9AK, B1.10AK, B1.11AK, B1.12AK, B1.13AK, B1.14AK, B1.15AK, B1.16AK, B1.17AK, B1.18AK, B1.19AK, B1.20AK
A49	B2AL, B1.1AL, B1.2AL, B1.3AL, B1.4AL, B1.5AL, B1.6AL, B1.7AL, B1.8AL, B1.9AL, B1.10AL, B1.11AL, B1.12AL, B1.13AL, B1.14AL, B1.15AL, B1.16AL, B1.17AL, B1.18AL, B1.19AL, B1.20AL
A50	B2AM, B1.1AM, B1.2AM, B1.3AM, B1.4AM, B1.5AM, B1.6AM, B1.7AM, B1.8AM, B1.9AM, B1.10AM, B1.11AM, B1.12AM, B1.13AM, B1.14AM, B1.15AM, B1.16AM, B1.17AM, B1.18AM, B1.19AM, B1.20AM
A51	B2AN, B1.1AN, B1.2AN, B1.3AN, B1.4AN, B1.5AN, B1.6AN, B1.7AN, B1.8AN, B1.9AN, B1.10AN, B1.11AN, B1.12AN, B1.13AN, B1.14AN, B1.15AN, B1.16AN, B1.17AN, B1.18AN, B1.19AN, B1.20AN
A52	B2AO, B1.1AO, B1.2AO, B1.3AO, B1.4AO, B1.5AO, B1.6AO, B1.7AO, B1.8AO, B1.9AO, B1.10AO, B1.11AO, B1.12AO, B1.13AO, B1.14AO, B1.15AO, B1.16AO, B1.17AO, B1.18AO, B1.19AO, B1.20AO
A53	B2AP, B1.1AP, B1.2AP, B1.3AP, B1.4AP, B1.5AP, B1.6AP, B1.7AP, B1.8AP, B1.9AP, B1.10AP, B1.11AP, B1.12AP, B1.13AP, B1.14AP, B1.15AP, B1.16AP, B1.17AP, B1.18AP, B1.19AP, B1.20AP
A54	B2AQ, B1.1AQ, B1.2AQ, B1.3AQ, B1.4AQ, B1.5AQ, B1.6AQ, B1.7AQ, B1.8AQ, B1.9AQ, B1.10AQ, B1.11AQ, B1.12AQ, B1.13AQ, B1.14AQ, B1.15AQ, B1.16AQ, B1.17AQ, B1.18AQ, B1.19AQ, B1.20AQ
A55	B2AR, B1.1AR, B1.2AR, B1.3AR, B1.4AR, B1.5AR, B1.6AR, B1.7AR, B1.8AR, B1.9AR, B1.10AR, B1.11AR, B1.12AR, B1.13AR, B1.14AR, B1.15AR, B1.16AR, B1.17AR, B1.18AR, B1.19AR, B1.20AR
A56	B2AS, B1.1AS, B1.2AS, B1.3AS, B1.4AS, B1.5AS, B1.6AS, B1.7AS, B1.8AS, B1.9AS, B1.10AS, B1.11AS, B1.12AS, B1.13AS, B1.14AS, B1.15AS, B1.16AS, B1.17AS, B1.18AS, B1.19AS, B1.20AS
A57	B2AT, B1.1AT, B1.2AT, B1.3AT, B1.4AT, B1.5AT, B1.6AT, B1.7AT, B1.8AT, B1.9AT, B1.10AT, B1.11AT, B1.12AT, B1.13AT, B1.14AT, B1.15AT, B1.16AT, B1.17AT, B1.18AT, B1.19AT, B1.20AT
A58	B2AU, B1.1AU, B1.2AU, B1.3AU, B1.4AU, B1.5AU, B1.6AU, B1.7AU, B1.8AU, B1.9AU, B1.10AU, B1.11AU, B1.12AU, B1.13AU, B1.14AU, B1.15AU, B1.16AU, B1.17AU, B1.18AU, B1.19AU, B1.20AU
A59	B2AV, B1.1AV, B1.2AV, B1.3AV, B1.4AV, B1.5AV, B1.6AV, B1.7AV, B1.8AV, B1.9AV, B1.10AV, B1.11AV, B1.12AV, B1.13AV, B1.14AV, B1.15AV, B1.16AV, B1.17AV, B1.18AV, B1.19AV, B1.20AV
A60	B2AW, B1.1AW, B1.2AW, B1.3AW, B1.4AW, B1.5AW, B1.6AW, B1.7AW, B1.8AW, B1.9AW, B1.10AW, B1.11AW, B1.12AW, B1.13AW, B1.14AW, B1.15AW, B1.16AW

ROOF NOTES

- 1) ROOF SHALL BE **ASSEMBLED** UNLESS NOTED OTHERWISE. TOP CHORDS OF TRUSSES SHALL BE **PROTECTED** AS INDICATED ON ROOF PLAN. SEE ROOF ASSEMBLY SHEET FOR DETAILED INFORMATION.
- 2) AT CAVITY ROOF AREAS PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF SHEATHING TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS/SCUPPER DRAINS.
- 3) ROOF DRAINS/SCUPPERS ARE SHOWN IN EXHIBIT ONLY. FLEWBING DESIGN/ROOF CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
- 4) ROOF VENTS SHOWN ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL PROVIDE VENTS & THROUGH ROOF VENTS TO PROVIDE 1 S.F. OF VENT AREA PER 300 S.F. OF ATTIC AREA PER THE CODE REQUIREMENTS. OWNER'S DESIGN/ROOF MECHANICAL CONTRACTOR SHALL PROVIDE CALCULATIONS SHOWING FINAL VENTILATION PLAN PRIOR TO INSTALLATION.
- 5) OVERHEADS SHALL BE AS SHOWN ON ROOF PLAN.
- 6) PROVIDE ICE & WATER SHIELD AT THE FOLLOWING LOCATIONS (SEE SHAIDED AREAS ON ROOF PLAN):
 - ALL GABLES:** RUN FROM EDGE OF GABLE TO 1'-0" (MIN.) PAST FACE OF EXTERIOR WALLS.
 - ALL VALLEYS:** RUN FROM WALLS TO 1'-0" (MIN.) EACH SIDE OF VALLEY. INSTALL UNBENT METAL FLASHINGS AT VALLEYS.
 - ALL GROUND INSTALLATIONS:** RUN 2'-0" (MIN.) FROM ALL REAR FACE OF WALL RUN 1'-0" (MIN.) VERTICALLY UP FACE OF WALL.
 - ALL ROOF PENETRATIONS:** RUN 1'-0" (MIN.) FROM PENETRATIONS
- 7) PROVIDE CONTINUOUS ATTC BRACKETING AT LOCATIONS NOTED ON ROOF PLAN. UNITS TOP SHALL EXTEND FULL WIDTH TO ITTY AND ALL PENETRATIONS SHALL BE CALCULATED.
- 8) PROVIDE "W" SHAPED METAL FLASHING AT ALL VALLEYS.
- 9) PROVIDE WATER TIGHT INTERCITY AT ALL PENETRATIONS AND EQUIPMENT FOR ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS FOR WARRANTIES AND CURRENT MFG STANDARDS. DESIGN/ROOF CONTRACTOR'S PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATHER TIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED ROOF OR CEILING.
- 10) VERIFY ANY ROOF TOP EQUIPMENT AND PENETRATIONS WITH OWNER DESIGN/ROOF MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
- 11) ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MANUFACTURER'S RECOMMENDATIONS.
- 12) PROVIDE 1" X 1" STYLE OR 2" X 2" STYLE FLEWBING ALUMINUM RAIN GUTTERS AND 1/2" CORUGATED RECTANGULAR PREPUNCHED ALUMINUM DOWNSPUTS UNLESS OTHERWISE NOTED. ROOFING CONTRACTOR TO VERIFY SIZING REQUIREMENTS.
- 13) CARE MUST BE TAKEN TO INSURE THAT THE GUTTERS, DOWNSPUTS, AND ALL FINISHED ACCESSORIES MATCH IN COLOR & STYLE AND ARE LOCATED CLEAR OF ALL DOORS, WINDOWS, BALCONIES, PATS, ETC.



BUILDING 'B2' ROOF PLAN
3/22 = 1'-0"

SCALE: BUILDING TO BE SITED VERMONT/STATE
1/2000 (SEE NOTES 1, 2, AND 3) FOR MORE INFO.

JLA

1000 WEST ASHWOOD AVE
SUITE 200
MOUNTAIN VIEW, NJ 07048
TEL: 908.261.1000
WWW.JLA-ARCHITECTS.COM

Fiduciary
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
APARTMENTS
ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS
These documents define progress and scope and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE	APRIL 21, 2015
REVISION SCHEDULE	
W.S. #	Description Date

SHEET TITLE
BUILDING 'B2' ROOF PLAN

SHEET NUMBER
A109-B2

JLA

10250 EIGHTH AVENUE
DENVER, COLORADO 80231

SA PROJECT NUMBER: 14-0515

Fiduciary
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
apartments

ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS

These documents reflect progress and issues and may be subject to change, including additional detail. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE

No.	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS
"B2" BUILDING

SHEET NUMBER

A200-B2



6 SOUTH ELEVATION - B2
1/8" = 1'-0"



10 NORTH ELEVATION - B2
1/8" = 1'-0"

SPECIFIC IMPLEMENTATION PLAN

ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS 'B2' BUILDING

SHEET NUMBER

A201-B2



15 EAST ELEVATION - B2
 1/8" = 1'-0"

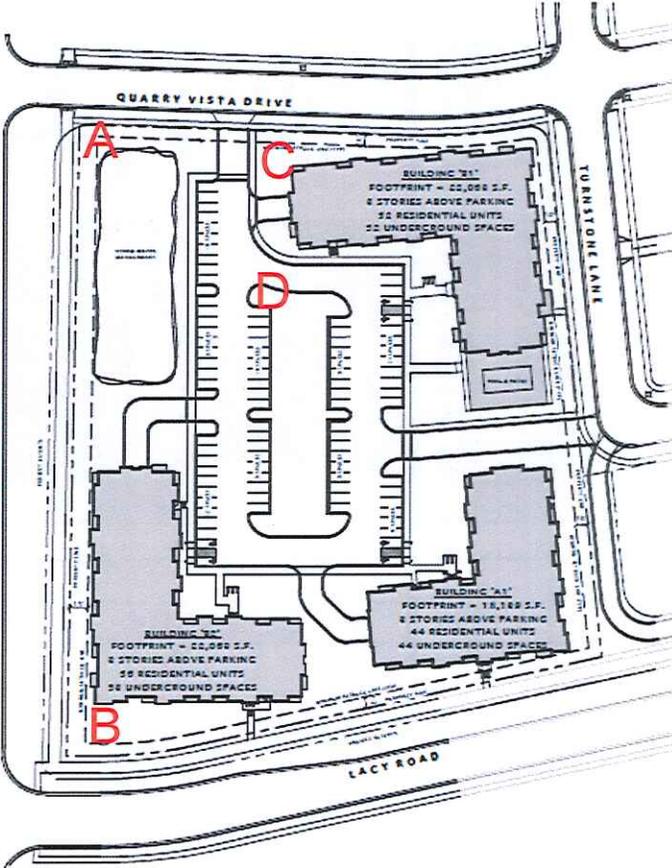


16 WEST ELEVATION - B2
 1/8" = 1'-0"

APPENDIX 'D'
SIGN PROGRAM

APRIL 21, 2015

ELAN
apartments



ELAN APARTMENTS - FITCHBURG, WI

Location : A & B



Scale 1"=1'-0"
 (2) 4'h x 8'w x 1/2" MDO Plywood Now Leasing Signs Rev1
 Digital printed on vinyl applied to boards
 Installed on 4x4 posts.



Customer ELAN APARTMENTS
 Street
 City FITCHBURG, WI

Date: 4.17.15
 Acct. Rep. James Miller

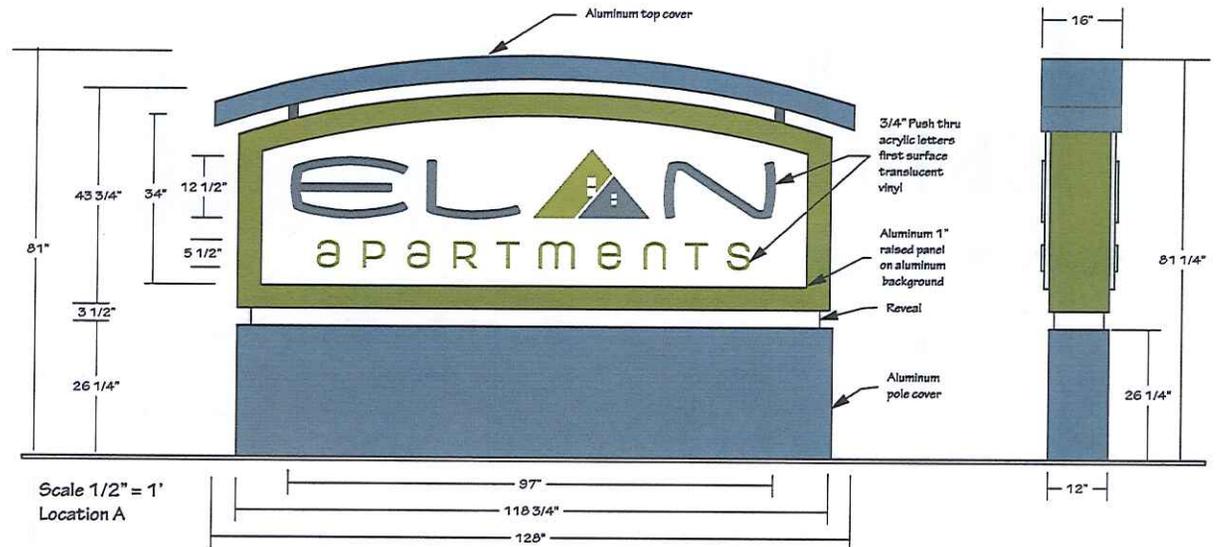
Designer: JEM
 Drawing No. Leasing sign41715
 Revision 1
 Scale:

Client Approval
 Signature:
 Print:
 Date:

Landlord Approval
 Signature:
 Print:
 Date:

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Elan Apartments



Double Faced Internal illumination with white LED
Sign SqFt = 72

Monument sign

- MAP Satin White
- MAP paint match PMS 562C
- MAP paint match PMS 431C



Customer Fiduciary_ Elan
Street Fitchburg, WI

Date: 4.20.15
Acct. Rep. James Miller

Designer: M Studnicka
Drawing No. Elan Sign A
Revision

Client Approval
Signature:
Print:
Date:

Landlord Approval
Signature:
Print:
Date:

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ELAN APARTMENTS - FITCHBURG, WI

Location: C and D



Sign C (s/f)



Sign D (s/f)

TEMPORARY SIGNS C & D

(2) 1/2" MDO Plywood Now Leasing Signs Rev1

Digital printed on vinyl applied to boards

Installed on 4x4 posts.



Customer ELAN APARTMENTS
Street
City FITCHBURG, WI

Date: 4.17.15
Acct. Rep. James Miller

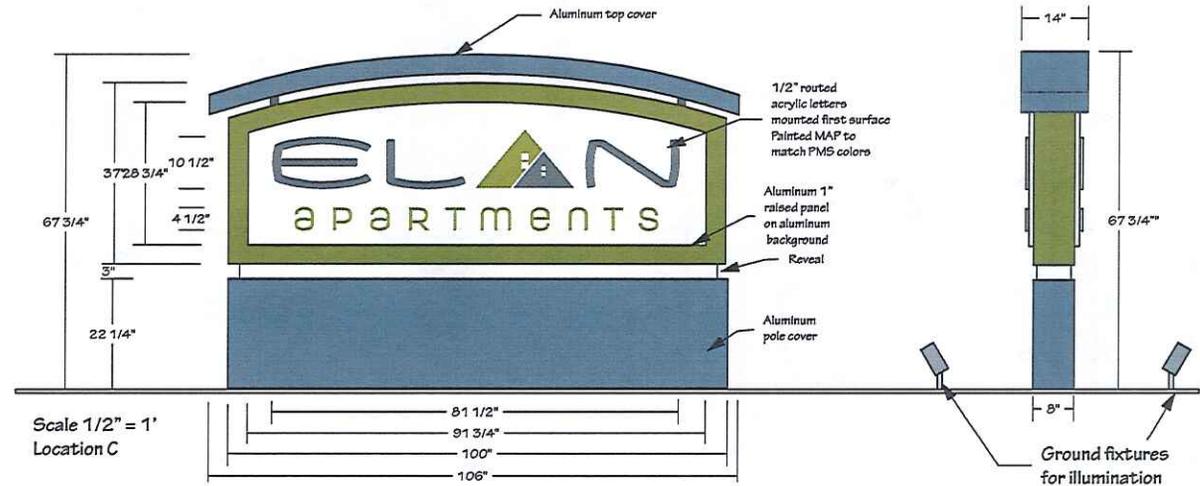
Designer: JEM
Drawing No. Leasing sign41715
Revision 1
Scale:

Client Approval
Signature:
Print:
Date:

Landlord Approval
Signature:
Print:
Date:

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Elan Apartments



Monument sign

- MAP Satin White
- MAP paint match PMS 582C
- MAP paint match PMS 431C

Double Faced non-illuminated

Sign SqFt = 49.872



Customer Fiduciary_ Elan
Street Fitchburg, WI

Date: 4.20.15
Acct. Rep. James Miller

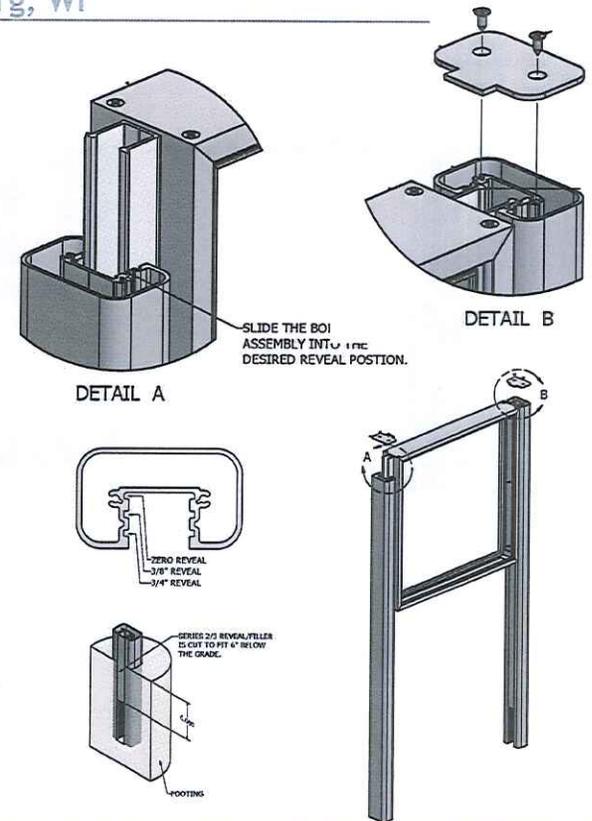
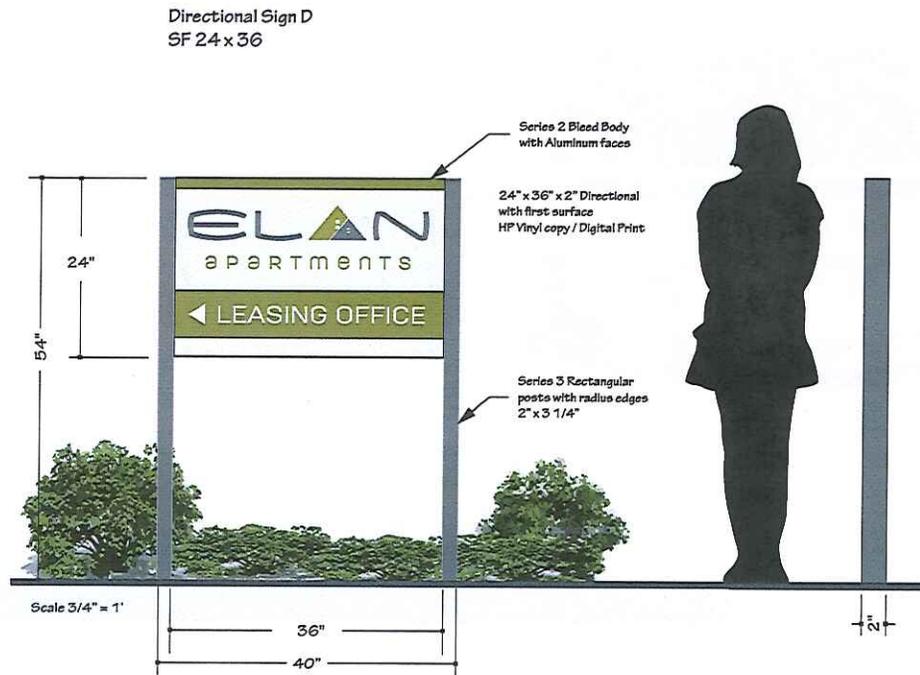
Designer: M Studnicka
Drawing No. Elan Sign C
Revision
Scale:

Client Approval
Signature:
Print:
Date:

Landlord Approval
Signature:
Print:
Date:

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Elan Apartments / Fitchburg, WI



Customer Elan Apartments
Street
City Fitchburg, WI

Date: 4.14.15
Acct. Rep. James Miller

Designer: M Studnicka
Drawing No. Elan Apart 24x36 C
Revision
Scale:

Client Approval
Signature:
Print:
Date:

Landlord Approval
Signature:
Print:
Date:

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Signs For Your Success!

APPENDIX 'E'
NEIGHBORHOOD INPUT INFORMATION

APRIL 21, 2015

Invite list for 10-14-14 Neighborhood meeting
 Fiduciary Real Estate Development - Quarry Vista Multi-Family

BEYLER LIVING TR
 BRAD O ANDERSON
 COREY L DINTELMAN
 DANE COUNTY
 DIANE REMEIKI
 EARLE N WILLIAMS & ARISA M WILLIAMS
 FITCHBURG MINERALS LLC
 FITCHBURG, CITY OF
 GREGORY A LUKAS & DIANE M LUKAS
 HAMM FAM LAND LLC
 HAMMERSLEY, KEITH E
 JOHN H ELLINGER
 JOHNSON REV LIVING TR, MARTIN H
 KENNETH E KAEGI & TERESA J KAEGI
 KENNETH O KOBERLE & JUDITH KOBERLE
 KEVIN N WUNDER & LORIANN S WUNDER
 LARRY J STARCZYNSKI & SHERRY L STARCZYNSKI
 MADISON METROPOLITAN SEWERAGE DISTRICT
 MAURER TR
 NATHAN HAMMERSLEY
 NSNK LLC
 PAYNE & DOLAN INC
 PRINGLE LIVING TR
 ROBERT O KOHLENBERG & NORMA K KOHLENBERG
 SCOTT C LITTLE & SHEILA A LITTLE
 TODD E MEURER & HOLLY M DOWLING
 VIVIAN G KILLERLAIN
 Amanda Arnold, Town of Verona

6342 PHEASANT LN
 2712 FITCHRDNA RD
 2706 FITCHRONA RD
 210 MARTIN LUTHER KING JR BLVD RM 114
 1321 MDRRISON ST
 2687 FITCHRONA RD
 6295 LACY RD
 5520 LACY RD
 7330 SOUTHERN OAK PL
 6244 OAK HOLLOW DR
 6291 LACY RD
 2720 FITCHRONA RD
 6355 PHEASANT LN
 6344 GOOSE LAKE DR
 2669 FITCHRONA RD
 6353 GOOSE LAKE DR
 2701 FITCHRONA RD
 1610 MOORLAND RD
 2657 FITCHRDNA RD
 6310 LACY RD
 6291 LACY RD
 PD BDX 781
 2700 FITCHRONA RD
 2653 FITCHRONA RD
 6350 PHEASANT LN
 6352 GOOSE LAKE DR
 6341 PHEASANT LN
 335 N. Nine Mound Road

VERONA WI 53593
 FITCHBURG WI 53719
 FITCHBURG WI 53711
 MADISON WI 53703-3342
 MADISON WI 53703
 MADISON WI 53719
 VERONA WI 53595
 FITCHBURG WI 53711
 MADISON WI 53719
 OREGON WI 53575
 FITCHBURG WI 53593
 FITCHBURG WI 53719
 VERONA WI 53593
 VERONA WI 53593
 MADISON WI 53719
 VERONA WI 53593
 VERONA WI 53593
 MADISON WI 53719
 VERONA WI 53593
 Verona, WI 53593-1035



Fiduciary
 Real Estate Development, Inc.

October 3, 2014

RE: Proposed 152-unit Apartment Home Project
 Hamm Fam Land, LLC lands
 Outlot 9 of the plat of Quarry Vista
 NW 1/4 of the NW 1/4 of Section 18

Dear Neighbor,

This letter is in regards to our proposed Apartment Home development located in the City of Fitchburg, near your property at the intersection of Lacy and Fitchrona Roads. Please find the following:

- Location map depicting our property and the surrounding neighborhood
- 11"x17" color rendered Concept Plan of our project which was reviewed by the City-Plan Commission at their meeting on September 16, 2014.

We will be submitting our full General Implementation Plan (GIP) for the project by the City's Tuesday October 21, 2014 deadline in order to be on the City Plan Commission meeting agenda on Tuesday, November 18, 2014.

In order to solicit your input on the proposed design, we would like to invite you to an Open House:

Tuesday, October 14, 2014 from 5:30 to 6:30 PM

The open house will be held at the Hammersley Stone Offices, 6291 Lacy Road, Fitchburg, WI 53593

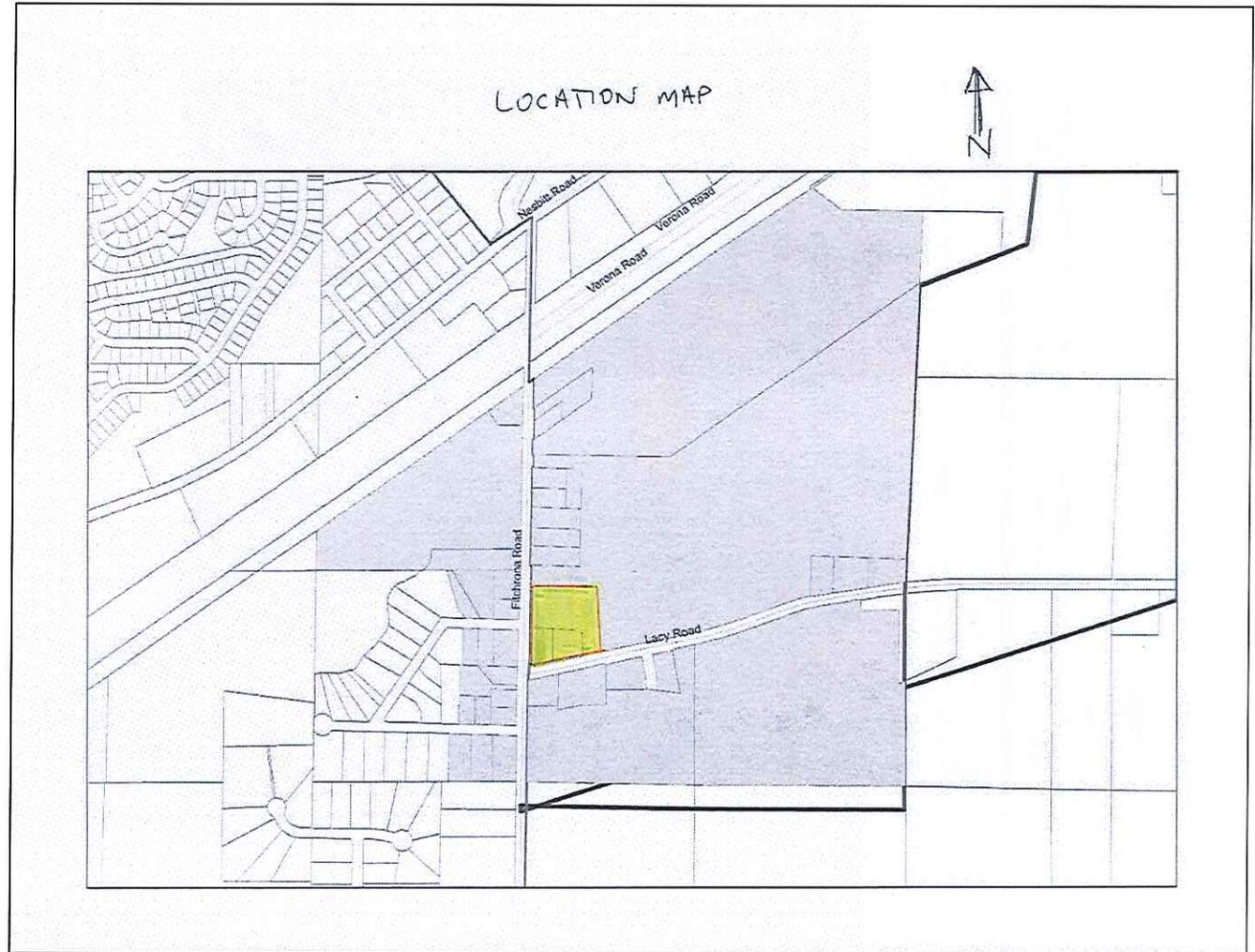
Again, we would appreciate any input you have on our plans and please do not hesitate to contact me (information below) if you have any questions or need additional information.

Sincerely,

Fiduciary Real Estate Development, Inc.

William F. Olin
 Project Manager
 Direct line 414-274-8217
 Email wohin@fidjinc.com

Sample Attachment to Neighborhood Meeting Invitation



Sample Attachment to Neighborhood Meeting Invitation



JLA

Fiduciary
 REAL ESTATE DEVELOPMENT, INC.
 FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

QUARRY VISTA MULTI-FAMILY

CONCEPTUAL MASTERPLAN

ASP-100

Neighborhood Meeting Sign-In Sheet



HAMMERSLEY
STONE
CO. INC.



Grading and Utility Construction
Crushed Stone Supplies

6231 Lacy Rd
Fitchburg, WI 53533
Phone: (608) 845-7804
Fax: (608) 845-5532

October 14, 2014

*Meeting with Neighborhood
Fiduciary Real Estate*

<i>Geoff Krause</i>	<i>Tonto Trail</i>
<i>Gary Achly</i>	<i>Trato Trail</i>
<i>Edward Kucinski</i>	<i>Fitchburg Rd</i>
<i>Ellen Maurer</i>	<i>Fitchburg Rd</i>
<i>Jim Pappert</i>	<i>Fitchburg Rd</i>
<i>Diane Skomzka</i>	<i>Lacy Rd</i>
<i>Paul Pappert</i>	<i>Town Plan Comm.</i>
<i>Todd Meurer</i>	<i>Goose Lake Dr.</i>
<i>Dennis Mounsey (Dugan and Dugan)</i>	<i>6235 Lacy Rd</i>

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
 Direct Referral Approved by:

Date Referred: April 28, 2015
 Date to Report Back: May 26, 2015

Ordinance Number: **2015-O-12**
 Resolution Number:

Sponsored by: Mayor Arnold

Drafted by: Planning/Zoning

TITLE: An Ordinance Amending Chapter 23 to Article 1 Table 2(g), Article 5 Section 5.6.2(f)(vi), Article 5 Section 5.6.2(g), and Article 5 Table 21

Background: As work continues to progress in Uptown and North Park, the developers and staff are continuing to review the Code to allow flexibility to some of the requirements. Tim O'Brien Homes/Neumann Companies has requested some changes to the T4 Frontage Buildout requirements to allow the single-family homes to sit more square on the lot. Additionally, a change is proposed to allow flexibility to the T5 front setback where there is a bicycle or pedestrian easement present.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	May 19, 2015	
2				
3				
4				

Amendments:

Mayor Arnold
Introduced By

Planning Dept.
Drafted By

Plan Commission
Referred to

April 28, 2015
Date

ORDINANCE NO. 2015-O-12
**An Ordinance Amending Chapter 23 to Article 1 Table 2(g), Article 5 Section 5.6.2(f)(vi),
Article 5 Section 5.6.2(g), and Article 5 Table 21.**

The Common Council of the City of Fitchburg, Dane County, Wisconsin hereby ordains as follows:

SECTION 1: ARTICLE 1 Table 2(g) T4 Frontage Buildout requirement is amended to read:

g. SETBACKS - PRINCIPAL BUILDING (see Tables 22 - 26)

(g.1) Front Setback (Principal)	not applicable	24 ft. min	20 ft. min	6 ft. min 18 ft. max	2 ft. min 12 ft. max
(g.2) Front Setback (Secondary)	not applicable	24 ft. min	12 ft. min	6 ft. min 18 ft. max	2 ft. min 12 ft. max
(g.3) Side Setback	not applicable	24 ft. min	5 ft. min	3 ft. min., 0 ft.	0 ft. min 12 ft. max
(g.4) Rear Setback	not applicable	24 ft. min	20 ft. min	3 ft. min*	3 ft. min**
Frontage Buildout (see Sec. 5.6.2f)	not applicable	not applicable	not applicable	60% min*** +	80% min***

* or 15 ft from centerline of Rear Alley or Lane

** 3 ft. min except in the case of a common or shared wall. In all other cases, 0' permitted only by Administrative Waiver

*** Variation behind the primary setback is permitted up to 18"

+ See 5.6.2.f.vi for reduced Frontage Buildout for single-family Edgeyard.

SECTION 2: ARTICLE 5, Section 5.6.2(f)(vi) is amended to read:

5.6.2.f.vi ~~For T4 Edgeyard single-family dwelling structures, the Frontage Buildout shall be calculated by subtracting one foot from the Lot Width at the Principal Frontage Line and then multiplying that by the required Frontage Buildout percentage specified in Table 2g.~~

T4 single-family Edgeyard building, where the garage does not have access to a rear alley or rear lane, may have Frontage Buildout reduced to 50%, provided the garage width is 24' or less.

SECTION 3: ARTICLE 5, Section 5.6.2(g) shall be amended to read:

5.6.2.g. Setbacks for Principal Buildings shall be as shown in Table 2g and Tables 22-26. In the case of an Infill Lot, the Common Council through the approved Infill Community Regulation Plan, may require setbacks to match one of the existing adjacent setbacks. ~~Where a bicycle or pedestrian easement is present, the building recess may be beyond the maximum setback range, provided that the primary setback is within the allowed setback range and all other aspects of the setback and frontage buildout are maintained.~~

SECTION 4: ARTICLE 5, Table 21 Specific Use, is amended to read:

ARTICLE 5. TRANSECT ZONING REGULATIONS

SMARTCODE DISTRICT

Fitchburg, Wisconsin

TABLE 21. SPECIFIC USE

	T2	T3	T4	T5	SD1
a. RESIDENTIAL *					
Mixed Use Block				■	■
Flex Building			■	■	■
Multi-Family Building **			■	■	■
Live/Work Unit	■	■	■	■	
Townhouse			■	■	□
Duplex		■	■	■	□
Courtyard House			■	■	□
Sideyard House		■	■	■	□
Cottage		■	■		
House	■	■	■		
Villa	■				
Accessory Unit	■	■	■	■	■
Residential Amenity		□	□	■	■
b. LODGING					
Hotel (no room limit)				■	■
Inn (up to 20 rooms)	□		■	■	
Bed & Breakfast (up to 6 rooms)	□	■	■	■	
School Dormitory	□		■	■	
c. OFFICE ***					
Office Building			■	■	■
Live-Work Unit		■	■	■	■
d. RETAIL, Services					
Open-Market Building	■	■	■	■	□
Retail Building			■	■	□
Display Gallery			■	■	■
Bar, Restaurant	■	■	■	■	■
Kiosk			■	■	□
Push Cart				□	□
Liquor Store			□	■	■
Adult Entertainment					
Personal, Business Services				■	■
Construction/Contractor Services					□
Lumber & Building Materials Sales					□
e. CIVIC					
Bus Shelter		■	■	■	■
Convention Center				□	■
Conference Center				□	■
Convention, Conference, Exhibition Center				□	■
Fountain or Public Art	■	■	■	■	■
Library		□	■	■	□
Movie, Live Theater				■	□
Movie Theater				■	□
Museum				■	□
Outdoor Auditorium	□	■		■	
Parking Structure				■	■
Passenger Terminal					□
Playground	■	■	■	■	□
Sports Stadium					□
Surface Parking Lot				□	■
Religious Assembly	■	■	■	■	□
Amusement, Recreation				■	□

	T1	T2	T3	T4	T5	SD1
f. OTHER: AGRICULTURE						
Grain Storage	□	■				
Livestock Pen	□	■				
Greenhouse	□	■	■			
Stable	□	■	□			
Kennel	□	■	□	□	□	
f. OTHER: AUTOMOTIVE						
Gasoline		□		□	□	□
Automobile Service						□
Truck Maintenance						□
Drive -Through Facility				□	□	□
Rest Stop	■	■				
Roadside Stand	■	■				
Billboard						
Shopping Center						
Shopping Mall						
f. OTHER: CIVIL SUPPORT						
Fire Station			■	■	■	■
Police Station				■	■	■
Cemetery		■	□	□		□
Funeral Home				■	■	□
Hospital					□	■
Medical Clinic				□	■	■
f. OTHER: EDUCATION						
College					□	■
High School				□	□	□
Trade School					□	■
Elementary School			□	■	■	□
Other - Childcare Center	■	■	■	■	■	■
f. OTHER: INDUSTRIAL						
Heavy Industrial Facility						□
Light Industrial Facility				□	□	■
Truck Depot						□
Research/Laboratory Facility					□	■
Water Supply Facility						□
Sewer and Waste Facility						□
Electric Substation	□	□	□	□	□	□
Wireless Transmitter	□	□				□
Cremation Facility						
Warehouse						■
Produce Storage		□				
Mini-Storage						□

■ BY RIGHT

□ BY CONDITIONAL USE

See Table 18 for specific scale of general Use by Transect Zone.

* Family Day Care, as defined in Chapter 22 is permitted in T2, T3, T4 and T5.

** Group Homes are permitted according to Chapter 22.

*** Home offices are permitted in T2.

SECTION 5: ARTICLE 5, Table 23(g) Form-Based Graphics – T4 Frontage Buildout requirement, is amended to read:

g. SETBACKS - PRINCIPAL BUILDING (see Table 2g)	
(g.1) Front Principal	6 ft. min. 18 ft. max.
(g.2) Front Secondary	6 ft. min. 18 ft. max.
(g.3) Side	3 ft. min., 0 ft.**
(g.4) Rear	3 ft. min.***
Frontage Buildout	60% min. +
h. SETBACKS - OUTBUILDING (see Table 2h)	
(h.1) Front Setback	20 ft. min. + bldg. setback
(h.2) Side Setback	3 ft. min.
(h.3) Rear Setback	3 ft. min.*
*3 ft. max for alley-loaded corner condition	
j. PRIVATE FRONTAGES (see Table 14)	
Common Yard	not permitted
Porch & Fence	permitted
Light Court	permitted
Forecourt	permitted
Stoop	permitted
Shopfront	permitted
Gallery	permitted
Parking Lot	not permitted
Arcade	not permitted
Common Entry & Planter	not permitted
Refer to Summary Table 2	
PARKING PROVISIONS	
See Tables 18, 19 & 20	
* Single family lots shall not exceed 60 ft. in width	
** 3 ft. min. except in the case of a common or shared wall. In all other cases, 0' permitted by Administrative Waiver.	
*** or 15 ft. from center line of Alley or Lane. 3 ft. max. for alley-loaded corner condition.	
+ T4 Single-family Edgeyard, where the garage does not have access to a rear alley or rear lane, may have Frontage Buildout reduced to 50%, provided the garage width is 24' or less.	

SECTION 6: This ordinance shall take effect the day after its publication.

SECTION 7: If any section, subsection, sentence, clause or phrase of this Ordinance is for any reason held to be invalid or unconstitutional by reason of a decision of any court of competent jurisdiction, such decision shall not affect the validity of any other section, subsection, sentence, clause or phrase thereof.

Adopted this _____ day of _____, 2015.

Steve Arnold, Mayor

Attested: _____

Patti Anderson, City Clerk

Published:

City of Fitchburg Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **April 28, 2015**
Date to Report Back: **May 12, 2015**

Ordinance Number:
Resolution Number: **R-53-15**

Sponsored by: Mayor

Drafted by: Misty Dodge

TITLE: Resolution Adopting Purchasing Card Procedure Manual

Background:

The City currently participates in a credit card program through Park Bank. The Library and the Police Department have their own departmental cards and there are others maintained by the Finance Department that are available for check-out to other employees. There are also several store charge cards set-up through the City. There is an opportunity to expand and refine our existing program to realize significant efficiencies and cost savings.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Finance Committee	Roach/Dodge	May 12, 2015	
2				
3				
4				

Amendments:



City of Fitchburg

Purchasing Card
(P-Card)

Procedure Manual
Drafted April 2015



Welcome to the City of Fitchburg's Purchasing Card (P-Card) Program

The P-Card program is designed to make it easier and more cost effective for City personnel to make small dollar purchases of goods and services from any supplier who accepts MasterCard. Department account clerks or administrative personnel may also use p-cards to process direct buys under \$2,500. Accounts Payable also has a p-card to process direct buys over that amount, as well as to process payments made against a purchase order, or direct buys that exceed \$2,500.

If you have any comments, questions or feedback, please contact your P-Card Administrator (currently Misty Dodge), via email or at x252. In Misty's absence, contact Kari Peterson via email or at x271.

This procedure manual consists of four sections: General Information & Cardholder Use, Additional Information for Cardholder Use Specific to Travel, Supervisor/Department Head Responsibilities, Allocation Personnel Responsibilities/Processes, and Internet Purchasing Policies.

This manual will address most of your questions about the P-Card Program and provide guidelines for using your P-Card.

Listed below you will find definitions used throughout this manual.

JPMC	Abbreviation for JP Morgan Chase; the bank that provides our credit card services
Gen2, SDOL, or SDgen2	Abbreviation for JPMC's online system; Smart Data OnLine; latest generation
P-Card	Purchasing/Credit Card issued by the City to an approved employee
Cardholder	Employee that has been issued a P-card and who is authorized to make purchases in accordance with these procedures.
Coding Personnel	An employee who can allocate the expenses to the correct account(s) for his/her cardholders and add descriptions. Also compiles appropriate documentation for submission to Finance.
Supervisor/Department Head	Employee responsible for verifying and approving all p-card purchases and ensuring that the appropriate documentation is included in the packet submitted to Finance.
P-Card Administrator	Individual responsible for issuing cards, providing training, and responding to questions related to the program (currently Misty Dodge x252)
P-Card Auditor	Individual responsible for auditing the monthly p-card statements and documentation packets to ensure compliance with City policies (currently Susan Jordan x250)
Cardholder Statement/Expense Report	A monthly list of all transactions made by the cardholder. Unless otherwise directed by the department head and/or supervisor, the cardholder is responsible for reconciling the statement against purchases made.
Single Limit	The dollar amount established for a single transaction. This dollar limit may vary from cardholder to cardholder and is mutually established by the Department Head or designee and the P-Card Administrator.
Credit Limit	A dollar amount limiting the total dollar amount for all purchases made within a billing cycle. Our billing cycle aligns with calendar months. This dollar limit may vary from cardholder to cardholder and is mutually established by the Department Head or designee and the P-Card Administrator.

SECTION 1

GENERAL INFORMATION & CARDHOLDER USE

A. General

The unique P-Card the cardholder receives has his/her name embossed on it, as well as the City’s logo and the City’s tax-exempt number. The cardholder is the **ONLY person authorized to use the card**. The cardholder may make transactions on behalf of others in their department/division, however the cardholder is responsible for all use of his/her card.

A number of unique controls have been developed for this program that does not exist in a traditional credit card environment. These controls ensure the card can be used only for specific purposes and within specific dollar limits.

Cardholders that have been authorized to use their cards for travel and/or seminar registration must also review Section 2.

B. Security

Cardholders are responsible for maintaining the security of their p-card; including the following:

- o Protect your cards including endorsing any new or reissued cards immediately.
- o Guard your account number; i.e. cardholders should not give card numbers over the telephone unless they have performed reasonable due diligence to assure the company is reputable, look for the “SSL” lock logo when making purchases online.
- o Never keep your account access code or password in the same location as the card.
- o Know your rights; i.e. Cardholders should not give any additional identification such as their driver’s license number, social security number, etc. when paying with credit card.
- o Notify JPMC no later than five days after the date a fraudulent transaction(s) is suspected.
- o **Immediately** notify JPMC of a lost or stolen credit card (800-316-6056). **Within one working day**, call or send the P-Card administrator an email notifying them of the lost/stolen card as well.

C. Cardholder Limits:

All P-Cards have a single and a monthly limit and in some cases a daily limit. The P-Card Administrator, in conjunction with your department head/division manager or their designee, has established these limits. This information was provided to you when you received your training and/or your actual card. If you feel the limits are not sufficient and/or you feel you should be authorized to use your card for travel and/or seminar registration, you must have them issue the Change Form found on the intranet. Note: All changes are subject to approval by P-Card Administrator.

If you have a card that allows you to use it for travel and seminar registration, your single limit may be higher to accommodate this, however, **when used for non-travel purposes, your purchases should remain under \$2,500 amount unless you have prior approval from the P-Card Administrator.**

D. Types of Credit Card Purchases

Examples of purchases that the P-Card may or may not be used for include, but are not necessarily limited to the items listed below. All software/hardware purchases require written IT approval. All written approvals should be retained with your receipts, as they must be submitted with your monthly statement.

Examples of Acceptable Purchases	Examples of Unacceptable Purchases
Office supplies	Capital Equipment/Fixed Assets unless otherwise authorized.
Books, periodicals, subscriptions, etc.	Software/Hardware without IT approval
Small dollar software/hardware with IT approval* *IT approval must be in writing. Current point person for this purpose is Matt Prough	Sales Tax
Items under \$2,500 unless otherwise authorized.	Personal purchases
Internet Purchases \$2,500 or less (see also Section 5)	Purchases shipped to a home address
	Purchases made using a “Reward”, “Member” or other type of card where personal benefits are received as a result of the purchase.

E. Accounts Payable P-Card: The master Accounts Payable (AP) card used by the Finance Department has no limits for processing payments. Additionally, if the master AP card is used to process payments against a purchase order, it may be used for some items listed under Unacceptable Purchases.

F. Account Limits

If you need to review your single and monthly transaction limit, click on the Account Activity Tab when logged into the SDgen2 system, then click on Account Information. Your monthly limit is referred to as your credit limit in the system and your single limit is referred to as the Single Transaction Amount.

G. Purchase Declines

If your p-card is declined, contact the p-card administrator (currently Misty Dodge x252) and he/she can look-up the explanation and assist in correction if needed. The common reasons for declines are insufficient money available, exceeding the single limit, or an "MCC" (Merchant Category Code) exclusion. The MCC identifies what the vendor sells or the services they perform. For limit issues, you may work with your supervisor to have your limits changed by submitting a change form (located on the intranet) to the P-Card Administrator. If it is an MCC restriction, contact the P-Card Administrator for further direction; i.e. the restriction may be lifted, the P-Card Administrator may use her credit card, etc.

H. Purchasing with the P-Card

Making a City related purchase with your p-card is as simple as using any credit card. The process is described below.

You place an order for goods/services with the supplier either by phone, fax* or in person. * If by fax, do not leave the order form where someone can copy your credit card information. Fax should be a last resort, as even though you may be sure it is not left in the machine, you don't know what is happening on the recipient's end. Therefore, if they require a form be faxed in, we recommend that you do so, but insert "Contact Cardholder @ phone number" in the Credit Card # field.
The Supplier processes the transaction requesting purchase authorization from JPMC; i.e. to assure the purchase is not from a supplier type that has been excluded and that the amount is within the cardholder's limits.
If you are at the supplier location, review the sales receipt prior to signing to be sure tax hasn't been charged. After signing, be sure to keep the cardholder copy of the receipt. You can then take your purchase with you.
If you make the purchase by phone or fax, the supplier can deliver your purchase and send the sales receipt to you or you can pick up the goods and the sales receipt in person. Fax or scanned receipts are acceptable.
All receipts should be retained and submitted to Finance as part of the monthly p-card packet. Receipt must show dollar amount charged, items purchased and name of company; <u>submitting just the charge card receipt is not acceptable.</u>

I. Tracking Purchases

Some department heads have assigned one person the responsibility for reconciling their cardholder's statements. In order to assure they can do so properly, it is critical that you retain receipts for every purchase made using the card. It is highly desirable that they be kept in the order the transaction was made to expedite the reconciliation process.

Note: If you are unable to produce a receipt for a purchase, you must complete an Affidavit of P-Card Receipt located on the intranet. Your department head MUST also sign.

Regardless of who will be doing the reconciliation process, **receipts must be retained for every purchase.**

J. Returning Purchases

If an item is not satisfactory, or a wrong item is delivered, damaged and/or defective, etc., the cardholder should make contact with the vendor to explain the problem and follow their return policies. Record the return on the original receipt and staple any credit memos issued to that receipt. **Do not accept a cash refund.**

If the goods are returned in person, the original receipt must accompany the goods. A copy of the credit receipt for the returned goods must be obtained. Record the return on the original receipt and staple any credit memos issued to that receipt. **Do not accept a cash refund.**

K. Reconciling your Statement

Our billing cycle coincides with the calendar months. Once the billing cycle closes, you will receive an email notice reminding you to code your transactions and submit your expense report packet to Finance within one week. **NOTE: Regardless of whether or not you had any activity, please log in to the system to keep your user ID active.**

Transactions can take from 1-3 days to post; if you made a purchase toward the end of the billing cycle, it may not appear until the next month's statement. All transactions are listed in chronological order so this process can be streamlined if you file your receipts in the same manner.

M. Transaction Coding Process

Reminder: Those individuals who have account coding responsibilities must review Section 4, P-Card Allocation Personnel Responsibilities.

N. Reconciliation Deadlines

The entire process of reconciliation (and approval) must be completed and submitted to the Finance Department **within one week of the billing cycle closing**. Once you have accounted for all transactions noted on the monthly statement and completed the proper coding, create the monthly packet for submission to Finance by printing the expense report and attaching all receipts, credit memos, approvals from IT, and training and travel forms as necessary. Sign the expense report and forward the packet of information to your supervisor for review and approval within two working days after the close of the billing cycle. If you do not have reconciliation/account coding responsibility, you should immediately provide them with this information upon receipt of the monthly statement.

Note: Continued failure to submit your statements in a timely manner will result in your card being canceled.

O. Disputed Items

If there is a discrepancy on the monthly statement, contact the supplier to try and resolve the situation. If successful, make a note on the monthly statement and be sure to verify the correction the following month. If the dispute can't be resolved with the supplier, contact JPMC at 800-316-6056. In some cases you may be required to fax a hard copy inclusive of signature to **866-865-2298**. Disputed items must be reported within 60 days from the statement date. Also notify the P-Card Administrator of any disputes that were filed with JPMC.

P. Abuse Policy

All cardholders and card users are expected to follow Purchasing Card Program policies. Listed below are the actions considered to be abuse of the policy as well as the resulting consequences for the abuse. Consequences will be administered by the P-Card Administrator and/or Human Resources as applicable in accordance with the terms provided in the abuse sections below. Consequences are administrative actions taken in response to p-card abuse. These actions include written notifications of abuse, additional training and/or temporary/permanent suspension of card privileges. Such actions are intended to give cardholders the assistance needed to be in compliance with the policy and to provide accountability for the Program.

Administering consequences shall not preclude the possibility of disciplinary action up to and including termination. The determination and administration of any disciplinary actions resulting from p-card abuse shall be the responsibility of the Human Resources Manager.

Q. Individual Cardholder or Department Card User Abuse:

Level 1 Abuse

1. Failure to follow Internet Guidelines when making Internet Purchases (Reference Section 5).
2. Failure to monitor charging of sales tax that result in charges of \$10 or more of sales tax in a single transaction.
3. Failing to use established city-wide contracts for commodities or services.
4. Splitting transactions to bypass established limits.
5. Making unacceptable purchases as defined in the Purchasing Card Procedure Manual.
6. Failing to protect the p-card.
7. Failing to submit monthly packets to the Finance Department within the given timeframe.

Consequences for Level 1 Abuse:

First and Second incident within a six-month period: Written notification (may be e-mail) will be sent to the cardholder of any infraction with supporting documentation. The cardholder's supervisor will receive a copy of the notification.

Third incident within a six-month period: Temporary (2 week) suspension of P-Card privileges with mandatory re-training. Written notification with supporting documentation will be sent to cardholder, cardholder's supervisor and department head.

Continual abuse may result in extended to permanent suspension of card.

Level 2 Abuse

1. Allowing another individual to use your card
2. Purchasing restricted commodities
3. Failing to obtain receipts

Consequences for Level 2 Abuse:

First incident within a six-month period: Written notification (may be e-mail) will be sent to the cardholder of any infraction with supporting documentation. The cardholder's supervisor will receive a copy of the notification.

Second incident within a six-month period: Temporary (30 day) suspension of P-Card privileges with mandatory re-training. Written notification with supporting documentation will be sent to cardholder, cardholder's supervisor and department head.

Third incident within a six-month period: Loss of P-Card privileges from extended suspension up to permanent loss of privileges. Written notification with supporting documentation will be sent to cardholder, cardholder's supervisor and department head.

Level 3 Abuse

1. Fraudulent Use
2. Using the card to purchase personal items or for personal use
3. Having products shipped to a personal address

Consequences for Level 3 Abuse:

Reported fraudulent use will result in immediate revocation of the card.

Written notification of reported fraudulent use will be given to the Department Head and to Human Resources.

All Levels of P-Card Abuse

It is the responsibility of the Department Head and Human Resources to investigate and determine the appropriate disciplinary action up to and including termination for fraudulent or other misuse of card privileges.

R. Frequently Asked Questions

Will having a City credit card affect my personal credit?

No, absolutely not. The Bank has no personal information other than your date of birth that is required for security purposes to verify that you are the cardholder. Additionally, as part of the security check they may ask for the last 4 digits of your access code (typically the last 4 digits of your social security number). We have used the last 4 digits of your employee ID for this purpose. You have been given this information in the event you need to contact the bank; however, it should not be kept with the credit card itself.

What do I do if I find an incorrect charge on my statement?

You should always attempt to resolve an incorrect charge with the supplier first. If you aren't successful, follow the disputed items procedure noted above.

What about an unauthorized charge?

Contact JPMC immediately at 1-800-316-6056 to report unauthorized charges.

What if I lose my card or it is stolen?

Contact JPMC immediately, 1-800-316-6056 to report a lost/stolen card. Within one working day, call or send the P-Card administrator an email notifying them of the lost/stolen card as well.

What if I get charged sales tax?

You should always check your sales receipt before signing and if sales tax is included, ask them to void the transaction and re-process it exclusive of the sales tax. The tax-exempt number is noted on your card; however, the official tax exempt certificate is also available on the intranet in the event the vendor requires one. If you are mailed the sales receipt and it includes the sales tax, contact the vendor and ask them to credit the sales tax.

SECTION 2

ADDITIONAL
INFORMATION

For

CARHOLDER USE SPECIFIC TO
TRAVEL AND/OR
SEMINAR REGISTRATION

A. General

In addition to the benefits provided under Section 1, your card may have also been authorized to allow for travel/expenses and seminar registration. This means you may use the card when traveling for City authorized business.

B. Types of Credit Card Purchases

In addition to the purchases noted in Section 1, examples of purchases that may and may not be made include, but are not necessarily limited to the items listed below. Please note that it is acceptable to use the Internet for all travel related purchases with the exception of per diem and non-reimbursable expenses.

Acceptable Purchase	Unacceptable Purchases
*Airfare	Purchases or expenses for non-City employees and/or family members, including up-charges for larger rooms
*Holding a hotel room	Travel insurance
*Pre-paying for 1 night stay in order to receive a discounted rate for a conference	Prepaying for Hotel for more than 1 night without prior approval from AP
Paying for a hotel room upon checkout if you are the cardholder.	Meals that are included in the City's per diem policy and room service
Seminar registration	
Other transportation costs including taxi fare, tolls, and parking as authorized by the City's policies	

*Note: If you are unable to attend a seminar or other related business travel, **remember to cancel any air fare or hotels that have been booked. Failure to do so may result in being personally responsible for any charges assessed.**

C. Reconciling your Statement

In addition to the procedures noted in Section 1, other documents that must be submitted with your monthly statement are as follows:

Copies of:

- ✓ Approved training and travel form
- ✓ The seminar brochure and/or agenda verifying the dates and location of the seminar
- ✓ **ORIGINAL** Receipts for all charges on the P-Card related to travel; i.e. hotel, parking, etc.

SECTION 3

SUPERVISOR/DEPARTMENT HEAD RESPONSIBILITIES

A. General

As a supervisor and/or Department Head, you have the responsibility of reviewing and approving the monthly statements for various cardholders within your department. A **thorough** and prompt review of these statements is critical to assuring that cards are being used in accordance with the procedures and for City business only. Any suspected fraud, misuse, etc. should be immediately dealt with.

B. Reviewing the Statement

Each transaction appearing on the statement must be reviewed. If the cardholder did not make a note that they are disputing a transaction either because it was unauthorized and/or it was for the incorrect amount, the transaction must meet the following conditions **unless prior approval was obtained from the P-Card Administrator**:

The purchase:

- ✓ Was made for approved City business only
- ✓ Was not split into multiple transactions to stay within the single limit
- ✓ Was not split across days to stay within the single limit
- ✓ Was not split amongst cardholders to stay within the single limit
- ✓ Was not split amongst multiple invoices to stay within the single limit; i.e. look for sequential invoice numbers
- ✓ Was not made to avoid or circumvent the purchasing process
- ✓ Receipt of goods/services have been verified
- ✓ Is accompanied by a receipt or credit memo
- ✓ Is accompanied by written IT approval when applicable

In addition, if the card was used for travel and/or seminar registration the following must be attached:

- ✓ Approved training and travel form
- ✓ The seminar brochure and/or agenda verifying the dates and location of the seminar
- ✓ **ORIGINAL** receipts for all charges on the P-Card related to travel; i.e. hotel, parking, etc.

Once you have verified the above, sign the statement as supervisor and forward the documents to the Finance Department (currently Susan Jordan) **no later than one week following the close of the billing cycle.**

C. Unauthorized/Unacceptable Purchases

If during your review you find purchases that aren't authorized or aren't acceptable, contact the cardholder and the P-Card Administrator (currently Misty Dodge). Continuous misuse of cards can result in the card being canceled and disciplinary action taken up to and including termination.

SECTION 4

P-CARD ALLOCATION/ CODING PERSONNEL RESPONSIBILITIES

A. General

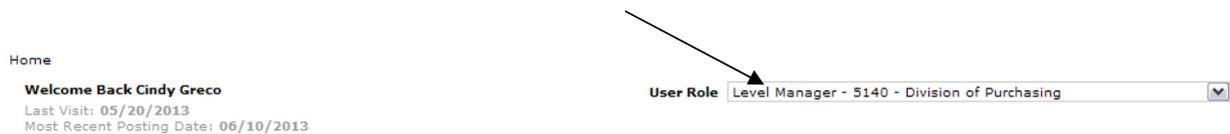
You have been assigned the responsibility of assuring that the p-card expenses for cardholders within your department are coded to the correct account number and have the appropriate description. You are also responsible for compiling the monthly packet submitted to the Finance Department. The online system refers to this role as a level manager.

Some cardholders have been set up with a default account code, normally the account most frequently used. If you are satisfied with the default, simply add a description and move to the next transaction. Otherwise make the changes required to charge the expense to the appropriate account number.

You should receive an email reminder two days after the close of the billing cycle to assure you can complete this process in a timely manner. Completed, approved monthly packets are due to the Finance Department (currently Susan Jordan) within one week of the billing cycle closing.

B. Allocation Process

Use the link available on the intranet to log into SDOL. Once logged in, make sure your User Role is set at Level Manager.



Click on the Financial Tab, then on Account Summary. You should see your department or division name under the Quick Link located in the middle of the screen. If you wish to work on all cardholders at once, click on this link. If you wish to work on a specific cardholder, click on the "Reporting Structure Tree" next to the department/division quick link:



Once you have selected the cardholder(s), you will be at the Transaction Summary screen. Click on the Reporting Cycle, then from the drop down menu select the applicable billing cycle. **Be sure to select the current year.**

Once you've selected your criteria, click on 'Search' and all transactions meeting your criteria will appear. The icons listed in the detail section allow you to do the following:

Once clicked on:

- ✓ The first icon provides transaction detail.
- ✓ The second allows you to allocate expenses across more than one account number (aka splits).
- ✓ The third icon allows you to allocate expenses to a different account string rather than the default (if applicable).

If the right side of the Sales Tax field and below the title "Additional Information" is populated with a small red square, additional detailed transaction information is available. When the icon is clicked, not only will you see the detail but you will also be able to enter additional information in the expense description field. This information is populated when the vendor is what the industry refers to as a Level 3 provider and because there is a cost associated with this, very few vendors have elected to be setup this way. For example, Office Max is a Level 3 vendor and as such provides line item detail for everything within the transaction.

It is recommended that you review the online tutorial for more detailed information. At the home page under the Resource Center, click on "Web Tutorial". Once at the training screen, click on Level Manager; an introduction to the tutorial will play. Once that is complete click on continue; select "Transaction Management" for details on how to edit transactions. If you need additional assistance, you may contact the P-Card Administrator (currently Misty Dodge) for additional training.

When doing your allocations:

- ✓ Once you have made your changes you must click on the Apply button to have them effectuated.
- ✓ You may check the supervisor review box to remind yourself you've completed the process for that transaction, however, once you do so no more changes can be made to the transaction.
- ✓ You only have **one week** after the close of the billing cycle to complete the allocation process, compile the monthly packet, obtain the necessary approvals, and submit the information to the Finance Department.

C, Reports

SDgen2 (aka SDOL) has a number of standard reports that can be viewed online and/or printed. At the home page under the Resource Center, click on "Web Tutorial". Once at the training screen, click on Level Manager; an introduction to the tutorial will play. Once that is complete, click on continue and select "Reporting".

Once all of the online coding is completed, an **expense report** for the cardholder should be printed, signed by the cardholder, and used as the cover page for the monthly documentation packet that is submitted to the Finance Department.

SECTION 5

INTERNET PURCHASING POLICIES

A. Purchasing on the Internet with P-Cards

City p-cards may be used on the Internet if the following criteria are met:

- Method is authorized by the department's internal control procedures
- Purchases cannot exceed \$2,500 for a single transaction unless approved by the P-Card Administrator
- Card must be assigned to a named individual; i.e. "Departmental" cards cannot be used on the Internet
- Cardholder must abide by the same guidelines agreed to on the Cardholder Agreement form
- Cardholder is familiar with guidelines regarding safe purchasing on the Internet as noted below; and
- The Internet site for purchases is secured with safe electronic technology (Secure Sockets Layer or Secure Electronic Transmission protocol).

B. Key Information for Purchasing on the Internet

"Buyer Beware," has long been a principle for commercial transactions. This principle is valid for transactions facilitated through electronic commerce. Although there is no way to completely eliminate all risk from any purchasing activity, the following guidelines are included to increase awareness of Internet purchasing issues:

- Always use a secure Web browser
- Know your merchant
- Ask how information is passed to a merchant and secured on their computer system
- Obtain receipts
- Understand the troubleshooting process
- Protect yourself with current information

C. Always use a secure Web browser

Using any version of Microsoft Internet Explorer as your browser provides you with an added level of security when shopping on the Internet. These browsers use Secure Socket Layer (SSL) technology, a proven and easy-to-use system that lets your browser automatically encrypt or scramble your personal data before sending it to the merchant via the Internet. SSL shows you that a Web site is secure when a lock appears in your browser window (lower right hand corner). You can also look at the URL, or Internet Location, to verify the SSL protocol is in place. Most URL's start with **http://**, but when a site is secure, the URL will start with **https://** ("**s**" stands for secure).

D. Know Your Merchant

When considering an on-line purchase, please consider the following:

First, don't give out your credit card number online unless you have read and understand the company's privacy statement, disclaimer, terms and conditions, warranties **and** you have confirmed that they use safe online shopping technologies like SSL or Secure Electronic Translation (SET). SET is an added layer of protection that is emerging as an industry standard to make online purchasing safer than ever. Merchants who demonstrate they use the best available methods to make your Internet transaction as safe as possible are allowed to display the SET decal on their website. Some sites may claim to be encrypted when they actually are not. If you are not sure, ask for an alternate method of payment. You can check Yahoo! Shopping which lists many of the online merchants who use secure technology for safe electronic transactions (other search engines might have similar lists).

Second, don't judge reliability by how nice or flashy a website may seem. Anyone can create, register and promote a website; it's relatively easy and inexpensive. Most legitimate merchants list their address, phone number and/or contact person. At a minimum, be sure there is a phone number present.

Third, online auction sales remain the number one Internet fraud reported to the National Consumers League's Internet Fraud Watch. Be careful not to be pressured into making an immediate decision. Reputable merchants will be happy to answer all of your questions and give you time to decide.

Last, if you have questions about a merchant, you can check the company's complaint record with the Better Business Bureau (see below for [web address](#)).

E. Ask How Information is Passed to Merchants and Secured

For many Internet purchases, you are asked to use a fill-in form on the merchant's website. Increasingly, merchants allow you to send some information via the fill-in form and to phone in the more sensitive information, in our case, the credit card number. For future purchases, you will usually only need to supply the last four or five digits of the credit card number to verify your identity.

Sometimes a merchant will keep your credit card number on their system in case you want to make additional purchases. How can you be sure the merchant is securing your personal information once it reaches their computer system? Although unlikely, it's possible that information stored in the company's database can be stolen by computer "hackers" or even by dishonest employees. When dealing with an unknown merchant, it might be worth asking the merchant how the information collected about purchasers is maintained in a secured fashion.

F. Obtain Receipts

Every type of p-card transaction must have a receipt. An acceptable receipt for an Internet purchase includes a screen copy of the order form and/or confirmation you receive from the merchant verifying that they received your order. You may receive this confirmation immediately following the submission of the order or it may be sent to your email address at a later date. Receipt must show dollar amount charged, items purchased, and name of company. If there isn't a sufficient description of the purchase noted, please write it in on the receipt.

G. Understand Troubleshooting Process

If you have placed an order online with a merchant and one or more of the following occurs, **call JPMC immediately to cancel your credit card (1-800-316-6056).**

- You don't receive the order within a reasonable amount of time (generally 2 weeks) and you are not receiving returned phone calls from the vendor.
- The phone number on the website is no longer a working number.
- You hear the merchant went out of business.

If it is necessary to cancel your purchasing card as a result of a problem or suspected fraud, call the P-Card Administrator to report the card has been cancelled and to receive help with the dispute process. A replacement purchasing card may be requested.

H. Protect Yourself with Current Information

Because the Internet is changing at such a rapid pace, the risks of Internet purchasing and the techniques you can employ to counteract those risks will be very different in three months, six months, or a year. Following are related links to help you stay informed (not in priority order):

- www.fraud.org - The National Consumers League provides advice about telemarketing and Internet fraud.
- www.BBBOnline.org - The Better Business Bureau (BBB) reliability program for participating online merchant links to central BBB site for reports about businesses and information on how to contact individual BBB across the U.S.

Mayor Steve Arnold
Introduced by

Misty Dodge
Prepared by

Finance Committee
Referred to

April 28, 2015
Date

RESOLUTION R-53-15

RESOLUTION ADOPTING PURCHASING CARD PROCEDURE MANUAL

WHEREAS, the City currently participates in a small credit card program and has several individual store charge accounts set-up through the City; and

WHEREAS, there is an opportunity to expand and refine our existing program to realize significant efficiencies and cost savings; and

WHEREAS, the City can piggy-back on the contract that was bid and negotiated by Waukesha County on behalf of a consortium of Wisconsin municipalities; and

WHEREAS, the only financial cost of the contract is the required annual \$35 fee to become a member of the consortium.

NOW BE IT HEREBY RESOLVED, by the Fitchburg Common Council that it adopts the purchasing card procedure manual.

BE IT FURTHER RESOLVED, by the Fitchburg Common Council that it directs the Finance Director to join the VALUE consortium and enter into an agreement with JPMorgan Chase for participation in their purchasing card program.

Adopted this ____ day of _____, 20__.

Patti Anderson, City Clerk

Steve Arnold, Mayor

City of Fitchburg

Committee of Commission Referral

Direct Referral Initiated by:
 Direct Referral Approved by:

Date Referred: **April 28, 2015**
 Date to Report: **May 12, 2015**

Ordinance Number:
 Resolution Number: R-54-15

Sponsored by: Mayor Arnold

Drafted by: Roach

TITLE: Resolution Adopting Partnership Agreement with Fitchburg Chamber Visitor and Business Bureau to Host “Concerts at McKee”

Background: Concerts at McKee began as a Senior Center sponsored event in 2001. Over time, it has become a very popular community event, and last year the Chamber of Commerce assisted in making Concerts at McKee the most successful season yet. This year, the Senior Center has expressed an interest in becoming less involved, and the Chamber has agreed to partner with the City in the lead coordination role. The City continues to coordinate with the Chamber and CEDA will continued their funding commitment for sponsorship.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Finance Committee	Roach	May 12, 1015	
2				
3				
4				

Amendments:



Concerts at McKee Partnership

City of Fitchburg (CITY)

Fitchburg Chamber Visitor and Business Bureau (CHAMBER)

Scope

The CITY and CHAMBER desire to coordinate efforts to present “Concerts at McKee”, three times per year, on the third Monday of June, July and August. This event is a family friendly party in the park, featuring food, beverages and music in an outdoor venue.

CITY Responsibilities

Appoint representative(s) to serve on the working committee.

The Parks Department will reserve the dates at McKee Farms Park and will be responsible for site preparation including providing picnic tables, refuse and recycling bins, and access to adequate power for the bands and sound system.

The CITY will waive all fees for park reservations and sound permits.

The CITY will review and approve all intoxicating beverage license requests in accordance with state law and local procedures including temporary operator license and Special Class B permit.

The CITY will not be required to provide additional Police, Fire or EMS services on the day of the events.

The event will be covered by the CITY’s insurance policy. The City will list the CHAMBER as an additional insured onto the policy which would extend protection for these events only.

The CITY’S Community and Economic Development Authority (CEDA) will support the event, financially, with a contribution of \$1,500 annually.

The CITY will promote the event through their web site, Facebook and Twitter accounts.

CHAMBER Responsibilities

Appoint representative(s) to serve on the working committee.

The CHAMBER will be the coordinator for the “day of event” decisions, including cancellation due to weather and final layout of the venue.

Solicit private donations and manage all accounting for the event.

Negotiate and sign contracts for entertainment, sound system, and food and beverage vendors.

Solicit and select a not-for-profit agency to sell beverages. Negotiate agreement for revenue sharing.

The CHAMBER will be primarily responsible for promotion of the event through various media.



Apply for sound permit, and any other City issued permits required for the event.

Cancellation

Either party can cancel this agreement by giving the other party at least a ninety (6 months) notice.

This agreement was executed in _____, Fitchburg, Wisconsin this
_____ day of _____, 20_____.

City of Fitchburg

Printed Name: _____

Title: _____

Signature: _____

Fitchburg Chamber

Printed Name: Angela Kindermoh

Title: Fitchburg Chamber Executive Director

Signature: [Handwritten Signature]

Mayor Arnold
Introduced By

Roach
Drafted By

Finance
Referred to

May 12, 1015
Date

RESOLUTION R-54-15

Resolution Adopting Partnership Agreement With Fitchburg Chamber Visitor and Business Bureau to Host "Concerts at McKee"

WHEREAS, The City of Fitchburg Senior Center has been coordinating Concerts at McKee since 2001; and

WHEREAS, the Senior Center has expressed an interest in becoming less involved in the event; and

WHEREAS, the Fitchburg Chamber Visitor and Business Bureau has expressed an interest in partnering with the City to host Concerts at McKee; and

WHEREAS, the parties have negotiated the attached memorandum of understanding to address the responsibilities of each party with respect to this event.

THEREFORE, BE IT RESOLVED THAT, the Common Council of the City of Fitchburg hereby approves the Partnership Agreement attached to this resolution, subject to technical corrections approved by the City Attorney, and authorizes the Mayor and City Clerk to sign the necessary documents.

Adopted by the Common Council of the City of Fitchburg, Wisconsin on this ___ day of _____, 2015

Approved by: _____
Steve Arnold, Mayor

Attested by: _____
Patti Anderson, City Clerk

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: April 14, 2015 Ordinance Number:
Date to Report Back: **April 28, 2015** Resolution Number: R-50-15

Sponsored by: Mayor Drafted by: Planning / Zoning

TITLE: A RESOLUTION APPROVING FINAL PLAT REQUEST
 (FP-2055-15) FOR THE PLAT OF QUARRY VISTA

Background: Final Plat request, FP-2055-15, Deborah Hatfield, agent for Hamm Fam Land LLC, for the Final Plat of Quarry Vista.

Applicant is requesting approval of the Final Plat for Quarry Vista. The plat calls for 20 parcels, 14 of which would be buildable. This is the first phase of the Quarry Vista development.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	April 21, 2015	Approved
2				

Amendments:



City of Fitchburg
 Planning/zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711 (608-270-4200)

LAND DIVISION APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby submits ten (10) copies of the attached maps, one (1) copy no larger than 11" x 17", and one (1) pdf document of the complete submittal (planning@city.fitchburg.wi.us) for approval under the rules and requirements of the Fitchburg Land Division Ordinance.

- 1. Type of Action Requested:**
- Certified Survey Map Approval
- Preliminary Plat Approval
- Final Plat Approval
- Replat
- Comprehensive Development Plan Approval

2. Proposed Land Use (Check all that Apply):

- Single Family Residential
- Two-Family Residential
- Multi-Family Residential
- Commercial/Industrial

3. No. of Parcels Proposed: 20

4. No. Of Buildable Lots Proposed: 14

5. Zoning District: R-L AND R-D

6. Current Owner of Property: Hamm Fam Land LLC

Address: 6291 Lacy Road, Fitchburg, WI 53593

Phone No: _____

7. Contact Person: Phil Sveum

Email: psveum@cbsuccess.com

Address: 5500 E. Cheryl Parkway, Fitchburg, WI 53711

Phone No: 608-288-3339

8. Submission of legal description in electronic format (MS Word or plain text) by email to: planning@city.fitchburg.wi.us

Pursuant to Section 24-2 (4) of the Fitchburg Land Division Ordinance, all Land Divisions shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

Respectfully Submitted By: Deborah Hatfield
 Owner's or Authorized Agent's Signature

Deborah Hatfield

Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 3/24/2015

Ordinance Section No. _____ **Fee Paid:** \$2,760.00

Permit Request No. FP-2055-15

Receipt #1-9310 yr 3-25-15

March 24, 2015

Mr. Thomas Hovel
Zoning Administrator/City Planner
City of Fitchburg
5520 Lacy Road
Fitchburg, WI 53711

Re: Quarry Vista Phase 1 Final Plat
MARS Project Number: 1613

Dear Tom:

Enclosed are 3 sets of construction plans for the Quarry Vista Phase 1 Final Plat submittal. Copies of the final plat and the application will be submitted by Burse Surveying. Keith Hammersley will be dropping off a check for the application fee.

There were several conditions of approval placed on the Preliminary Plat approval that relate to the Final Plat. Following are the pertinent conditions and our responses.

PP-2053-15

- 8) Ownership of private outlots may be revisited during final platting of the land.
Per your direction, the ownership of the private outlots is shown as "Each lot will have 1/139 ownership" which is consistent with the Oak Meadow plat.
- 9) Utility Easements will be shown on final plat.
Utility Easements are shown on the final plat. The utility companies were contacted last year during the original platting process to solicit their input regarding easements they would require. The easements shown on the final plat were reviewed by the utility companies as part of the previous final plat. The only easements not shown are for future pedestals adjacent to the private alleys. As was done in Swan Creek, separate easements will be created by the utility companies for the pedestals once they have been located. No utilities will be located in public rights of way except for crossings and to serve street lights.
- 11) ECSWM approval is needed prior to grading on Lot 46.
A request was made several weeks ago to amend the current ECSWM permit. The additional land disturbance fee has been paid. We are responding to recent review comments. Grading will not begin until the comments have been satisfied and the permit has been reissued.
- 13) Prior to submission of a final plat the applicant shall provide:
 - A. the road profile, grading plan, cross sections and any other relevant information as required by Public Works. This plan set shall be reviewed and approved for the section of Quarry Vista Drive from Fitchrona Road east to proposed Turnstone Circle.
The attached plans are a subset of the plans submitted for the original final plat. The plans have been updated to reflect the new final plat and to include only those areas being final platted at this time. We are currently working with the adjoining property owners (Pringles) to work out the details of the proposed retaining wall on their property.

As those details are worked out, we will provide additional information for Quarry Vista Drive. We are waiting for comments from the City on the full plan set submitted September 19, 2014. We will revise this subset of those plans as needed to address those comments, once we receive them. Once we have those comments, we will update the stormwater management report if needed, and also to reflect the revised preliminary and final plats.

- B. The applicant shall provide a grading easement and maintenance agreement...for the Pringle property.
Attached is the agreement currently in place between Keith Hammersley and Craig Pringle.

The application is being submitted for the April 21, 2015 Plan Commission meeting. As the application states, the property owner is Hamm Fam Land, LLC and the contact person is Phil Sveum with Coldwell Banker Success. Please feel free to contact me with any questions or concerns regarding the submittal materials.

Sincerely,

Montgomery Associates: Resource Solutions, LLC



Deborah J. Hatfield, PE
Project Engineer

Enclosures

Copy, w/enclosures: Keith Hammersley
Phil Sveum

Agreement between Craig and Rachel Pringle and Keith Hammersley dated 8/26/14

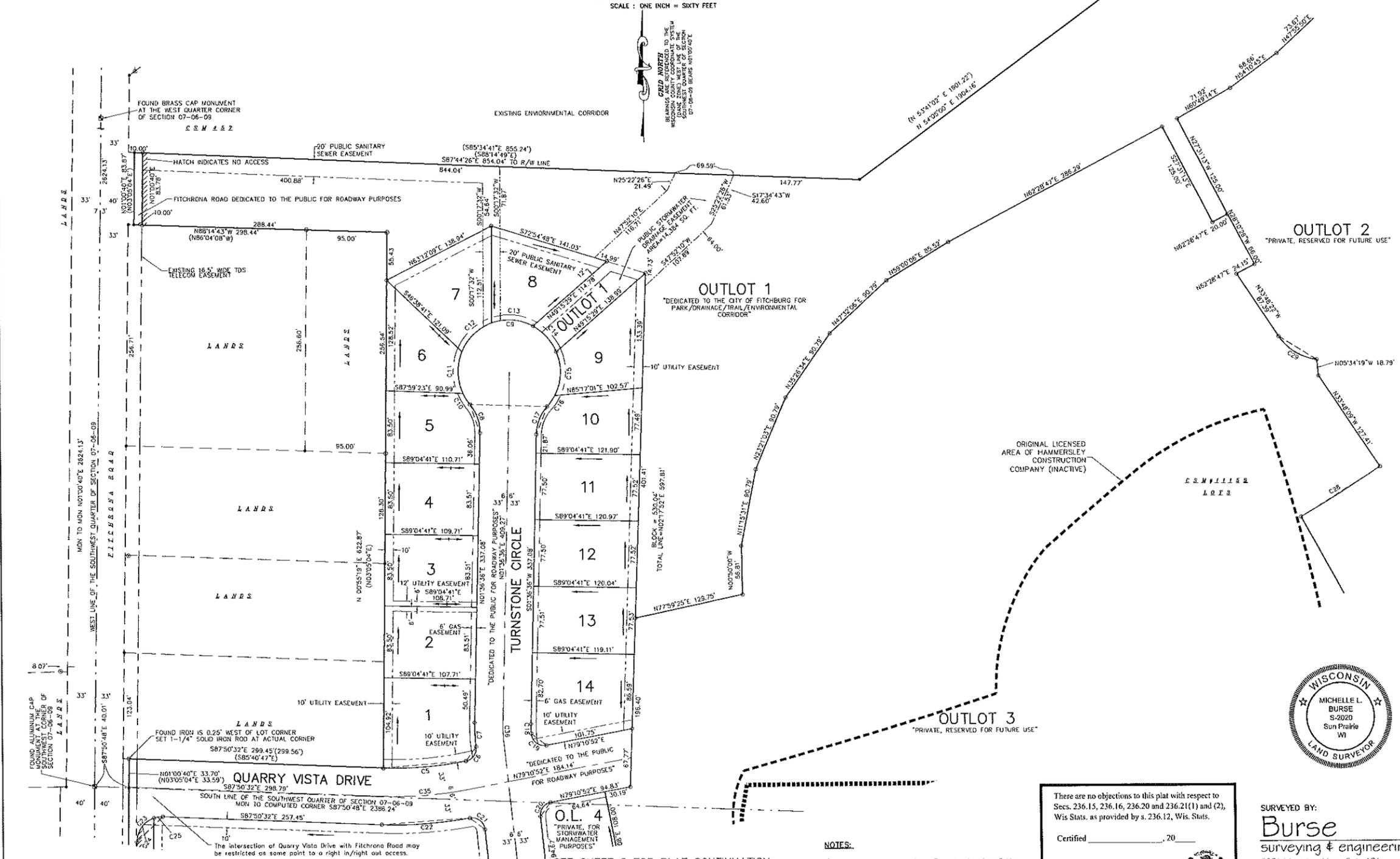
- Survey and reinstall all property irons that are impacted during construction.
- Finish grade, seed and mulch all areas of disturbance including areas disturbed by equipment.
- When cutting or filling, use a minimum of 6 inches of topsoil when finish grading.
- Remove trees on our property as directed by homeowner (near south property line). ✓
Homeowner will mark trees that should be removed and discuss details with operator ✓ during construction.
- Remove topsoil in an area near NE corner of house approximately 25'x20'x1' deep. Build retaining wall (approximately 1 to 2 feet tall x 25 feet long) along the edge of the patio area as directed by homeowner. Use the same limestone block material as the walls being constructed along the south property line. Backfill excavated area with 1 1/2" or 1 3/4" washed or clear stone. Specific layout of area to be determined prior to work being done -- design work needs to be completed on this area.
- Install 1-inch water lateral to the southeast corner of the house following a path to be determined in field by operator and homeowner. The approximate length of lateral is +/- 70 feet, measured from the property line.
- Install limestone block retaining wall along south property line from approximately STA 40+50 to STA 41+50, with the end at 41+50 curving north to blend into the existing terrain.
- Install limestone block retaining wall along south property line from approximately STA 42+05 to east lot line or farther east.
- Homeowner and operator(s) doing retaining wall work will discuss and reach agreement on the construction layout of the walls to blend appropriately into the existing terrain as they are constructed. Homeowner will be available for consultation during construction process. The blocks should be placed in order to allow a fence to be installed one foot off of property line on the homeowner's property.
- The homeowner will review and approve installation specifications for the retaining walls (free draining backfill material) if not approved prior by the City of Fitchburg.
- Include \$19,000 payment to homeowner. Payment to be made within 60 days of completion of sidewalk and street work on the portion of Quarry Vista adjacent to Pringle property.

Craig a Pringle 8/26/14
Keith E. Hammersley 8/26/14

QUARRY VISTA

ALL OF LOTS 1-3, CERTIFIED SURVEY MAP NUMBER 11159, AS RECORDED IN VOLUME 67 OF CERTIFIED SURVEY MAPS, ON PAGES 152-154, AS DOCUMENT NUMBER 3959694, DANE COUNTY REGISTRY, ALL OF CERTIFIED SURVEY MAP NUMBER 61, AS RECORDED IN VOLUME 1 OF CERTIFIED SURVEY MAPS, ON PAGE 61, AS DOCUMENT NUMBER 1031106, DANE COUNTY REGISTRY, ALSO PART OF THE NORTHEAST, SOUTHEAST AND SOUTHWEST QUARTERS OF THE SOUTHWEST QUARTER OF SECTION 07, ALSO PART OF THE NORTHWEST AND NORTHEAST QUARTERS OF THE NORTHWEST QUARTER OF SECTION 18, ALL IN TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

SCALE: ONE INCH = SIXTY FEET



SEE SHEET 3 FOR PLAT CONTINUATION

SEE SHEET 4 FOR PLAT CONTINUATION

SEE SHEET 2 FOR PLAT CONTINUATION

- NOTES:**
- 1) See sheet 5 for Notes, Curve Table and Lot Area Table.
 - 2) See sheet 4 for legend.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration



SURVEYED BY:
Burse
 surveying & engineering inc.
 2801 International Lane, Suite 101
 Madison, WI 53704 G08.250.9263
 Fax: G08.250.9266
 email: mburse@bse-inc.net
 www.bursesurveyengr.com

Date: April 6, 2015
 Plot View: Final Plot
 M:\PROJECTS\BSE1690.dwg\FP\BSE1690.DWG

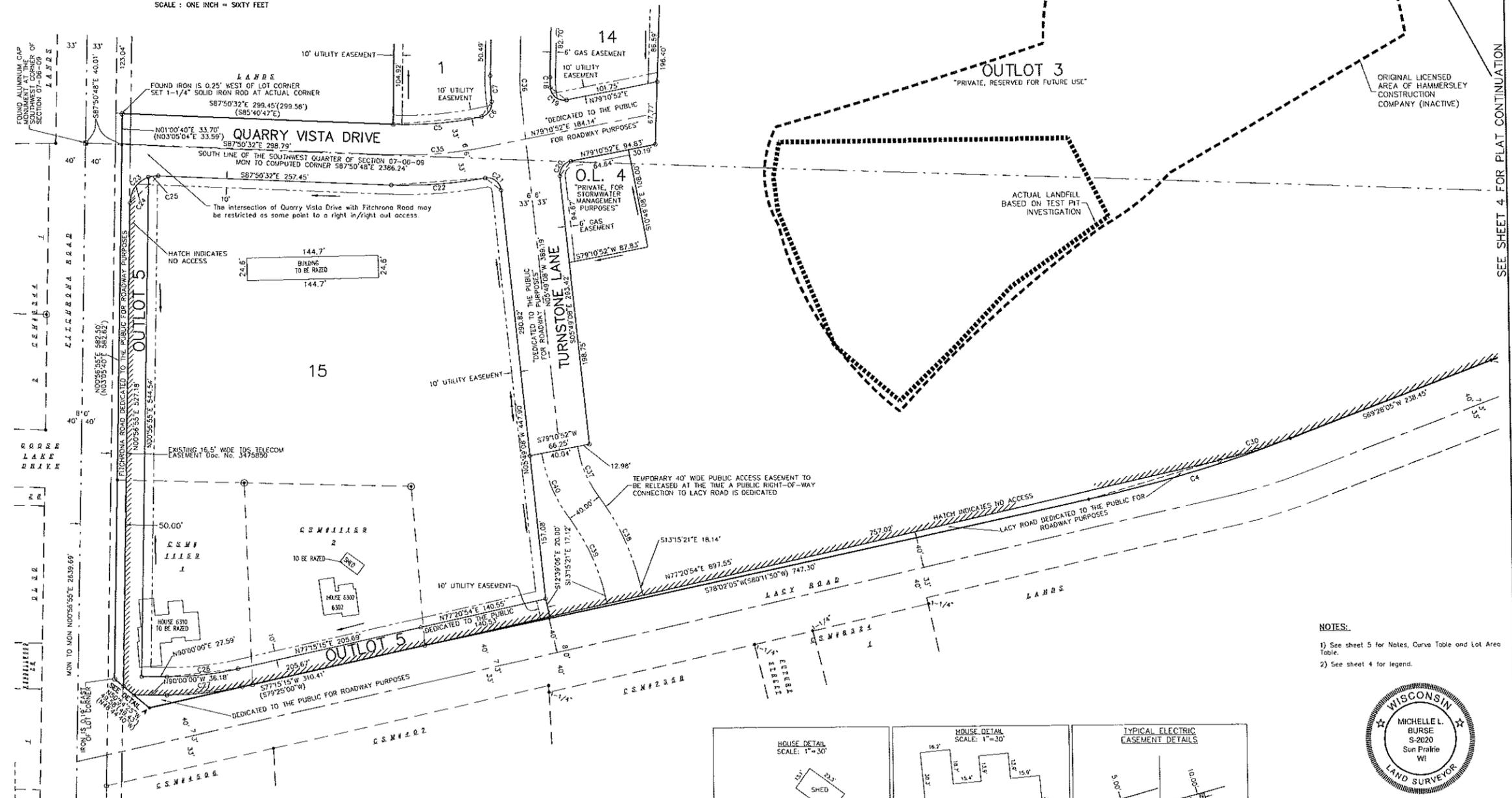
April 7, 2015

QUARRY VISTA

ALL OF LOTS 1-3, CERTIFIED SURVEY MAP NUMBER 11159, AS RECORDED IN VOLUME 67 OF CERTIFIED SURVEY MAPS, ON PAGES 152-154, AS DOCUMENT NUMBER 3959694, DANE COUNTY REGISTRY, ALL OF CERTIFIED SURVEY MAP NUMBER 61, AS RECORDED IN VOLUME 1 OF CERTIFIED SURVEY MAPS, ON PAGE 61, AS DOCUMENT NUMBER 1031106, DANE COUNTY REGISTRY, ALSO PART OF THE NORTHEAST, SOUTHEAST AND SOUTHWEST QUARTERS OF THE SOUTHWEST QUARTER OF SECTION 07, ALSO PART OF THE NORTHWEST AND NORTHEAST QUARTERS OF THE NORTHWEST QUARTER OF SECTION 18, ALL IN TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.



SEE SHEET 1 FOR PLAT CONTINUATION

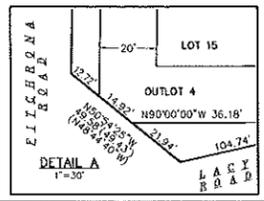


SEE SHEET 4 FOR PLAT CONTINUATION

- NOTES:
- 1) See sheet 5 for Notes, Curva Table and Lot Area Table.
 - 2) See sheet 4 for legend.



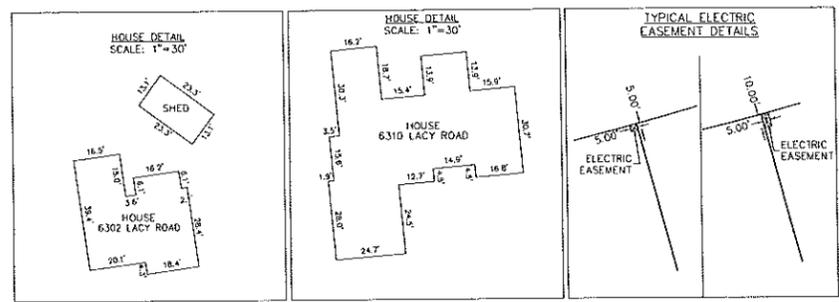
SURVEYED BY:
Burse
 surveying & engineering inc.
 2801 International Lane, Suite 101
 Madison, WI 53704 G09.250.9263
 Fax: G09.250.9266
 email: mburse@bseinc.net
 www.bursesurveying.com



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

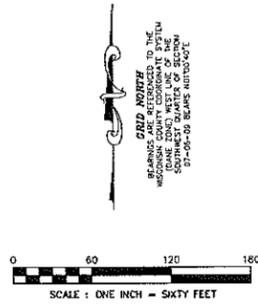
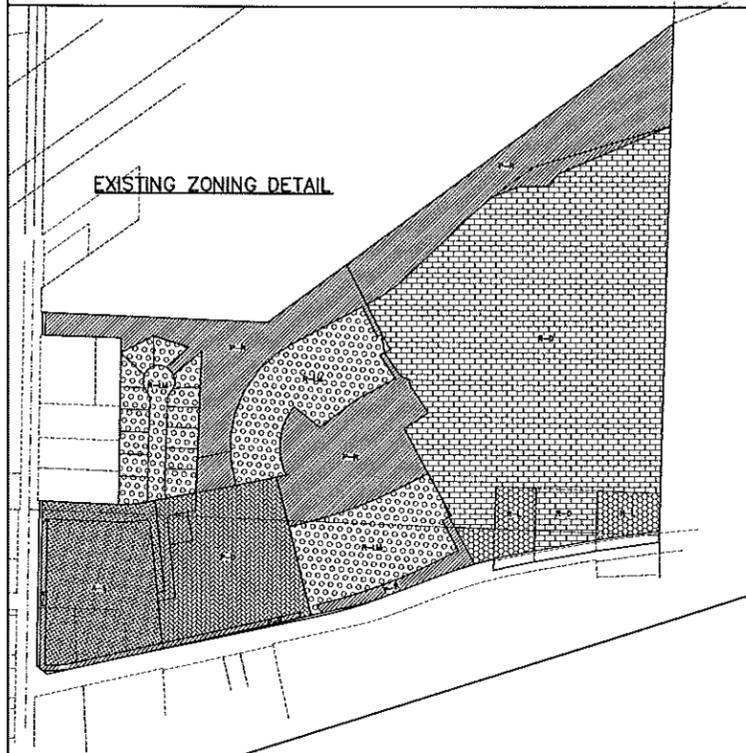
Certified _____, 20__

Department of Administration



QUARRY VISTA

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There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration

751.75' TO COMPUTED CENTER OF SECTION 07. ACTUAL CENTER OF SECTION FALLS IN WORKING QUARRY

CSM 442

OUTLOT 1

"DEDICATED TO THE CITY OF FITCHBURG FOR PARK/ DRAINAGE / TRAIL / ENVIRONMENTAL CORRIDOR"

EXISTING QUARRY FLOOR

OUTLOT 2

"PRIVATE, RESERVED FOR FUTURE USE"

EXISTING ENVIRONMENTAL CORRIDOR

(N 53°41'02" E 100.24'
N 54°05'02" E 186.16'



NOTES:
1) See sheet 5 for Notes, Curve Table and Lot Area Table.
2) See sheet 4 for legend.

SURVEYED BY:
Burse
surveying & engineering llc
2801 International Lane, Suite 101
Madison, WI 53704 608.250.9263
Fax: 608.250.9266
email: mburse@bse-inc.net
www.bursesurveyengr.com

SEE SHEET 1 FOR PLAT CONTINUATION

Date: April 6, 2015
Plot View: Final Plat
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SEE SHEET 4 FOR PLAT CONTINUATION

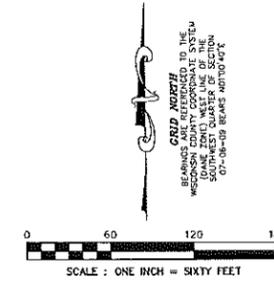
SHEET 3 OF 5

QUARRY VISTA

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SEE SHEET 3 FOR PLAT CONTINUATION

EXISTING QUARRY FLOOR

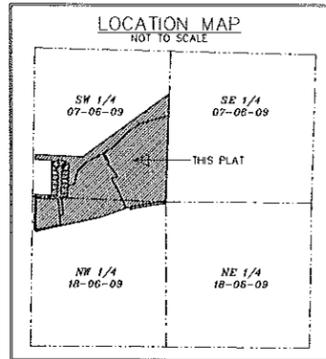


SEE SHEET 1 FOR PLAT CONTINUATION

SEE SHEET 2 FOR PLAT CONTINUATION

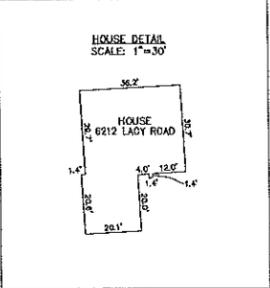
OUTLOT 2

PRIVATE, RESERVED FOR FUTURE USE



- LEGEND**
- 1" IRON PIPE FOUND UNLESS NOTED
 - 3/4" SOLID IRON ROD FOUND UNLESS NOTED
 - 1-1/4" X 30" SOLID IRON RE-ROD SET, WT. 4.30 lbs./ft. ALL OTHER CORNERS MARKED WITH A 3/4"X18" SOLID IRON ROD W/CAP, WT. 1.50 lbs./ft.
 - SET MAG NAIL
 - () INDICATES RECORDED AS
- DISTANCES ARE GROUND AND MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.
- ARROWS INDICATE THE DIRECTION OF SURFACE DRAINAGE SWALE AT INDIVIDUAL PROPERTY LINES. SAID DRAINAGE SWALE SHALL BE GRADED WITH THE CONSTRUCTION OF EACH PRINCIPAL STRUCTURE AND MAINTAINED BY THE LOT OWNER UNLESS MODIFIED WITH THE APPROVAL OF THE CITY ENGINEER.

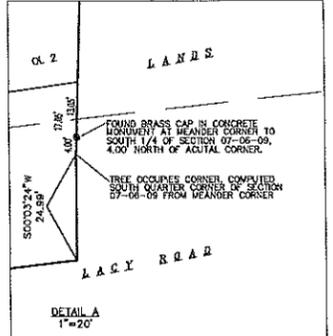
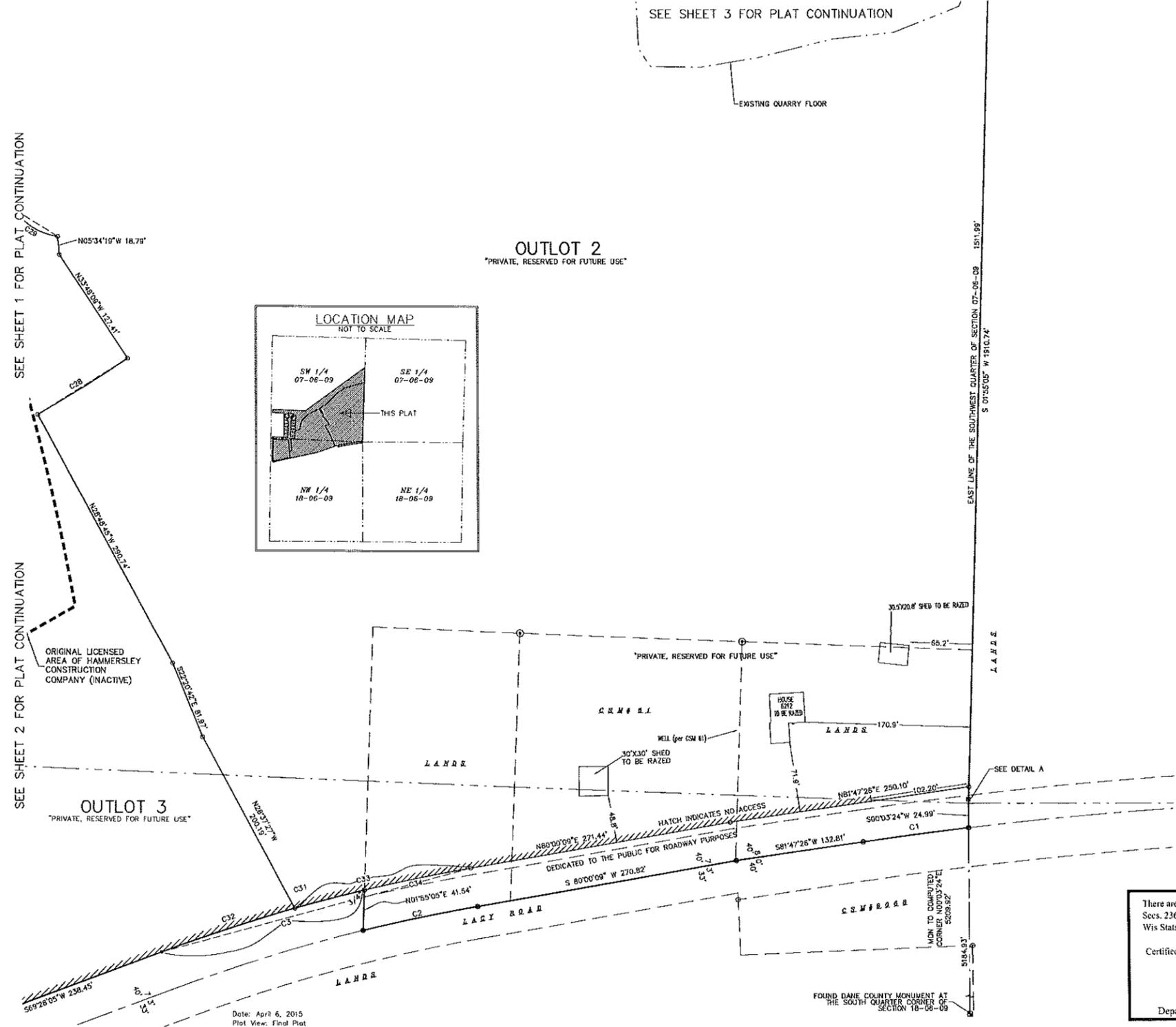
NOTES:
1) See sheet 5 for Notes, Curve Table and Lot Area Table.



ORIGINAL LICENSED AREA OF HAMMERSLEY CONSTRUCTION COMPANY (INACTIVE)

OUTLOT 3

PRIVATE, RESERVED FOR FUTURE USE



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration

SURVEYED BY:
Burse
surveying & engineering inc
2801 International Lane, Suite 101
Madison, WI 53704 608.250.9263
Fax: 608.250.9266
email: mburse@bse-inc.net
www.bursesurveyengr.com

Date: April 6, 2015
Plot View: Final Plat
M:\PROJECTS\BSE1690\dwg\FPBSE1690.DWG

QUARRY VISTA

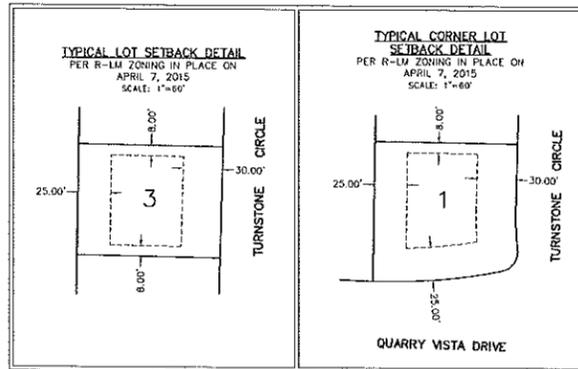
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CURVE TABLE

NUMBER	ARC LENGTH	CENTRAL ANGLE	RADIUS	CHORD DIRECTION	CHORD LENGTH	TAN BEAR. IN	TAN BEAR. OUT
C1	110.09	07°14'37"	4000.00	S82°24'44.5"W	110.09	S83°22'03"W	
C2	121.01	03°55'01"	1770.00	S78°02'38.5"W	120.98	S76°05'09"W	
C3	220.38	06°58'34"	1810.00	S72°57'22"W	220.24	S76°26'39"W	
C4	233.24	08°14'00"	1560.00	S73°45'05"W	233.02		
C5	98.00	13°37'43"	412.00	S65°20'38.5"W	87.77	S78°31'45"W	
C6	22.45	85°45'36"	15.00	S35°38'57"W	20.41	S07°13'51"W	S78°31'45"W
C7	28.24	08°50'27"	183.00	N02°48'37.5"E	28.21		N07°13'51"E
C8	33.79	41°00'52"	50.00	S18°53'49"E	35.03	S39°24'15"E	
C9	274.40	262°01'43"	60.00	S88°23'23.5"E	90.55	N39°24'15"W	S42°37'28"W
C10	15.25	14°33'48"	60.00	S32°07'21"E	15.21	N39°24'15"W	N24°50'27"W
C11	50.00	47°44'51"	60.00	S00°39'01.5"E	48.57	N24°50'27"W	N22°54'24"E
C12	50.00	47°45'13"	60.00	S48°47'00.5"W	48.57	N22°54'24"E	N70°30'33"E
C13	50.00	47°44'53"	60.00	N85°27'56.5"W	48.57	N70°30'33"E	S61°35'30"E
C14	40.79	38°57'15"	60.00	N42°06'52.5"W	40.01	S61°35'30"E	S22°38'15"E
C15	52.74	50°21'52"	60.00	N02°32'41"E	51.06	S22°38'15"E	S27°43'56"W
C16	15.60	14°53'52"	60.00	N35°10'37"E	15.58	S27°43'56"W	S42°37'28"E
C17	35.79	41°00'52"	50.00	N22°07'02"E	35.03		N42°37'28"E
C18	11.18	09°27'58"	117.00	N01°07'22"W	11.18	N03°51'20"W	
C19	25.36	96°57'48"	15.00	N52°20'14"W	22.46		N03°51'20"W
C20	22.25	80°00'00"	15.00	N36°40'52"E	20.27		
C21	24.75	94°32'30"	15.00	S53°05'23"E	22.04	N79°38'22"E	
C22	104.44	12°31'07"	478.00	S82°52'55"W	104.23	S79°38'22"W	
C23	47.76	91°12'34"	30.00	N46°33'12"E	42.87		
C24	36.93	70°31'44"	30.00	S36°12'46"W	34.64		N79°28'38"E
C25	10.83	20°40'50"	30.00	S81°49'03"W	10.77	N79°28'38"E	
C26	79.25	12°44'44"	358.24	S83°37'38"W	79.08		
C27	83.70	12°44'45"	378.24	S83°37'38"W	83.52		
C28	110.02	03°50'55"	1638.00	S58°07'18"W	110.00	S56°11'51"W	S60°02'46"W
C29	53.89	49°37'10"	62.00	N58°36'57"W	52.03	N83°25'32"W	
C30	82.33	07°52'51"	600.00	S73°24'29"W	82.46		
C31	332.79	10°32'04"	1810.00	S74°44'07"W	332.32		
C32	145.92	04°37'09"	1810.00	S77°42'42"W	145.88		N74°05'14"E
C33	186.86	05°54'55"	1810.00	S77°02'42"W	186.78	N74°05'14"E	
C34	112.41	03°33'30"	1810.00	S78°13'24"W	112.39	N76°26'39"E	
C35	100.79	12°58'37"	445.00	S65°40'10"W	100.57		
C36	19.45	01°25'44"	158.00	N02°06'16"W	19.44		
C37	61.31	29°45'14"	118.07	S22°21'52"E	60.63		
C38	99.32	20°30'09"	277.58	S25°09'18"E	98.79		
C39	83.74	20°11'47"	237.56	N25°08'05"W	83.31		
C40	79.19	28°42'19"	158.07	N23°02'13"W	78.37		

LOT AREA TABLE

NAME	SQ. FT.	ACRES
1	10892	0.2500
2	9035	0.2074
3	9119	0.2093
4	9203	0.2113
5	8829	0.2027
6	7782	0.1786
7	9727	0.2233
8	9408	0.2160
9	9177	0.2107
10	8410	0.1931
11	9411	0.2160
12	9339	0.2144
13	9267	0.2127
14	11629	0.2670
15	210871	4.8409
OUTLOT 1	466835	10.7171
OUTLOT 2	1302643	29.9046
OUTLOT 3	877733	20.1500
OUTLOT 4	8936	0.2051
OUTLOT 5	20195	0.4636



Date: April 6, 2015
 Plot View: Final Plot
 M:\PROJECTS\BSE1690\dwg\VPBSE1690.DWG

CONSENT OF MORTGAGEE

AnchorBank FSB, a banking association duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedicating of the land described on this plat and does hereby consent to the Owner's Certificate.

IN WITNESS WHEREOF, the said AnchorBank FSB, has caused these presents to be signed by _____, its _____, and countersigned by _____, its _____, at Madison, Wisconsin, this _____ day of _____, 20____.

AnchorBank FSB

State of Wisconsin)
 County of Dane)

Personally come before me this _____ day of _____, 20____, _____ and _____

of the above named banking association, to me known to be the persons who executed the foregoing instrument, and to me known to be such _____ and _____ of said banking association, and acknowledged that they executed the foregoing instrument as such officers of said banking association, by its authority.

Notary Public, Wisconsin My Commission expires: _____

NOTES

- Outlot 1 is Dedicated to the public for Park/Stormwater Management/Trail/Environmental corridor.
- Outlot 5 is Dedicated to the public for park and open space, pedestrian/bike path, and public water main purposes.
- UTILITY EASEMENTS. NO POLES OR BURIED CABLES ARE TO BE PLACED SUCH THAT THE INSTALLATION WOULD DISTURB ANY SURVEY STAKE, OR OBSTRUCT VISION ALONG ANY LOT LINE. THE DISTURBANCE OF A SURVEY MONUMENT BY ANYONE IS A VIOLATION OF SECTION 236.32 OF WISCONSIN STATUTES. UTILITY EASEMENTS AS HEREIN SET FORTH ARE FOR THE USE OF PUBLIC BODIES AND PRIVATE PUBLIC UTILITIES HAVING THE RIGHT TO SERVE THE AREA.
- Outlots 2 and 3 are Private for Future Development.
- Given underground installation for electric and communications, the final grade shall not be altered by more than six (6) inches without written consent of the utilities involved.
- Outlot 4 is private for stormwater management purposes. Each lot, with the exception of Lot 15, will have an apportioned easement share.

SURVEYOR'S CERTIFICATE

I, Michelle L. Burse, registered land surveyor, hereby certify that in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the City of Fitchburg, and under the direction of the Hom Fam Land, LLC, owner of said land, I have surveyed, divided and mapped QUARRY VISTA; that such plot correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is more fully described as follows:

All of lots 1-3, Certified Survey Map Number 11159, as recorded in Volume 67 of Certified Survey Maps, on pages 152-154, as Document Number 3959694, Dane County Registry, all of Certified Survey Map Number (CSM) 61, as recorded in Volume 1 of Certified Survey Maps, on page 61, as Document Number 1031106, Dane County Registry, also part of the Northeast, Southeast and Southwest Quarters of the Southwest Quarter of Section 07, also part of the Northwest and Northeast Quarters of the Northwest Quarter of Section 18, all in Township 06 North, Range 09 East, City of Fitchburg, Dane County, Wisconsin, more fully described as follows:

Beginning at the South Quarter corner of said Section 07; thence South 00 degrees 03 minutes 24 seconds West along the east line of the Northeast Quarter of the Northwest Quarter of said Section 18, 24.99 feet to a point of non-tangential curvature; thence 110.09 feet along the arc of a curve to the left, through a central angle of 01 degree 34 minutes 37 seconds, a radius of 4000.00 feet, a chord bearing South 82 degrees 34 minutes 44.5 seconds West and a chord length of 110.09 feet; thence South 81 degrees 47 minutes 26 seconds West, 132.61 feet; thence South 00 degrees 03 minutes 09 seconds West, 270.82 feet to a point of curvature; thence 121.01 feet along the arc of a curve to the left, through a central angle of 03 degrees 55 minutes 01 second, a radius of 1770.00 feet, a chord bearing South 78 degrees 02 minutes 38.5 seconds West and a chord length of 120.98 feet; thence North 01 degree 55 minutes 05 seconds East, 41.54 feet to the north right of way line of Loc Road, also being a point of non-tangential curvature; thence 220.38 feet along the arc of a curve to the left, also being said north right of way line, through a central angle of 06 degrees 58 minutes 34 seconds, a radius of 1810.00 feet, a chord bearing South 72 degrees 57 minutes 22 seconds West and a chord length of 220.24 feet; thence South 69 degrees 28 minutes 03 seconds West along said north right of way line, 238.45 feet to a point of curvature; thence 233.24 feet along the arc of a curve to the right, also being said north right of way line, through a central angle of 08 degrees 34 minutes 00 seconds, a radius of 1560.00 feet, a chord bearing South 73 degrees 45 minutes 05 seconds West, and a chord length of 233.02 feet; thence South 78 degrees 02 minutes 05 seconds West along said north right of way line, 747.30 feet; thence South 77 degrees 15 minutes 15 seconds West along said north right of way line, 310.41 feet; thence North 50 degrees 54 minutes 25 seconds East along said east right of way line, 582.50 feet; thence North 01 degree 00 minutes 40 seconds East along said east right of way line, 33.70 feet to a north line of said Lot 3, CSM#1159; thence South 87 degrees 30 minutes 32 seconds East along said north line, 299.45 feet to a west line of said Lot 3; thence North 00 degrees 55 minutes 19 seconds East along said west line, 622.87 feet to a south line of said Lot 3; thence North 88 degrees 14 minutes 43 seconds West along said south line, 298.44 feet to the aforementioned east right of way line; thence North 01 degree 00 minutes 40 seconds East along said east right of way line, 83.87 feet to the north line of said Lot 3; thence South 87 degrees 44 minutes 26 seconds East along said north line, 854.04 feet; thence North 54 degrees 05 minutes 00 seconds East along said north line, 1904.16 feet to the east line of the Southwest Quarter of said Section 07, also being the north most corner of said Lot 3; thence South 01 degree 55 minutes 05 seconds West along said east line, also being the east line of said Lot 3, 1904.74 feet to the Point of Beginning. This description contains 3,152,328 square feet or 72.9675 acres.

Dated this _____ day of _____, 20____.

Signed: _____
 Michelle L. Burse, R.L.S. No. 2020



SURVEYED FOR :
 Hom Fam Land, LLC
 c/o Keith Hammerley
 6291 Locy Road
 Fitchburg, WI 53593

SURVEYED BY:
Burse
 surveying & engineering
 2801 International Lane, Suite 101
 Madison, WI 53704 608.250.9263
 Fax: 608.250.9266
 email: mburse@bse-wi.com
 www.burse-surveying.com

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____



OWNER'S CERTIFICATE OF DEDICATION

Hom Fam Land, LLC, as owner, does hereby certify that we caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on the map hereon. We further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Department of Administration
 Common Council, City of Fitchburg
 Dane County Zoning and Natural Resources Committee

WITNESS the hands and seals of said owner this _____ day of _____, 20____.

Hom Fam Land, LLC
 By: Keith Hammerley, member

State of Wisconsin)
 County of Dane)

Personally come before me this _____ day of _____, 20____, the above named Keith Hammerley, member of, Hom Fam Land, LLC to me known to be the person who executed the foregoing instrument and acknowledge the same.

Notary Public

My Commission expires: _____

CERTIFICATE OF CITY TREASURER

State of Wisconsin)
 County of Dane)

I, Brian J. Doherty, being the duly elected, qualified and acting City Treasurer of the City of Fitchburg, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of this _____ day of _____, 20____, on any of the lands included in the plat of QUARRY VISTA.

Date: _____ Brian J. Doherty, City Treasurer

CERTIFICATE OF COUNTY TREASURER

State of Wisconsin)
 County of Dane)

I, Adam Gallagher, being the duly elected, qualified and acting treasurer of the County of Dane, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or unpaid special assessments as of this _____ day of _____, 20____, affecting the lands included in the plat of QUARRY VISTA.

Date: _____ Adam Gallagher, County Treasurer

CERTIFICATE OF CITY CLERK

State of Wisconsin)
 County of Dane)

"RESOLVED that this plat known as QUARRY VISTA, located in the City of Fitchburg was hereby approved by resolution No. _____ file number _____ adopted on this _____ day of _____, 20____, and further resolved that the conditions of said approval were fulfilled on this day of _____, 20____, and that said resolution further provided for the acceptance of those lands and rights dedicated by said QUARRY VISTA for public use."

Date: _____ Lindo Cory, City Clerk

RECORDING DATA

CERTIFICATE OF REGISTER OF DEEDS

Received for recording this _____ day of _____, 20____, at _____ o'clock _____ M. and recorded in Volume _____ of Plats, on pages _____

Kristi Chlebowski, Dane County Register of Deeds



April 7, 2015

Mr. Thomas Hovel
Zoning Administrator/City Planner
City of Fitchburg
5520 Lacy Road
Fitchburg, WI 53711

Re: Quarry Vista
Final Plat Response Letter
MARS Project Number: 1613c

Dear Tom:

We received Planning and Public Works staff comments on April 1, 2015. We have prepared this letter to address the comments and have revised the Final Plat. Enclosed are three copies of the revised Final Plat. The staff comments are listed below with our response in red.

Planning Comments:

- 1.) The area of the stormwater drainage easement in Outlot 1 should be noted on the plat.
Drainage easement area has been noted on the plat.
- 2.) Lots 6, 7, 8 & 9 do not meet the minimum lot width requirement of 60' for R-LM zoning. The lot width is taken from the minimum front setback line, which is 30' from the property line. Please demonstrate compliance.
The lots do meet the minimum lot width requirement. Please see attached exhibit.
- 3.) A Subdivision Improvement Agreement will be required to be executed prior to the City signing of the final plat.
Acknowledged.
- 4.) Applicant shall reimburse the City for water main flushing until 80-dwelling units are occupied with the subdivider to notify the City when this occupancy level has been reached.
Acknowledged.
- 5.) 80 dwelling units on lots within the first final plat of Quarry Vista shall be occupied within six months of the first unit being occupied.
Acknowledged.
- 6.) The applicant shall post a surety for the entire cost of constructing the public water main to serve the Quarry Vista plat. The surety will be reduced as impact fees are paid. The surety shall continue until all of the improvements required by the Comprehensive Development Plan and Preliminary Plat are fully constructed and accepted.
Acknowledged.
- 7.) Note 6 of the plat reads that "Outlot 4 is private for stormwater management purposes. Each lot will have 1/39 ownership". There are only 15 lots in the plat, so why will each lot only have 1/39 ownership? Will the other 24/39 ownership be owned by future platted lots – if yes, this should be made clear and should reference the subject outlot to which these future lots will come from. You should work with an attorney to determine the best language to use to clarify.
The note has been rewritten to say "Outlot 4 is private for stormwater management purposes. Each lot, with the exception of lot 15, will have an apportioned ownership share."
- 8.) Is the ownership of the landfill different from the owner of Outlot 3?
The ownership of the landfill is the same as the owner of Outlot 3 at this time. It will remain the same until an outlot has been created for the landfill block (Area C – after the material has been relocated). Once a parcel exists for the landfill, the ownership will be transferred to a different

- private entity.
- 9.) Should not the landfill location be identified on the final plat?
The landfill location has been added to the plat.
- 10.) Please provide an additional plat sheet showing the zoning setbacks or building lines required as well as the approved zoning showing what the land is currently zoned.
A detail showing the existing zoning has been added to Sheet 3. Details showing typical lot setbacks have been added to Sheet 5.
- 11.) Parkland Improvement Fee for the submitted plat is as follows (2015 dollars):
- a. 14 single-family homes x \$630 = \$8,820
 - b. 152 multi-family units x \$145 = \$22,040
- Acknowledged.*
- 12.) The proposed plat is deficient in parkland dedication by 8,754 square feet, or 3.02 dwelling units. This deficiency shall be made up through fee in-lieu of parkland dedication which equates to \$13,076.60 (2015 dollars).
Acknowledged.
- 13.) Park Street Frontage: The proposed final plat, based on pro-rating of the preliminary plat, requires 149.11 feet of improved street frontage for parks. The proposed plat does not provide any street frontage for parks, leaving a deficiency of 149.11 feet. The fee in-lieu of street frontage for parkland is \$350 per linear foot (2015 dollars); the deficiency requires \$52,188.95 for fee in-lieu of park street frontage. The City may be agreeable to an Escrow account being created to cover the deficient street frontage, which could be released to the developer when sufficient street frontage has been provided. The Escrow shall be greater than \$52,188.95 to account for an increase in the lineal foot cost. This shall be addressed as part of the developers agreement identified in item 3 above.
Agreed.

Public Works Comments

General Comments

1. A developer agreement will be needed for the public improvements. The timing and phasing of improvement will need to be addressed in that agreement.
Acknowledged.
2. Provide certification letters from all utilities companies, which will service the plat, that the only easements that will be needed, in addition to the ones on the plat, will be for pedestal locations.
Emails from the utility companies signing off on the easements are attached. (TDS's request for a 10' utility easement across Lot 14 has been added to the attached final plat.)
3. The plat shall show the location of the landfill within the outlot.
The landfill has been added to the plat.
4. Staff has marked up the proposed construction plans and will send them to the designer for coordinating updates.
We received the red lined construction plans (both the September 19, 2014 and the March 24, 2015 sets) and will edit the plans to address the mark ups.

Transportation Comments

1. Provide street length & bearing data per Sec. 24-5 [b][1]
Street lengths and bearing data has been added to the plat.
2. Engineering plans shall be provided for the work within the Pringle property. These plans will need to address erosion control and safety of the sidewalk along Quarry Vista Drive.
Coordination with the Pringles has been on-going. The Pringles have reviewed and approved the retaining wall detail and provided input regarding proposed location of the retaining wall. The retaining wall will be added to the plan and profile drawing and the cross sections. The retaining wall detail will be added to the detail sheet. Additional erosion control measures will be added to the Phase 1 erosion control plan. We will coordinate with the City and the Pringles on the final design.

3. The proposed curb and gutter and pavement on Quarry Vista Drive should stop at the plat dedication limits for Quarry Vista Drive. Since this will only be one lot deep, a hammerhead turnaround is recommended but not required.
The plans will be revised to show the Quarry Vista Drive improvements stopping at the plat dedication limits.
4. The proposed curb and gutter and pavement on Turnstone Lane should stop at the plat dedication limits for Turnstone Lane. A temporary public access from the proposed current end of Turnstone Lane to Lacy Road is recommended until subsequent plat stages are complete. Please add an appropriate note and easement limit on the Final Plat to address this.
The plans will be revised to show Turnstone Lane improvements stopping at the PCs for the intersection radii. A plan and profile drawing for the temporary connection to Lacy Road will be added to the plan set. A temporary public access easement has been added to the final plat.

Water and Sanitary Comments

1. 80 dwelling units within the final plat for Quarry Vista shall be occupied within six months of the first unit being occupied. Applicant shall reimburse the City for water main flushing until 80-dwelling units are occupied.
Acknowledged.
2. The applicant shall post a surety for the entire cost of constructing the public water main on Fitchrona Road to serve the Quarry Vista plat prior to the City releasing the water main project for bid. The surety shall continue until all of the improvements required by the Comprehensive Development Plan and preliminary plat are fully constructed and accepted.
Acknowledged.

Erosion Control and Stormwater Management (ECSWM) Comments

1. Proposed drainage arrows on both sides of Outlot 1 should show drainage from Turnstone Circle all the way to the plat limits in the direction of the proposed grading. The drainage along Outlot 1 shall drain from Turnstone Circle right-of way to the Northeast to eliminate chance of surcharging above the sidewalk elevation on Turnstone Circle.
Drainage arrows have been corrected on the plat.
2. Proposed drainage arrows are required to be added at the back lot lines of Lots 12, 13, 14, 15, and Outlot 4.
Drainage arrows have been added to the plat.
3. A Stormwater Management Plan for the Quarry Vista Plat / Erosion Control Plan for the Quarry Vista Plat Phase I, dated September 19, 2014, stamped by Robert J. Montgomery, was provided. The summary report indicates that all stormwater performance standards (from Fitchburg Chapter 30, Article II) will be met. Below are the comments on the report:
 - a. The references to phase boundaries and lot numbers are all different now. Staff recommends that the designer updates the report to the current proposed lot numbering and configuration.
The report will be updated to show revised phase boundaries and lot numbers.
 - b. The routing for proposed storm pipes leaving the stormwater facilities needs to be shown as well as confirmation of whether any ditching improvements will be needed within the Lacy Road and S. Syene Road rights-of-ways to safely handle flows for storm events up to and exceeding the 100 year design storm without discharging onto adjacent private properties. The City is concerned with flooding west of the development. Please provide existing and proposed flows and water surface elevations for drainage to Fitchrona Road.
The plans and report show proposed ditching improvements needed in the Lacy Road and Fitchrona Road rights of way so that the 100 year design storm is safely handled. The calculations will be updated to correct the Headwater elevation problem. Routing for the proposed storm sewer pipes will be included in the revised report.
 - c. The stormwater management design will need to verify that 100-year capacity is available to route flow from the development to the Quarry Ridge pond, alternatively modeling will need to document that peak flow reduction standards are met.

XP-SWMM calculations based on MSA's model created for the Jamestown watershed document that the routing a portion of the 100 year flow to the Quarry Ridge Wet Pond through the proposed 30" storm sewer and the remainder of the flow to the outlet swale produces peak rate discharges from the pond slightly less than routing all of the flow to the Quarry Ridge Wet Pond. (340.47 CFS for the split flow versus 340.53 CFS for all flow directed to the Wet Pond.) The calculations will be provided with the revised report.

- d. Flows from Lot 15 and Outlot 5 are proposed to provide separate stormwater management. Prior to development, a stormwater management plan will need to document that Chapter 30 requirements are met.

The developer and engineer for Lot 15 are aware separate stormwater management is needed for the lot and will submit their design as part of the PD-SIP process. Outlot 5 is included in the Quarry Vista modeling.

- e. The terrace infiltration calculations need to consider the terrace slope and inlet capacity in the design. The City is concerned that the capacity due to the slope of the terrace infiltration and the inlet capacity will limit the effectiveness of the BMPs.

The terrace infiltration areas and associated curb cut are based on the City of Madison's details. Madison has experimented with different types of methods which direct water into the terrace raingardens. They originally started with inlets which they found to be too expensive and required the infiltration areas to be too deep than what can comfortably fit within the terrace. They next tried a Neenah casting which was poured into the curb head. The casting was subject to clogging so they are now specifying the curb cut we are showing. They do not depress the gutter an in effort to channel flow from the gutter to the infiltration area. MA-RS debated whether depressing the gutter was a good approach and felt that it wasn't because it creates a tripping hazard, it creates constructability issues because the machine poured curb and gutter would need to be gapped across the inlet and the small section hand formed, and, lastly, the joints between the machine poured and hand poured sections create long term maintenance issues for the City. We modeled the terrace infiltration areas conservatively to compensate. In addition, the terrace infiltration areas are only a very small percentage of the total infiltration areas of the plat. The vast majority of the infiltration will be provided by the block and regional infiltration areas.

4. Erosion Control Permit 14-126 is currently in effect for the Phase 1A area which includes a portion of the proposed Final Plat area (Quarry Vista Drive, Turnstone Circle, Lots 1-14, Turnstone Lane, portions of Outlot 1 and 3, and Outlot 4. An amendment request to include Lot 15 is currently being reviewed by Fitchburg staff for approval. A new Erosion Control & Storm Water Management Permit will need to be approved prior to any new impervious areas being created.

The permit has been amended to include pre-grading of Lot 15. We will follow up regarding approval for the Phase 1A application (which included the original final plat area and includes new impervious areas and public improvements.)

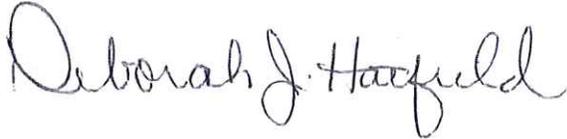
5. A stormwater maintenance agreement (recorded at the Dane County Register of Deeds office) will be required for the necessary private stormwater management practices approved by the City (e.g. private storm sewer, rain gardens, etc.). The owner(s) would be eligible for up to a 50% reduction in stormwater utility rates for the proposed stormwater practices. The following link: <http://www.fitchburgwi.gov/230/Credit-Opportunities> provides the application form and details on this program.

A stormwater maintenance agreement will be recorded. Thank you for the reminder about the stormwater utility credit. An application will be submitted.

Please contact me at 608-839-4422 with any questions.

Sincerely,

Montgomery Associates: Resource Solutions, LLC

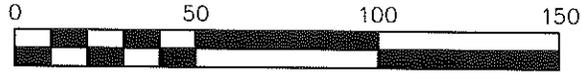


Deborah J. Hatfield, PE
Project Engineer

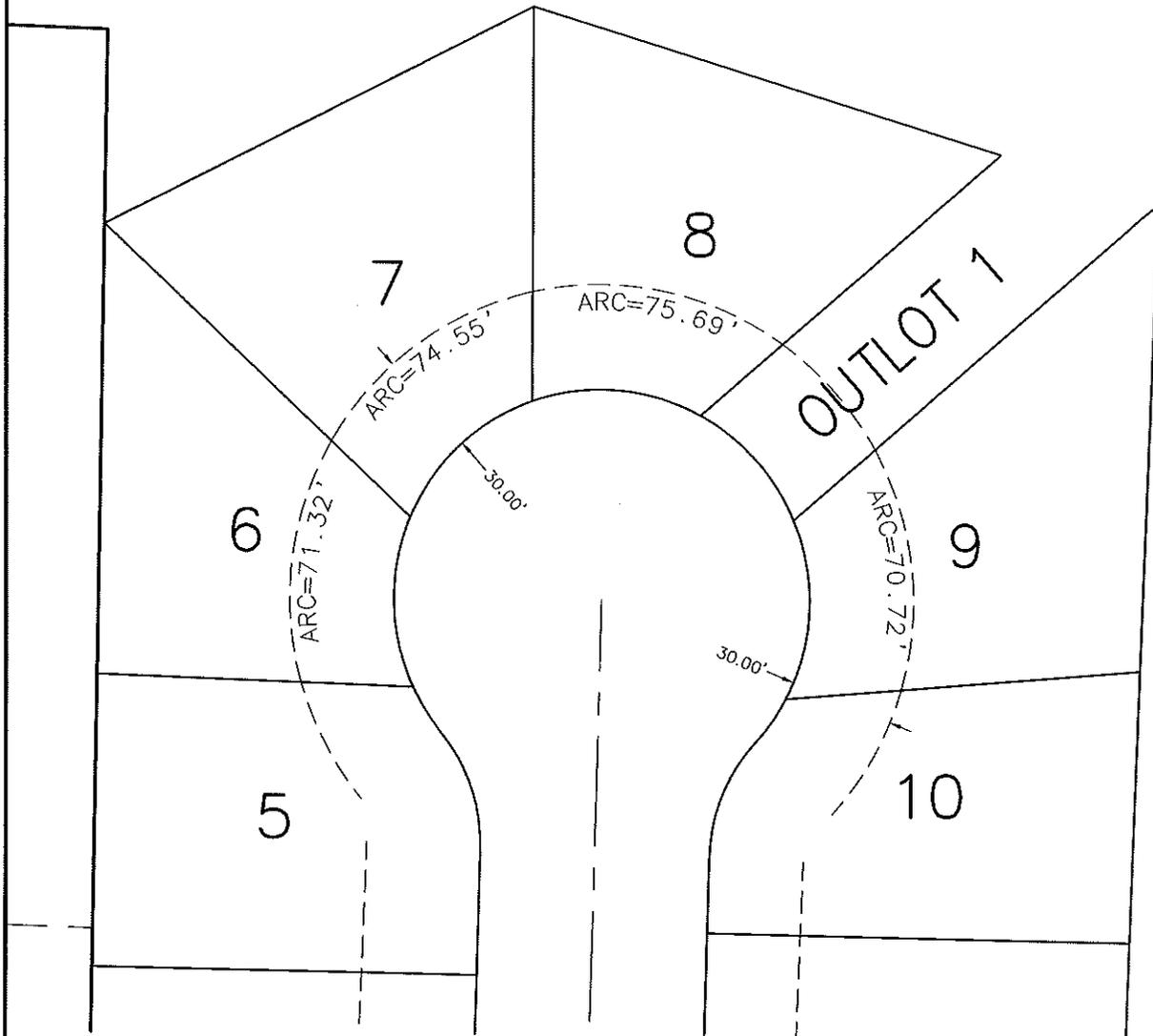
Enclosures:

Copy, w/enclosures: Keith Hammersley
Phil Sveum

LOTS 6-9 FRONT SETBACK SKETCH



SCALE : ONE INCH = FIFTY FEET



Deborah Hatfield

From: SEndres@mge.com
Sent: Monday, April 06, 2015 10:31 AM
To: Deborah Hatfield
Subject: Re: FW: QV Final Plat

Debbie-I believe that all of our needs have been satisfied with regards to any/all easements. Please feel free to contact me regarding any changes or questions. Thanks for your help, shaun

Shaun Endres
Madison Gas & Electric
Office:608-252-7224

From: Deborah Hatfield <debbie@ma-rs.org>
To: "SEndres@mge.com" <SEndres@mge.com>,
Date: 04/06/2015 09:01 AM
Subject: FW: QV Final Plat

Hi Shaun,

Attached is a revised final plat. We made sure there are easements adjacent to the right of way on all the lots being created with this plat. In addition, I've talked to the Surveyor to make sure easements are added where needed in future plats.

Hopefully, we got you everything you need in this plat. If not, let me know ASAP. If you're good, would you pretty please send me an email telling me so, so I can include it with my resubmittal tomorrow?

Thanks!

Debbie

From: flapacek@bse-inc.net [<mailto:flapacek@bse-inc.net>]
Sent: Monday, April 06, 2015 8:44 AM
To: Deborah Hatfield
Subject: QV Final Plat

Frank Jared Lapacek, P.L.S.
Burse Surveying and Engineering, Inc.
2801 International Lane, Suite 101
Madison, WI 53704
Office: (608) 250-9263

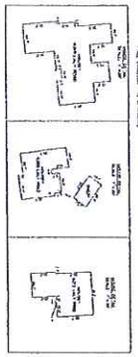


4-6-15

To whom it may concern:

As to the easements in City of Fitchburg Quarry Vista Plat Charter Communications has no further requests to modify existing plat records and is satisfied with existing easement records.

Glen Jakusz
Charter Communications



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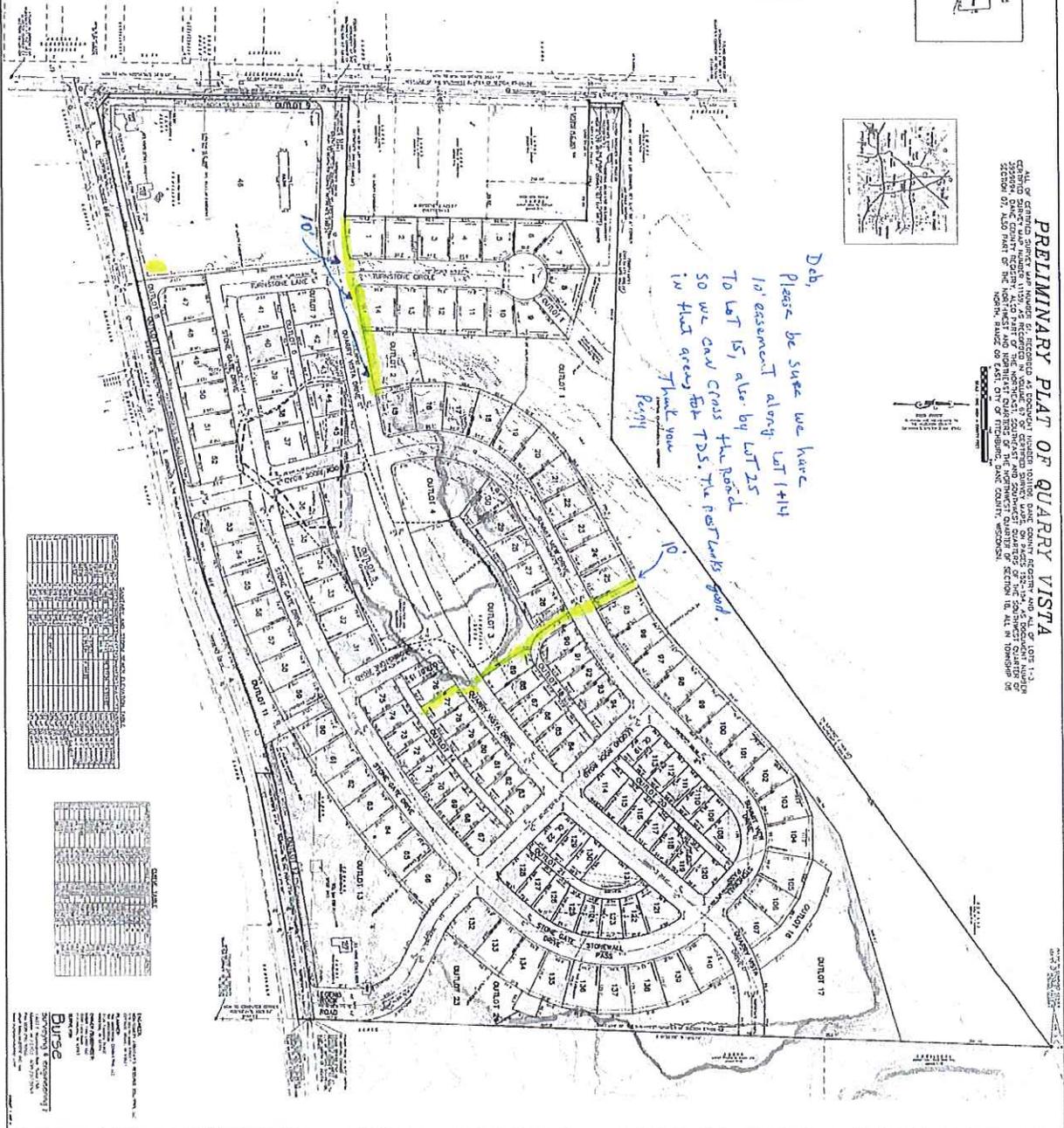


PRELIMINARY PLAT OF QUARRY VISTA

ALL OF THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF BURSE & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BURSE & ASSOCIATES, INC.

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Deb
 Please be sure we have
 10' easement along LOT 114
 TO LOT 15, also by LOT 25
 SO WE CAN CROSS THE ROAD
 IN THIS AREA FOR 725. THE NETWORKS GOOD.
 Thank you
 Perry



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Burse
 & ASSOCIATES, INC.
 ENGINEERS & ARCHITECTS
 1000 ...
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Final Plat of Quarry Vista Public Works Review #2

RECEIVED
4/14/2015

The following comments are based on the final plat and Phase I Construction Plans, dated 03/24/15, that were submitted by Deborah J. Hatfield on behalf of Hamm Fam Land LLC for Quarry Vista. Applicant Responses dated 04-07-2015 are shown in red text. Additional PW Review #2 Comments are shown in blue text. Additional Applicant response dated 04-14-2015 is shown in green. AB 4-09-15, EJE 4-10-15, GV 4-09-15, TMF 4-09-15, CH 4-10-15. Additional comments beyond these may be required on future reviews.

General Comments

1. A developer agreement will be needed for the public improvements. The timing and phasing of improvement will need to be addressed in that agreement.
Applicant Response: Acknowledged.
2. Provide certification letters from all utilities companies, which will service the plat, that the only easements that will be needed, in addition to the ones on the plat, will be for pedestal locations.
Applicant Response: Emails from the utility companies signing off on the easements are attached. (TDS's request for a 10' utility easement across Lot 14 has been added to the attached final plat.)
3. The plat shall show the location of the landfill within the outlot.
Applicant Response: The landfill has been added to the plat.
4. Staff has marked up the proposed construction plans and will send them to the designer for coordinating updates.
Applicant Response: We received the red lined construction plans (both the September 19, 2014 and the March 24, 2015 sets) and will edit the plans to address the mark ups.

Transportation Comments

1. Provide street length & bearing data per Sec. 24-5 [b][1]
Applicant Response: Street lengths and bearing data has been added to the plat.
2. Engineering plans shall be provided for the work within the Pringle property. These plans will need to address erosion control and safety of the sidewalk along Quarry Vista Drive.
Applicant Response: Coordination with the Pringles has been on-going. The Pringles have reviewed and approved the retaining wall detail and provided input regarding proposed location of the retaining wall. The retaining wall will be added to the plan and profile drawing and the cross sections. The retaining wall detail will be added to the detail sheet. Additional erosion control measures will be added to the Phase 1 erosion control plan. We will coordinate with the City and the Pringles on the final design.
Additional PW Review #2 Comments: Drawings and additional information (e.g. final location, height, fencing, details, etc.) for the proposed retaining wall at the Pringle property have still not been received. A meeting with the Pringles, MARS, and City Staff is recommended onsite.
The additional information is being added to the plans. An on-site meeting with all parties will be held once the plans have been updated. We anticipate the meeting to be held the week of April 20th if everyone's schedules work out.
3. The proposed curb and gutter and pavement on Quarry Vista Drive should stop at the plat dedication limits for Quarry Vista Drive. Since this will only be one lot deep, a hammerhead turnaround is recommended but not required.



Final Plat of Quarry Vista Public Works Review #2

Applicant Response: The plans will be revised to show the Quarry Vista Drive improvements stopping at the plat dedication limits.

4. The proposed curb and gutter and pavement on Turnstone Lane should stop at the plat dedication limits for Turnstone Lane. A temporary public access from the proposed current end of Turnstone Lane to Lacy Road is recommended until subsequent plat stages are complete. Please add an appropriate note and easement limit on the Final Plat to address this.

Applicant Response: The plans will be revised to show Turnstone Lane improvements stopping at the PCs for the intersection radii. A plan and profile drawing for the temporary connection to Lacy Road will be added to the plan set. A temporary public access easement has been added to the final plat.

Water and Sanitary Comments

1. 80 dwelling units within the final plat for Quarry Vista shall be occupied within six months of the first unit being occupied. Applicant shall reimburse the City for water main flushing until 80-dwelling units are occupied.

Applicant Response: Acknowledged.

2. The applicant shall post a surety for the entire cost of constructing the public water main on Fitchrona Road to serve the Quarry Vista plat prior to the City releasing the water main project for bid. The surety shall continue until all of the improvements required by the Comprehensive Development Plan and preliminary plat are fully constructed and accepted.

Applicant Response: Acknowledged.

Erosion Control and Stormwater Management (ECSWM) Comments

1. Proposed drainage arrows on both sides of Outlot 1 should show drainage from Turnstone Circle all the way to the plat limits in the direction of the proposed grading. The drainage along Outlot 1 shall drain from Turnstone Circle right-of way to the Northeast to eliminate chance of surcharging above the sidewalk elevation on Turnstone Circle.

Applicant Response: Drainage arrows have been corrected on the plat.

2. Proposed drainage arrows are required to be added at the back lot lines of Lots 12, 13, 14, 15, and Outlot 4.

Applicant Response: Drainage arrows have been corrected on the plat.

3. A Stormwater Management Plan for the Quarry Vista Plat / Erosion Control Plan for the Quarry Vista Plat Phase I, dated September 19, 2014, stamped by Robert J. Montgomery, was provided. The summary report indicates that all stormwater performance standards (from Fitchburg Chapter 30, Article II) will be met. Below are the comments on the report:

- a. The references to phase boundaries and lot numbers are all different now. Staff recommends that the designer updates the report to the current proposed lot numbering and configuration.

Applicant Response: The report will be updated to show revised phase boundaries and lot numbers.

- b. The routing for proposed storm pipes leaving the stormwater facilities needs to be shown as well as confirmation of whether any ditching improvements will be needed within the Lacy Road and S. Syene Road rights-of-ways to safely handle flows for storm events up to and exceeding the 100 year design storm without discharging onto

Final Plat of Quarry Vista Public Works Review #2

adjacent private properties. The City is concerned with flooding west of the development. Please provide existing and proposed flows and water surface elevations for drainage to Fitchrona Road.

Applicant Response: The plans and report show proposed ditching improvements needed in the Lacy Road and Fitchrona Road rights of way so that the 100 year design storm is safely handled. The calculations will be updated to correct the Headwater elevation problem. Routing for the proposed storm sewer pipes will be included in the revised report.

- c. The stormwater management design will need to verify that 100-year capacity is available to route flow from the development to the Quarry Ridge pond, alternatively modeling will need to document that peak flow reduction standards are met.

Applicant Response: XP-SWMM calculations based on MSA's model created for the Jamestown watershed document that the routing a portion of the 100 year flow to the Quarry Ridge Wet Pond through the proposed 30" storm sewer and the remainder of the flow to the outlet swale produces peak rate discharges from the pond slightly less than routing all of the flow to the Quarry Ridge Wet Pond. (340.47 CFS for the split flow versus 340.53 CFS for all flow directed to the Wet Pond.) The calculations will be provided with the revised report.

- d. Flows from Lot 15 and Outlot 5 are proposed to provide separate stormwater management. Prior to development, a stormwater management plan will need to document that Chapter 30 requirements are met.

Applicant Response: The developer and engineer for Lot 15 are aware separate stormwater management is needed for the lot and will submit their design as part of the PD-SIP process. Outlot 5 is included in the Quarry Vista modeling.

- e. The terrace infiltration calculations need to consider the terrace slope and inlet capacity in the design. The City is concerned that the capacity due to the slope of the terrace infiltration and the inlet capacity will limit the effectiveness of the BMPs.

Applicant Response: The terrace infiltration areas and associated curb cut are based on the City of Madison's details. Madison has experimented with different types of methods which direct water into the terrace raingardens. They originally started with inlets which they found to be too expensive and required the infiltration areas to be too deep than what can comfortably fit within the terrace. They next tried a Neenah casting which was poured into the curb head. The casting was subject to clogging so they are now specifying the curb cut we are showing. They do not depress the gutter an in effort to channel flow from the gutter to the infiltration area. MA-RS debated whether depressing the gutter was a good approach and felt that it wasn't because it creates a tripping hazard, it creates constructability issues because the machine poured curb and gutter would need to be gapped across the inlet and the small section hand formed, and, lastly, the joints between the machine poured and hand poured sections create long term maintenance issues for the City. We modeled the terrace infiltration areas conservatively to compensate. In addition, the terrace infiltration areas are only a very small percentage of the total infiltration areas of the plat. The vast majority of the infiltration will be provided by the block and regional infiltration areas.

4. Erosion Control Permit 14-126 is currently in effect for the Phase 1A area which includes a portion of the proposed Final Plat area (Quarry Vista Drive, Turnstone Circle, Lots 1-14,

Final Plat of Quarry Vista Public Works Review #2

Turnstone Lane, portions of Outlot 1 and 3, and Outlot 4. An amendment request to include Lot 15 is currently being reviewed by Fitchburg staff for approval. A new Erosion Control & Storm Water Management Permit will need to be approved prior to any new impervious areas being created.

Applicant Response: The permit has been amended to include pre-grading of Lot 15. We will follow up regarding approval for the Phase 1A application (which included the original final plat area and includes new impervious areas and public improvements.)

5. A stormwater maintenance agreement (recorded at the Dane County Register of Deeds office) will be required for the necessary private stormwater management practices approved by the City (e.g. private storm sewer, rain gardens, etc.). The owner(s) would be eligible for up to a 50% reduction in stormwater utility rates for the proposed stormwater practices. The following link: <http://www.fitchburgwi.gov/230/Credit-Opportunities> provides the application form and details on this program.

Applicant Response: A stormwater maintenance agreement will be recorded. Thank you for the reminder about the stormwater utility credit. An application will be submitted.

Plan Commission
Initiated by

Planning / Zoning
Drafted by

April 21, 2015

RESOLUTION R-50-15
A RESOLUTION APPROVING FINAL PLAT REQUEST (FP-2055-15) FOR THE PLAT OF
QUARRY VISTA

WHEREAS, Deborah Hatfield, agent for Hamm Fam Land LLC, has submitted a final plat request (FP-2055-15) to for the Final Plat of Quarry Vista, and

WHEREAS, the Plan Commission has reviewed and recommended approval of the proposed plat, with conditions,

NOW, THEREFORE, BE IT HEREBY RESOLVED that the Fitchburg Common Council approves the final plat FP-2055-15, for Quarry Vista, with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) A Subdivision Improvement Agreement shall be executed prior to the City signing of the final plat.
- 3.) Park fees for the final plat shall be paid prior to the City signing of the final plat.
 - a. Park Improvement fee: Park Improvement for 14 single-family and 152 multi-family units is \$30,860 (2015 dollars)
 - b. Fee In-Lieu of Parkland Dedication: The proposed plat is deficient in parkland dedication by 8,754 square feet, or 3.02 dwelling units. This deficiency shall be made up through fee in-lieu of parkland dedication which equates to \$13,076.60 (2015 dollars). Credit for two dwelling units previously on proposed Lot 15 shall be applied during the agreement for subdivision improvements.
- 4.) Escrow for Fee In-Lieu of Street Frontage for Parkland: The proposed plat, based on pro-rating of the preliminary plat, is deficient in street frontage for parkland by 149.11 feet. The fee in-lieu of street frontage for parkland is \$350 per linear foot (2015 dollars); the deficiency requires \$52,188.95 for fee in-lieu of park street frontage. The City may be agreeable to an Escrow account being created to cover the deficient street frontage, which could be released to the developer when sufficient street frontage has been provided. The Escrow shall be greater than \$52,188.95 to account for an increase in the linear foot cost. This shall be addressed as part of the developers agreement as required in condition 2 above.
- 5.) Applicant shall reimburse the City for the water main flushing until 80-dwelling units are occupied with the subdivider to notify the City when this occupancy level has been reached.
- 6.) Applicant shall construct 80 dwelling-units within 6-months of recording of this plat.
- 7.) The applicant shall post, prior to the City signing the final plat, a surety for the entire cost of constructing the public water main to serve the Quarry Vista plat. The surety will be reduced as impact fees are paid. The entire surety will be released if all of the public improvements for development intended by the Comprehensive Development Plan and preliminary plat are constructed and accepted within 48-months of the recording of this final plat.

- 8.) All final details and drawings regarding the proposed improvements, including the proposed retaining wall on north side of Quarry Vista Drive, shall be provided to Public Works for review and approval prior to the City signing of the final plat.

Adopted this _____ day of _____, 2015

Patti Anderson, City Clerk

Approved: _____

Steve Arnold, Mayor

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: April 14, 2015 Ordinance Number:
Date to Report Back: **April 28, 2015** Resolution Number: R-51-15

Sponsored by: Mayor Drafted by: Planning / Zoning

TITLE: A RESOLUTION APPROVING PRELIMINARY PLAT FOR
 FAHEY FIELDS

Background: Preliminary Plat request PP-2054-15 by Ronald Klaas, agent for Fahey Land LLC, for approval of the Fahey Fields Preliminary Plat.

Applicant is requesting approval of a preliminary plat for Fahey Fields. This preliminary plat calls for 126 parcels, 119 which are proposed as buildable.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	April 21, 2015	Approved
2	Parks Commission	Endl	April 2, 2015	Approved

Amendments:

THE CROSSING CONDOMINIUM ASSOCIATION

Fitchburg Plan Commission:

April 22, 2015

Steve Arnold, Rachel Lee, Tony McGrath,

Carol Poole, Ed Kinney, Susan Radtke

At the Plan Commission meeting in December 2014 we appeared regarding the Fahey Fields development. At that time we spoke in favor of the development, and we continue to support the project.

Our concern continues to be the issue of stormwater drainage. The Commission members may recall that in 2013 we experienced major flooding at The Crossing which resulted in damage to several condominium units. Our efforts to remedy this problem have cost the Condo Association more than \$300,000 to date.

In 2013 we purchased land from David Fahey in order to construct a swale to divert water away from the buildings. The project was completed in November 2013. That project only protects us from stormwater of a ten-year storm. A storm of greater magnitude will not be handled by this swale, and we continue to move forward to resolve that problem.

When we came before the Plan Commission in December 2014 we asked for assurances the Fahey development would not make our stormwater situation worse. We do not want to have something we cannot control negate the efforts we have already made, nor make it more expensive for us to protect our property from a large storm. At that time members of the Plan Commission told the Fahey Fields developers to communicate with neighboring properties about plans for handling stormwater downstream from their development.

Contrary to some testimony given at the April 21st Plan Commission meeting, there has been little contact with The Crossing. In a meeting with The Crossing Board and engineering consultant on February 4th the developers explained a concept that "might" divert stormwaters from the southeast corner of The Crossing. We expressed our concern that this conceptual plan was simply moving the water problem from the southeast corner to the northwest corner of

The Crossing. We needed evidence their concept would work as intended. That discussion also included their suggestion that residents of The Crossing monetarily help the developers with their diversion plan. Since that February 4th meeting there was no contact from the Fahey Fields developer, or D'Onofrio Engineers, despite direction from Commission members at the December 2014 meeting. We first learned of the preliminary water management plan submitted on March 25 from City staff at a meeting on April 3rd. Our engineering consultant was finally sent the plan on April 15th. We do not believe this type of miscommunication is in the spirit of the Commission's direction.

We continue to have concerns about stormwater runoff from Fahey Fields. In 2006 when The Crossing was developed, the plans for stormwater were faulty but still approved by the City. That misjudgment resulted in our current situation where more than 100 residents of The Crossing find ourselves today. Additionally, it was disheartening when Ron Klaas was questioned twice about the Fahey plan successfully managing stormwater without further problems to neighboring property: "We are trying." It is our opinion that "trying" is not enough in this situation. The Crossing is asking the Plan Commission to ensure that we do not find ourselves in the same situation with the development of Fahey Fields. Our continued support of this development project hinges on our satisfaction and that of our engineering consultant. The Crossing's best interest must be considered as important as satisfying the developers' best interest.

The Crossing Condominium Association

Janet Adams, President

Richard Collins, Vice President

Copies to:

Alderman Gonzalez

Alderman Carpenter

Thomas Hovel

Jason Daye



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

LAND DIVISION APPLICATION

Receipt # 1-9287
 3-23-15

The undersigned owner, or owner's authorized agent, of property herein described hereby submits ten (10) copies of the attached maps, one (1) copy no larger than 11" x 17", and one (1) pdf document of the complete submittal (planning@fitchburgwi.gov) for approval under the rules and requirements of the Fitchburg Land Division Ordinance.

- 1. Type of Action Requested:**
- Certified Survey Map Approval
 - Preliminary Plat Approval
 - Final Plat Approval
 - Replat
 - Comprehensive Development Plan Approval

2. Proposed Land Use (Check all that Apply):

- Single Family Residential
- Two-Family Residential
- Multi-Family Residential
- Commercial/Industrial

3. No. of Parcels Proposed: 126

4. No. Of Buildable Lots Proposed: 119

5. Zoning District: Ex: A-T; Trans. Ag. Prop: R-LM; Low to Med. Density Res. & PDD; Planned Development District

6. Current Owner of Property: Fahey Land LLC

Address: 702 N. High Point Road, Suite 200, Madison, WI 53717 **Phone No:** (608) 235-9220

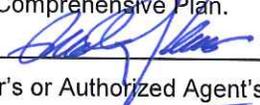
7. Contact Person: Tony Heinrichs

Email: tonyheinrichs@aol.com

Address: 702 N. High Point Road, Suite 200, Madison, WI 53717 **Phone No:** (608) 235-9220

8. Submission of legal description in electronic format (MS Word or plain text) by email to: planning@fitchburgwi.gov

Pursuant to Section 24-2 (4) of the Fitchburg Land Division Ordinance, all Land Divisions shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

Respectfully Submitted By: 
 Owner's or Authorized Agent's Signature

RONALD R. KLAAS
 Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 3/23/2015

Ordinance Section No. _____ **Fee Paid:** \$21,350.00

Permit Request No. PP - 2054-15

LEGAL DESCRIPTION

Part of Lot 2, Certified Survey Map No. 9896, recorded in Volume 57 of Certified Survey Maps on pages 231-238 as Document Number 3271318 and Lands located in the SW1/4 and the SE1/4 of the NE1/4 and in the NE1/4 and the NW1/4 of the SE1/4 of Section 15, T6N, R9E, City of Fitchburg, Dane County, Wisconsin to-wit:

Beginning at the East 1/4 corner of said Section 15 thence S01°03'52"W, 255.08 feet along the East line of said SE1/4; thence S87°29'16"W, 2653.06 feet to the West line of said SE1/4; thence N00°27'52"E, 285.90 feet to the South line of said SE1/4; thence N87°32'50"E, 624.57 feet along said South line to the Southeast corner of Outlot 4; said TechLands thence N00°11'51"E, 1334.63 feet along the East line of said TechLands and the East line of Outlot 8 and Outlot 9; first addition to Fitchburg Technology Campus to the Southeast corner of said Outlot 9; thence S76°29'03"E, 4.04 feet to the Southwest corner of Outlot 1; Waterford Glen thence N86°57'59"E, 1378.91 feet along the South line of Waterford Glen and the South line of Lot 2, Certified Survey Map No. 3060; thence S17°03'07"E, 47.93 feet; thence N86°57'59"E, 603.25 feet to the East line of said NE1/4; thence S00°10'56"W, 1304.30 feet along said East line also being the West line of Lot 2, Certified Survey Map No. 445 to the point of beginning, containing 3,419,442 square feet 179.877 acres.

NOTES

- Existing Zoning: A-T
- Proposed Zoning: Lots 1-117: R-LW
Lot 118: R-M
Outlots 1-6: P-R
- Owner and Subdividers: Fahey Fields, LLC
Surveyor, Engineer, and Professional Land Planner: D'Onofrio, Kottke & Assoc., Inc.

SURVEYOR'S CERTIFICATE

I, Brett T. Stoffregen, Professional Land Surveyor, S-2742, hereby certify that this preliminary plat is a true and correct representation of all the adjacent existing land divisions and of the boundary of the preliminary plat and features and that I have fully complied with the City of Fitchburg Subdivision Ordinance.

Dated this 20th day of March, 2015.
Revised this 27th day of March, 2015.
Revised this 4th day of April, 2015.
Revised this 14th day of April, 2015.

Brett T. Stoffregen
Brett T. Stoffregen, Professional Land Surveyor, S-2742



LEGEND

- PLACED 1-1/4" IRON REBAR
- FOUND 1-1/4" IRON REBAR
- ⊙ FOUND 1" IRON PIPE
- ⊙ FOUND 3/4" IRON REBAR
- SS SS SANITARY SEWER
- W W WATER MAIN
- ST ST STORM SEWER
- ELECTRIC TRANSFORMER
- TELEPHONE PEDESTAL
- MANHOLE
- ⊙ CATCH BASIN/INLET
- ⊙ VALVE
- ⊙ HYDRANT
- EDGE OF TREELINE
- CONCRETE CURB AND CUTTER
- EXISTING CONTOUR (NAVD 88)
- *RECORDED AS* INFORMATION

CONCRETE SIDEWALK

CONCRETE CURB AND CUTTER

EXISTING CONTOUR (NAVD 88)

RECORDED AS INFORMATION

CONCRETE SIDEWALK

CONCRETE CURB AND CUTTER

EXISTING CONTOUR (NAVD 88)

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CONCRETE SIDEWALK

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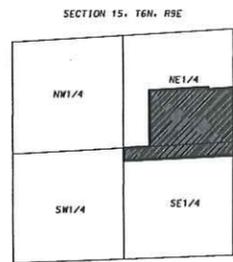
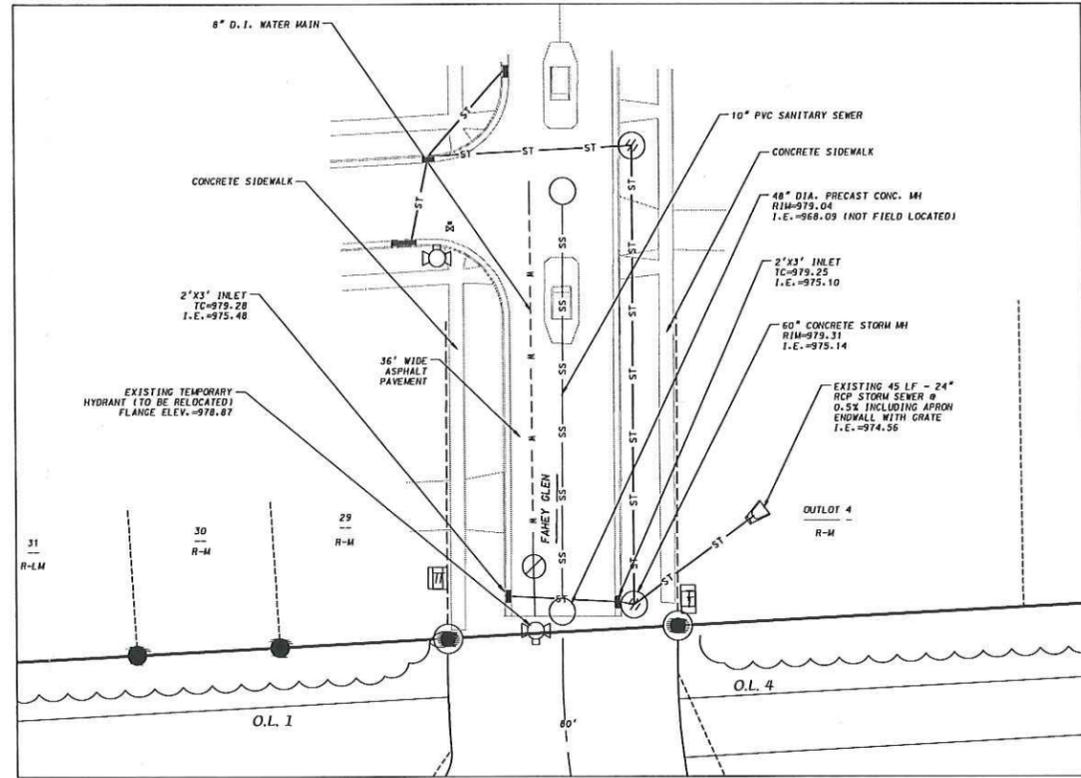
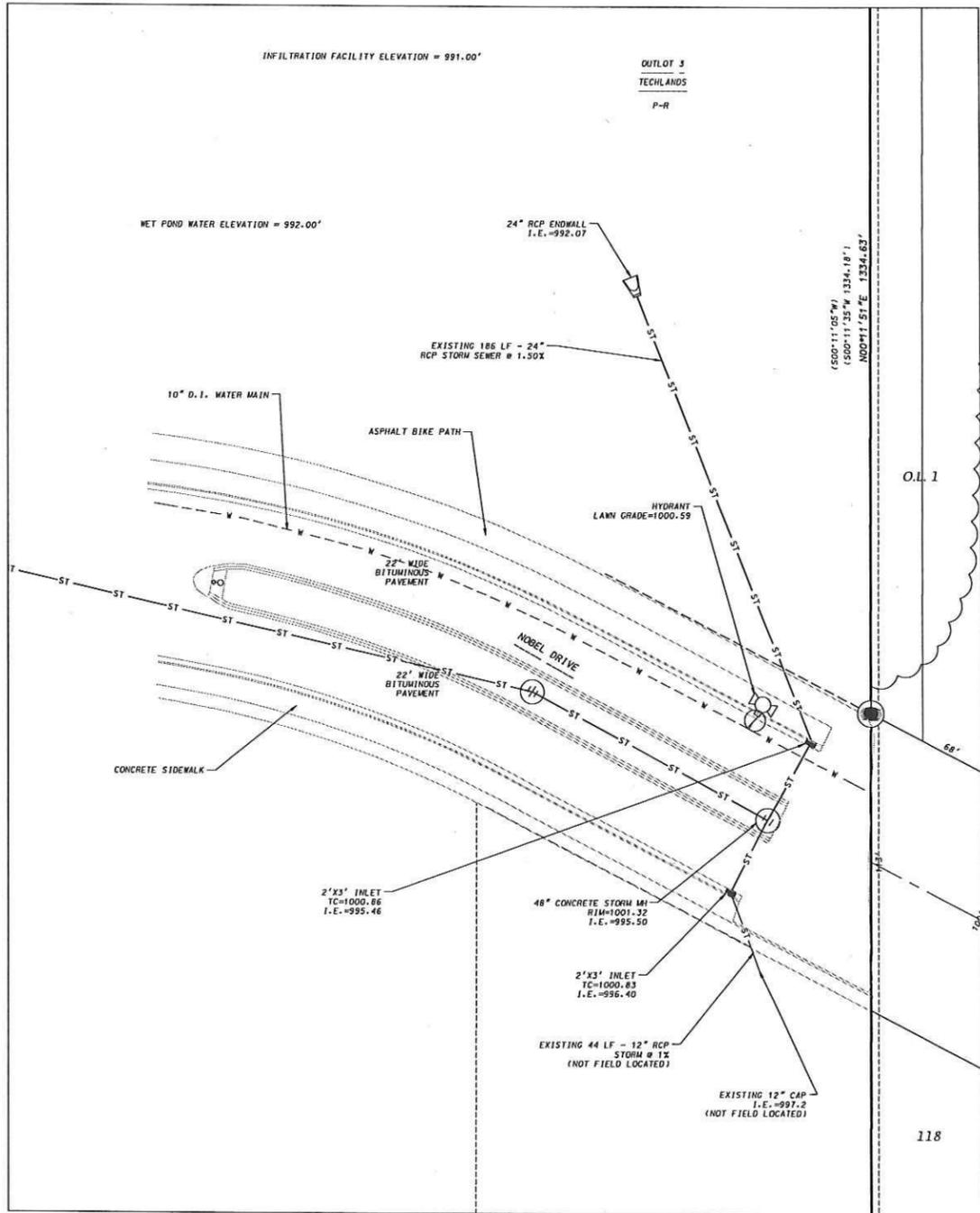
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- LEGEND**
- PLACED 1-1/4" IRON REBAR
 - ⊙ FOUND 1-1/4" IRON REBAR
 - ⊙ FOUND 1" IRON PIPE
 - ⊙ FOUND 3/4" IRON REBAR
 - SS — SS — SANITARY SEWER
 - W — WATER MAIN
 - ST — ST — STORM SEWER
 - ⊠ ELECTRIC TRANSFORMER
 - ⊠ TELEPHONE PEDESTAL
 - MANHOLE
 - ⊙ CATCH BASIN/INLET
 - VALVE
 - ⊙ HYDRANT
 - ~~~~~ EDGE OF TREELINE
 - ==== CONCRETE CURB AND GUTTER
 - - - - EXISTING CONTOUR
 - () "RECORDED AS" INFORMATION

PROFESSIONAL ENGINEER AND ARCHITECT, INC.
 7580 Woodland Way, Madison, WI 53717
 Phone: 608.662.7350 • Fax: 608.663.1035
 WWW.MATTHEWREYNOLDS-PAULANDASSOCIATES.COM

PRELIMINARY PLAT
FAHEY FIELDS
 PART OF LOT 2, CERTIFIED SURVEY MAP NO. 9896 AND LAND LOCATED IN THE SW1/4 AND THE SE1/4 OF THE NE1/4 AND IN THE NE1/4 AND THE NW1/4 OF THE SE1/4 OF SECTION 15, T6N, R9E, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

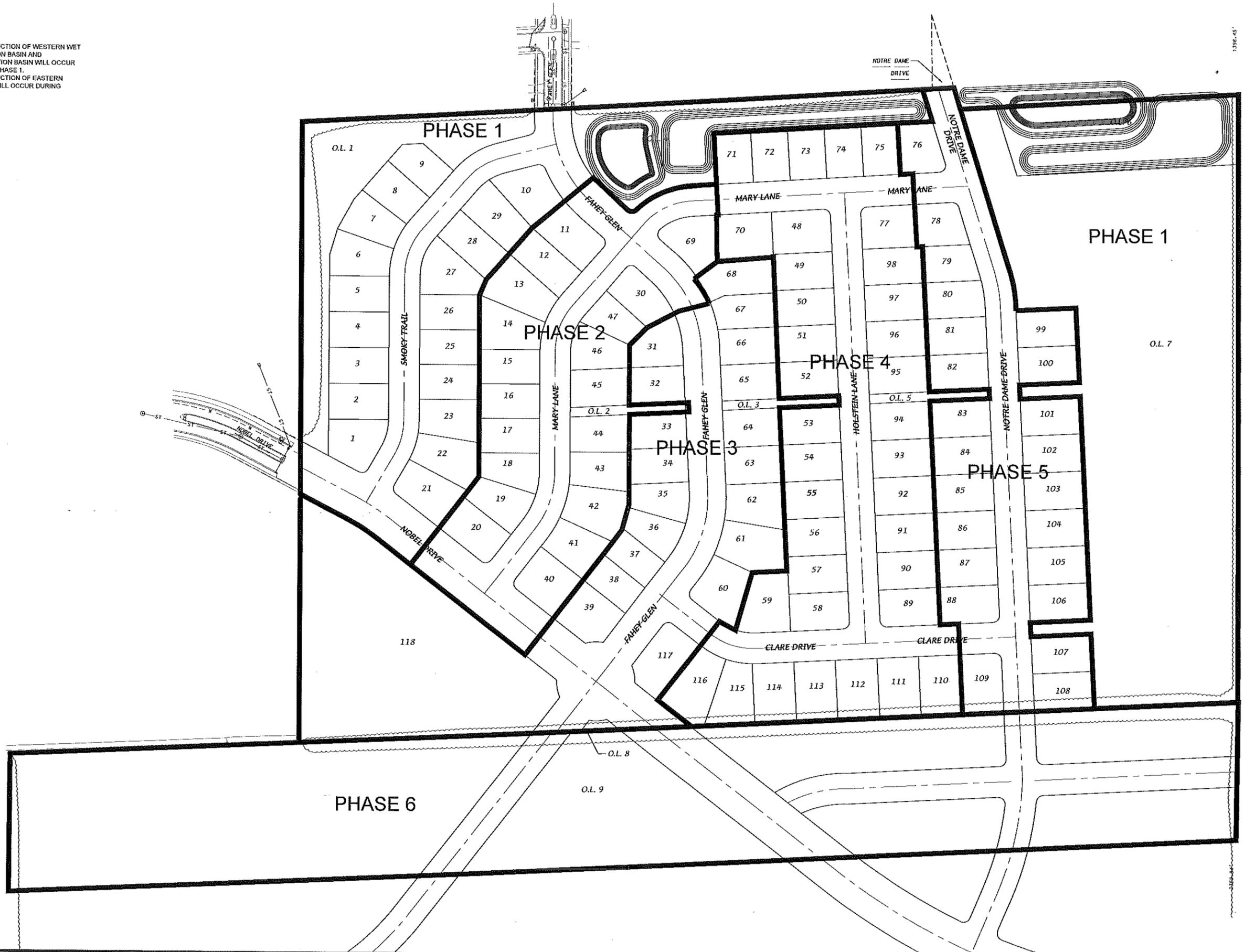

 THE EAST LINE OF THE SE1/4 OF SECTION 15, T6N, R9E ASSUMED TO BEAR S103°52'W
 SCALE: 1" = 30'
 DATE: 03-20-15
 REVISED: 03-27-15
 04-03-15
 04-06-15
 04-14-15
 04-15-15

FN: 14-07-113
 Sheet Number:
 2 of 2

RECEIVED 4/15/2015

NOTES:

1. CONSTRUCTION OF WESTERN WET DETENTION BASIN AND INFILTRATION BASIN WILL OCCUR DURING PHASE 1.
2. CONSTRUCTION OF EASTERN BASINS WILL OCCUR DURING PHASE 3.



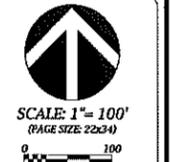
1396'-45'

MON. TO MON. 51° 02' 52" N 285° 4' 52" W

MON. TO MON. 51° 02' 52" N 285° 4' 52" W

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7590 Westwood Way, Madison, WI 53717
 Phone: 608.833.7550 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

PHASE MAP
FAHEY FIELDS
 CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



SCALE: 1" = 100'
 (PAGE SIZE: 22x34)

DATE: 04-14-15
 REVISED:

DRAWN BY: MGO

FN: 15-05-103

Sheet Number:
C200



D. TO
TECH.
S
LOT 3
HLANDS
P-R
(S00°11'05"W)
(S00°11'35"W 1334.18')

D'ONOFRIO KOTTMER AND ASSOCIATES, INC.
7530 Westwood Way, Madison, WI 53717
Phone: 608.833.7550 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

ROUNDABOUT SITE PLAN
FAHEY FIELDS
CITY OF FITCHBURG, DANE COUNTY, WISCONSIN


SCALE: 1" = 50'
(PAGE SIZE: 22x34)
DATE: 04-14-15
REVISED:
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FN: 15-05-103
Sheet Number:
C100

RECEIVED
4/14/2015



CITY OF FITCHBURG
PLANNING DEPARTMENT
5520 LACY ROAD
FITCHBURG, WI 53711
(608) 270-4200
FAX: (608) 270-4275
EMAIL: planning@city.fitchburg.wi.us

Application: PP-2054-15
Property Location: Lot 2 CSM 9896
Review Date: April 8, 2015
Planning Staff Review #2

Planning staff has reviewed your response to staff comments for Fahey Fields Preliminary Plat request, submitted on 4/6/2015. Further comments or questions may arise as additional review occurs.

DKA comments provided on April 14th, 2015 are shown in red.

- 1.) The plan sheets are inconsistent as to the location of the wet detention and infiltration basins. The Phase Map shows the stormwater facilities fully contained in Outlot 6 while the Overall Site Plan does not show stormwater facilities on their own outlot nor are the facilities the same size and configuration as that shown on the phasing plan. Please update appropriately.
Overall Site Plan and Phase Map have been revised and updated to illustrate the size and shape of the proposed stormwater management facilities located in Outlot 6.
- 2.) Are you certain that the proposed stormwater facilities and the area that you have allocated for Outlot 6 is sufficient in size to handle the necessary stormwater to meet the requirements?
Yes – smaller rainfall events will be handled by the proposed stormwater management facilities located in Outlot 6, while larger rainfall events will be conveyed to the regional ponds within The Crossings development via storm piping and overland flow.
- 3.) The Plat was not updated to identify the areas on outlots 1 & 4 that will be for stormwater and park. Please identify what part, or size, of each outlot will be for stormwater and park and provide the area of each use for each outlot on the plat.
See revised Preliminary Plat.
- 4.) Outlots 2, 3 and 5 (paths) are shown as being dedicated over different phases. If an outlot is not being dedicated in full during a phase, it will need to be divided into two separate outlots. Please update preliminary plat appropriately.
Outlots 2,3, and 5 have been revised to be dedicated in full within one phase. See updated Phase Map.
- 5.) Areas of outlot 7 between Lots 101/102 and Lots 107/108 are shown on the phasing map as part of phase 5. These areas should be dedicated with phase 1 with the rest of outlot 7.
Acknowledged and revised. See revised Phase Map.
- 6.) Mary Lane shall be used only for one direction of the street (north/south) or (east/west) as there is a clean break at Fahey Glen where the street changes direction. Please update the preliminary plat to show a change in name for this street at Fahey Glen.
Acknowledged – this will be addressed soon.

Preliminary Plat of Fahey Fields Public Works Review #2

The following comments are based on the preliminary plat that was submitted by Ronald Klaas on behalf of Fahey Land, LLC for Fahey Fields. **Applicant Responses as of 04-06-2015 are shown in red text.** **Additional PW Review #2 Comments are shown in blue text.** **Additional Application Responses as of 04-14-2015 are shown in green text.**

AB 4-09-15, EJE 4-10-15, GV 4-09-15, TMF 4-09-15. Additional comments beyond these may be required on future reviews.

General Comments

1. A developer agreement will be needed for the public improvements. The timing and phasing of improvements will need to be addressed in the agreement.
Applicant Response: Acknowledged – this will be provided.
2. Utility easements are not shown on the plat. This will need to be determined before the final plat. Certification letters need to be submitted from all utility companies that will service this plat stating that the easements shown on this plat are adequate.
Applicant Response: Acknowledged – we will coordinate with Alliant and MG&E regarding the utility easements.
Additional PW Review #2 Comment: Please make sure Charter and AT&T provide certification letters as well.
Acknowledged.
3. The proposed trail location on the north and west will need to be coordinated with stormwater management features.
Applicant Response: Acknowledged – exact shape and design of the stormwater management facilities will be modified to accommodate the proposed trail.
4. The plat shall include:
 - a. The proposed zoning
Applicant Response: Acknowledged – this has been added.
 - b. The names and addresses of the owner, subdivider, surveyor, engineer, and the professional land planner involved in the plat preparation
Applicant Response: Acknowledged – this has been added.
 - c. The vertical datum
Applicant Response: Completed.
 - d. The location of wetlands
Acknowledged – DNR mapping does not show any wetlands within the plat. A certified wetland delineator will visit the site to verify existing conditions.
 - e. Names of proposed streets
Applicant Response: Completed.
 - f. A location map
Applicant Response: A location map will be sent separately, and will be shown on the Final Plat.

Transportation Comments

1. Nobel Drive right-of-way width shall be labeled. The width should be 104' to match the existing road right-of-way width to the west.
Applicant Response: Acknowledged – see revised Preliminary Plat.

Preliminary Plat of Fahey Fields Public Works Review #2

Additional PW Review #2 Comment: Nobel Drive is a collector street with a posted speed limit of 35 mph. Intersection spacing of 200' is not adequate for this type of roadway. The intersection of Mary Lane at Nobel Drive should operate as a right-in/right-out only.

Acknowledged and revised – see Overall Site Plan.

2. "B" Street should be access-controlled as a right-in/right-out only at Nobel Drive. No median opening should be allowed at this location due to the close proximity of the intersections.

Applicant Response: It is our professional opinion that a full intersection at this location will function properly, and we ask the City to consider that design, for optimum access to all lots in the neighborhood.

3. The roundabout shown at Fahey Glen/Nobel Drive is not designed correctly in the plans and will impact the required right-of-way at the intersection. The plat needs to ensure adequate right-of-way for the roundabout. Splitter islands are needed on the side roads, the shared-use path needs to continue around the entire roundabout, etc. This intersection needs to be reviewed in more detail.

Applicant Response: See revised Overall Map for preliminary roundabout design. We will update Nobel Drive and Fahey Glen right-of-way and send revised Preliminary Plat as those plans are developed further.

Additional PW Review #2 Comment: The preliminary roundabout design that was submitted is still incorrect. The preliminary design looks more like a traffic circle; not a roundabout. The approach angles are not shown correctly which will have an impact on the right-of-way at the intersection.

Preliminary roundabout design has been revised following the National Cooperative Highway Research Program (NCHRP) for single lane roundabouts. See Overall Site Plan.

4. Fahey Glen is posted 35 mph. The plat curvature should accommodate that posted speed limit. Should a decision be made to reduce the speed limit; that can be done at a later time. The plat should be prepared to accommodate the current 35 mph posted speed limit.

Applicant Response: We are proposing that Fahey Glen's posted speed limit be reduced to 25 mph, the same as the other local streets, to allow for safer travel through the neighborhood.

Additional PW Review #2 Comment: The right-of-way width on Fahey Glen needs to match the right-of-way width to the north of 80'. Fahey Glen is identified in the Comp Plan as a collector street and will operate differently than the other local, residential streets in the plat. It should be designed for a posted speed limit of 35 mph and the centerline curvature should have a radius no less than 250'.

Acknowledged – see revised Preliminary Plat.

5. Provide street length & bearing data per Sec. 24-4 [b][9]

Applicant Response: This will be added.

6. Provide street curve data per Sec. 24-4 [b][12]

Applicant Response: This will be added.

Water Main and Sanitary Sewer Comments

1. A separate sanitary sewer easement will be needed for the sanitary sewer connection on Notre Dame Drive, north of the plat.

Applicant Response: Acknowledged.

Preliminary Plat of Fahey Fields Public Works Review #2

2. The designer shall meet with Public Works to discuss sanitary sewer and water main layout and sizing.
Applicant Response: Acknowledged.
3. Minimum cover on the water main shall be 6.5 feet.
Applicant Response: Acknowledged.

Erosion Control and Stormwater Management (ECSWM) Comments

1. Proposed drainage arrows should be added to the Preliminary Plat to indicate proposed flow routes along property lines.
Applicant Response: This will be added.
Additional PW Review #2 Comment: The required drainage arrows are still not added. This will be added soon.
2. Outlot 6 must include a label for storm water purposes.
Applicant Response: Final Plat will create a separate outlot.
3. A Preliminary Stormwater Management Report, dated March 20, 2015, was provided on March 23, 2015. The summary report indicates that all necessary stormwater performance standards (from Fitchburg Chapter 30, Article II and the Urban Service Area Amendment requirements will be met). Staff is in the process of reviewing the preliminary report and will provide comments in the upcoming week(s). Preliminary comments include:
 - a. The stormwater report shall be sealed by a professional engineer
Applicant Response: Acknowledged.
 - b. The design for the Techlands offsite discharge that discharges into Fahey Fields just north of Nobel Drive has not yet been approved.
Applicant Response: Acknowledged.
 - c. It is unclear how water on the north side of Nobel Drive will be conveyed to the south.
Applicant Response: Runoff on the south side of Nobel Drive will be conveyed to the proposed stormwater management facilities located within OL 4 via storm piping.
 - d. Swale grading and storm sewers have not been shown on an engineering plan.
Applicant Response: Proposed grading and storm sewer sizing and locations will be designed and shown on engineering plans as those are developed further.
 - e. The proposed conditions drainage areas are modified from the existing conditions. The design shall show that the rerouting of flow will not result in downstream impacts.
Applicant Response: Acknowledged – The Crossing development will be analyzed to confirm that the existing culverts connecting the two ponds can handle the diverted flow.
4. Please provide a summary of discussions with downstream landowners and identify any remaining issues that still need to be addressed prior to plat and construction plan approval.
Applicant Response: Acknowledged – we are working with The Crossing & Rueden to resolve this.

Preliminary Plat of Fahey Fields Public Works Review #2

5. A new Erosion Control & Storm Water Management permit application will need to be submitted to the Fitchburg Public Works Department for review and approval (The ECSWM application and information on requirements can be found at: <http://www.fitchburgwi.gov/231/ECSWM-Requirements>.
Applicant Response: Acknowledged.
6. A stormwater maintenance agreement (recorded at the Dane County Register of Deeds office) will be required for the necessary private stormwater management practices approved by the City (e.g. private storm sewer, rain gardens, etc.). The owner(s) would be eligible for up to a 50% reduction in stormwater utility rates for the proposed stormwater practices. The following link: <http://www.fitchburgwi.gov/230/Credit-Opportunities> provides the application form and details on this program.
Applicant Response: Acknowledged.
7. This site is within the McGaw Neighborhood Plan which has stormwater performance standards (e.g. 100% stay-on infiltration volume) that need to be met within the preliminary plat limits. The designer may contact Fitchburg's Environmental Engineer at 270-4264 or rick.eilertson@fitchburgwi.gov if he/she has any questions on ECSWM performance standards for this site.
Applicant Response: Acknowledged – see Preliminary Stormwater Management Report March 20th, 2015.

Plan Commission
Initiated by

Planning Dept.
Drafted by

April 20, 2015
Date

RESOLUTION R-51-15
A RESOLUTION APPROVING PRELIMINARY PLAT FOR FAHEY FIELDS

WHEREAS, Ronald Klaas, agent for Fahey Land LLC, has submitted a request for approval of a preliminary plat (PP-2054-15) for Fahey Fields, and

WHEREAS, the applicant has submitted a phasing plan for staging of public improvements within the plat,

WHEREAS, the Plan Commission has reviewed and recommended approval, with conditions, of the preliminary plat,

NOW, THEREFORE, BE IT HEREBY RESOLVED that the Common Council of the City of Fitchburg herewith approves the preliminary plat (PP-2054-15) with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Subdivision Improvement Agreement and park fees will be required to be executed prior to the City signing the final plat.
- 3.) Utility easements shall be shown on the final plat.
- 4.) Rezoning of the property at the time of the final plat to accommodate the uses herein anticipated.
- 5.) Applicant shall work with Public Works on sanitary sewer and watermain layout and sizing.
- 6.) Compliance with conditions of CARPC Resolution 2009-15.
- 7.) The plat may be adjusted depending on the design of the roundabout at Fahey Glen and Nobel Drive.
- 8.) Preliminary Plat provided to the City on April 15, 2015 which includes drainage arrows shall be reviewed by Public Works and may need adjustments depending on Public Works review.
- 9.) Mary Lane shall be used only for one direction of the street (north/south) or (east/west) as there is a clean break at Fahey Glen where the street changes direction. Preliminary Plat shall be updated to recognize this name change and be resubmitted within one week of Plan Commission action for approval by Planning Department.
- 10.) Attend to Park Commission comments and show that the McGaw Park addition is capable of handling the required improvements.

Adopted by the Common Council of the City of Fitchburg this _____ day
of _____, 2015.

Patti Anderson, City Clerk

Approved: _____

Steve Arnold, Mayor

City of Fitchburg

Committee of Commission Referral

Direct Referral Initiated by: Mayor Pfaff
Direct Referral Approved by: Mayor Pfaff

Date Referred: 3/10/2015 Ordinance Number:
Date to Report Back: **4/28/2015** Resolution Number: **R-37-15**

Sponsored by: Mayor Pfaff Drafted by: Planning

TITLE: ACCEPTING PUBLIC IMPROVEMENTS FOR TECHLANDS PLAT

Background: This resolution would accept all public improvements for the Techlands plat with conditions. However, before going to the appropriate committees, the subdivider is required to obtain approvals that the proposed design modifications meet chapter 30 stormwater requirements for the offsite drainage and drainage on outlot 4, and provide the documents for dedication of land suitable for park purposes of an equal area to compensate for parkland area loss of outlot 4 from lots 22 and 23.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Public Works	Horton	April 6, 2015	Approved
2	Plan	Hovel	April 21, 2015	Approved
3	Parks	Endl	April 2, 2015	Approved
4	Finance	Dodge/Roach	TBD	

Amendments:

Shawn Pfaff, Mayor
Introduced by

Planning
Prepared by

Public Works, Plan, Parks, Finance
Referred to

March 10, 2015
Date

**RESOLUTION R-37-15
ACCEPTING PUBLIC IMPROVEMENTS
FOR TECHLANDS PLAT**

WHEREAS, on July 8, 2014, the City of Fitchburg (the “City”) and TechLands, LLC (the “Subdivider”) entered into an agreement for the subdivision improvements (the “Contract”) in the Plat of TechLands in the City of Fitchburg (the “Plat”): and

WHEREAS, the Plat was recorded as document # 5083285; and

WHEREAS, the Plat lacks sufficient facilities to properly accommodate stormwater management in accordance with Chapter 30, thereby negatively affecting dedicated parkland and requiring additional level of public improvements; and

WHEREAS, the Subdivider has provided a plan to the City Engineer to use Outlot 4 of the Plat, which was dedicated to the public for park purposes, for drainage purposes in meeting Chapter 30 requirements of the City code; and

WHEREAS, the stormwater management results in a reduction in the effective parkland dedication; and

WHEREAS, to offset the loss of parkland, the Subdivider has agreed to provide an equal area dedication of parkland from Lots 22 and 23 of the Plat adjoining Outlot 4 to offset that area lost to stormwater management, which is more fully described in Exhibit A; and

WHEREAS, acceptance of the additional parkland from Lots 22 and 23 will allow the Subdivider to construct the storm drainage channel, and complete the recreation path; and

WHEREAS, the Subdivider has provided a cost estimate to the City Engineer that has been approved for the costs of additional public stormwater improvements on Outlot 4; and

WHEREAS, the City entered into a Development Agreement (the “Agreement”) recorded as document # 4767948 providing for a Tax Increment Contribution to assist in funding of certain public improvements within the Plat; and

WHEREAS, the Board of Public Works and Common Council have previously reviewed and approved the acceptance of Lots 1-4 and Lots 24-25 and the public improvements for Nobel Drive West of Mica Drive and Mica Drive South; and

WHEREAS, the City Engineer has inspected and conditionally approved the subdivision improvements for all lots and related public improvements in the Plat as called for by the Contract except that final punch list items have not been completed; and

WHEREAS, the Board of Public Works has reviewed the proposal and recommends acceptance of Public Improvements for the remainder of Plat and the acceptance of the remainder of the Lots.

NOW, THEREFORE, BE IT HEREBY RESOLVED, that the Common Council of the City of Fitchburg, Dane County, Wisconsin, hereby:

1. Accepts as parkland dedication a strip of land 21 feet in width along the easterly side of lots 22 and 23 of the Plat, which constitutes an equal area or better of land than that being used for storm water improvements on Outlot 4, with such area more fully described in Exhibit A. This dedication is hereby accepted upon final approval by the City Engineer, Parks Director and City Attorney and that the Mayor and Clerk are hereby authorized to execute any required documents effecting the parkland dedication from Lots 22 and 23 of the Plat.
2. The City hereby agrees to amend the TID Agreement to cover up to 2/3 of the City approved costs of the storm water conveyance channel on outlot 4, provided that the total contributions for this and all other applicable improvements shall not exceed the \$2 million total contribution as set forth in the Agreement, further provided that the storm water and remaining recreational path have been fully completed by August 1, 2015, although not including acceptance by the City Engineer. If such improvements are not completed by August 1, 2015 the city reserves the right to to use the TID funds to complete the work.
3. The City Engineer is hereby authorized to withhold a Tax Increment contribution to the Subdivider at 110% of the City Engineer's estimated cost of construction of the storm water improvements and completion of the recreation path as assurance for the proper completion and acceptance of such improvements.
4. Public improvements within the Plat, except for the storm water channel and recreation path improvements described herein, are hereby accepted provided that the following conditions are met:
 - (a) filing of affidavits and lien waivers with the City Engineer evidencing that there are no claims, actions or demands for damages arising out of or in any way relating to the project and that no monies are owed to any surveyor, mechanic, contractor, subcontractor, materialman or laborer and no such claims, actions or demands will be filed by the City Clerk;
 - (b) provision of sufficient security, satisfactory to the City Engineer, City Attorney and Mayor has been posted pursuant to the Contract to guarantee against defects in materials and workmanship in the improvements hereby accepted for a period of one year following compliance with the terms and conditions of this Resolution;
 - (c) timely payment by Subdivider of all outstanding engineering, inspection, consulting, legal fees, and other outstanding expenses and administrative costs incurred by the City as outlined in the Contract;
 - (d) verification by the City Administrator that all outstanding invoice charges related to the Plat, including legal and engineering fees, have been paid by the Subdivider; and
 - (e) completion of all final punchlist items to the satisfaction of the City Engineer, related to the accepted public improvements.
5. Upon compliance with items 1 and 4 above, the City authorizes building permits for lots 5 through 23 in the Plat, and the Mayor and City Clerk may execute the required acceptances on behalf of the City.
6. If the storm water improvements to meet the requirements of Chapter 30, and the recreation path are not fully completed (with restoration) by August 1, 2015, the Subdivider shall be due no compensation for the construction of such stormwater improvements from the TID as provided for in accord with item 2 above. Any TID contribution for such work, however, shall not occur until such improvements have been accepted by the City Engineer.
7. Prior to final acceptance of the recreation path and storm water improvements, the Subdivider shall post a security in an amount required by the City Engineer to guarantee against defects in material and workmanship for such work for one year, if not already part of 4 (b).
8. The City Engineer and City Attorney are hereby authorized to prepare and have executed any necessary documents necessary to affect the terms of this resolution.

Approved: _____
Steve Arnold, Mayor

Attested By: _____
Patti Anderson, City Clerk

DATE: APRIL 23, 2015

TO: FINANCE COMMITTEE

FROM: FINANCE DEPT

FOR FINANCE APPROVAL: OVER \$25,000

	<u>ACCT NO</u>	<u>AMOUNT</u>
HD SUPPLY WATER WORKS		
162 - MXU's and 160 3/4inch meters	600-10722	\$32,838.00
TOTAL		\$32,838.00

PENDING REFERRAL ITEMS	
•	Rezone Request RZ-1853-09 by Randy Bruce of Knothe & Bruce Architect, LLC, Agent for McKee Family, LLC, to Rezone from Residential Medium Density (R-M) to Planned Development District General Implementation Plan (PDD-GIP) Property Associated with Lots 53 & 54 of Chapel Valley Plat
•	R-70-14 Resolution Designating Path Location for a Connection to McKee Road from the Military Ridge Path - tabled June 24, 2014
•	2014-O-22 Chapter 54 - Parks, Recreation and Forestry, Article III Division 3. Tree and Shrub Management
•	R-26-15 Authorizing Acceptance of 2015 Contract Bid
•	R-46-15 Authorizing Acceptance of a State/Municipal Agreement for the Reconstruction of Lacy Road from the Community Center to S. Syene Road
•	R-49-15 Public Works Street Equipment Replacement - Street Sweeper