

1. Agenda

Documents: [PLAN_20150519_AG.PDF](#)

2. Complete Packet

Documents: [PLAN_20150519_PK.PDF](#)



CITY OF FITCHBURG

Planning Department

5520 Lacy Road
Fitchburg, WI 53711-5318

Phone: (608) 270-4256 ■ Fax: (608) 270-4275

www.fitchburgwi.gov

NOTICE PLAN COMMISSION May 19, 2015

PLEASE TAKE NOTICE that the Plan Commission of the City of Fitchburg, Dane County, Wisconsin will hold a meeting on **Tuesday, May 19, 2015 at 7:00 p.m.** in the Fitchburg City Hall, 5520 Lacy Road, Fitchburg, WI 53711 for the purposes of:

1. Call to order and approval of minutes of 04/21/2015.
2. Public Appearances – non agenda items
3. Agenda Review
4. Public Hearing regarding the proposed project plan, boundaries, and creation of Tax Incremental District No. 9 (See the Public Hearing Notice which was published on May 5, 2015 and May 12, 2015).
5. Consideration of “Resolution Designating Proposed Boundaries and Approving a Project Plan for Tax Incremental District No. 9, City of Fitchburg, Wisconsin”.
6. Public hearing and consideration of Ordinance 2015-O-12, An Ordinance Amending Chapter 23 to Amend Article 1 Table 2(g), Article 5 Section 5.6.2(f)(vi), Article 5 Section 5.6.2(g) and Article 5 Table 21. [Proposed amendments include T4 Single-family Edgeyard building Frontage Buildout reduction, Civic Spaces as public or private, setbacks with bicycle or pedestrian easement and changes to the use table.]
7. Public hearing and consideration of rezone and conditional use permit request RZ/CU-2056-15, by Samina Khan, to rezone property from the B-G (General Business) district to the B-P (Professional Office) district, and conditional use permits to allow for a personal training/health club (existing) and daycare, at 6200 Nesbitt Road.
8. Architectural Design Review request by Paul Reines to add an additional parking stall at 6200 Nesbitt Road.
9. Public hearing and consideration of rezone request, RZ-2057-15, by Craig Raddatz of Fiduciary Real Estate Development, to rezone from the PDD-GIP (Planned Development District – General Implementation Plan) to the PDD-SIP (Planned Development District – Specific Implementation Plan) district, to allow for site and structural development of 152 multi-family dwelling units on proposed Lot 15 of Quarry Vista Plat.
10. Architectural Design Review request by Craig Raddatz of Fiduciary Real Estate Development for site and structural development of 152 multi-family dwelling units on proposed Lot 15 of Quarry Vista.
11. Architectural Design Review request by Dan Bertler of Supreme Structures for exterior modifications to the existing building at 5264 Verona Road, Lot 2 Willow Run.

(Additional items on Page 2)

12. Planning Department Report

13. Announcements

- a. Next Plan Commission Meeting Scheduled for June 16, 2015 at 7:00 p.m.
- b. Other

14. Adjournment

Full coverage of this meeting is available through FACTv and Streaming Video, accessible on the city web site at <http://factv.city.fitchburg.wi.us/Cablecast/Public/Main.aspx?ChannelID=3>

Note: It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact City Clerk's office (270-4200), Fitchburg City Hall, 5520 Lacy Rd, Fitchburg, WI 53711



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MINUTES PLAN COMMISSION April 21, 2015

Plan Commission Members Present: Mayor Steve Arnold, Ed Kinney, Carol Poole, Tony McGrath, Rachel Lee

Others Present: Thomas Hovel – City Planner/Zoning Administrator, Susan Badtke – Community Planner

1. Call to order and approval of minutes of 3/17/2015.

Chair Arnold called the meeting to order at 7:02 p.m.

Motion by Kinney, second by McGrath, to approve the minutes of 3/17/2015 was carried unanimously.

2. Public Appearances – non agenda items – None.

3. Agenda Review – No changes.

4. Architectural Design Review request by Russell Swiggum for a new agricultural building at 5898 Adams Road, Lot 1 CSM 12880.

Russell Swiggum, PO Box 930249 Verona, representing Frostwood Farms, was available to answer questions.

Thomas Hovel provided the staff report noting that this is a request for an agricultural building on Adams Road. He stated that the proposed building is being placed in an area that has a pocket and so it's not taking away any valuable agricultural land.

Motion by Poole, second by McGrath, to approve ADR request for 5898 Adams Road with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Use of the building is limited to agricultural use only. Approval is based on submitted plans and materials.
- 3.) Applicant shall obtain an Erosion Control and Stormwater Management Permit prior to the issuance of any permit.
- 4.) Applicant shall work with Public Works on the driveway location and obtain a driveway permit prior to the issuance of any building permit.

Motion carried unanimously.

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5. Preliminary Plat request PP-2054-15 by Ronald Klaas, agent for Fahey Land LLC, for approval of the Fahey Fields Preliminary Plat.

Janet Adams and Richard Collins, 90 Pond View Way Fitchburg, representing the Crossing Condominium Association, registered mostly in support but primarily for information.

Patrick Cheney, 5211 Kittycrest Drive Fitchburg, representing himself and a member of the McGaw Neighborhood Master Plan Steering Committee, spoke in opposition to the request. He explained that his opposition is based on a single conflict which are the private lots abutting the parkland addition on the east side of Notre Dame Drive. He stated that these lots are in conflict with the Neighborhood Plan and the Park Master Plan and that there should be 100% open street frontage into this park addition.

Alder Carol Poole asked Cheney to explain his objection with having the lots back up to the parkland. Cheney stated that this area will function as a neighborhood park and community park but the idea was that the street frontage was intended as parking for anyone driving to the park.

Tony McGrath questioned why someone couldn't park in front of a residential house. Cheney responded that people would need to park in front of houses, driveways, and the residential lots reduced the parking and interferes with park space. Cheney also stated that having the street frontage for the park would make the park more visible and the police could better see what is going on in the park.

Parks Director Scott Endl provided the Park Commission report and stated that he feels that the park plan that the development proposes for the park addition is well-suited the way that it is laid out.

Jason Gonzalez, 2800 Crinkle Root Drive #208 Fitchburg, registered in support and stated that both he and his co-alder Dan Carpenter support the project. He stated that the development team has done outreach with Quarry Hill and the Crossings and that the development is consistent with the surrounding neighborhood.

Ron Klaas, 7530 Westward Way Madison, representing Fahey Fields, provided an overview of the development proposal stating that the plan follows the approved Comprehensive Development Plan. He noted that stormwater management has been addressed and that items related to the roundabout and size of Fahey Glen have been addressed with public works. He gave a brief overview of a park layout based on the McGaw Park master plan.

Klaas also described the phasing plan for the development which was included with the preliminary plat. The Commission reviewed and had consensus of the phasing.

Tony McGrath questioned how long the development has been in the planning process. Klaas commented that they submitted a CDP in the late fall and have been working through the process.

Tony Hienrichs, 113 Cohiba Court Verona, spoke in support and was available to answer questions.

David Fahey, 5376 Irish Lane Fitchburg, representing Fahey Land, Fahey Family and self, spoke in support of the request. He explained that every residential lot will be a half-block from a trail and two blocks from a park and that in his opinion the proposed neighborhood is walkable. He stated his position is that the maps included in the master plan are high level pictures and that the street position gets defined at this level. He also explained that the multi-family development wraps around the tech-campus building and serves as a transition between the industrial lands and the single-family lots and there will be townhouses along Nobel drive to help with the transition. Ron Klaas elaborated on this a bit further with a sketch of one concept for the multi-family lot which included smaller units along Nobel Drive with a potential private drive behind for access.

Ed Kinney questioned the potential timing for the multi-family development as he'd hope to avoid a situation where the single-family is developed and then screams when it's time to develop the multi-family. Heinrichs stated he would like to see some of the multi-family come into phase 1.

City Planner Tom Hovel provided the staff report noting that the developer has included stormwater management at the north end of the parkland and have provided it as a separate outlots rather than being

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part of the park. He commented that they have included as park street frontage the long and narrow area next to the stormwater even though the land isn't usable for park use as it is too narrow.

Richard Collins, 27 Harvest Way Fitchburg, stated that while he supports the development, there has been very little contact with the Crossings on this project. The Crossings would like to have more contact with the development team and be part of the planning and also be informed as to what the timeframe is for the water management plan and accomplishment of the plan implementation. Klaas commented that stormwater management will be one of the first items and that the goal is to help make the Crossing's stormwater situation better.

Motion by McGrath, second by Poole, to approve PP-2054-15 with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Subdivision Improvement Agreement and park fees will be required to be executed prior to the City signing the final plat.
- 3.) Utility easements shall be shown on the final plat.
- 4.) Rezoning of the property at the time of the final plat to accommodate the uses herein anticipated.
- 5.) Applicant shall work with Public Works on sanitary sewer and watermain layout and sizing.
- 6.) Compliance with conditions of CARPC Resolution 2009-15.
- 7.) The plat may be adjusted depending on the design of the roundabout at Fahey Glen and Nobel Drive.
- 8.) Preliminary Plat provided to the City on April 15, 2015 which includes drainage arrows shall be reviewed by Public Works and may need adjustments depending on Public Works review.
- 9.) Mary Lane shall be used only for one direction of the street (north/south) or (east/west) as there is a clean break at Fahey Glen where the street changes direction. Preliminary Plat shall be updated to recognize this name change and be resubmitted within one week of Plan Commission action for approval by Planning Department.
- 10.) Attend to Park Commission comments and show that the McGaw Park addition is capable of handling the required improvements.

Chair Arnold expressed the following concerns and noted that he would like to work with the applicants to try to move the development toward what the neighborhood plan had envisioned.

- Concerned about density types as there are only three types (single family, townhouses, multi-family) with the multi-family compressed to a small area. He stated the most successful neighborhood have a variety of lot sizes and more building type variety.
- Concerned about park frontage and public access as the viewscape and access into the park is a public amenity.
- Concerned that much of the unit count is outside the current Urban Service Area. He stated that with the approval of the North Stoner Prairie Neighborhood and a portion of the Northeast Neighborhood it could be several years before this area is brought into the USA. He would like to have the average density met in the current USA.
- Suggested that perhaps the development could bring the lot count up and lot sizes down and bring in another north/south street. This might help the developed meet the financial goals for the project.
- Stated he would like to see a stub street into the Rueden property to the north so that there is a better street grid instead of only have Notre Dame and Fahey Glen going to the north.
- The McGaw Neighborhood Plan has a lot of goals related to LEED and these are not being satisfied with the proposed development.

McGrath stated he appreciates Arnold's comments but that his list of concerns are things that Arnold would like to see in the development and are not required by law or ordinances. He argued that it's not appropriate for a unit of government to impose these things on a developer and that these are not grounds for delaying or tabling the request. Arnold responded that there are minimum requirements but he doesn't think the City should be satisfied with the minimum.

Motion carried with Arnold opposing.

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6. Final Plat request FP-2055-15 by Deborah Hatfield, agent for Hamm Fam Land LLC, for approval of the Final Plat of Quarry Vista.

Russell Pietz, 119 South Main Cottage Grove, representing Hamm Fam Land and Montgomery Associates, spoke in support of the request and provided a explained the request for the final plat for phase 1 of Quarry Vista.

Hovel provided the staff report explaining the request is for 14 single-family lots as well as the multi-family lot at the Fitchrona/Lacy Road intersection.

Chair Arnold inquired about timing for subsequent plats. Phil Sveum, 5500 E Cheryl Pkwy Fitchburg, stated that the next plat for phase 2 will be submitted very soon.

Motion by Kinney, second by Poole, to recommend approval of FP-2055-15 with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) A Subdivision Improvement Agreement shall be executed prior to the City signing of the final plat.
- 3.) Park fees for the final plat shall be paid prior to the City signing of the final plat.
 - a. Park Improvement fee: Park Improvement for 14 single-family and 152 multi-family units is \$30,860 (2015 dollars)
 - b. Fee In-Lieu of Parkland Dedication: The proposed plat is deficient in parkland dedication by 8,754 square feet, or 3.02 dwelling units. This deficiency shall be made up through fee in-lieu of parkland dedication which equates to \$13,076.60 (2015 dollars)
- 4.) Escrow for Fee In-Lieu of Street Frontage for Parkland: The proposed plat, based on pro-rating of the preliminary plat, is deficient in street frontage for parkland by 149.11 feet. The fee in-lieu of street frontage for parkland is \$350 per linear foot (2015 dollars); the deficiency requires \$52,188.95 for fee in-lieu of park street frontage. The City may be agreeable to an Escrow account being created to cover the deficient street frontage, which could be released to the developer when sufficient street frontage has been provided. The Escrow shall be greater than \$52,188.95 to account for an increase in the linear foot cost. This shall be addressed as part of the developers agreement as required in condition 2 above.
- 5.) Applicant shall reimburse the City for the water main flushing until 80-dwelling units are occupied with the subdivider to notify the City when this occupancy level has been reached.
- 6.) Applicant shall construct 80 dwelling-units within 6-months of recording of this plat.
- 7.) The applicant shall post, prior to the City signing the final plat, a surety for the entire cost of constructing the public water main to serve the Quarry Vista plat. The surety will be reduced as impact fees are paid. The entire surety will be released if all of the public improvements for development intended by the Comprehensive Development Plan and preliminary plat are constructed and accepted within 48-months of the recording of this final plat.
- 8.) All final details and drawings regarding the proposed improvements, including the proposed retaining wall on north side of Quarry Vista Drive, shall be provided to Public Works for review and approval prior to the City signing of the final plat.

Motion carried unanimously.

7. Resolution R-37-15, Accepting Public Improvements for TechLands Plat

City Planner Tom Hovel pointed to a revised resolution that was distributed to the Commission members. He stated that he had worked with the developer's attorney on some revisions, including that if the improvements are not completed by August 1 that the City can use the TID funds to complete the work. This gives the City some protections as building permits will be allowed to be issued. Ed Kinney abstained from this item due to a potential conflict of interest.

Motion by Poole, second by Lee, to recommend approval of R-37-15 was carried unanimously.

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8. Consideration of PCR-01-15, Resolution of the Plan Commission Calling for a Public Hearing on Proposed Tax Incremental District No. 9 Creation In the City of Fitchburg

City Planner Tom Hovel provided a brief explanation of the Resolution noting that it is for a fairly compact TID for subzero property. The Resolution would set forth a public hearing on the project plan for May 19.

Motion by Poole, second by McGrath, to recommend approval of PCR-01-15 was carried unanimously.

9. Planning Department Report

City Planner Tom Hovel provided and updated on the Anton Drive Planning Study RFP noting that proposals are due on May 11, 2015 at 1:00 p.m.

10. Announcements

The next Plan Commission meeting is scheduled for May 19, 2015 at 7:00 p.m.

11. Adjournment

Motion by Lee, second by Kinney, to adjourn at 8:32 p.m. was carried unanimously.

Submitted By,
Susan Badtke, Community Planner



MEMORANDUM

CITY OF FITCHBURG
PLANNING DEPARTMENT

5520 LACY ROAD
FITCHBURG, WI 53711
(608) 270-4200

FAX: (608) 270-4275

EMAIL: planning@fitchburgwi.gov

TO: Plan Commission
FROM: Tom Hovel, Zoning Administrator/City Planner
Susan Badtke, Community Planner
DATE: May 14, 2015
SUBJECT: May 19, 2015 Plan Commission Items

4. Public Hearing regarding the proposed project plan, boundaries, and creation of Tax Incremental District No. 9 (See the Public Hearing Notice which was published on May 5, 2015 and May 12, 2015).

AND

5. Consideration of “Resolution Designating Proposed Boundaries and Approving a Project Plan for Tax Incremental District No. 9, City of Fitchburg, Wisconsin”.

Background & Resolution Description:

The Plan Commission approved PCR-01-15, calling for a public hearing on proposed TID 9. A public hearing has been scheduled and will now be held on the proposed TID project plan, boundaries and creation of TID 9.

Resolutions PCR-02-15 (Plan Commission resolution) and R-55-15 (council resolution) would designate and approve the TID 9 Project Plan, boundaries and establish the district.

The Joint Review Board is scheduled to meet at 3:30 p.m. on May 19, 2015, prior to the Plan Commission meeting.

Staff Evaluation:

The proposed TID has been suggested to assist with the potential expansion of SubZero on part of the Dunn farm south of their current Marketplace Drive parking lot. SubZero is expected to announce by the end of the month whether the addition will be built here, or in another state. The expansion area is part of the North Stoner Prairie Neighborhood. The project plan estimates that about \$6.7 million will be required for public improvements and other related costs. Using the estimated expenses, the current plan document then figures the value needed to satisfy that contribution. However, the proposed construction is estimated to generate between about \$9.5 and \$11.5 million in assessed valuation and thus will be unable to generate the level of funding necessary to pay the full \$6.7 cost. Therefore, the city is looking to other grants to help close the difference for what the TID will actually generate and the total estimated cost. If a developer bond is used to finance the TID portion, the developer would then only get all, or a certain percentage, of what the actual increment will produce.

Staff Recommendation:

If the Plan Commission finds the TID and Project Plan appropriate, staff would then recommend approval of PCR-02-15.

Attachments:

- TID 9 Project Plan
- PCR-02-15
- Resolution R-55-15

6. Public hearing and consideration of Ordinance 2015-O-12, An Ordinance Amending Chapter 23 to Amend Article 1 Table 2(g), Article 5 Section 5.6.2(f)(vi), Article 5 Section 5.6.2(g) and Article 5 Table 21. [Proposed amendments include T4 Single-family Edgeyard building Frontage Buildout reduction, Civic Spaces as public or private, setbacks with bicycle or pedestrian easement and changes to the use table.]

Background & Ordinance Description:

As work continues to progress in Uptown and North Park, the developers and staff are continuing to review the Code to allow flexibility to some of the requirements. Tim O'Brien/Neumann Companies has requested some changes to the T4 Frontage Buildout requirements to allow single-family homes to site more square on the lot. Additionally, changes are proposed to allow flexibility to the T5 front setback where there is a bicycle or pedestrian easement present as well as changes to the use table and to allow Civic Spaces to be public or private.

Staff Evaluation:

As development progresses, the SmartCode developers have identified some areas where more flexibility is needed in the SmartCode. The main concern raised by Tim O'Brien Homes is the 60% Frontage Buildout requirement, as they would like to have the house sit more square on the lot and due to the lack of alley, requires them to angle the garage on the lot.

Staff sat down with representatives from Tim O'Brien Homes to discuss the concerns and also had a conference call with Susan Henderson of PlaceMakers, the consultant who calibrated the SmartCode for Fitchburg, to get her opinion on the proposed change to a 50% Frontage Buildout for T4 single-family Edgeyard buildings. Susan H. was comfortable with the proposed change if it is limited to T4 single-family Edgeyard without access to a rear alley or rear lane and also if the garage width is limited to 24 feet in width. Staff and the developer were agreeable to these changes.

Staff has also proposed to allow Civic Space to be either public or private, although only public Civic Space will count towards parkland dedication requirements and the requirement that 5% of the urbanized area be Civic Space. Staff is also recommending an amendment to allow flexibility for the T5 front setback requirements where there a bicycle or pedestrian easement is present.

The final proposed amendment is for changes to the Specific Use Table. Staff is recommending combining some of the categories to make room for new uses and also add some more specific uses to the table to identify some of the uses that have been discussed for Uptown. Since requesting the changes, the developer has received three more building permits under current code standards.

Staff Recommendation:

Staff recommends that the Plan Commission recommend approval of Ordinance 2015-O-12.

Attachments:

- Ordinance 2015-O-12

7. Public hearing and consideration of rezone and conditional use permit request RZ/CU-2056-15, by Samina Khan, to rezone property from the B-G (General Business) district to the B-P (Professional Office) district, and conditional use permits to allow for a personal training/health club (existing) and daycare, at 6200 Nesbitt Road.

AND

8. Architectural Design Review request by Paul Reines to add an additional parking stall at 6200 Nesbitt Road.

Site Details:

Acres: ~1.2

Existing Use: Business

Current Zoning: B-G (General Business)



Background & Application Description:

Applicant is requesting approval to rezone property addressed as 6200 Nesbitt Road from the B-G (General Business) to the B-P (Professional Office) district as well as a Conditional Use Permit to allow for the existing personal training health club use (Orange Shoe Gym) and a proposed daycare.

The owner is looking to locate a daycare in the building; daycares are not an allowed under in the B-G zoning district. Given this, the owner is requesting to rezone the property and then obtain the proper conditional use permits as required under the B-P zoning.

In addition to this, the applicant is requesting approval for a new parking stall on the property, to remove four stalls to allow for a playground for the proposed daycare and to add a walkway to the Jung Garden Center which is directly north of this property.

Staff Evaluation:

Rezone:

As noted above, applicant is requesting to rezone the property from the B-G to the B-P district. The B-G district, which is the current zoning, allows for office activities as well as a variety of commercial uses; the B-P district is more focused on office uses with a variety of other uses, including daycare, as a conditional use.

Staff has not identified any concerns with the proposed rezone request.

Conditional Use:

The conditional use request is for both the existing personal training health club (Orange Shoe Gym) as well as a proposed daycare use. Health clubs are a conditional use in the B-P district so a CUP is required due to the rezone request.

The main area of concern regarding this request is parking. The site currently has 44 parking stalls – four of the stalls are proposed to be removed to allow for an outdoor playground area for the proposed daycare, leave 40 stalls remaining. The daycare use projects to have 34 children and 3 people full-time with some part-time employees. Orange Shoe Gym has stated that they sometimes have 20-30 clients at a time for their group fitness classes.

According to the applicant the building currently holds the following tenants/uses:

Orange Shoe Gym Personal Fitness: 4,315 sq ft

Daycare (proposed): 3,250 sq ft

Farmers Insurance (proposed): 1,000 sq ft

Vacant: 3,250 sq ft

Based on a parking ratio of 1 stall per 300 sq ft, an approximately 12,000 sq ft building would require 40 stalls, which is what the site would provide. However, the existing personal training tenant, Orange Shoe Gym, has expressed some concern regarding parking and the potential parking conflict

between their clients and the daycare users as the peak times are similar. The applicant has been working to identify parking solutions and has entered into a parking rental agreement with Jung Seed Company, located directly to the north of the property, for 9-10 parking stalls that will be used for overflow parking and in hours of early morning and late evening for 6200 Nesbitt Road. In speaking with the applicant it is their intent that employees would park at Jung and then walk over to the building. A pervious paver walkway is proposed to connect the parking area to the site, as described in more detail in the ADR discussion.

The applicant has provided an email from Orange Shoe Gym stating that the additional spaces at Jung Seeds will help alleviate some of their parking challenges. It should be noted that the applicant has expressed an interest in exploring a new parking lot on property they own a lot to the south distant from this building, but no plans have been submitted and are not part of these approvals.

Architectural Design Review:

In an attempt to alleviate some of the parking concerns noted above, the applicant is requesting approval to add a parking stall on the property. The stall would be located on the back side of the building near the infiltration trench on the west side of the property. Per the plans, the stall will be constructed with permeable paver blocks and integrated stone base with existing infiltration trench stone.

A new 10' wide walk is also proposed to be constructed on the northeast corner of the building to connect the parking stalls on the Jung Seed Co property to the north to the site. The walkway is to be constructed with permeable paver blocks so as to now increase the ISR on the site. Sidewalk currently exists in front of this property but is not on the Jung Seed Co property. The applicant has indicated, and Public Works has confirmed, that the DOT's plans call for the addition of sidewalk along this stretch of Nesbitt Road once the road is reconstructed as part of the Verona Road Project in 2016-2017.

Consistency with Comprehensive Plan:

Future Land Use Plan: BUS (Business)

Staff has not identified any conflicts between these requests and the Comprehensive Plan.

Staff Recommendation:

These specific requests require three separate actions.

Rezone portion of RZ/CU-2056-15:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.

Conditional Use portion of RZ/CU-2056-15:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein. Approval is based on the submitted application materials.
- 2.) The rezoning portion of RZ/CU-2056-15 is approved by the Common Council.

Architectural Design Review:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein. Approval is based on the submitted application materials.
- 2.) Parking stall and proposed walkway shall be of pervious pavers as represented on submitted site plan.

Attachments:

- RZ/CU-2056-15 materials
- ADR materials
- Parking agreement with Jung Seed Company

9. Public hearing and consideration of rezone request, RZ-2057-15, by Craig Raddatz of Fiduciary Real Estate Development, to rezone from the PDD-GIP (Planned Development District – General Implementation Plan) to the PDD-SIP (Planned Development District – Specific Implementation Plan) district, to allow for site and structural development of 152 multi-family dwelling units on proposed Lot 15 of Quarry Vista Plat.

AND

10. Architectural Design Review request by Craig Raddatz of Fiduciary Real Estate Development for site and structural development of 152 multi-family dwelling units on proposed Lot 15 of Quarry Vista.

Site Details:

Acres: ~4.8

Existing Use: Vacant

Current Zoning: PDD-GIP (Planned Development District – General Implementation Plan)



Background & Application Description:

Applicant is requesting approval to rezone part of lots 1, 2 and 3 CSM 11159 (proposed Lot 15 Quarry Vista Plat) from the PDD-GIP (Planned Development District – General Implementation Plan) to the PDD-SIP (Planned Development District – Specific Implementation Plan) zoning to allow for site and structure improvements for 152 multi-family units. Applicant is also requesting Architectural Design Review approval for the project.

Applicant obtained PDD-GIP zoning to allow for 152 dwelling units in three buildings in December 2014. SIP zoning is now the second phase of the PDD zoning.

Staff Evaluation:

The proposed PDD-SIP zoning is generally consistent with the previously approved PDD-GIP zoning under Ordinance 2014-O-37. The project includes 152 dwelling units in three buildings as shown in the plans. The plans materials provide elevations of the proposed buildings which are all three stories above parking. Building materials consist primarily of composite siding with split face block and utility brick. The applicant has been asked to bring a materials and colors board to the meeting to share with the Commission. The average parking ratio is 1.57 stalls/unit or 1.21 stalls per bedroom. A stormwater pond is positioned on the northwest corner of the site, just to the south of Quarry Vista Drive.

As the Commission members are aware, there currently is no water main to serve the project, and no decision (at the time of this writing) has yet been made as to whether or not to proceed with water main construction. Unlike Promega and North Park, there is no water main even nearby which would not only prohibit occupancy but may prohibit any construction activity until the water main is in place, although that is a decision for the Fire Chief. In addition, if the water main is installed, due to its length it will require regular flushing until at least 80 dwelling units are constructed. While this has been covered with the approval of the final plat, the final plat contains this development of 152 dwelling units (du) and only 14 single family du, meaning that the most of the burden for obtaining occupancy of 80 du will fall to this project. The developer is aware of the requirement of having 80 du's constructed (completed) within six months and that flushing will need to continue until 80 du's are occupied.

Staff received a phone call from the applicant late this morning (Thursday, May 14) that they would like to make some modifications to the site plan to extend the building for a maintenance area as well as a grill area for the complex. Without plans to review, and information regarding the proposed changes, staff cannot provide any comments on the proposed modifications and whether staff would support these changes. Staff suggested that the applicant get materials to them ASAP but given it is extremely late in the process that we cannot guarantee whether there will be sufficient time for the

varied departments required to review and vet the changes. If additional information is provided staff will provide an update to this memo and materials to the Commission either prior to or at the meeting.

Consistency with Comprehensive Plan:

Future Land Use Plan Classification: Further detailed planning of the Quarry Vista Comprehensive Development Plan was approved to allow 156 dwelling units on the proposed outlot. The proposed plan is consistent with this approval, providing 4 units less than what was approved.

Staff Recommendation:

Rezone RZ-2057-15:

Staff recommends approval of RZ-2057-15 with the conditions outlined in the draft PDD-SIP zoning ordinance included in the Commission meeting packet.

Architectural Design Review:

Staff recommends approval of ADR request with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Approval is based on plans dated May 6, 2015.
- 3.) Subject to approval of rezoning request RZ-2056-15 by the Common Council.
- 4.) The plat is required to complete construction of 80 dwelling units within six months of recording of the plat. Most, if not all, of these units will be from this project. Applicant understands this requirement. No building permit or permit to start shall be issued until status of water main construction is known, and then only after the developer has received necessary approvals if construction is to proceed prior to the water main improvement having been completed, accepted and operational.

Attachments:

- RZ-2057-15 and ADR materials
- Draft SIP Ordinance

11. Architectural Design Review request by Dan Bertler of Supreme Structures for exterior modifications to the existing building at 5264 Verona Road, Lot 2 Willow Run.

Site Details:

Acres: ~1.2

Existing Use: Mad Power Training (yoga, nails, etc.)
[Former Dry Bean Building]

Current Zoning: B-G (General Business)



Background & Application Description:

Applicant is requesting Architectural Design Review approval for exterior modifications to the existing archway entrance and windows on the existing building at 5264 Verona Road. The applicant has indicated that the existing masonry window arches are structurally unsafe and need to be replaced correctly.

Staff Evaluation:

Staff has not identified any concerns with the proposed exterior building modifications. The submitted plans, which are included in the Commission packet, show the proposed improvements, which include new EIFS, new masonry, and some new windows.

Alder Dorothy Krause commented that she has no problem with the design but would like to suggest that since Anton Drive will be the street that people will approach the building from, and will have full visibility, that she would like to see the Anton Drive façade on the building receive an update as well. While not a requirement, staff is supportive of Alder Krause's suggestions. As part of the Verona

Road reconstruction, Carriage Street will be vacated, making the only access to the property from Anton Drive.

The applicant responded to Alder Krause's comments noting that even when Verona Road is completed that the existing front will always play to Verona Road. They do plan to make improvements at the Anton Drive entrance by removing the existing large satellite dish, removing and infilling one of the exterior doors, tuck pointing and repainting the rear to match. They feel that once the landscaping and building have been repaired that the site will be much more appealing. The applicant also noted that while they'd love to entertain some additional features on Anton Drive, they cannot afford additional investment at this time. Staff is not suggesting that a requirement be added to make improvements but does recommend that businesses keep the Verona Road project in mind and consider reorienting businesses/addressing the local street side of the building.

Staff Recommendation:

Staff recommends approval of ADR request with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approvals provided herein.
- 2.) Approval is based on submitted plans and materials.

Attachments:

- ADR materials

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
 Direct Referral Approved by:

Date Referred: May 12, 2015
 Date to Report Back: **June 9, 2015**

Ordinance Number:
 Resolution Number: R-55-15,
 PCR-02-15

Sponsored by: Mayor

Drafted by: Planning / Zoning

TITLE: Resolution R-55-15 Designating Proposed Boundaries and Approving a Project Plan For Tax Incremental District No. 9, City of Fitchburg, Wisconsin.

Plan Commission Resolution PCR-02-15 Designating Proposed Boundaries and Approving a Project Plan for Tax Incremental District No. 9, City of Fitchburg, Wisconsin.

Background: The Plan Commission approved PCR-01-15, calling for a public hearing on proposed TID 9. This Resolution, and accompanying Plan Commission Resolution, would designate and approve the Project Plan for TID 9. A copy of the proposed Project Plan is not yet available, but will be provided when it becomes available.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	May 19, 2015	
2	Joint Review Board	Roach	May 19, 2015	
3				

Amendments:

RESOLUTION NO. PCR-02-15

**RESOLUTION DESIGNATING PROPOSED BOUNDARIES
AND APPROVING A PROJECT PLAN
FOR TAX INCREMENTAL DISTRICT NO. 9,
CITY OF FITCHBURG, WISCONSIN**

WHEREAS, the City of Fitchburg (the "City") has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the City; and

WHEREAS, Tax Incremental District No. 9 (the "District") is proposed to be created by the City as an industrial district in accordance with the provisions of Wisconsin Statutes Section 66.1105 (the "Tax Increment Law"); and

WHEREAS, a Project Plan for the District has been prepared that includes:

- a. A statement listing of the kind, number and location of all proposed public works or improvements within the District, or to the extent provided in Wisconsin Statutes Sections 66.1105(2)(f)1.k. and 66.1105(2)(f)1.n., outside of the District;
- b. An economic feasibility study;
- c. A detailed list of estimated project costs;
- d. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
- e. A map showing existing uses and conditions of real property in the District;
- f. A map showing proposed improvements and uses in the District;
- g. Proposed changes of zoning ordinances, master plan, map, building codes and City ordinances;
- h. A list of estimated non-project costs;
- i. A statement of the proposed plan for relocation of any persons to be displaced;
- j. A statement indicating how the District promotes the orderly development of the City;
- k. An opinion of the City Attorney or of an attorney retained by the City advising that the plan is complete and complies with Wisconsin Statutes Section 66.1105(4)(f).

WHEREAS, prior to its publication, a copy of the notice of public hearing was sent to the chief executive officers of Dane County, the Verona Area School District, and the Madison Area Technical College District, and any other entities having the power to levy taxes on property located within the District, in accordance with the procedures specified in the Tax Increment Law; and

WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on May 19, 2015 held a public hearing concerning the project plan and boundaries and proposed creation of the District, providing interested parties a reasonable opportunity to express their views thereon.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the City of Fitchburg that:

1. It recommends to the Common Council that Tax Incremental District No. 9 be created with boundaries as designated in Exhibit A of this Resolution.
2. It approves and adopts the Project Plan for the District, attached as Exhibit B, and recommends its approval to the Common Council.

3. Creation of the District promotes orderly development in the City.

Adopted this _____ day of _____, 2015.

Steve Arnold, Plan Commission Chair

Susan B. Badtke, Secretary of the Plan Commission

**LEGAL BOUNDARY DESCRIPTION OR MAP OF
TAX INCREMENTAL DISTRICT NO. 9
CITY OF FITCHBURG**

THIS CAN BE FOUND IN THE PROJECT PLAN

PROJECT PLAN

THIS WILL BE HANDED OUT SEPARATELY

RESOLUTION NO. R-55-15

**RESOLUTION APPROVING THE PROJECT PLAN AND ESTABLISHING THE
BOUNDARIES FOR AND THE CREATION OF
TAX INCREMENTAL DISTRICT NO. 9,
CITY OF FITCHBURG, WISCONSIN**

WHEREAS, the City of Fitchburg (the "City") has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the City; and

WHEREAS, Tax Incremental District No. 9 (the "District") is proposed to be created by the City as an industrial district in accordance with the provisions of Wisconsin Statutes Section 66.1105 (the "Tax Increment Law"); and

WHEREAS, a Project Plan for the District has been prepared that includes:

- a. A statement listing of the kind, number and location of all proposed public works or improvements within the District, or to the extent provided in Wisconsin Statutes Sections 66.1105(2)(f)1.k. and 66.1105(2)(f)1.n., outside of the District;
- b. An economic feasibility study;
- c. A detailed list of estimated project costs;
- d. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
- e. A map showing existing uses and conditions of real property in the District;
- f. A map showing proposed improvements and uses in the District;
- g. Proposed changes of zoning ordinances, master plan, map, building codes and City ordinances;
- h. A list of estimated non-project costs;
- i. A statement of the proposed plan for relocation of any persons to be displaced;
- j. A statement indicating how the District promotes the orderly development of the City;
- k. An opinion of the City Attorney or of an attorney retained by the City advising that the plan is complete and complies with Wisconsin Statutes Section 66.1105(4)(f).

WHEREAS, prior to its publication, a copy of the notice of public hearing was sent to the chief executive officers of Dane County, the Verona Area School District, and the Madison Area Technical College District, and any other entities having the power to levy taxes on property located within the District, in accordance with the procedures specified in the Tax Increment Law; and

WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on May 19, 2015 held a public hearing concerning the project plan and boundaries and proposed creation of the District, providing interested parties a reasonable opportunity to express their views thereon; and

WHEREAS, after said public hearing, the Plan Commission designated the boundaries of the District, adopted the Project Plan, and recommended to the Common Council that it create such District and approve the Project Plan and

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Fitchburg that:

1. The boundaries of the District that shall be named "Tax Incremental District No. 9, City of Fitchburg", are hereby established as specified in Exhibit A of this Resolution.
2. The District is created effective as of January 1, 2015.
3. The Common Council finds and declares that:
 - (a) Not less than 50% by area of the real property within the District is suitable for industrial sites within the meaning of Wisconsin Statutes Section 66.1101, and has been zoned for industrial use.
 - (b) Based upon the findings, as stated in 3.a. above, the District is declared to an industrial district based on the identification and classification of the property included within the District.
 - (c) The improvement of such area is likely to enhance significantly the value of substantially all of the other real property in the District.
 - (d) The equalized value of the taxable property in the District plus the value increment of all other existing tax incremental districts within the City, does not exceed 12% of the total equalized value of taxable property within the City.
 - (e) The City estimates that approximately none of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period, pursuant to Wisconsin Statutes Section 66.1105(5)(b).
 - (f) The project costs relate directly to promoting industrial development in the District consistent with the purpose for which the District is created.
 - (f) Any real property within the District that is found suitable for industrial sites and is zoned for industrial use will remain zoned for industrial use for the life of the District.
4. The Project Plan for "Tax Incremental District No. 9, City of Fitchburg" (attached as Exhibit B) is approved, and the City further finds the Plan is feasible and in conformity with the master plan of the City.

BE IT FURTHER RESOLVED THAT the City Clerk is hereby authorized and directed to apply to the Wisconsin Department of Revenue, in such form as may be prescribed, for a "Determination of Tax Incremental Base", as of January 1, 2015, pursuant to the provisions of Wisconsin Statutes Section 66.1105(5)(b).

BE IT FURTHER RESOLVED THAT pursuant to Section 66.1105(5)(f) of the Wisconsin Statutes that the City Assessor is hereby authorized and directed to identify upon the assessment roll returned and examined under Wisconsin Statutes Section 70.45, those parcels of property which are within the District, specifying thereon the name of the said District, and the City Clerk is hereby authorized and directed to make similar notations on the tax roll made under Section 70.65 of the Wisconsin Statutes.

Adopted this _____ day of _____, 2015.

Mayor

City Clerk

EXHIBIT A -

**LEGAL BOUNDARY DESCRIPTION OR MAP OF
TAX INCREMENTAL DISTRICT NO. 9
CITY OF FITCHBURG**

THIS CAN BE FOUND IN THE PROJECT PLAN

PROJECT PLAN

THIS WILL BE HANDED OUT SEPARATELY



May 18, 2015

Project Plan for the Creation of Tax Incremental District No. 9



Organizational Joint Review Board Meeting Held:	Scheduled for: May 19, 2015
Public Hearing Held:	Scheduled for: May 19, 2015
Adoption by Plan Commission:	Scheduled for: May 19, 2015
Consideration for Adoption by Common Council:	Scheduled for: June 9, 2015
Approval by the Joint Review Board:	Scheduled for: TBD



Tax Incremental District No. 9 Creation Project Plan

City of Fitchburg Officials

Common Council

Steve Arnold	Mayor
Dorothy Krause	Council Member
Carol Poole	Council Member
Julia Arata-Fratta	Council Member
Patrick Stern	Council Member
Jason Gonzalez	Council Member
Dan Carpenter	Council Member
Jake Johnson	Council Member
Tony Hartmann	Council Member

City Staff

Patti Anderson	City Clerk
Tony Roach	City Administrator
Michael Zimmerman	Economic Development Director
Thomas Hovel	Zoning Administrator – City Planner
Mark Sewell	City Attorney

Plan Commission

Jim Anderson	Carol Poole
Kathi Kilgore	Steve Arnold
Tony McGrath	Thomas Hovel
Ed Kinney	Susan Badtke
Rachel Lee	

Joint Review Board

City Representative
Dane County
Madison Area Technical College District
Verona Area School District
Public Member



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SECTION 1: Executive Summary

Description of District

Type of District, Size and Location

Tax Incremental District (“TID”) No. 9 (the “TID” or “District”) is proposed to be created by the City of Fitchburg (“City”) as an industrial district. A map of the proposed District boundaries is located in Section 3 of this plan.

The district is proposed to assist a long time local manufacturer, the Sub Zero / Wolf Corporation, to expand its operations by adding a 250,000 – 300,000 square foot facility at an approximate cost of \$50,000,000 to \$60,000,000 including equipment.

Estimated Total Project Expenditures.

The City anticipates making or reimbursing total project expenditures of approximately \$6,721,000 to undertake the projects listed in this Project Plan. The City anticipates completing the projects in a single Phase. The Expenditure Period of this District is 15 years from the date of adoption of the authorizing Resolution of the Common Council (the “Creation Resolution”). The projects to be undertaken pursuant to this Project Plan are expected to be financed with a Municipal Revenue Obligation (MRO) or “PAYGO” Bond issued by the City, however, the City may use other alternative financing methods which may provide overall lower costs of financing, preserve debt capacity, mitigate risk to the City, or provide other advantages as determined by the Common Council. A discussion and listing of other possible financing mechanisms, as well as a summary of total project financing, is located in Section 10 of this plan.

Economic Development

As a result of the creation of this District, the City projects that additional land and improvements value of approximately \$29,500,000 will be created as a result of new development, redevelopment, and appreciation in the value of existing properties. This additional value will be a result of the improvements made and projects undertaken within the District. A table detailing assumptions as to the timing of new development and redevelopment and associated values is located in Section 10 of this Plan. In addition, creation of the District is expected to result in other economic benefits as detailed in the Summary of Findings hereafter.

Expected Termination of District

Based on the Economic Feasibility Study located in Section 10 of this plan, this District would be expected to generate sufficient tax increments to recover all project costs by the year 2034; 3 years earlier than the 20 year maximum life of this District.

Summary of Findings

As required by Wisconsin Statutes Section 66.1105 , and as documented in this Project Plan and the exhibits contained and referenced herein, the following findings are made:

1. **That “but for” the creation of this District, the development projected to occur as detailed in this Project Plan: 1) would not occur; or 2) would not occur in the manner, at the values, or within the timeframe desired by the City.** In making this determination, the City has considered the following information:

- The City expects to conduct an independent review of the Sub-Zero’s sources and uses proforma for the initial proposed development project. This review will determine the final amount of the City’s participation amount. The developer has indicated that a public investment of approximately \$6,721,000 is required to enable the development to occur in the manner desired by the City, while providing the company a fair and reasonable return on their investment.
- It is the judgment of the City that the use of Tax Incremental Financing (“TIF”) will be required to provide the necessary infrastructure and inducements to encourage development on the site consistent with that desired by the City.
- In order to make the areas included within the District suitable for development, the City will need to make a substantial investment to pay for the costs of: property, right-of-way and easement acquisition, site preparation, installation of utilities; installation of streets and related streetscape items; development incentive payments, and other associated costs. Due to the extensive initial investment that is required in order to allow development to occur, the City has determined that development of the area will not occur solely as a result of private investment. Accordingly, the City finds that absent the use of TIF, development of the area is unlikely to occur.
- Use of TIF in this instance will provide the City with the means to retain a long standing employer that was founded in 1945. The company also is considering alternate locations for this project at its other sites that it owns in Phoenix, Arizona and Richmond, Kentucky. Use of TIF is considered to be a key to retaining this company in Fitchburg and Wisconsin.

2. **The economic benefits of the Tax Incremental District, as measured by increased employment, business and personal income, and property value, are sufficient to compensate for the cost of the improvements.** In making this determination, the City has considered the following information:

- As demonstrated in the Economic Feasibility Section of this Project Plan, the tax increments projected to be collected are more than sufficient to pay for the proposed project costs. On this basis alone, the finding is supported.
- The development expected to occur is likely to generate approximately 100 full time jobs over the life of the District, with an average wage of approximately \$18 per hour plus 55% fringe benefits. *(source:3/24/15 Sub-Zero Presentation to City).*

3. **The benefits of the proposal outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions.**
 - If approved, the District's creation would become effective for valuation purposes as of January 1, 2015. As of this date, the values of all existing development would be frozen and the property taxes collected on this base value would continue to be distributed amongst the various taxing entities as they currently are now. Taxes levied on any additional value established within the District due to new construction, renovation or appreciation of property values occurring after January 1, 2015 would be collected by the TID and used to repay the costs of TIF-eligible projects undertaken within the District.
 - Since the development expected to occur is unlikely to take place or in the same manner without the use of TIF (see Finding #1) and since the District will generate economic benefits that are more than sufficient to compensate for the cost of the improvements (see Finding #2), the City reasonably concludes that the overall benefits of the District outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions. It is further concluded that since the "but for" test is satisfied, there would, in fact, be no foregone tax increments to be paid in the event the District is not created. As required by Section 66.1105(4)(i)4., a calculation of the share of projected tax increments estimated to be paid by the owners of property in the overlying taxing jurisdictions has been made and can be found in Appendix A of this plan.
4. Not less than 50% by area of the real property within the District is suitable for industrial sites and zoned for industrial use within the meaning of Wisconsin Statutes Section 66.1101. Any real property within the District that is found suitable for industrial sites and is zoned for industrial use at the time of the creation of the District will remain zoned for industrial use for the life of the District.
5. Based upon the findings, as stated above, the District is declared to be an industrial District based on the identification and classification of the property included within the District.
6. The project costs relate directly to promoting industrial development in the District consistent with the purpose for which the District is created.
7. The improvement of such area is likely to enhance significantly the value of substantially all of the other real property in the District.
8. The equalized value of taxable property of the District, plus the value increment of all existing tax incremental districts within the City, does not exceed 12% of the total equalized value of taxable property within the City.
9. The City estimates that none of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period, pursuant to Wisconsin Statutes Sections 66.1105(5)(b) and 66.1105(6)(am)1.
10. The Project Plan for the District in the City is feasible, and is in conformity with the master plan of the City.

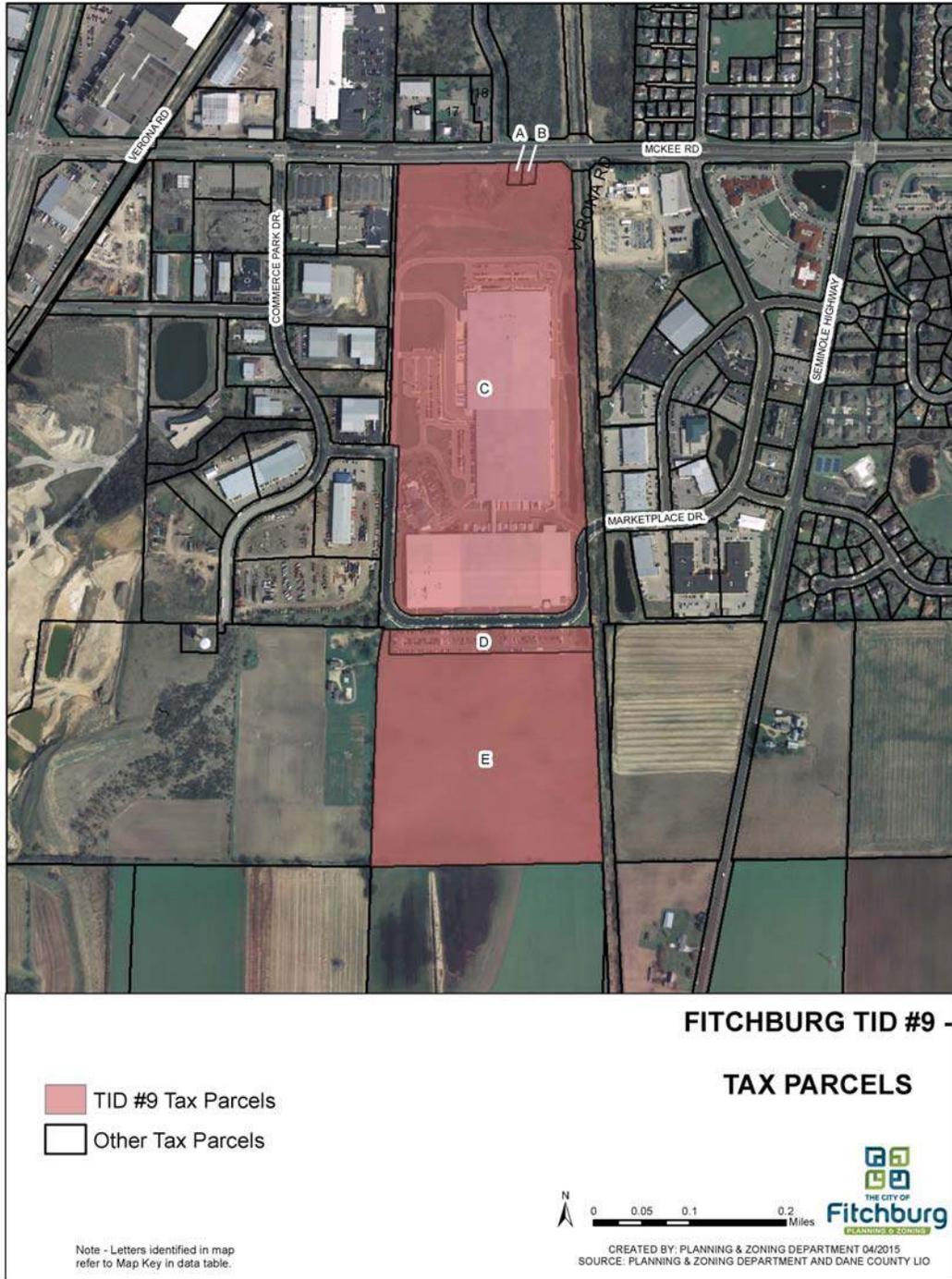
SECTION 2: Type and General Description of District

The District is being created by the City under the authority provided by Wisconsin Statutes Section 66.1105. This District is created as an “Industrial District” based upon a finding that at least 50%, by area, of the real property within the District is zoned and suitable for industrial sites within the meaning of Wisconsin Statutes Section 66.1101 (See Section 5 of this plan for a breakdown of District parcels by class and calculation of compliance with the 50% test).

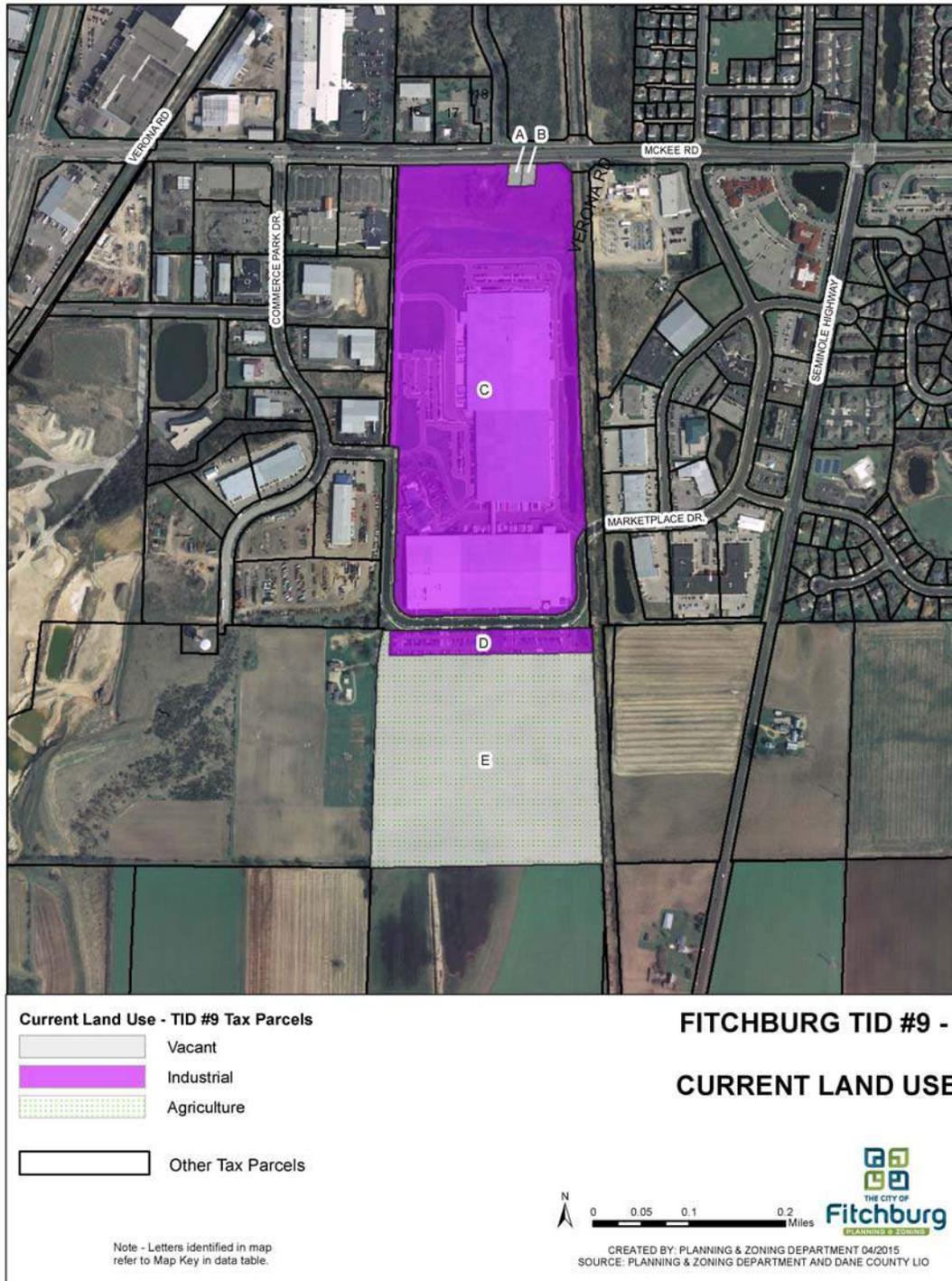
A map depicting the boundaries of the District is found in Section 3 of this Plan. A map depicting the proposed uses of the District is found in Section 8 of this plan. The City intends that TIF will be used to assure that industrial, distributor and related private development locates in this District. This will be accomplished by installing public improvements, and making necessary related expenditures, to promote industrial development within the District. The goal is to increase the tax base and to provide for and preserve employment opportunities within the City. The project costs included in this Plan relate directly to promoting industrial development in the District consistent with the purpose for which the District is created.

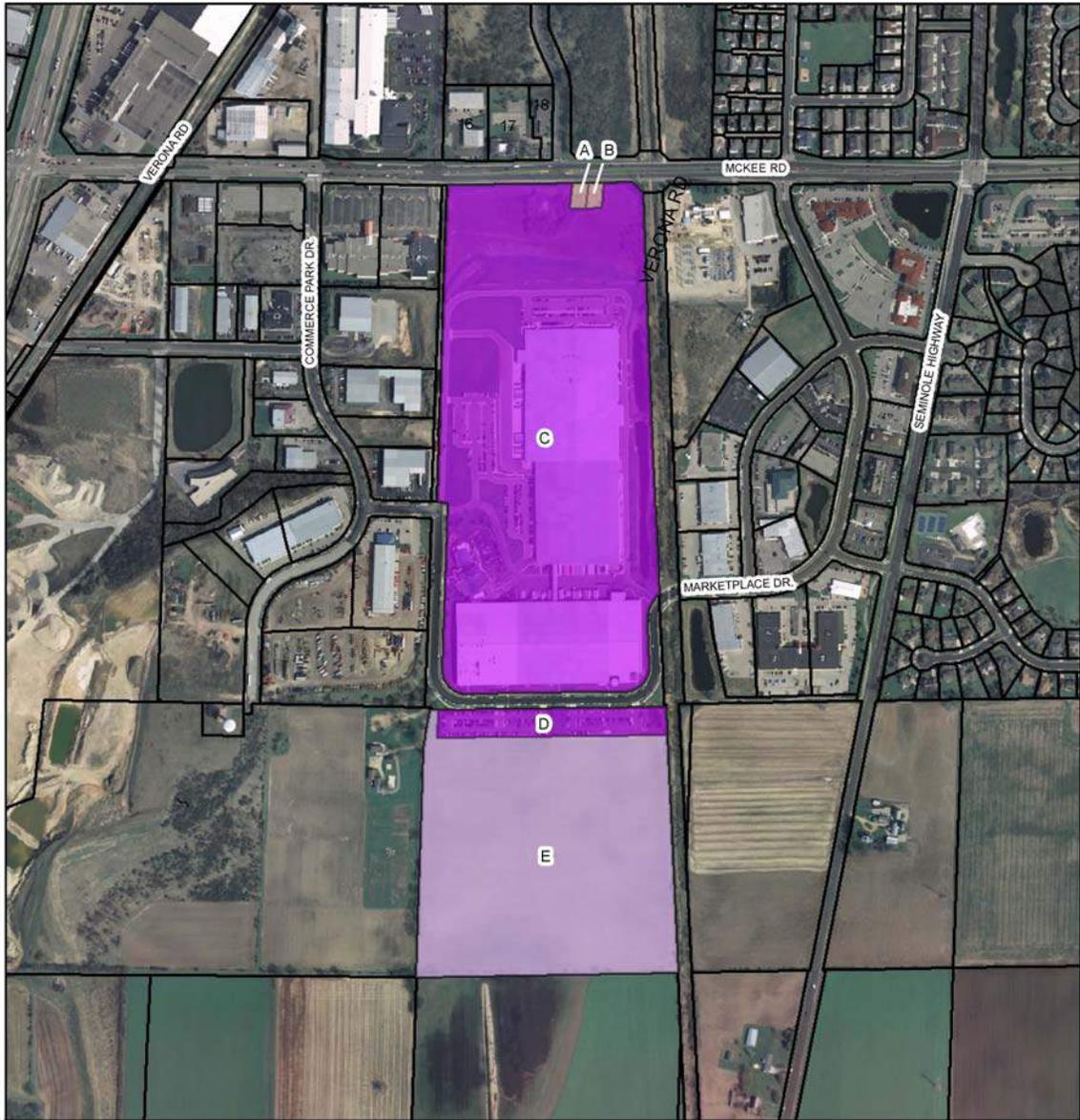
Based upon the findings, as stated within this Plan, the District is declared to be an industrial District based on the identification and classification of the property included within the district.

SECTION 3: Preliminary Map of Proposed District Boundary



SECTION 4: Maps Showing Existing Uses and Conditions





Current Zoning - TID #9 Tax Parcels

- B-P; Professional Office
- I-G; General Industrial
- R-D; Rural Development
- Other Tax Parcels

Note - Letters identified in map refer to Map Key in data table.

**FITCHBURG TID #9 -
CURRENT ZONING**



CREATED BY: PLANNING & ZONING DEPARTMENT 04/2015
SOURCE: PLANNING & ZONING DEPARTMENT AND DANE COUNTY LIO

SECTION 5: Preliminary Parcel List and Analysis

Proposed TID 9 Property Information									
Map Key	Owner	Parcel #	Parcel Acres	Zoning	Industrial Acres	Land	Improvement	Per Prop	Total
A	Sub-Zero Wolf	060908285609	0.21	B-P		9,000	-	-	9,000
B	Sub-Zero Wolf	060908285501	0.21	B-P		9,000	-	-	9,000
C	Sub-Zero Wolf	060908285752	56.767	I-G	56.767	9,165,200	26,537,900	4,968,900	40,672,000
D	Sub-Zero Wolf	060908385302	3.44	I-G	3.44	185,000	275,000	-	460,000
E	Donald Dunn	060908385602	33.13	R-D		8,500	-	-	8,500
Totals			93.757		60.207	9,376,700	26,812,900	4,968,900	41,158,500

SECTION 6: Equalized Value Test

The following calculations demonstrate that the City is in compliance with Wisconsin Statutes Section.66.1105(4)(gm)4.c., which requires that the equalized value of the taxable property in the proposed District, plus the value increment of all existing tax incremental districts, does not exceed 12% of the total equalized value of taxable property within the City.

The equalized value of the increment of existing tax incremental districts within the City, plus the base value of the proposed District, totals \$197,813,800. This value is less than the maximum of \$314,875,704 in equalized value that is permitted for the City of Fitchburg. The City is therefore in compliance with the statutory equalized valuation test and may proceed with creation of this District.

City of Fitchburg, Wisconsin				
Tax Increment District # 9 (Sub-Zero Project)				
Valuation Test Compliance Calculation				
Creation Date	6/9/2015			
	Valuation Data	Dollar	Percent	Valuation Data
	Currently Available	Charge	Change	Est. Creation Date
	2014			
Total EV (TID In)	2,623,964,200			2,623,964,200
12% Test	314,875,704			314,875,704
Increment of Existing TIDs				
TID #4	139,948,600			139,948,600
TID #6	13,504,200			13,504,200
TID #7	3,202,500			3,202,500
TID #8	0			0
	0			0
	0			0
Total Existing Increment	156,655,300			156,655,300
Projected Base of New or Amended District	41,158,500			41,158,500
Total Value Subject to 12% Test	197,813,800			197,813,800
Compliance	PASS			PASS

Version 1

SECTION 7: Statement of Kind, Number and Location of Proposed Public Works and Other Projects

The following is a list of public works and other TIF-eligible projects that the City expects to implement in conjunction with this District. These costs are currently expected to be incurred by Sub Zero as the owner/developer and may be reimbursed by the City as part of a Municipal Revenue Obligation or PAYGO financing technique. Any costs necessary or convenient to the creation of the District or directly or indirectly related to the public works and other projects are considered "Project Costs" and eligible to be paid with tax increment revenues of the District.

Property, Right-of-Way and Easement Acquisition

Property Acquisition for Development

In order to promote and facilitate development and/or redevelopment the City or Sub Zero may acquire property within the District. The cost of property acquired, and any costs associated with the transaction, are eligible Project Costs. Following acquisition, other Project Costs within the categories detailed in this Section may be incurred in order to make the property suitable for development and/or redevelopment. Any revenue received by the City from the sale of property acquired pursuant to the execution of this Plan will be used to reduce the total project costs of the District. If total Project Costs incurred by the City or Sub Zero to acquire property and make it suitable for development and/or redevelopment exceed the revenues or other consideration received from the sale or lease of that property, the net amount shall be considered "real property assembly costs" as defined in Wisconsin Statutes Section 66.1105(2)(f)1.c., and subject to recovery as an eligible Project Cost.

Acquisition of Rights-of-Way

The City or Sub Zero may need to acquire property to allow for installation of streets, driveways, sidewalks, utilities, stormwater management practices and other public infrastructure. Costs incurred by the City to identify, negotiate and acquire rights-of-way are eligible Project Costs.

Acquisition of Easements

The City may need to acquire temporary or permanent easements to allow for installation and maintenance of streets, driveways, sidewalks, utilities, stormwater management practices and other public infrastructure. Costs incurred by the City to identify, negotiate and acquire easement rights are eligible Project Costs.

Relocation Costs

No relocation is expected as a part of this plan however, if relocation expenses were to be incurred in conjunction with the acquisition of property, those expenses are eligible Project Costs. These costs may include, but are not limited to: preparation of a relocation plan; allocations of staff time; legal fees; publication of notices; obtaining appraisals; and payment of relocation benefits as required by Wisconsin Statutes Sections 32.19 and 32.195.

Site Preparation Activities

Environmental Audits and Remediation

There have been no known environmental studies performed within the proposed District. If, however, it becomes necessary to evaluate any land or improvement within the District, any cost incurred by the City or Sub Zero related to environmental audits, testing, and remediations are eligible Project Costs.

Demolition

In order to make sites suitable for development, the City or Sub Zero may incur costs related to demolition and removal of structures or other land improvements, to include abandonment of wells or other existing utility services.

Site Grading

Land within the District may require grading to make it suitable for development and/or redevelopment, to provide access, and to control stormwater runoff. The City or Sub Zero may need to remove and dispose of excess material, or bring in fill material to provide for proper site elevations. Expenses incurred by the City for site grading are eligible Project Costs.

Utilities

Sanitary Sewer System Improvements

To allow development and/or redevelopment to occur, the City or Sub Zero may need to construct, alter, rebuild or expand sanitary sewer infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: collection mains; manholes and cleanouts; service laterals; force mains; interceptor sewers; and all related appurtenances. To the extent sanitary sewer projects undertaken within the District provide direct benefit to land outside of the District, the City will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the City construct, alter, rebuild or expand sanitary sewer infrastructure located outside of the District. That portion of the costs of sanitary sewer system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs. The improvements to the wastewater treatment facilities, although not within the ½ mile radius, is an eligible project cost under Section 66.1105(2)(f)1 k.

Water System Improvements

There are inadequate water distribution facilities serving areas of the District. To allow development and/or redevelopment to occur, the City may need to construct, alter, rebuild or expand water system infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: distribution mains; manholes and valves; hydrants; service laterals; and all related appurtenances. To the extent water system projects undertaken within the District provide direct benefit to land outside of the District, the City will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the City construct, alter, rebuild or expand water system infrastructure located outside of the District. That portion of the costs of water system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Stormwater Management System Improvements

To manage stormwater runoff, the City or Sub Zero may need to construct, alter, rebuild or expand stormwater management infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: stormwater collection mains; inlets, manholes and valves; service laterals; ditches; culvert pipes; box culverts; bridges; stabilization of stream and river banks; and infiltration, filtration and detention Best Management Practices (BMP's). To the extent stormwater management system projects undertaken within the District provide direct benefit to land outside of the District, the City will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the City construct, alter, rebuild or expand stormwater management infrastructure located outside of the District. That portion of the costs of stormwater management system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Streets and Streetscape

Street Improvements

To allow development and/or redevelopment to occur, the City or Sub Zero may need to construct and/or reconstruct streets, highways, alleys, access drives and parking areas. Eligible Project Costs include, but are not limited to: excavation; removal or placement of fill; construction of road base; asphalt or concrete paving or repaving; installation of curb and gutter; installation of sidewalks and bicycle lanes; installation of culverts, box culverts and bridges; street lighting; installation of traffic control signage and traffic signals; pavement marking; right-of-way restoration; installation of retaining walls; and installation of fences, berms, and landscaping.

Streetscaping and Landscaping

In order to attract development consistent with the objectives of this Plan, the City may install amenities to enhance development sites, rights-of-way and other public spaces. These amenities include, but are not limited to: landscaping; lighting of streets, sidewalks, parking areas and public areas; installation of planters, benches, clocks, tree rings, trash receptacles and similar items; and installation of brick or other decorative walks, terraces and street crossings. These and any other similar amenities installed by the City are eligible Project Costs.

CDA Type Activities

Contribution to Community Development

As provided for in Wisconsin Statutes Sections 66.1105(2)(f)1.h and 66.1333(13), the City may provide funds to its CDA to be used for administration, planning operations, and capital costs, including but not limited to real property acquisition, related to the purposes for which it was established in furtherance of any redevelopment or urban renewal project. Funds provided to the CDA for this purpose are eligible Project Costs.

Miscellaneous

Cash Grants (Development Incentives)

The City may enter into agreements with property owners, lessees, or developers of land located within the District for the purpose of sharing costs to encourage the desired kind of improvements and assure tax base is generated sufficient to recover project costs. No cash grants will be provided until the City executes a developer agreement with the recipient of the cash grant. Any payments of cash grants made by the City are eligible Project Costs.

Professional Service and Organizational Costs

The costs of professional services rendered, and other costs incurred, in relation to the creation, administration and termination of the District, and the undertaking of the projects contained within this Plan, are eligible Project Costs. Professional services include, but are not limited to: architectural; environmental; planning; engineering; legal, audit; financial; and the costs of informing the public with respect to the creation of the District and the implementation of the Plan.

Administrative Costs

The City may charge to the District as eligible Project Costs reasonable allocations of administrative costs, including, but not limited to, employee salaries. Costs allocated will bear a direct connection to the time spent by City employees in connection with the implementation of the Plan.

Financing Costs

Interest expense, debt issuance expenses, redemption premiums, and any other fees and costs incurred in conjunction with obtaining financing for projects undertaken under this Plan are eligible Project Costs.

With all projects the costs of engineering, design, survey, inspection, materials, construction, restoring property to its original condition, apparatus necessary for public works, legal and other consultant fees, testing, environmental studies, permits, updating City ordinances and plans, judgments or claims for damages and other expenses are included as Project Costs.

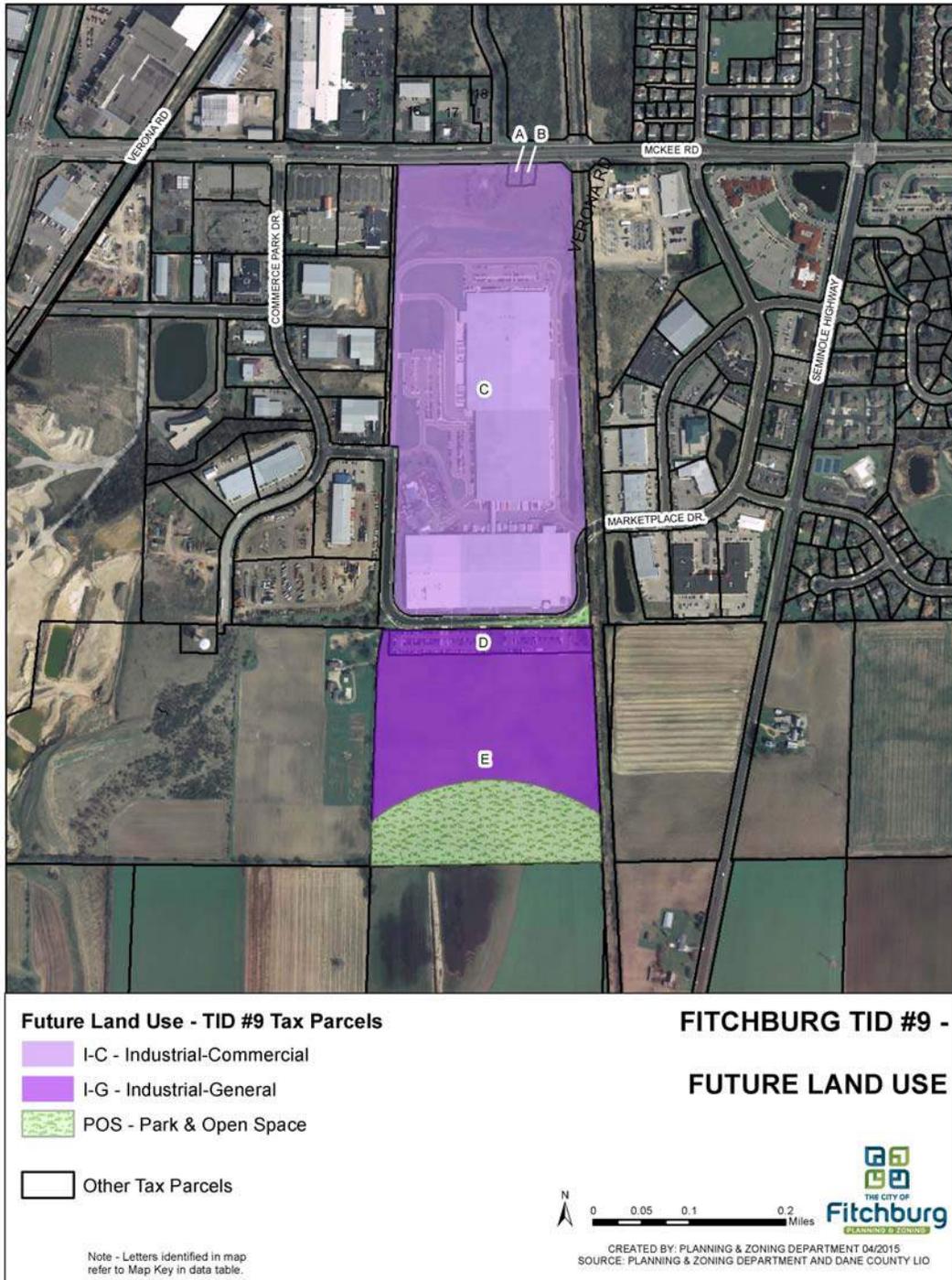
In the event any of the public works project expenditures are not reimbursable out of the special TIF fund under Wisconsin Statutes Section 66.1105, in the written opinion of counsel retained by the City for such purpose or a court of record so rules in a final order, then such project or projects shall be deleted herefrom and the remainder of the projects hereunder shall be deemed the entirety of the projects for purposes of this Project Plan.

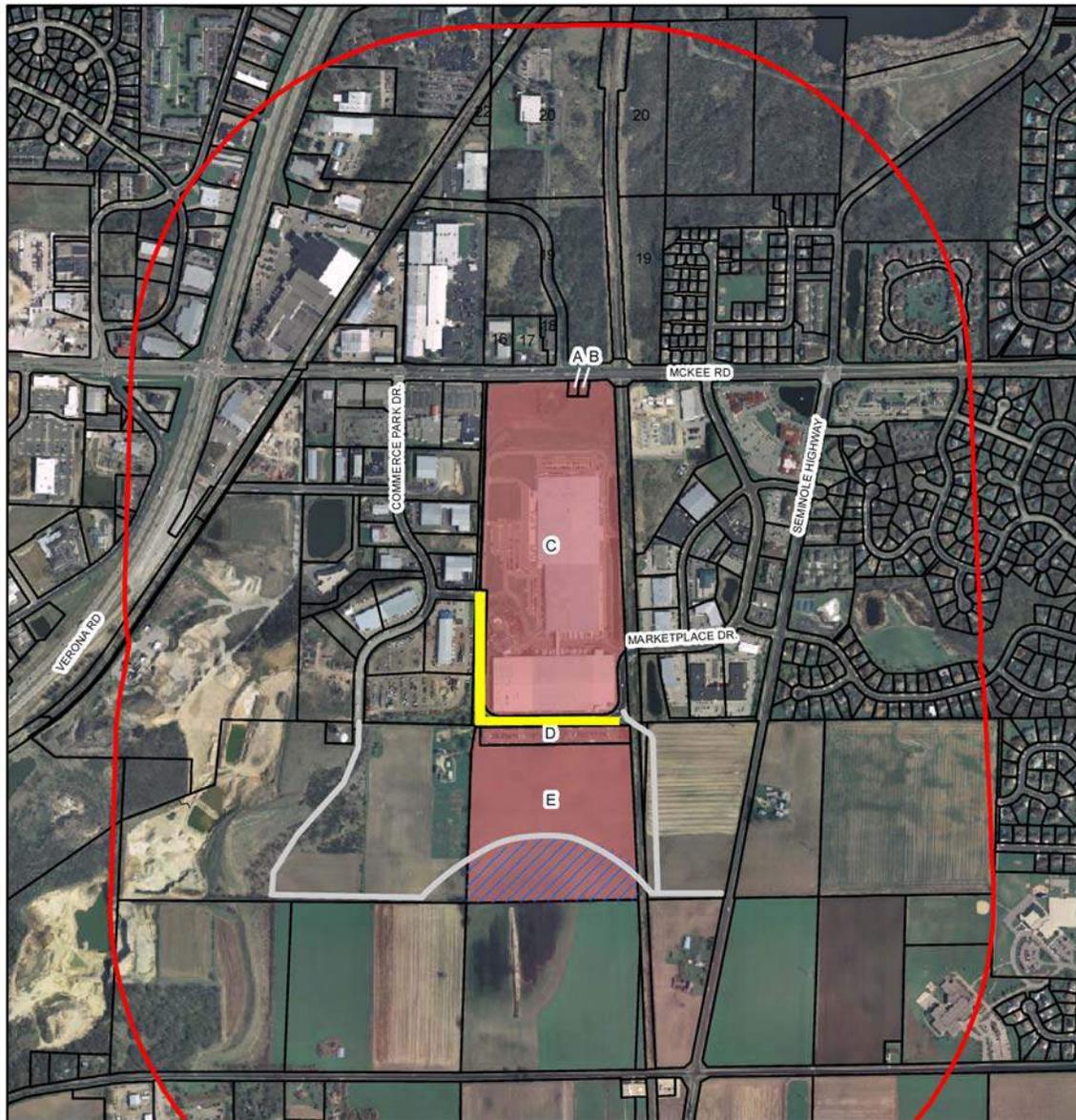
The City reserves the right to implement only those projects that remain viable as the Plan period proceeds.

Project Costs are any expenditure made, estimated to be made, or monetary obligations incurred or estimated to be incurred, by the City and as outlined in this Plan. Project Costs will be diminished by any income, special assessments or other revenues, including user fees or charges. To the extent the costs benefit the municipality outside the District, a proportionate share of the cost is not a Project Cost. Costs identified in this Plan are preliminary estimates made prior to design considerations and are subject to

change after planning is completed. Prorations of costs in the Plan are also estimates and subject to change based upon implementation, future assessment policies and user fee adjustments.

SECTION 8: Maps Showing Proposed Improvements and Uses





**FITCHBURG TID #9 -
IMPROVEMENTS**

- TID #9 Tax Parcels
- TID #9 0.5 Mile Buffer
- Future Land Use - Parks & Conservancy
- Other Tax Parcels
- Marketplace Dr. Street Vacate (Approximate)
- Proposed Street Network (Approximate)

Note - Letters identified in map refer to Map Key in data table



CREATED BY: PLANNING & ZONING DEPARTMENT 04/2015
SOURCE: PLANNING & ZONING DEPARTMENT AND DANE COUNTY LIO

SECTION 9: Detailed List of Project Costs

All costs are based on 2015 prices and are preliminary estimates. The City reserves the right to increase these costs to reflect inflationary increases and other uncontrollable circumstances between 2015 and the time of construction. The City also reserves the right to increase certain project costs to the extent others are reduced or not implemented without amending the Plan. The tax increment allocation is preliminary and is subject to adjustment based upon the implementation of the Plan.

This Plan is not meant to be a budget nor an appropriation of funds for specific projects, but a framework within which to manage projects. All costs included in the Plan are estimates based on best information available. The City retains the right to delete projects or change the scope and/or timing of projects implemented as they are individually authorized by the Common Council, without amending the Plan.

Proposed TIF Project Cost Estimates

City of Fitchburg, Wisconsin Tax Increment District # 9 (Sub-Zero Project) Estimated Project List			
Project ID	Project Name/Type	Phase I Year	Total (Note 1)
1	Land Acquisition	2,050,000	2,050,000
2	Road Access	872,000	872,000
3	Utilities Extension	1,504,000	1,504,000
4	Engineering & Permitting	654,000	654,000
5	Demo & Reconstruct Cul de Sacs	60,000	60,000
6	Retention Pond	300,000	300,000
7	Parking lots	450,000	450,000
8	Engineering Services	140,000	140,000
9	Municipal Fees	141,000	141,000
10	Grading and other Site Work	550,000	550,000
Total Projects		<u>6,721,000</u>	<u>6,721,000</u>
Notes:			
Note 1 Project costs are estimates provided by Developer 4/25/15..			
			Version 3

SECTION 10: Economic Feasibility Study, Financing Methods, and the Time When Costs or Monetary Obligations Related are to be Incurred

The information and exhibits contained within this Section demonstrate that the proposed District is economically feasible insofar as:

- The City has available to it the means to secure the necessary financing required to accomplish the projects contained within this Plan. A listing of “Available Financing Methods” follows.
- The City expects to complete the projects in one or multiple phases, and can adjust the timing of implementation as needed to coincide with the pace of private development. A discussion of the phasing and projected timeline for project completion is discussed under “Plan Implementation” within this Section. A table identifying the financing method for each phase and the time at which that financing is expected to be incurred is included.
- The development anticipated to occur as a result of the implementation of this Plan will generate sufficient tax increments to pay for the cost of the projects. Within this Section are tables identifying: 1) the development expected to occur, 2) a projection of tax increments to be collected resulting from that development and other economic growth within the District, and 3) a cash flow model demonstrating that the projected tax increment collections and all other revenues available to the District will be sufficient to pay all Project Costs.

Available Financing Methods

The following is a list of the types of obligations the City could choose to utilize. The primary option being considered is the use of the “Pay As You Go” or Municipal Revenue Bond option identified below.

General Obligation (G.O.) Bonds or Notes

The City may issue G.O. Bonds or Notes to finance the cost of projects included within this Plan. The Wisconsin State Constitution limits the principal amount of G.O. debt that the community may have outstanding at any point in time to an amount not greater than five percent of its total equalized value (TID IN). As of the date of this plan, the City has a G.O. debt limit of \$131,198,210, of which \$85,363,210 is currently unused and could be made available to finance Project Costs.

Bonds Issued to Developers (“Pay as You Go” or Municipal Revenue Obligation Financing)

The City primary choice to finance this district will be the issuance of a bond or other revenue obligation to Sub Zero who would provide financing for projects included in this Plan. Repayment of the amounts due to the Sub Zero as the developer under the bonds or other obligations are limited to an agreed percentage of the available annual tax increments collected that result from the improvements made by the developer. To the extent the tax increments collected are insufficient to make annual payments, or to repay the entire obligation over the life of the District, the City’s obligation is limited to not more than the

agreed percentage of the actual increments collected. Bonds or other obligations issued to developers in this fashion are not general obligations of the City and, therefore, do not count against the City's statutory borrowing capacity.

In addition, the size of the MRO in this plan is predicated upon the net taxable value of the Sub Zero project at \$25,000,000. To the extent the taxable value is less, the principal amount of the MRO will be reduced to provide adequate revenue coverage.

Tax Increment Revenue Bonds

The City has the authority to issue revenue bonds secured by the tax increments to be collected. These bonds may be issued directly by the City, or as a form of lease revenue bond by a Community Development Authority (CDA). Tax Increment Revenue Bonds and Lease Revenue Bonds are not general obligations of the City and therefore do not count against the City's statutory borrowing capacity. To the extent tax increments collected are insufficient to meet the annual debt service requirements of the revenue bonds, the City may be subject to either a permissive or mandatory requirement to appropriate on an annual basis a sum equal to the actual or projected shortfall.

Utility Revenue Bonds

The City can issue revenue bonds to be repaid from revenues of the its various systems, including revenues paid by the City that represent service of the system to the City. There is neither a statutory nor constitutional limitation on the amount of revenue bonds that can be issued, however, water rates are controlled by the Wisconsin Public Service Commission and the City must demonstrate to bond purchasers its ability to repay revenue debt with the assigned rates. To the extent the City utilizes utility revenues other than tax increments to repay a portion of the bonds, the City must reduce the total eligible Project Costs in an equal amount.

Special Assessment "B" Bonds

The City has the ability to levy special assessments against benefited properties to pay part of the costs for street, curb, gutter, sewer, water, storm sewers and other infrastructure. In the event the City determines that special assessments are appropriate, the City can issue Special Assessment B bonds pledging revenues from special assessment installments to the extent assessment payments are outstanding. These bonds are not counted against the City's statutory borrowing capacity. If special assessments are levied, the City must reduce the total eligible Project Costs under this Plan in an amount equal to the total collected.

Plan Implementation

Other sources of funding, in addition to TID increment, are being pursued by the developer and the municipality in order to fund the total project improvements.

Projects identified will provide the necessary anticipated governmental services to the area. A reasonable and orderly sequence is outlined on the following page. However, public debt and expenditures should be made at the pace private development occurs to assure increment is sufficient to cover expenses.

It is anticipated developer agreements between the City and property owners will be in place prior to major public expenditures. These agreements can provide for development guarantees or a payment in

lieu of development. To further assure contract enforcement, these agreements might include levying of special assessments against benefited properties.

The order in which public improvements are made should be adjusted in accordance with development and execution of developer agreements. The City reserves the right to alter the implementation of this Plan to accomplish this objective.

Interest rates projected are based on current market conditions. Municipal interest rates are subject to constantly changing market conditions. In addition, other factors such as the loss of tax-exempt status of municipal bonds or broadening the purpose of future tax-exempt bonds would affect market conditions. Actual interest expense will be determined once the methods of financing have been approved and securities or other obligations are issued.

If financing as outlined in this Plan proves unworkable, the City reserves the right to use alternate financing solutions for the projects as they are implemented.

Implementation and Financing Timeline

City of Fitchburg, Wisconsin Tax Increment District # 9 (Sub-Zero Project) Estimated Financing Plan		
	Municipal Revenue Obligation (MRO) 2016	Totals
Projects		
Phase I	6,721,000	6,721,000
Total Project Funds	<u>6,721,000</u>	<u>6,721,000</u>
Estimated Finance Related Expenses		
Financial Advisor		
Bond Counsel		
Rating Agency Fee		
Paying Agent		
Underwriter Discount	10.00	
Debt Service Reserve		
Capitalized Interest		
Total Financing Required	6,721,000	
Estimated Interest	0.25%	
Assumed spend down (months)	6	
Rounding	0	
Net Issue Size	6,721,000	6,721,000
Notes:		

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Development Assumptions

City of Fitchburg, Wisconsin Tax Increment District # 9 (Sub-Zero Project) Development Assumptions							
Construction Year		Actual	Sub Zero Expansion	Additional Expansion	Annual Total	Construction Year	
1	2015	(275,000)	5,000,000		4,725,000	2015	1
2	2016		24,500,000		24,500,000	2016	2
3	2017				0	2017	3
4	2018				0	2018	4
5	2019				0	2019	5
6	2020				0	2020	6
7	2021				0	2021	7
8	2022				0	2022	8
9	2023				0	2023	9
10	2024				0	2024	10
11	2025				0	2025	11
12	2026				0	2026	12
13	2027				0	2027	13
14	2028				0	2028	14
15	2029				0	2029	15
16	2030				0	2030	16
17	2031				0	2031	17
18	2032				0	2032	18
19	2033				0	2033	19
20	2034				0	2034	20
Totals		(275,000)	29,500,000	0	29,225,000		

Notes: Total Project Expense projected between \$50 M and \$60 M per Sub Zero. However as Manufacturing, this is assessed by the Wisconsin DOR and a significant portion may be exempt as it could be classified as equipment. The final assessment will determine the amount available for the MRO. The above is an estimate provided by the City of net assessable real estate value.

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Increment Revenue Projections

City of Fitchburg, Wisconsin									
Tax Increment District # 9 (Sub-Zero Project)									
Tax Increment Projection Worksheet									
Type of District	Industrial		Base Value	41,158,500					
Creation Date	June 9, 2015		Appreciation Factor	-0.50%		Apply to Base Value			
Valuation Date	Jan 1,	2015	Base Tax Rate	\$23.94					
Max Life (Years)	20		Rate Adjustment Factor	0.00%					
Expenditure Periods/Termination	15	6/9/2030	Tax Exempt Discount Rate						
Revenue Periods/Final Year	20	2036	Taxable Discount Rate	1.50%					
Extension Eligibility/Years	Yes	3							
Recipient District	No								

Construction Year	Value Added	Valuation Year	Inflation Increment	Total Increment	Revenue Year	Tax Rate	Tax Increment	Tax Exempt	Taxable
								NPV Calculation	NPV Calculation
1	2015	4,725,000	2016	0	4,725,000	2017	\$23.94	113,117	111,445
2	2016	24,500,000	2017	(23,625)	29,201,375	2018	\$23.94	699,081	790,016
3	2017	0	2018	(146,007)	29,055,368	2019	\$23.94	695,586	1,507,783
4	2018	0	2019	(145,277)	28,910,091	2020	\$23.94	692,108	2,199,891
5	2019	0	2020	(144,550)	28,765,541	2021	\$23.94	688,647	2,888,538
6	2020	0	2021	(143,828)	28,621,713	2022	\$23.94	685,204	3,573,741
7	2021	0	2022	(143,109)	28,478,605	2023	\$23.94	681,778	4,255,519
8	2022	0	2023	(142,393)	28,336,212	2024	\$23.94	678,369	4,933,888
9	2023	0	2024	(141,681)	28,194,530	2025	\$23.94	674,977	5,608,865
10	2024	0	2025	(140,973)	28,053,558	2026	\$23.94	671,602	6,280,467
11	2025	0	2026	(140,268)	27,913,290	2027	\$23.94	668,244	6,948,711
12	2026	0	2027	(139,566)	27,773,724	2028	\$23.94	664,903	7,613,614
13	2027	0	2028	(138,869)	27,634,855	2029	\$23.94	661,578	8,275,193
14	2028	0	2029	(138,174)	27,496,681	2030	\$23.94	658,271	8,933,463
15	2029	0	2030	(137,483)	27,359,197	2031	\$23.94	654,979	9,588,443
16	2030	0	2031	(136,796)	27,222,401	2032	\$23.94	651,704	10,240,147
17	2031	0	2032	(136,112)	27,086,289	2033	\$23.94	648,446	10,888,593
18	2032	0	2033	(135,431)	26,950,858	2034	\$23.94	645,204	11,533,796
19	2033	0	2034	(134,754)	26,816,104	2035	\$23.94	641,978	12,175,774
20	2034	0	2035	(134,081)	26,682,023	2036	\$23.94	638,768	12,814,541
Totals		29,225,000		(2,542,977)		Future Value of Increment		12,814,541	

Notes:
 Actual results will vary depending on development, inflation of overall tax rates.
 NPV calculations represent estimated amount of funds that could be borrowed (including project cost, capitalized interest and issuance costs).

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Cash Flow Projections

Sub-Zero Expansion Project 2015								
I. TID MRO PAYMENT Information								
Date of Bond Issuance		9/1/2016						
Version 3		5.33972%						
		31-Dec	1-Sep					
Year Collected	Tax Increment	Principal Balance	Interest Due	Interest Paid	Interest Accrued	Principal Paid	TOTAL P & I Paid	
2015								
2016		6,721,000						
1	2017	61,805	7,018,077	358,882	61,805	297,077	0	61,805
2	2018	614,201	6,778,622	374,745	374,745	0	239,456	614,201
3	2019	610,958	6,529,623	361,959	361,959	0	248,999	610,958
4	2020	607,899	6,270,387	348,663	348,663	0	259,236	607,899
5	2021	605,022	6,000,185	334,821	334,821	0	270,202	605,022
6	2022	602,327	5,718,251	320,393	320,393	0	281,934	602,327
7	2023	599,813	5,423,776	305,338	305,338	0	294,474	599,813
8	2024	597,477	5,115,913	289,614	289,614	0	307,863	597,477
9	2025	595,320	4,793,768	273,175	273,175	0	322,145	595,320
10	2026	593,340	4,456,402	255,974	255,974	0	337,367	593,340
11	2027	591,537	4,102,824	237,959	237,959	0	353,578	591,537
12	2028	589,908	3,731,995	219,079	219,079	0	370,829	589,908
13	2029	588,454	3,342,819	199,278	199,278	0	389,176	588,454
14	2030	587,173	2,934,143	178,497	178,497	0	408,676	587,173
15	2031	586,063	2,504,754	156,675	156,675	0	429,389	586,063
16	2032	585,125	2,053,376	133,747	133,747	0	451,378	585,125
17	2033	584,357	1,578,664	109,644	109,644	0	474,712	584,357
18	2034	583,757	1,079,203	84,296	84,296	0	499,461	583,757
19	2035	583,325	553,504	57,626	57,626	0	525,699	583,325
20	2036	583,060	(0)	29,556	29,556	0	553,505	583,060
TOTALS		11,350,923		4,629,923	4,332,845		7,018,078	11,350,923

City of Fitchburg, Wisconsin

Tax Increment District # 9 (Sub-Zero Project)

Cash Flow Projection

Year	Projected Revenues					Expenditures				Balances			Year
	Tax Increments	Interest Earnings/ (Cost)	Less City Administrativ e Expense	10.00% Less Allocation for Coverage or other TID Expenses	Net Available TID Revenues	Municipal Revenue Obligation (MRO) 6,721,000 Dated Date:			Total Expenditures	Annual	Cumulative	Principal Outstanding	
2015		0.25%			0				0	0	0		2015
2016					0				0	0	0	6,721,000	2016
2017	113,117		(40,000)	(11,312)	61,805	0	5.34%	61,805	61,805	11,312	11,312	7,018,077	2017
2018	699,081	28	(15,000)	(69,908)	614,201	239,456	5.34%	374,745	614,201	69,908	81,220	6,778,622	2018
2019	695,586	231	(15,300)	(69,559)	610,958	248,999	5.34%	361,959	610,958	69,559	150,778	6,529,623	2019
2020	692,108	608	(15,606)	(69,211)	607,899	259,236	5.34%	348,663	607,899	69,211	219,989	6,270,387	2020
2021	688,647	1,158	(15,918)	(68,865)	605,022	270,202	5.34%	334,821	605,022	68,865	288,854	6,000,185	2021
2022	685,204	1,880	(16,236)	(68,520)	602,327	281,934	5.34%	320,393	602,327	68,520	357,374	5,718,251	2022
2023	681,778	2,774	(16,561)	(68,178)	599,813	294,474	5.34%	305,338	599,813	68,178	425,552	5,423,776	2023
2024	678,369	3,838	(16,892)	(67,837)	597,477	307,863	5.34%	289,614	597,477	67,837	493,389	5,115,913	2024
2025	674,977	5,071	(17,230)	(67,498)	595,320	322,145	5.34%	273,175	595,320	67,498	560,887	4,793,768	2025
2026	671,602	6,473	(17,575)	(67,160)	593,340	337,367	5.34%	255,974	593,340	67,160	628,047	4,456,402	2026
2027	668,244	8,044	(17,926)	(66,824)	591,537	353,578	5.34%	237,959	591,537	66,824	694,871	4,102,824	2027
2028	664,903	9,781	(18,285)	(66,490)	589,908	370,829	5.34%	219,079	589,908	66,490	761,361	3,731,995	2028
2029	661,578	11,684	(18,651)	(66,158)	588,454	389,176	5.34%	199,278	588,454	66,158	827,519	3,342,819	2029
2030	658,271	13,753	(19,024)	(65,827)	587,173	408,676	5.34%	178,497	587,173	65,827	893,346	2,934,143	2030
2031	654,979	15,986	(19,404)	(65,498)	586,063	429,389	5.34%	156,675	586,063	65,498	958,844	2,504,754	2031
2032	651,704	18,383	(19,792)	(65,170)	585,125	451,378	5.34%	133,747	585,125	65,170	1,024,015	2,053,376	2032
2033	648,446	20,943	(20,188)	(64,845)	584,357	474,712	5.34%	109,644	584,357	64,845	1,088,859	1,578,664	2033
2034	645,204	23,666	(20,592)	(64,520)	583,757	499,461	5.34%	84,296	583,757	64,520	1,153,380	1,079,203	2034
2035	641,978	26,549	(21,004)	(64,198)	583,325	525,699	5.34%	57,626	583,325	64,198	1,217,577	553,504	2035
2036	638,768	29,593	(21,424)	(63,877)	583,060	553,505	5.34%	29,556	583,060	63,877	1,281,454	(0)	2036
Total	12,814,541	200,444	(382,608)	(1,281,454)	11,350,923	7,018,078		4,332,845	11,350,923				Total

Notes: Projected TID Closure

Version 3

SECTION 11: Annexed Property

There are no lands proposed for inclusion within the District that were annexed by the City on or after January 1, 2004.

SECTION 12: Estimate of Property to be Devoted to Retail Business

Pursuant to Wisconsin Statutes Sections 66.1105(5)(b) and 66.1105(6)(am)1, the City estimates that 0% of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period.

SECTION 13: Proposed Zoning Ordinance Changes

The City anticipates that a portion of the District will be rezoned from Rural Development to General Industrial prior to development. And any real property within the District that is found suitable for industrial sites and is zoned for industrial use will remain zoned for industrial use for the life of the District.

SECTION 14: Proposed Changes in Master Plan, Map, Building Codes and City of Fitchburg Ordinances

It is expected that this Plan will be complementary to the City's Master Plan. There are no proposed changes to the Master Plan, map, building codes or other City ordinances for the implementation of this Plan.

SECTION 15: Relocation

It is not anticipated there will be a need to relocate persons or businesses in conjunction with this Plan. In the event relocation or the acquisition of property by eminent domain becomes necessary at some time during the implementation period, the City will follow applicable Wisconsin Statutes Section chapter 32.

SECTION 16: Orderly Development of the City of Fitchburg

The District contributes to the orderly development of the City by providing the opportunity for continued growth in tax base, job opportunities and general economic activity.

SECTION 17: List of Estimated Non-Project Costs

Non-Project costs are public works projects that only partly benefit the District or are not eligible to be paid with tax increments, or costs not eligible to be paid with TIF funds.

Examples would include:

A public improvement made within the District that also benefits property outside the District. That portion of the total project costs allocable to properties outside of the District would be a non-project cost.

A public improvement made outside the District that only partially benefits property within the District. That portion of the total project costs allocable to properties outside of the District would be a non-project cost.

Projects undertaken within the District as part of the implementation of this Project Plan, the costs of which are paid fully or in part by impact fees, grants, special assessments, or revenues other than tax increments.

The City does not expect to incur any non-project costs in the implementation of this Project Plan.

SECTION 18:

Opinion of Attorney for the City of Fitchburg Advising
Whether the Plan is Complete and Complies with
Wisconsin Statutes 66.1105

May 18, 2015

SAMPLE

Mayor Shawn Pfaff
City of Fitchburg
5520 Lacy Road
Fitchburg, Wisconsin 53711

RE: City of Fitchburg, Wisconsin Tax Incremental District No. 9

Dear Mayor:

As City Attorney for the City of Fitchburg, I have reviewed the Project Plan and, in my opinion, have determined that it is complete and complies with Wisconsin Statutes Section 66.1105(4)(f).

Sincerely,

Attorney Mark Sewell
City of Fitchburg

Exhibit A:
**Calculation of the Share of Projected Tax Increments
 Estimated to be Paid by the Owners of Property in the
 Overlying Taxing Jurisdictions**

Estimated portion of taxes that owners of taxable property in each taxing jurisdiction overlying district would pay by jurisdiction.						
Statement of Taxes Data Year:		2013		Percentage		
Dane County		7,233,488		15.75%		
City of Fitchburg		22,816,765		49.68%		
Verona Area School District		11,607,875		25.27%		
Madison Area Technical College		4,272,424		9.30%		
Madison Metro Sewer District		0		0.00%		
Total		45,930,552		100.00%		
Revenue Year	Dane County	City of Fitchburg	Verona Area School District	Madison Area Technical College	Total	Revenue Year
2017	17,814	56,193	28,588	10,522	113,117	2017
2018	110,097	347,280	176,676	65,028	699,081	2018
2019	109,546	345,544	175,793	64,703	695,586	2019
2020	108,998	343,816	174,914	64,379	692,108	2020
2021	108,453	342,097	174,039	64,057	688,647	2021
2022	107,911	340,386	173,169	63,737	685,204	2022
2023	107,371	338,684	172,303	63,418	681,778	2023
2024	106,835	336,991	171,442	63,101	678,369	2024
2025	106,300	335,306	170,585	62,786	674,977	2025
2026	105,769	333,630	169,732	62,472	671,602	2026
2027	105,240	331,961	168,883	62,160	668,244	2027
2028	104,714	330,302	168,039	61,849	664,903	2028
2029	104,190	328,650	167,199	61,540	661,578	2029
2030	103,669	327,007	166,363	61,232	658,271	2030
2031	103,151	325,372	165,531	60,926	654,979	2031
2032	102,635	323,745	164,703	60,621	651,704	2032
2033	102,122	322,126	163,880	60,318	648,446	2033
2034	101,611	320,516	163,060	60,016	645,204	2034
2035	101,103	318,913	162,245	59,716	641,978	2035
2036	100,598	317,318	161,434	59,418	638,768	2036
		2,018,130	6,365,836	3,238,576	1,191,999	12,814,541
Notes:						
The projection shown above is provided to meet the requirements of Wisconsin Statute 66.1105(4)(i)4.						

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
 Direct Referral Approved by:

Date Referred: April 28, 2015
 Date to Report Back: **May 26, 2015**

Ordinance Number: 2015-O-12
 Resolution Number:

Sponsored by: Mayor Arnold

Drafted by: Planning/Zoning

TITLE: An Ordinance Amending Chapter 23 to Article 1 Table 2(g), Article 5 Section 5.6.2(f)(vi), Article 5 Section 5.6.2(g), and Article 5 Table 21.

Background: As work continues to progress in Uptown and North Park, the developers and staff are continuing to review the Code to allow flexibility to some of the requirements. Tim O'Brien Homes/Neumann Companies has requested some changes to the T4 Frontage Buildout requirements to allow the single-family homes to sit more square on the lot. Additionally, a change is proposed to allow flexibility to the T5 front setback where there is a bicycle or pedestrian easement present.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	May 19, 2015	
2				
3				
4				

Amendments:

Mayor Arnold
Introduced By

Planning Dept.
Drafted By

Plan Commission
Referred to

April 21, 2015
Date

ORDINANCE NO. 2015-O-12

An Ordinance Amending Chapter 23 to Amend Article 3 Section 3.5.1(b), Article 1 Table 2(g), Article 5 Section 5.6.2(f)(vi), Article 5 Section 5.6.2(g), and Article 5 Table 21.

The Common Council of the City of Fitchburg, Dane County, Wisconsin hereby ordains as follows:

SECTION 1: ARTICLE 1 Table 2(g) T4 Frontage Buildout requirement is amended to read:

g. SETBACKS - PRINCIPAL BUILDING (see Tables 22 - 26)

(g.1) Front Setback (Principal)	not applicable	24 ft. min	20 ft. min	6 ft. min 18 ft. max	2 ft. min 12 ft. max
(g.2) Front Setback (Secondary)	not applicable	24 ft. min	12 ft. min	6 ft. min 18 ft. max	2 ft. min 12 ft. max
(g.3) Side Setback	not applicable	24 ft. min	5 ft. min	3 ft. min., 0 ft.	0 ft. min 12 ft. max
(g.4) Rear Setback	not applicable	24 ft. min	20 ft. min	3 ft. min*	3 ft. min**
Frontage Buildout (see Sec. 5.6.2f)	not applicable	not applicable	not applicable	60% min*** +	80% min***

* or 15 ft from centerline of Rear Alley or Lane

** 3 ft. min except in the case of a common or shared wall. In all other cases, 0' permitted only by Administrative Waiver

*** Variation behind the primary setback is permitted up to 18"

+ See 5.6.2.f.vi for reduced Frontage Buildout for single-family Edgeyard.

SECTION 2: ARTICLE 3, Section 3.5.1b is amended to read:

3.5.1.b. ~~Civic Spaces are public site permanently dedicated to the City for Open Space. Civic Spaces may be public or private. Private Civic Spaces, however, shall not count to parkland dedication requirements or to meeting the requirements of Section 3.5.3.~~

SECTION 3: ARTICLE 5, Section 5.6.2(f)(vi) is amended to read:

5.6.2.f.vi ~~For T4 Edgeyard single-family dwelling structures, the Frontage Buildout shall be calculated by subtracting one foot from the Lot Width at the Principal Frontage Line and then multiplying that by the required Frontage Buildout percentage specified in Table 2g.~~

T4 single-family Edgeyard building, where the garage does not have access to a rear alley or rear lane, may have Frontage Buildout reduced to 50%, provided the garage width is 24' or less.

SECTION 4: ARTICLE 5, Section 5.6.2(g) shall be amended to read:

5.6.2.g. Setbacks for Principal Buildings shall be as shown in Table 2g and Tables 22-26. In the case of an Infill Lot, the Common Council through the approved Infill Community Regulation Plan, may require setbacks to match one of the existing adjacent setbacks. **Where a bicycle or pedestrian easement is present, the building recess may**

be beyond the maximum setback range, provided that the primary setback is within the allowed setback range and all other aspects of the setback and frontage buildout are maintained.

SECTION 5: ARTICLE 5, Table 21 Specific Use, is amended to read:

ARTICLE 5. TRANSECT ZONING REGULATIONS

SMARTCODE DISTRICT

Fitchburg, Wisconsin

TABLE 21. SPECIFIC USE

	T2	T3	T4	T5	SD1
a. RESIDENTIAL *					
Mixed Use Block				■	■
Flex Building			■	■	■
Multi-Family Building **			■	■	■
Live/Work Unit	■	■	■	■	■
Townhouse			■	■	□
Duplex	■	■	■	■	□
Courtyard House			■	■	□
Sideyard House	■	■	■	■	□
Cottage	■	■			
House	■	■	■		
Villa	■				
Accessory Unit	■	■	■	■	■
Residential Amenity		□	□	■	■
b. LODGING					
Hotel (no room limit)				■	■
Inn (up to 20 rooms)	□		■	■	■
Bed & Breakfast (up to 6 rooms)	□	■	■	■	■
School Dormitory	□		■	■	■
c. OFFICE ***					
Office Building			■	■	■
Live-Work Unit		■	■	■	■
d. RETAIL, Services					
Open-Market Building	■	■	■	■	□
Retail Building			■	■	□
Display Gallery			■	■	■
Bar, Restaurant	■	■	■	■	■
Kiosk			■	■	□
Push Cart				□	□
Liquor Store			□	■	■
Adult Entertainment					
Personal, Business Services			■	■	□
Construction/Contractor Services					□
Lumber & Building Materials Sales					□
e. CIVIC					
Bus Shelter		■	■	■	■
Convention Center				□	■
Conference Center				□	■
Convention, Conference, Exhibition Center				□	■
Fountain or Public Art	■	■	■	■	■
Library		□	■	■	□
Movie, Live Theater				■	□
Movie Theater				■	□
Museum				■	□
Outdoor Auditorium	□	■		■	
Parking Structure				■	■
Passenger Terminal					□
Playground	■	■	■	■	□
Sports Stadium					□
Surface Parking Lot				□	■
Religious Assembly	■	■	■	■	□
Amusement, Recreation				■	□
f. OTHER: AGRICULTURE					
Grain Storage	□	■			
Livestock Pen	□	■			
Greenhouse	□	■	■		
Stable	□	■	□		
kennel	□	■	□	□	□
f. OTHER: AUTOMOTIVE					
Gasoline		□		□	□
Automobile Service					□
Truck Maintenance					□
Drive-Through Facility				□	□
Rest Stop	■	■			
Roadside Stand	■	■			
Billboard					
Shopping Center					
Shopping Mall					
f. OTHER: CIVIL SUPPORT					
Fire Station			■	■	■
Police Station				■	■
Cemetery	■	□	□		□
Funeral Home				■	■
Hospital				□	■
Medical Clinic				□	■
f. OTHER: EDUCATION					
College				□	■
High School				□	□
Trade School				□	■
Elementary School			□	■	■
Other - Childcare Center	■	■	■	■	■
f. OTHER: INDUSTRIAL					
Heavy Industrial Facility					□
Light Industrial Facility				□	■
Truck Depot					□
Research/Laboratory Facility				□	■
Water Supply Facility					□
Sewer and Waste Facility					□
Electric Substation	□	□	□	□	□
Wireless Transmitter	□	□			□
Cremation Facility					
Warehouse					■
Produce Storage	□				
Mini-Storage					□

■ BY RIGHT

□ BY CONDITIONAL USE

See Table 18 for specific scale of general Use by Transect Zone.

* Family Day Care, as defined in Chapter 22 is permitted in T2, T3, T4 and T5.

** Group Homes are permitted according to Chapter 22.

*** Home offices are permitted in T2.

SECTION 6: ARTICLE 5, Table 23(g) Form-Based Graphics – T4 Frontage Buildout requirement, is amended to read:

g. SETBACKS - PRINCIPAL BUILDING (see Table 2g)

(g.1) Front Principal	6 ft. min. 18 ft. max.
(g.2) Front Secondary	6 ft. min. 18 ft. max.
(g.3) Side	3 ft. min., 0 ft.**
(g.4) Rear	3 ft. min.***
Frontage Buildout	60% min. +

h. SETBACKS - OUTBUILDING (see Table 2h)

(h.1) Front Setback	20 ft. min. + bldg. setback
(h.2) Side Setback	3 ft. min.
(h.3) Rear Setback	3 ft. min.*

*3 ft. max for alley-loaded corner condition

j. PRIVATE FRONTAGES (see Table 14)

Common Yard	not permitted
Porch & Fence	permitted
Light Court	permitted
Forecourt	permitted
Stoop	permitted
Shopfront	permitted
Gallery	permitted
Parking Lot	not permitted
Arcade	not permitted
Common Entry & Planter	not permitted

Refer to Summary Table 2

PARKING PROVISIONS

See Tables 18, 19 & 20

* Single family lots shall not exceed 60 ft. in width

** 3 ft. min. except in the case of a common or shared wall. In all other cases, 0' permitted by Administrative Waiver.

*** or 15 ft. from center line of Alley or Lane. 3 ft. max. for alley-loaded corner condition.

+ T4 Single-family Edgeyard, where the garage does not have access to a rear alley or rear lane, may have Frontage Buildout reduced to 50%, provided the garage width is 24' or less.

SECTION 7: This ordinance shall take effect the day after its publication.

SECTION 8: If any section, subsection, sentence, clause or phrase of this Ordinance is for any reason held to be invalid or unconstitutional by reason of a decision of any court of competent jurisdiction, such decision shall not affect the validity of any other section, subsection, sentence, clause or phrase thereof.

Adopted this _____ day of _____, 2015.

Steve Arnold, Mayor

Attested: _____

Patti Anderson, City Clerk

Published:



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

REZONING APPLICATION

(with concurrent CUP request)

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the B6 district to the BP district the following described property:

1. Location of Property/Street Address: 6200 Nesbitt Rd, Fitchburg, WI 53719

Legal Description - (Metes & Bounds, or Lot No. And Plat):

Description Attached

***Also submit in electronic format (MS WORD or plain text) by email to: planning@fitchburgwi.gov

2. Proposed Use of Property - Explanation of Request:

Existing, orange shoe Gym, Personal Training,
 Nutrition, General Doctor. Proposed: Day care, Insurance,

3. Proposed Development Schedule:

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@fitchburgwi.gov. Additional information may be requested.

Type of Residential Development (If Applicable): _____

Total Dwelling Units Proposed: _____ No. Of Parking Stalls: _____

Type of Non-residential Development (If Applicable): _____

Proposed Hours of Operation: _____ No. Of Employees: _____

Floor Area: _____ No. Of Parking Stalls: _____

Sewer: Municipal Private Water: Municipal Private

Current Owner of Property: Global Estates LLC

Address: 6200 Nesbitt Rd, Fitchburg, WI 53719 Phone No: 608-347-8993

Contact Person: Samina Khan

Email: SSKhan97@gmail.com

Address: _____ Phone No: _____

Respectfully Submitted By: Samina Khan Samina Khan
 Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: 4/10/2015 Publish: _____ and _____

Ordinance Section No. _____ Fee Paid: \$725.00

Permit Request No. RZ/CU - 2056-15

Receipt #19448

GENERAL NOTES:

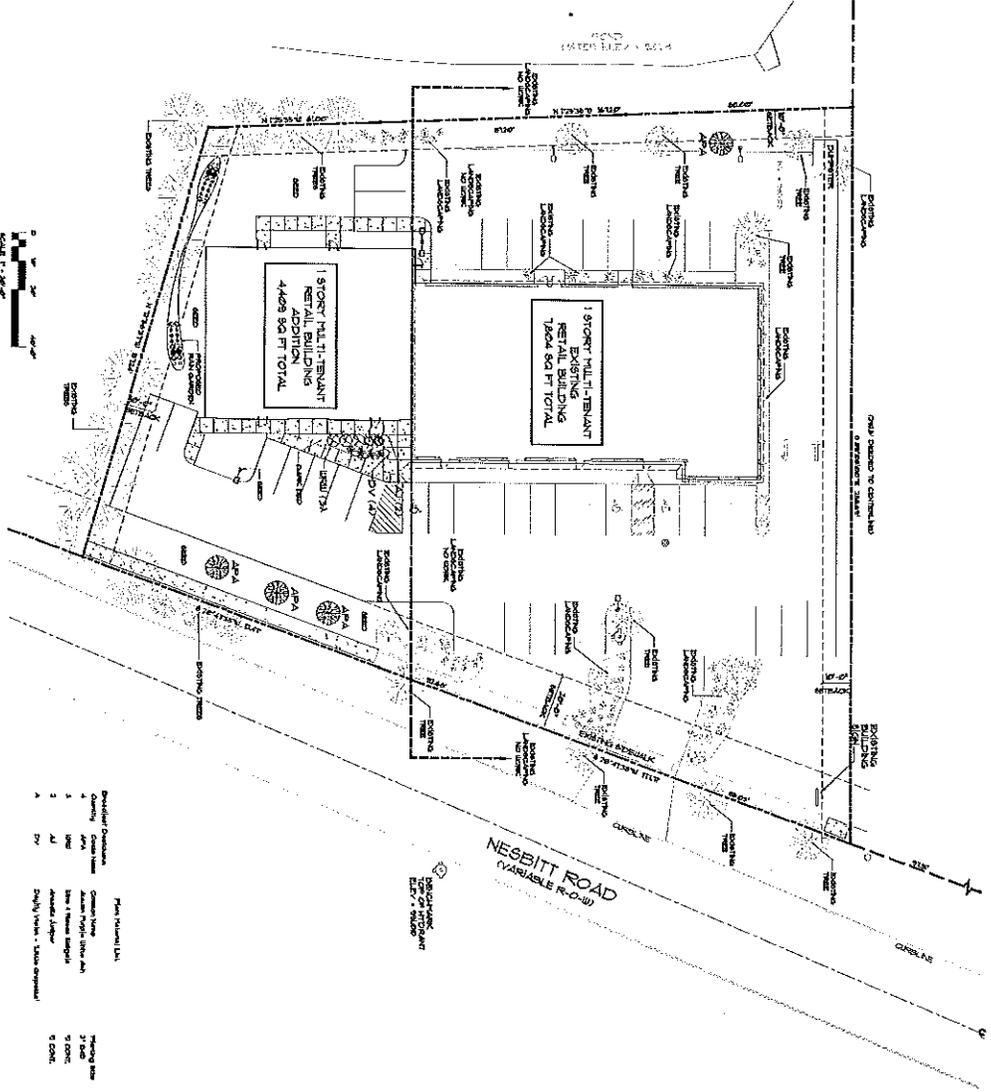
1. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF FITCHBURG PLANTING SPECIFICATIONS.
2. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF FITCHBURG PLANTING SPECIFICATIONS.
3. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF FITCHBURG PLANTING SPECIFICATIONS.
4. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF FITCHBURG PLANTING SPECIFICATIONS.
5. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF FITCHBURG PLANTING SPECIFICATIONS.

Planting	Quantity	Code Name	Common Name	Planting Size
1	1	1	1	1
2	1	2	2	2
3	1	3	3	3
4	1	4	4	4
5	1	5	5	5
6	1	6	6	6
7	1	7	7	7
8	1	8	8	8
9	1	9	9	9
10	1	10	10	10

1. RAIN GARDEN

SCALE: 1/8" = 1'-0"

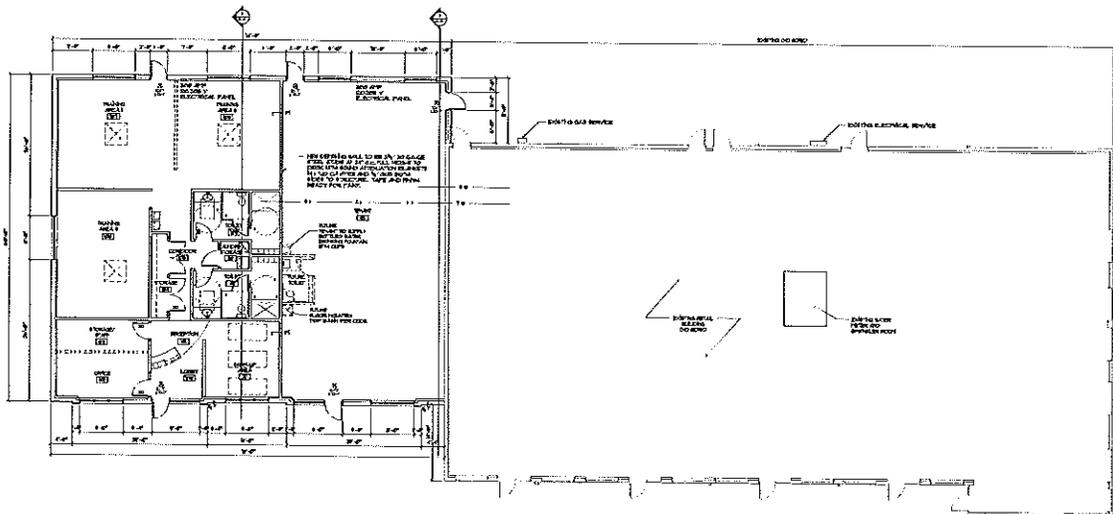
ALL PLANTING TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF FITCHBURG PLANTING SPECIFICATIONS.



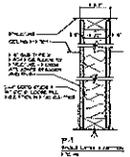
1. LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

C-15 5/12/09	PROPOSED ADDITION FOR NESBITT PLAZA 6200 NESBITT ROAD FITCHBURG, WISCONSIN	REV. 5/21/09 CB-1 5/15/09	634 West Main Street Madison, WI 537103 608-257-1030 FAX 608-257-1092	
	<p>634 West Main Street Madison, WI 537103 608-257-1030 FAX 608-257-1092</p>			



1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



- GENERAL NOTES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR STRUCTURAL STEEL AND CONCRETE.
 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.



434 West Main Street
Madison, WI 53703
608.261.1000
FAX: 608.261.1092

REV. 5/21/03
6/15/03

COMPILED BY: [Name]
CHECKED BY: [Name]
DATE: 5/21/03

PROPOSED ADDITION FOR
NEBETT PLAZA
4300 WISCONSIN ROAD
EFFECTUING, WISCONSIN

A-11
5/22/03

Dear City of Fitchburg and Fitchburg Plan Commission,

Thank you for your time in reviewing the enclosed Rezoning Application and the Conditional Use Permit Applications for the property located at 6200 Nesbitt Rd.

The property is an existing commercial property that is currently zoned B-G (General Business), and our hope is to have it rezoned for B-P (Professional Business) so that, along with the simultaneous submitted conditional use permit application, we can have a daycare center occupy the end cap unit of the building. The daycare, Fairyland Daycare, already has a lease in place, and some daycare furniture and fixtures have already been installed.

Also, due to the requested zoning change, in addition to the daycare center's conditional use permit application, we are also submitting a conditional use permit application for the existing Orange Show Personal Training gym that has been in operation at the property for the past few years. Because of the B-P zoning, the gym's use falls into the conditional use category, just like the daycare.

On a side note, there is an insurance agency that will be soon starting their tenancy in the building, but this use is already permitted in both B-P and B-G zones. The remainder of the building is current vacant.

More information on both the daycare and gym are enclosed in this application.

Regarding the layout of the overall property, it currently has about 44 parking stalls and one big ingress to the property from Nesbitt, and we have also attached a site plan for your reference as well. With the existing businesses in the property, we do not anticipate any parking or driveway/ingress issues should the daycare be allowed to open.

- The gym focuses on Personal Training, where they work with client one on one bases, whereby the amount of parking needed is fairly low. The hours of operation 6:00 a.m to 10:00 p.m. They maximum they work on 4 people at time.
- It should be noted that the gym and daycare are on the opposite ends of the property.
- For the insurance agency, we do not anticipate them needed too many parking stalls either; maybe 1 or 2 at one time at most. Hours of operation of the insurance agency are projected to be 8:30 – 4:30/5:00.
- For the daycare, which projects to have 34 children and 3 people on full time and some part time staff, the heaviest needs for parking is during drop-off and pick-up times. With hours that will be from 6:00am to 6:00pm, and with most of the parents only being at the center for a few minutes, we feel that our parking lot can handle the traffic (in addition to the existing stalls, we have a wide driveway along the side of the building that would also work for quick drop-offs and pick-ups).
 - It is worth noting that because of the daycare use; we will be utilizing four of the existing parking stalls behind the building for the use of a playground for the children – as noted in the attached site plan. Even with these stalls removed, there is sufficient parking for the employees of all of the building's businesses in the back.

Overall, we truly believe that if the rezoning and conditional uses are approved, 6200 Nesbitt Rd would have a daycare center that would be a great addition to the pool of existing businesses and services here in the City of Fitchburg.



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608) 270-4200

CONDITIONAL USE PERMIT APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

1. **Location of Property:**
Street Address: 6200 Nesbit Rd, Fitchburg, WI 53719
Legal Description - (Metes & Bounds, or Lot No. And Plat):
See Attachment

***Also submit in electronic format (MS WORD or plain text) by email to: PLANNING@FITCHBURGWI.GOV

2. **Current Use of Property:** Personal training Gym
 3. **Proposed Use of Property:** Personal Training Gym
 4. **Proposed Development Schedule:** _____
 5. **Zoning District:** BG to Proposed BP
 6. **Future Land Use Plan Classification:** Business

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable): _____

No. of Dwelling Units by Bedroom: 1 BR 2 BR 3 BR 4 or More

No. Of Parking Stalls: 44

Type of Non-residential Development (If Applicable): _____

Proposed Hours of Operation: 6:00am to 10:00pm **No. Of Employees:** 2 to 3 at time

Floor Area: 4,500 sq. ft. **No. Of Parking Stalls:** 44

Sewer: Municipal Private **Water:** Municipal Private

Current Owner of Property: Belabal Estate, LLC

Address: 6200 Nesbit Rd **Phone No:** 608-347-8993

Contact Person: Samina Khan

Email: SKhan97@gmail.com

Address: _____ **Phone No:** _____

Respectfully Submitted By: Sam Khan

Owner's or Authorized Agent's Signature

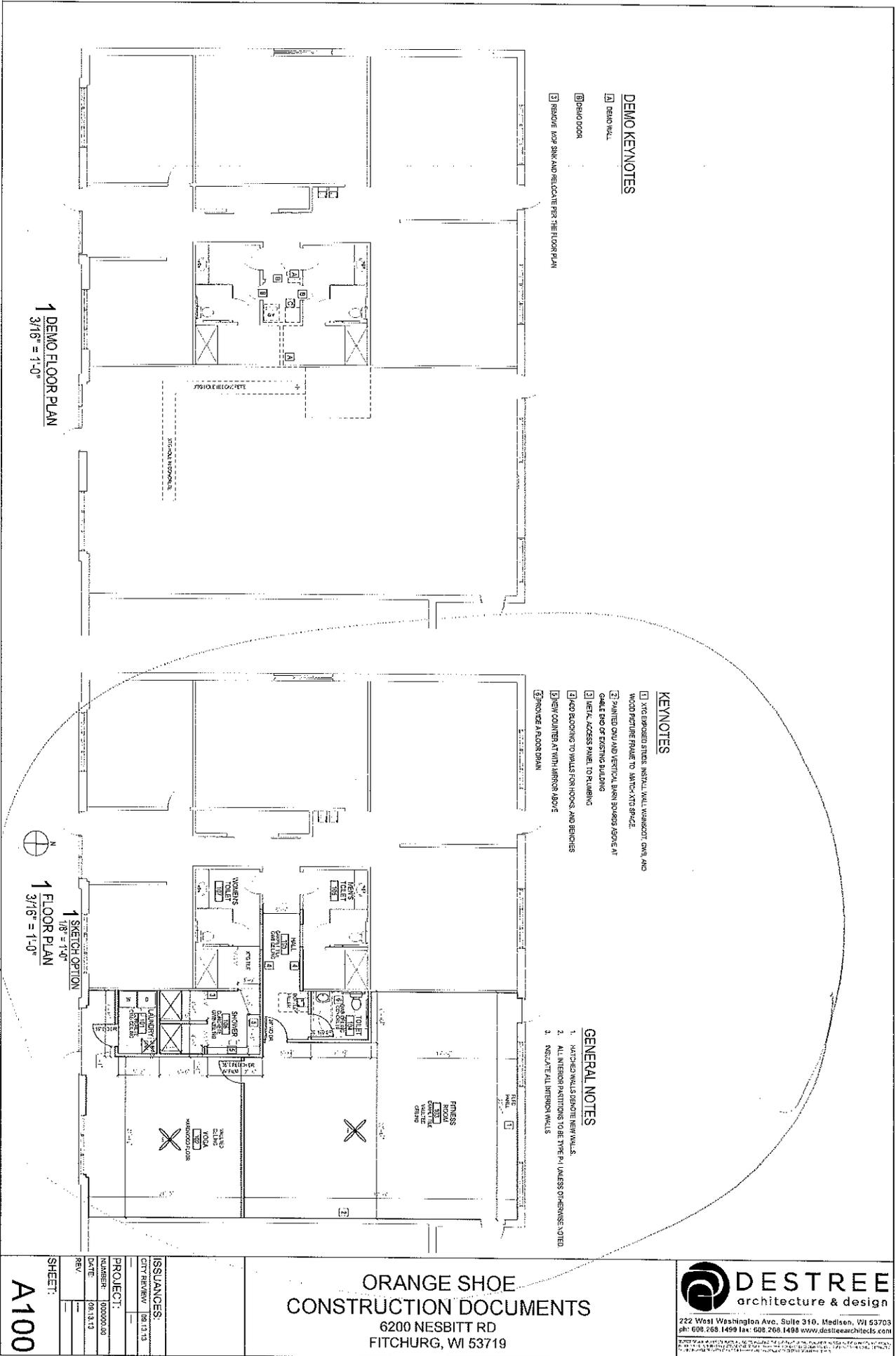
**** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.**

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** _____ **Publish:** _____

Ordinance Section No. _____ **Fee Paid:** _____

Permit Request No. _____



DEMO KEYNOTES

- 1 DEMO WALL
- 2 DEMO DOOR
- 3 REMOVE AND SKIM AND RELOCATE PER THE FLOOR PLAN

KEYNOTES

- 1 XTS EXPOSED STAIR, INSTALL WALL W/ WOODKIT, OVAL AND WOOD PICTURE FRAME TO MATCH XTS SPACE
- 2 PAINTED OVAL AND VERTICAL BURN SQUARES ABOVE AT GATE END OF EXISTING BUILDING
- 3 METAL ACCESS PANEL TO PLUMBING
- 4 ADD BLOCKING TO WALLS FOR HOOKS AND BENCHES
- 5 NEW COUNTER AT TUB/HURKERS ABOVE
- 6 REMOVE A FLOOR DRAIN

GENERAL NOTES

1. MATCHED WALLS BETWEEN WALLS
2. ALL INTERIOR PARTITIONS TO BE TYPE III UNLESS OTHERWISE NOTED
3. INSULATE ALL INTERIOR WALLS

1 DEMO FLOOR PLAN
3/16" = 1'-0"

1 SKETCH OPTION FLOOR PLAN
1/8" = 1'-0"

ISSUANCES:	
CITY REVIEW	06.13.13
PROJECT:	
NUMBER	000000100
DATE	08.13.13
REV	
SHEET:	
A100	

ORANGE SHOE
CONSTRUCTION DOCUMENTS
 6200 NESBITT RD
 FITCHURG, WI 53719



222 West Washington Ave., Suite 310, Madison, WI 53703
 ph: 608.268.1499 fax: 608.268.1498 www.destreearchitects.com

Dear City of Fitchburg and Fitchburg Plan Commission,

Below is some information on Fairyland Daycare, LLC – the applicant for the conditional use permit for 6200 Nesbitt Rd.

Fairyland Daycare will be a daycare facility owned and operated by Ruthie Whitaker. Ruthie currently runs an in-home daycare center at 6538 Fairhaven Rd (just outside the Fitchburg borders). At her current daycare, she can only serve eight children, and with more families in the Fitchburg, Verona, and the Madison West areas having young ones, Ruthie saw the need to open a bigger daycare facility to better serve the area – with a new lease and some furniture and fixtures installed on a 3,260 sq. ft. end cap unit at 6200 Nesbitt Rd., Ruthie hopes just to do that. Projecting to be able to serve 34 children at the Nesbitt location, Ruthie will keep her in-home daycare open and run both to the best of her abilities.

The daycare on Nesbitt will be open Monday through Friday from 6:00am to 6:00pm, and plans to later offer Saturday hours as well. As for the projected number of staff working at the daycare at any one given time, will vary Ruthie plans on having three full time and some part time employees watch over the 34 children. The children will be within the premise, or in the planned outdoor fenced play area behind the building during the listed business hours, or until they are picked up by their parents.

Even though there seems to be a lot of daycare customers, most of the traffic will be during the drop-off and pick-up times at the start and end of each day. Of course, not all of the parents will be arriving at the same time as everyone's schedule is different. Also, with the amount of parking the property offers, and with the parking needs of the other tenants of the building, we believe that there will enough stalls and space for everyone. The ingress from Nesbitt and the open area of the parking lot seem favorable as well. As for employee parking, there is sufficient parking behind the building.

- It is worth noting that because of the daycare use; we will be utilizing and turning four of the existing parking stalls behind the building for the use of a fenced playground for the children – as noted in the attached site plan. Even with these stalls removed, there is sufficient parking for the employees of all of the building's businesses in the back.
 - A side note on the playground, being behind the building the children will be away from the traffic noise from Verona Rd. and away from the front parking lot where cars are coming in. Also, the playground overlooks a retention pond.

We hope that we have provided you with enough information and background on the daycare. If you should need more information or have questions, please contact us. All parties would like the daycare to open soon as both feel that it would be a great addition to the pool of business Fitchburg offers. And lastly, Ruthie has the daycare experience and a heart of gold that will serve the surrounding area well for years to come.



City of Fitchburg
 Planning/Zoning Department
 5620 Lacy Road
 Fitchburg, WI 53711
 (608) 270-4200

CONDITIONAL USE PERMIT APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

1. Location of Property:

Street Address: Fairlyland Daycare, 6200 Nesbitt Rd unit A, Fitchburg, WI 53719

Legal Description - (Metes & Bounds, or Lot No. And Plat): _____

See Attachment

***Also submit in electronic format (MS WORD or plain text) by email to: PLANNING@FITCHBURGWI.GOV

2. Current Use of Property: Day care Medical

3. Proposed Use of Property: Day care

4. Proposed Development Schedule: _____

5. Zoning District: BG to Proposed BP

6. Future Land Use Plan Classification: Business

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional Information may be requested.

Type of Residential Development (if Applicable): none

No. of Dwelling Units by Bedroom: 1 BR 2 BR 3 BR 4 or More

No. of Parking Stalls: 44

Type of Non-residential Development (if Applicable): _____

Proposed Hours of Operation: 6:00 a.m to 6:30 p.m No. of Employees: 3 at time

Floor Area: 4 class room (3260 sqft) No. of Parking Stalls: 44

Sewer: Municipal Private Water: Municipal Private

Current Owner of Property: Global Estate LLC

Address: 6200 Nesbitt Rd Phone No: 608-347-8993

Contact Person: Samina Khan

Email: SKKhan97@gmail.com

Address: _____ Phone No: 608-347-8993

Respectfully Submitted By: Samina Khan

Owner's or Authorized Agent's Signature

** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: _____ Publish: _____

Ordinance Section No. _____ Fee Paid: _____

Permit Request No. _____

Susan Badtke

From: S Khan <sjkhan97@gmail.com>
Sent: Thursday, May 14, 2015 10:55 AM
To: Susan Badtke; Michael Zimmerman; Rick Eilertson; Steve Arnold; Kent Yan
Subject: Fwd: Parking lot at Nesbitt Plaza.

Susan:

This is what we got from Scott and Katie. Please let me know if that is sufficient ? Please advise. We really appreciate your help in this process.

thanks
Samina Khan

----- Forwarded message -----

From: Scott Michel <smichel@orangeshoe.com>
Date: Thu, May 14, 2015 at 7:43 AM
Subject: Re: Parking lot at Nesbitt Plaza.
To: farhat Khan <farhatkhanmd@yahoo.com>
Cc: "S. Khan" <sjkhan97@gmail.com>, Zafeer Din <zafeerdin292@hotmail.com>

Dr. Khan,

Thank you for providing a temporary solution to the parking situation. The additional spaces provided next to Jung's will help us alleviate some of our parking overflow challenges that we will face with the new tenants that are scheduled to occupy 6200 Nesbitt. We look forward to the new parking lot construction in the next two years, but until then, we will use the Jung parking lot to meet our parking lot needs. At this point, we feel this will help our parking lot situation.

Please reach out to me personally if you need any further details.

Regards,

Scott Michel Owner
Orange Shoe Personal Fitness - Fitchburg
6200 Nesbitt Road
Fitchburg, WI 53719
p. 608.270.9480
c. 608.577.6980
<http://www.OrangeShoe.com>



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Paul Reines

Address: 6200 Nesbitt Rd. Phone Number of Contact Person: 608-219-5528

City, State, Zip Code: Fitchburg, WI 53719 Email of Contact Person: top tier homes@yahoo.com

Project Address: _____ Lot: _____ Subdivision: _____

Project Type: _____ Multi-Family Commercial _____ Industrial _____ Other _____

_____ New _____ Addition

Impervious Surface Ratio (ISR): 72% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures.
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drives and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

ARCHITECTURAL AND DESIGN REVIEW APPLICATION

Page 2

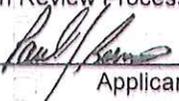
Landscaping:

- 1. Location, species, size of existing trees, shrubs, and plantings.
- 2. Location, species, size of proposed plantings.
- 3. Location and size of all paved, seeded/sodded and gravelled areas.
- 4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed:  Date: 04/21/15
Applicant or Authorized Agent

*** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.

FOR CITY USE ONLY

Date Received: 4/21/2015 Plan Commission Date: _____

Comments:

6200 Nesbitt Rd Fitchburg, WI 53719

Site Area – 52,154 sq ft

Building Area – 12,213 sq ft

Parking and Walks – 25,366 sq ft

Impervious Surface – 37,579 sq ft

Impervious Surface Ratio – 72%

Apr 29 2015 5:11PM

05.14.55 P. 2

Parking Rental Agreement

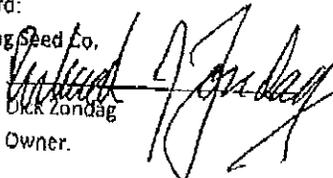
On this date, April 23rd 2015, this parking agreement is made between J W Jung Seed Co. (Landlord), owner of 6195 Nesbitt Rd., Fitchburg, WI, and Global Estates LLC (Tenant), owner of Nesbitt Plaza at 6200 Nesbitt Rd., Fitchburg, WI, for the purpose of a parking rental agreement between both parties for the following area:

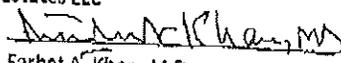
- Approximately 9 – 10 parking stalls located at the most southern part of the Landlord's property that border the frontage of Nesbitt Rd., of which is also directly north of the Tenant's property

The following are terms for the parking rental agreement:

- Term of Lease: Two years starting 06/01/2015 and ending 05/30/2017 unless Renewed.
- Rental Rate: ~~XXXXXXXXXX~~
- Leased Space: Approximately 9 – 10 parking stalls (please see attached map)
- Other Misc. Terms:
 - Parking will be used for overflow parking and in hours of early morning and late evening for 6200 Nesbitt Rd.
 - Landlord shall be responsible for snow removal of parking area
 - Tenant will carry appropriate liability insurance for the parking area
 - With written approval of Landlord, Tenant may construct a temporary walkway/steps between both properties and maintain said walkway/steps at Tenant's own expense.
- Parties agree that no easement shall be created with this document

IN WITNESS WHEREOF, Tenant and Landlord have executed this parking rental agreement as of the date set forth above.

Landlord:
 J W Jung Seed Co.
 By: 
 Name: Dick Zondag
 Title: Owner.

Tenant:
 Global Estates LLC
 By: 
 Name: Farhat A. Khan, M.D.
 Title: Managing Member.

Site Plan



DECLARATION OF CONDITIONS, COVENANTS AND RESTRICTIONS FOR MAINTENANCE OF STORMWATER MANAGEMENT MEASURES

RECITALS:

- A. _____ (“Owner”) is the owner of _____ more particularly described on Exhibit A attached hereto (the “Property”).
- B. Owner desires to construct stormwater management measures on the Property in accordance with certain plans and specifications approved by the City of Fitchburg (the “City”).
- C. The City requires Owner to record this Declaration of Conditions, Covenants and Restrictions for Maintenance of Stormwater Management Measures (this “Declaration”) regarding maintenance of certain stormwater management measures (“Stormwater Management Measures”) to be located on the Property all as more particularly described on Exhibit A. Owner agrees to maintain the Stormwater Management Measures and to grant to the City the rights set forth below.

NOW, THEREFORE, in consideration of the declarations herein and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the owner agrees as follows:

- 1. Maintenance. Owner and its successors and assigns shall be responsible to repair and maintain the Stormwater Management Measures located on the Property in good condition and in working order and such that the measures comply with approved plans on file with the City. Said maintenance shall be solely at the Owner’s cost and expense. Owner will conduct such maintenance or repair work in accordance with all applicable laws, codes, regulations, and similar requirements. *Any specific maintenance tasks and their schedules shall be conducted in accordance with Exhibit A.*
- 2. Easement to City. If Owner fails to maintain the Stormwater Management Measures as required in Section 1, then the City shall have the right, after providing Owner with written notice of the maintenance issue (each, a “Maintenance Notice”) and thirty (30) days to comply with the City’s Maintenance Notice, to enter the Property in order to conduct the maintenance specified in the Maintenance Notice. The City will conduct such maintenance work in accordance with all applicable laws, codes, regulations, and similar requirements and will not unreasonably interfere with Owner’s use of Property. All costs and expenses incurred by the City in conducting such maintenance may be charged to Owner by placing the amount on the tax roll for the Property as a special assessment in accordance with Section 66.0703, Wis. Stats.
- 3. Term/Termination. The term of this Declaration shall commence on the date that this Declaration is filed of record with the Register of Deeds Office for Dane County, Wisconsin, and except as otherwise herein specifically provided, shall continue in perpetuity. Notwithstanding the foregoing, this Declaration may be terminated by recording with the Register of Deeds Office for Dane County, Wisconsin, a written instrument of termination signed by the City and all of the then-owners of the Property.
- 4. Miscellaneous.
 - (a) Notices. Any notice, request or demand required or permitted under this Declaration shall be in writing and shall be deemed given when personally served or three (3) days after the same has been deposited with the United States Post Office, registered or certified mail, return receipt requested, postage prepaid and addressed as follows:

If to Owner:

If to the City: City Engineering Division
5520 Lacy Road
Fitchburg, WI 53711
Attn: City Engineer

This space reserved for recording data

Return to:
City of Fitchburg
5520 Lacy Road
Fitchburg, WI 53711

PIN#: 060907284152

EXHIBIT A
Stormwater Management Maintenance Measures

Legal Description of Property: Lot 1 of CSM 13418

PIN: 060907284152

Stormwater Management Measures Included in this Agreement (as shown on BMP Location Map, hereby made a part of Exhibit A):

- All site storm sewer pipes and structures
- Infiltration areas 1, 2, 4 and 5
- Stormwater Conveyance Channels
- 5 oil and grease inlet filters
- Bioretention Areas 3 and 6
- 1 Wet Detention Pond

Specific Maintenance Requirements:

Short Term Maintenance (during construction and/or restoration):

- The building construction contractor at the owner's expense or as agreed to by the owner and contractor shall perform inspection of all facilities during construction and until site stabilization.
- Inspections during construction shall be weekly and/or after a rainfall event of 0.5" or more.
- Repairs necessary to restore the facility to design performance will be made within 48 hours of the inspection, or as soon as commercially practicable.
- Deficiencies include, but are not limited to, rill erosion, sediment deposition in the infiltration pond or behind perimeter control, and deposition of sediment on the tracking pad.
- Tracking on the public right-of-way shall be inspected regularly during days that construction traffic is leaving the construction site. Any excessive sediment tracked onto the public right-of-way shall be scraped immediately. Thorough sweeping, with appropriate equipment that physically picks up and removes the sediment (vs. pushing it to other locations within the public right-of-way) shall be conducted at the end of each working day during construction activities.

Long Term Maintenance:

- Inspector qualifications for Long Term Maintenance: Inspectors under this item shall maintain a current Registered Professional Engineer License in the State of Wisconsin or possess an alternate certification approved by the **City of Fitchburg's** Public Works Department.
- All stormwater provisions constructed as part of this project are permanent in location and function over time. The constructed stormwater provisions such as infiltration areas, inlet filters, bioretention beds, detention basin and storm structures shall not be removed or significantly altered without written permission from the **City of Fitchburg's** Public Works Department. Owner shall maintain records of inspections and maintenance as described below in accordance with Chapter 30 – Article II of the **City of Fitchburg**

EXHIBIT A
Stormwater Management Maintenance Measures

Municipal Code of Ordinances. Inspections and maintenance reports shall be submitted to the **City of Fitchburg's** Public Works Department on an annual basis.

- To maximize filtration, mowing in buffer areas around stormwater ponds should be minimized. If occasional mowing is necessary, the mowing height is recommended to be no shorter than 6 inches. Applications of fertilizer, herbicide, pesticide or other chemicals are discouraged unless an approved chemical application plan is on file with the **City of Fitchburg's** Public Works Department.
- Facilities showing signs of soil erosion should be repaired with emphasis put on grassed waterways being maintained for proper stormwater conveyance.
- Facilities or parts of facilities with no vegetation shall be restored to good vegetated catch.
- Inspections of the infiltration and bioretention areas shall be done at least semi-annually in early spring and early fall. Inspections shall include spreader and overflow spillway for indication of failure. Note the condition of vegetation as part of inspection. If standing water is observed over 50% of the pond floor 3 days after rainfall, the pond is clogged and measures should be undertaken to unclog it. Acceptable measures include removing the top 2 to 3 inches, chisel plowing and adding topsoil and engineered compost material. If deep tilling is used, the pond shall be drained and the soils dried to a depth of 8 inches. After procedures, the owner /operator shall replant with State-approved native plugs.
- Oil & grease management devices shall be inspected quarterly. Repair work needs to be done whenever the performance of a stormwater structure is compromised. Oil & Grease inlet filters shall be replaced a minimum of once per year or more frequently if the filter is damaged.

Print Form



City of Fitchburg
Planning/zoning Department
5520 Lacy Road
Fitchburg, WI 53711 (608-270-4200)

REZONING APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the GIP district to the SIP district the following described property:

1. **Location of Property / Street Address:** Northeast Corner of Fitchrona Rd. & Lacy Rd.

Legal Description - (Metes & Bounds, or Lot No. And Plat):

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 152-154 as Document Number 3959694, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin. See attached PDD-SIP submittal.

***Also submit in electronic format (MS WORD or plain text) by email to: planning@city.fitchburg.wi.us

2. **Proposed Use of Property - Explanation of Request:**

Apartment Homes (Multi-Family Residential)

3. **Proposed Development Schedule:** See attached PDD-SIP Submittal

4. **Future Land Use Plan Classification:** High Density Residential (HDR)

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@city.fitchburg.wi.us. Additional information may be requested.

Type of Residential Development (If Applicable): Apartment Homes (Multi-Family Residential)

Total Dwelling Units Proposed: 152 **No. Of Parking Stalls:** 238 total

Type of Non-residential Development (If Applicable): n/a

Proposed Hours of Operation: _____ **No. Of Employees:** _____

Floor Area: _____ **No. Of Parking Stalls:** _____

Sewer: Municipal Private **Water:** Municipal Private

Current Owner of Property: _____

Address: _____ **Phone No:** _____

Contact Person: Craig Raddatz, Fiduciary Real Estate Development, Inc.

Email: craddatz@fred-inc.com

Address: 789 N. Water St. - Suite 200, Milwaukee, WI 53202 **Phone No:** 414-226-4535

Respectfully Submitted By: Craig Raddatz
Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 4/21/2015 **Publish:** _____ and _____

Ordinance Section No. _____ **Fee Paid:** \$825.00

Permit Request No. RZ-2057-15



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Craig Raddatz, Fiduciary Real Estate Development, Inc.

Address: 789 N. Water St. - Suite 200

Phone Number of Contact Person: 414-226-4535

City, State, Zip Code: Milwaukee, WI 53202

Email of Contact Person: craddatz@fred-inc.com

Project Address: NE corner of Fitchrona Rd & Lacy Rd. **Lot:** Outlot 9 **Subdivision:** Quarry Vista

Project Type: **Multi-Family** **Commercial** **Industrial** **Other**
 New **Addition**

Impervious Surface Ratio (ISR): 57.1% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

- Site Data:**
- 1. Lot or property dimensions.
 - 2. Orientation (to north).
 - 3. Adjacent highways, roads, drive, etc.
 - 4. Existing natural features (rivers, ponds, wetlands).
 - 5. Existing buildings and/or improvements.
 - 6. Existing and proposed site drainage.
 - 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 ft. of site.
 - 8. ISR shall be indicated on all plans.
 - 9. Stormwater management plans and details.
 - 10. Lighting plan in footcandles and light fixture cut sheets.
- Building:**
- 1. Building size, configuration and orientation.
 - 2. Distance from lot lines.
 - 3. Distance from other buildings, improvements and natural features.
 - 4. Location of well, septic tank, drainfield, etc. (if applicable)
 - 5. Additional proposed additions or new structures.
 - 6. Construction type (wood frame, structural steel, etc.).
 - 7. Foundation type (full basement, slab on grade, etc.).
 - 8. Number of levels.
 - 9. Siding/exterior covering type, color, texture, etc.
 - 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
 - 11. Roofing material type, color, texture, etc.
 - 12. Exterior door and window location, size, type, etc.
 - 13. Fire protection sprinklers or fire alarm systems.

- Ingress, Egress, Parking:**
- 1. Location of highway and road access points.
 - 2. Location, size, configuration of drivers and walks.
 - 3. Number, size, location of parking spaces.
 - 4. Location of handicapped parking and accessible building entrances.
 - 5. Bicycle rack(s).

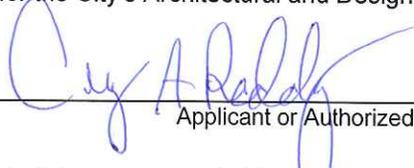
ARCHITECTURAL AND DESIGN REVIEW APPLICATION
Page 2

- Landscaping:
- 1. Location, species, size of existing trees, shrubs, and plantings.
 - 2. Location, species, size of proposed plantings.
 - 3. Location and size of all paved, seeded/sodded and gravelled areas.
 - 4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed:  Applicant or Authorized Agent Date: 4/20/15

*** Application shall be accompanied by one (1) set of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@city.fitchburg.wi.us. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. This time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.

FOR CITY USE ONLY

Date Received: 4/21/2015 Plan Commission Date: _____

Comments: _____

Signed: _____ Date: _____

Susan Badtke

From: Keith Hammersley <keith@hammersleystone.com>
Sent: Monday, April 20, 2015 11:45 AM
To: Susan Badtke
Subject: Authorization for Fiduciary to submit Rezoning request

Hamm Fam land LLC authorizes Fiduciary to submit rezoning request for pdd sip zoning on proposed lot 15 Quarry Vista plat

Thank you,

Keith Hammersley
Hamm Fam Land Ilc

Keith Hammersley
President

Hammersley Stone Co., Inc.
6291 Lacy Road
Fitchburg, WI 53593

608.845.7804



ELAN APARTMENT
FITCHBURG, WISCONSIN



SPECIFIC IMPLEMENTATION PLAN - AMENDED

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PROJECT TEAM:



FIDUCIARY REAL ESTATE DEVELOPMENT, INC
 789 North Water Street - Suite 200
 Milwaukee, Wisconsin 53202
 Contact: Craig Raddatz
 414.226.4535



D'ONOFRIO, KOTTKE, & ASSOCIATES, INC.
 7530 Westward Way
 Madison, Wisconsin 53717
 Contact: Bruce J. Hollar
 608.833.7530

PREVIOUS GENERAL IMPLEMENTATION PLANS

THIS DOCUMENT SHALL SERVE AS THE SPECIFIC IMPLEMENTATION PLAN TO THE PREVIOUS GENERAL DEVELOPMENT PLANS:

- THE QUARRY VISTA APARTMENT HOMES GENERAL IMPLEMENTATION PLAN DATED OCTOBER 21, 2014, AMENDED NOVEMBER 5, 2014, AND APPROVED BY THE FITCHBURG COMMON COUNCIL ON NOVEMBER 25, 2014.

IN ADDITION, THIS DOCUMENT SHALL SERVE AS AN AMENDMENT TO THE SPECIFIC IMPLEMENTATION PLAN DATED APRIL 21, 2015.

THE SUBSTANTIVE & REGULATING TEXT OF THIS SPECIFIC IMPLEMENTATION DOCUMENT IS EXACTLY AS IT APPEARS IN THE GENERAL IMPLEMENTATION PLAN AMENDMENT DATED NOVEMBER 5, 2014. THE DIFFERENCES BETWEEN THIS DOCUMENT AND THE SPECIFIC IMPLEMENTATION PLAN DATED APRIL 21, 2015 ARE HIGHLIGHTED IN YELLOW.

ADDITIONAL INFORMATION SUCH AS MORE DETAILED CIVIL ENGINEERING PLANS, ARCHITECTURAL PLANS, AND LANDSCAPE PLANS ARE CONTAINED IN APPENDIX 'C' OF THIS DOCUMENT.



JLA ARCHITECTS + PLANNERS
 2418 Crossroads Drive - Suite 2300
 Madison, Wisconsin 53718
 Contact: Joseph Lee
 608.241.9500

PROJECT LOCATION & GENERAL DESCRIPTION

The Elan Residential Development will be a quality high-density residential community to serve the increased demand for housing in the Fitchburg area over the next five years and beyond. It will be located on a 4.84 acre site at the north east corner of the current intersection of Fitchrona Road and Lacy Road.

- Outlot 9 / Proposed Lot 15 - The 4.84 acre parcel for residential uses of this project.

Surrounding Context

The project site is surrounded by existing residential uses to the immediate north, south, and west with recreational uses further northeast (Quarry Ridge Recreation Area), light industrial uses further north (north of Verona Rd.), and future single family residential use to the immediate east.

Existing Topography & Wetlands

The project site has moderate topographical relief - with about 20 feet of grade drop from the southeast portion of the site to the north and west portion of the site. The northwest portion of the site is the low point of the site.

Existing Vegetation

The project site is adjacent to an existing quarry. The northern and eastern portion of the site currently contains the majority of the site's vegetation - with various trees and underbrush. There are no known landmark or heritage trees on the property. The Quarry Vista developer is delivering a cleared and graded site.

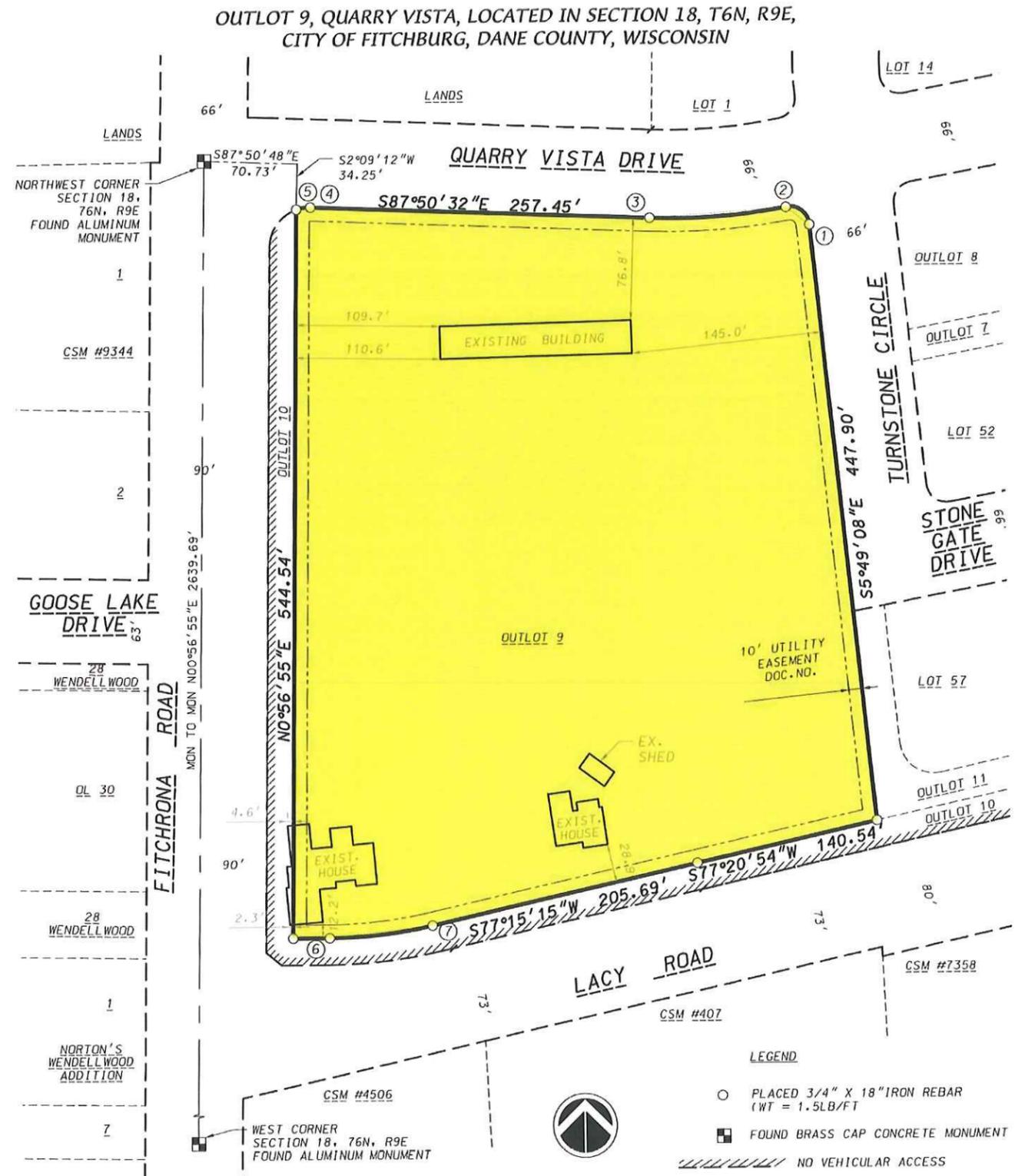


Legal Description – Outlot 9 / Proposed Lot 15 of Quarry Vista Preliminary Plat (Entire Property)

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 152-154 as Document Number 3959694, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin to-wit:

Commencing at the Northwest corner of said Section 18; thence S89°50'48"E, 70.73 feet along the North line of said NW1/4; thence S02°09'12"W, 34.25 feet to a point of curve also being the point of beginning; thence Easterly along a curve to the right which has a radius of 30.00 feet and a chord which bears N81°49'03"E, 10.77 feet; thence S87°50'32"E, 257.45 feet to a point of curve; thence Easterly along a curve to the left which has a radius of 478.00 feet and a chord which bears N85°53'55.5"E, 104.23 feet to a point of curve; thence Southeasterly along a curve to the right which has a radius of 15.00 feet and a chord which bears S53°05'23"E, 22.04 feet; thence S05°49'08"E, 447.90 feet; thence S77°20'54"W, 140.54 feet; thence S77°15'15"W, 205.69 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 356.24 feet and a chord which bears S83°37'38"W, 79.08 feet; thence N90°00'00"W, 27.59 feet; thence N00°56'55"E, 544.54 feet to the point of beginning.

Containing 210,871 square feet (4.841 acres).



RATIONALE FOR A PLANNED DEVELOPMENT DISTRICT

As confirmed by the City Plan Commission at their September 16, 2014 meeting, in which they expressed a "preference for the applicant to use PDD zoning for this project", this project will utilize the City's PD Planned Development District instead of the City's R-H High Density District.

Specifically, in order to accomplish the goals of providing a quality high-density infill development with first class amenities, we reference the City's Ordinance with the following reasons:

- Section 22-144 – Permitted Uses (3): Only permits up to 8 units per building. While we realize dwelling structures having greater than eight dwelling units are allowed as a Conditional Use (per 22-145 (6)), we desire the long-term stability afforded under a permanent zoning classification.
- Section 22-146 – Dimensional Standards (1): Does not allow more than two multiple family dwelling unit structures per lot. We are proposing three multiple family dwelling unit structures on one lot. To make this an integrated, vibrant community, we must have the design flexibility afforded in the PD zoning for the drives, parking lots, and walking connections between buildings.
- Section 22-146 – Dimensional Standards (2) b: Requires a minimum of 2,000 square feet of lot area per each Efficiency unit, 2,200 square feet of lot area per each 1 bedroom unit, and 2,400 square feet per each 2 bedroom unit, with the provision that each structured parking space reduces the minimum lot area by 500 square feet. We are proposing 10 Efficiencies, 88 One Bedrooms,

and 54 Two Bedrooms and 149 structured parking spaces. This provision would require our proposed lot to be 6.25 acres, based on our proposed 152 units. The City has already approved the lot (via approval of the final plat of Quarry Vista) at 4.84 acres and the maximum units of 156.

- Section 22-146 – Dimensional Standards (2) c: Restricts lot size to a maximum of 90,000 square feet. We are purchasing one developable lot for this project, already approved by the City, with an area of 210,871 square feet or 4.84 acres.
- Section 22-146 – Dimensional Standards (4): Sets the minimum front setback at 30 feet. In keeping with the City's desire to provide a more urban feel to multi-family residential developments, we propose a minimum 10 foot setback.
- Section 22-146 – Dimensional Standards (6): Sets the minimum street side setback at 25 feet. In keeping with the City's desire to provide a more urban feel to multi-family residential developments, we propose a minimum 10 foot setback.
- Section 22-146 – Dimensional Standards (8): Restricts the maximum building height to 45 feet. We are planning 3-stories of residential over an underground parking structure for each building. Although we have not yet developed the architectural building elevation, given the site topography and the need to work with the land, the maximum building height will likely be exceeded.

ECONOMIC & SOCIAL IMPACTS

We believe that this project will have positive economic & social impacts on the area.

Property Values and Tax Revenue

At total completion, it is estimated that this project would have a total value of approximately \$20,520,000. At this value, using the City's 2013 property tax rate the following tax receipts to the community could be realized annually:

State of Wisconsin:	\$3,500
Dane County:	\$64,000
City of Fitchburg:	\$161,000
Verona School District:	\$217,000
<u>Madison Area Tech. College:</u>	<u>\$38,000</u>
Total Projected Annual Property Tax:	\$483,500

In addition to the value of this specific project, the surrounding properties could realize an increase in values because of this project - thus creating additional tax revenues.

Impact Fees

This project should generate the following estimated Impact Fees to the City (2015 fees listed):

Park Improvement Fee	152 units x \$145 =	\$22,040
Fire Protection Fee	98 ST/1BR x \$349 =	\$34,202
	54 2BR x \$473 =	\$25,542
<u>Water Impact Fee:</u>	<u>152 units x \$691 =</u>	<u>\$105,032</u>
Total Projected Impact Fees:		\$186,816

Social Impacts

Although social impacts cannot be predicted or quantified, we believe that this project will also have a positive social impact on the area.

- The addition of this quality residential community should improve the perceived image of the immediate area.
- The addition of this quality residential community will help to keep existing residents in Fitchburg and bring new residents into Fitchburg.
- The addition of this quality residential community could serve as a catalyst for other uses - such as retail & commercial - to locate in the immediate area.
- The addition of this quality residential community could serve as an example for future development - creating higher standards in design & quality.

CONSISTENCY WITH COMPREHENSIVE PLAN

This project complies with the City of Fitchburg's Comprehensive Plan.

Specifically, the following is an analysis of how this project meets or advances the goals, objectives, and policies outlined in the Comprehensive Plan.

Land Use Goal 1:

This project preserves and enhances the natural features of the City as follows:

Objective 1: This project is consistent with the long term urban growth map and related phasing plan.

Policies: (2) This project will be served by gravity flow sanitary sewer
 (3) This project is being developed in the urban growth boundary and is not replacing high quality agricultural lands.
 (5) This project (growth) is consistent with the neighborhood plan

Objective 2: This project is protecting environmental resources by using high density, sustainable development and revitalization of underutilized land.

Policies: (2) This project is not within or near identified wetlands
 (7) This project is not within or near identified floodplains

Land Use Goal 2:

This project is a compact urban community that is visually and functionally distinct from the rural and agricultural community.

Objective 1: This is a project that is a significant reinvestment in the community as a redevelopment of underutilized land.

Policies: (1) This is a redevelopment of a former gravel pit.

Objective 3: This is a compact development that, when incorporated into the entire Quarry Vista development, will have a logical and sustainable mix of uses and building types.

Policies: (1) This project provides needed residential rental units.
 (2) This project fits in well with the existing and planned infrastructure and land uses.

Objective 5: Utilities and infrastructure are being extended to this project in an efficient manner.

Policies: (1) This project is within the urban growth area.
 (3) This high-density project makes use of the location near Fitchrona Road (3,500 cars per day) and Lacy Road (3,500 cars per day).

Objective 7: This project is within the urban service area.

Policies: (3) This project is within the urban service area.

Objective 8: This project is consistent with the recently amended map – High Density Residential.

Policies: (1) PDD zoning is consistent with the High Density Residential land use designation.

Natural Resources Goal 1:

This project will protect the natural environment.

Objective 3: This project will protect natural resources

Policies: (1) This project will meet all current City stormwater control requirements.

- (2) This project will meet all current City erosion control requirements.
- (3) This project will meet all current Floodplain and Wetland ordinances. There are no floodplains or wetlands within the project boundary.
- (5) This project is not developed on private septic.
- (7) This project features stormwater infiltration.

Housing Goal 1:

This project will provide a much in-demand housing choice: Market-rate rental units.

Objective 1: After engaging nationally recognized residential experts Tracy Cross and Associates of Schaumburg, IL to perform a market study of alternative uses, they proposed a first class apartment home community. The three stories over underground parking, with 44 to 56 unit buildings, feature average residences of 929 square feet and average rent of \$1,150 per month. This market study and our business experiences of 25 years owning in excess of 4,000 apartment residences have determined this will be highly demanded, bring quality residents and a benefit to the City of Fitchburg.

Policies: (1) This project is an efficient use of land in the urban service area and provides for multi-modal friendly densities.
 (2) This project adds variety to the Quarry Vista neighborhood
 (4) This project will meet the demand of new employees within the Fitchburg/Verona area which is experiencing a significant influx of \$45,000 to \$80,000 per year jobs.

Housing Goal 2:

This project makes efficient use of land for housing.

Objective 1: This project is a compact neighborhood.

Policies: (1) This project is efficient to serve and this preserves rural land resources.
 (2) In order to provide a variety of housing units, we will be offering studio, one-bedroom, and two-bedroom units.
 (4) This infill project makes wise use of land in the current urban service area, where service provisions already occur.
 (5) We are proposing higher but livable residential density, which promotes wise use of the land resource and reduces land located elsewhere required to meet housing demand. This helps to preserve agricultural and other open space land outside the urban service area.
 (6) By utilizing the PDD design review process, the City will be allowed to ensure sound sustainable housing design.

Objective 2: This residential development is occurring in an area with existing infrastructure and sewer.

Policies: (1) This residential housing project is located in an area served by full urban services, including sanitary sewers and public water within convenient access to community facilities, employment centers, and to arterial highways.
 (2) This project is not an unsewered subdivision.

Utilities Goal 2:

Existing urban services will be extended within the urban development boundary area as part of this project.

Objective 1: This project will improve the condition of the existing sanitary sewer and water infrastructure.

Policies: (2) As part of the Quarry Vista development, both Lacy Road and Fitchrona Roads will have segments improved, including the addition of paved bike paths.

(4) Our entire project will be served with gravity flow sanitary sewer.

Objective 2: This project is being developed within the existing urban service area and adjacent to existing public infrastructure.

Policies: (1) Utilities will not be extended across substantial vacant land.
(2) Water and sewer will be extended concurrently with new streets.
(3) Utilities will not be placed in wetlands or other environmentally sensitive areas.

Transportation Goal 1:

This project is part of a coordinated land use and transportation system.

Objective 1: This project is a compact, urban development.

Policies: (1) This project features buildings closer to the sidewalks, street trees, street lighting, lower parking ratios, structured parking, and parking behind buildings.

Objective 3: In conjunction with this project, the City has been coordinating with the Town of Verona on the roadway connections to Fitchrona Road.

Policies: (2) The Quarry Vista project is dedicating appropriate road right-of-way for both Fitchrona and Lacy Roads.

Transportation Goal 2:

In conjunction with this project, a safe and efficient transportation system will be provided for the Quarry Vista neighborhood.

Objective 1: In conjunction with this project, the overall safety of the transportation system in the North Fish Hatchery Road corridor will be improved.

Objective 2: In conjunction with this project, proper traffic management and travel time reliability will be improved in the Quarry Vista neighborhood.

Policies: (2) The pattern of streets and sidewalks in the project area will maximize the connectivity of land uses within the neighborhood and to areas outside the neighborhood.
(6) This project will not have direct access to either Fitchrona or Lacy Roads.
(7) This project will not have direct access to either Fitchrona or Lacy Roads.

LAND USE

When complete, this project will contain multi-family residential uses.

Outlot 9 / Proposed Lot 15 Land Use

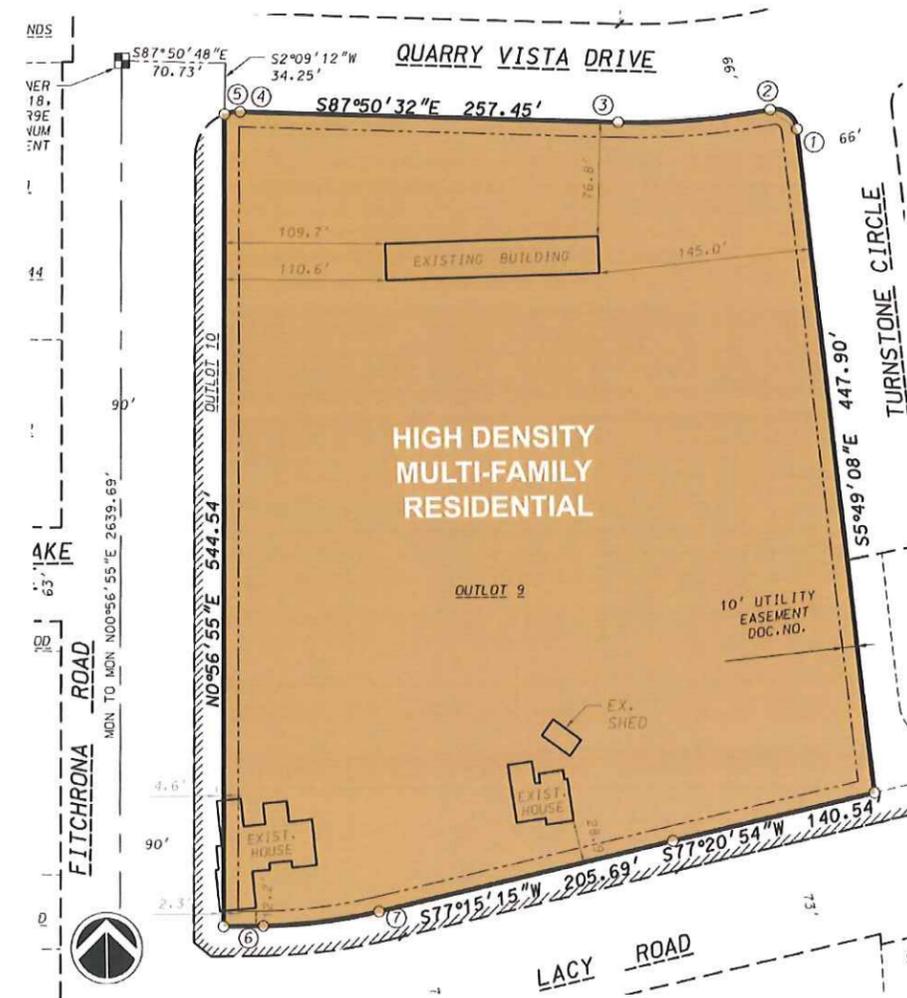
This 4.84 acre parcel will be consistent with the City's Comprehensive Plan with a High Density Multi-Family Residential Use. It will have 152 residential apartment units along with their associated common amenity spaces. At the time of this Specific Implementation Plan, the mix of residential units is as follows:

- Studio Units: 6%
- 1 or 1 Bedroom+Den Units: 58%
- 2 or 2 Bedroom+Den Units: 36%

Within each unit type there will be a variety of unit sizes - with an average unit size of approximately 929 square feet. This mix of unit types & sizes will serve a variety of potential residents.

In addition to the residential units themselves, Outlot 9 / Proposed Lot 15 will contain various common space amenities integrated within the buildings or around the site. At the time of this Specific Implementation Plan, the anticipated common amenities are:

- Pool with sundeck
- Business Center
- Fitness Center
- Clubroom with Kitchenette
- Walking Paths with Dog Stations
- Other Green and/or Open Space for passive and active activities



SITE DESIGN & ZONING STANDARDS

The Masterplan of Outlot 9 / Proposed Lot 15 has been thoughtfully designed to address numerous site challenges including the existing topography, storm water management, and project identity. See Appendix 'C' for the Specific Implementation Plan.

Masterplan Design Highlights:

- To work with the existing topography of the site, building pads are kept higher along the east property line, and lower along the west property line (Fitchrona Road) - stepping down to the west.
- Storm Water Management Facilities are located to allow storm water to be collected on site.
- The buildings are located & orientated to address the street edge and to help define the public realm.
- Surface parking is kept to the interior of the site to reduce its visual impact from the public streets.
- Incorporating the storm water management pond as an amenity adjacent to the project's other common space amenities help give the project a distinct entry & identity.
- Pedestrian pathways not only connect the site internally, but also connect the project site with adjacent parcels.

Off Street Parking:

The City's typical parking requirements require two parking stalls per residential dwelling unit. Based on our extensive experience in owning & managing large multi-family communities, and considering the above-mentioned unit mix, we find that this requirement would be excessive. Therefore, we are proposing a total of 1.5 parking stalls per dwelling unit - with each one and two bedroom unit having one parking stall within the underground parking structure. We believe that providing this level of parking will be appropriate for this project, will allow the site to have less impervious area, and will minimize the visual impact of surface parking lots on the site and the surrounding areas.



Bicycle Parking:

In addition to off street vehicular parking, we are proposing a total of 1.0 bicycle parking stalls per dwelling unit. Exterior stalls are located with proximity to each building's main entrance for easy access, while interior bike hooks are proposed above each Lower Level parking stall.

BUILDING		BICYCLE PARKING					
NAME	UNITS	COVERED	SURFACE	TOTAL	RATIO		
A1	44	44	5	49	1.11	PER UNIT	
B1	52	52	5	57	1.10	PER UNIT	
B2	56	53	5	58	1.04	PER UNIT	
TOTALS	152	149	15	164	1.08	PER UNIT	

Storm Water Management Overview:

The following items are highlights of the Storm Water Management Design for the project:

- Storm water management will address peak control, water quality and infiltration.
- Peak control and water quality control from the dirty parking lots will occur within the wet portion of the detention pond.
- The development will take advantage of the native sandy soils and provide infiltration in a basin adjacent to the wet detention. All clean rooftop runoff from the buildings will be directed into the infiltration area that will be restored with native prairie plantings.
- All storm water management measures will meet or exceed the City of Fitchburg's ordinance requirements.
- The maintenance of all storm water management measures within Outlot 9 / Proposed Lot 15 will be the responsibility of the property Owner.

Landscape Design:

The new landscape design for Outlot 9 / Proposed Lot 15 of this project will meet all City of Fitchburg landscape design requirements. Please see Appendix 'C' for the Specific Implementation Landscape Plans for Outlot 9 / Proposed Lot 15. This plan will be further developed and additional detail and information will be provided with the subsequent Specific Implementation Plan submittals.

Open Space & Recreational Space:

Each building in the Masterplan of Outlot 9 / Proposed Lot 15 is designed with adjacent open space for passive, flexible recreation. Additionally, the upper and lower surface parking lots are separated by a central green space.

Refuse & Recycling Storage & Removal:

Each building within the development will have refuse & recycling rooms within the buildings themselves located on the Lower Level near the overhead door entrance. A private waste management company will be

contracted with to provide recycling & refuse removal services as appropriate for the development.

Planned Development Zoning Standards

Under the proposed Planned Development Zoning, Outlot 9 / Proposed Lot 15 shall meet the following Zoning Standards:

- Residential Density: 32 units per acre (maximum)
- Building Height: Maximum of 3 Stories over Parking and Maximum 60 feet (to highest roof ridge)
- Street Setback: 10' (minimum), 15' (minimum at Fitchrona Rd.) Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Side Yard Setback: 10' (minimum)
- Rear Yard Setback: 10' (minimum)
- Building Coverage: 32% of Parcel Area (maximum)
- Floor Area Ratio: 1.00 (maximum)
- Impervious Surface Ratio: 60% of Parcel Area (maximum)
- Off-Street Auto Parking: 1.5 (min), 1.75 (max.) Total Spaces per Dwelling Unit
0.9 Structured Spaces per Dwelling Unit (min.)
- Off-Street Bicycle Parking: 1.0 Bike Spaces per Dwelling Unit (min.)

Specific Implementation Plan Data

At the time of this Specific Implementation Plan, the Outlot 9 / Proposed Lot 15 Masterplan Data is as follows. The exact data (below) is subject to change slightly as the project's design is further developed; however, the final data shall meet all Specific Implementation Plan Zoning Standards (above).

ELAN - SPECIFIC IMPLEMENTATION PLAN DATA									
BUILDING						PARKING			
NAME	USE	FOOTPRINT	FLOOR AREA	UNITS	COVERED	SURFACE	TOTAL	RATIO	
A1	Multi-Family Residential	18,179 S.F.	51,393 S.F.	44	44	26	70	1.59 PER UNIT	
B1	Multi-Family Residential	22,079 S.F.	62,247 S.F.	52	52	32	84	1.62 PER UNIT	
B2	Multi-Family Residential	22,063 S.F.	62,247 S.F.	56	53	31	84	1.50 PER UNIT	
TOTALS		62,321 S.F.	175,887 S.F.	152	149	89	238	1.57 PER UNIT	

ZONING REQUIREMENT	DESIGN VALUE	CALCULATIONS
SITE DENSITY	31.40 Units/Acre	152 Units / 4.84 AC. = 31.40
BUILDING COVERAGE	29.6% of Parcel	62,321 S.F. / 210,871 S.F. = 29.6%
FLOOR AREA RATIO	83.4% of Parcel	175,887 S.F. / 210,871 S.F. = 83.4%
IMPERVIOUS SURFACE	57.1% of Parcel	120,350 S.F. / 210,871 S.F. = 57.1%
LANDSCAPE AREA	42.9% of Parcel	90,521 S.F. / 210,871 S.F. = 42.9%

MASTER SIGN PROGRAM

In addition to address signage which will be mounted on each respective building, the permanent exterior signage for the project will consist of three (3) exterior signs that total 127.9 square feet of signage area at project completion. During the construction of the project, there will be four (4) temporary signs used. The location and design of these signs are specifically illustrated in Appendix 'D' – Master Sign Program. In summary, they will be made up of the following:

- 1.) One (1) Auxiliary Sign to provide direction to & from the Leasing Office will be located at the north end of the parking lot. This sign will have a signage area of 6 square feet. Please note that this square footage does not include the mounting posts below the sign areas (See Directional Sign D in Appendix 'D').
- 2.) One (1) Monument Sign will be located at the southeast intersection of Quarry Vista Drive at Fitchrona Road. This sign will be 72 square feet. (See Location A Sign in Appendix 'D').
- 3.) One (1) Monument Sign will be located at the northwest corner of the Building 'B1' along Quarry Vista Drive. This sign will be 48.9 square feet (See Location C Sign in Appendix 'D').
- 4.) Also note that Locations A, B, C, and D will host temporary leasing and directional signs, which will be removed by project completion. (See Appendix 'D').

ENVIRONMENTAL BENEFITS OF PLANNED DEVELOPMENT ZONING

The Environmental Benefits of using Planned Development District Zoning for this project come from the greater flexibility in both density & zoning standards that is allowed under PDD Zoning than would be allowed under the City's High Density Residential Zoning.

Reduction of Sprawl

Because of PDD Zoning, more units can be developed on this site. Therefore, this development can help meet the increasing need for residential units on less land area than would be otherwise be required under the City's High Density Residential Zoning.

Less Impervious Surface Area

The Parking Standards for PDD Zoning allow the Plan Commission to approve greater flexibility in the amount of vehicular parking that must be provided on site. In our Development Team's experience, the parking requirements of the City's High Density Residential Zoning District are excessive for this project - and would result in more impervious surface area across the site than what our plan proposes. Utilizing PDD Zoning for this project will decrease run-off and allow additional landscaped areas.

Enhanced Public Realm

With PDD Zoning, the site can be designed to enhance the character and visual aesthetics of the public realm. Under PDD Zoning, the building setbacks can be reduced to allow the buildings to be located & orientated to address the street edge and to help define the public realm. This also provides additional land area behind the buildings - so surface parking can be kept to the interior of the site and reduce its visual impact on the public streets.

ORGANIZATIONAL STRUCTURE

This project will be professionally owned and managed by an entity controlled by Fiduciary Real Estate Development, Inc.

At Fiduciary, we have a long track-record of successful property development & management throughout Wisconsin - including Fitchburg. We take pride in our great reputation, and the relationships we have with our employees, our residents, and the communities in which we are located.

Supervision

We have the most experienced, well-trained supervisory employees.

- We have Corporate reviews for each property on a bi-monthly basis – and are updated daily on emergency maintenance issues.
- Each Regional Supervisor oversees 3 to 5 properties and visits each property at least once per week. This keeps them in touch with their properties and holds each on-site Property Manager accountable.
- Each on-site Property Manager conducts a daily staff meeting and is the key contact person for each property.
- We maintain continual maintenance personnel communication so we are on top of all existing or potential maintenance issues.
- We implement thorough bi-monthly property inspections for each property.

Training

We implement a proven training program for our employees to make sure everyone knows their role and performs their responsibilities as expected.

- We maintain a 300-page manual for property management. It is a 'living document' that is updated at semi-annual manager meetings.
- We employ onsite training by both Regional supervisor and property managers.

Applicant Screening

To help ensure that we are attracting quality residents, we obtain the following information from prospective residents:

- Criminal background checks
- Credit checks
- Recommendations/Referrals of previous landlords
- Income qualifications & verifications

Track-Record of Success

We have a long track-record of successful property development & management. The key to our long-term success of multi-family residential communities is the continual reinvestment in the properties. We continually evaluate the need to upgrade & improve our properties - to maintain them as highly desirable communities that attract quality residents. For example, in the past five years at our Valley View Apartment project in Fitchburg, we have spent \$1,400,000 on roofing, siding, pool improvements, a Wi-Fi Café, and a Fitness Center. This year we are working on upgrading individual units and common area carpets.

According to Kathy Nettesheim, Vice President of Property Management, another key to success is having excellent relationships with the communities in which we are located. We have found that the City of Fitchburg is one of the best communities that we work with – our communication is often and thorough.

PROJECT IMPLEMENTATION

At the time of this Specific Implementation Plan, we are working with the Department of Public Works to determine the specific timeline for public improvements for this project. Quarry Vista subdivision improvements, including the Fitchrona Road water main, are expected for completion by Summer 2015.

The construction of the apartment buildings is anticipated to follow the following schedule in one single phase with completion in Fall 2016:

<u>Phase</u>	<u>Buildings</u>	<u>Schedule</u>
Phase 1	'B1'	(anticipated for Summer 2015)
Phase 1	'B2'	(anticipated for Summer 2015)
Phase 1	'A1'	(anticipated for Fall 2015)

However, the residential market demand will ultimately drive the overall schedule and could speed-up or slow down the timeline for full build-out.

NEIGHBORHOOD INPUT

On October 3, 2014, we mailed out a letter and an area map (an example of each is attached in Appendix 'E') to all owners of property within 300 feet of our project. The letter invited comment, as well as attendance, at a meeting held at the Hammersley Stone Offices on Tuesday, October 14, 2014 at 5:30 PM. At this meeting, we had nine people representing the neighboring properties (see the meeting sign-in sheet in Appendix 'E'). We provided a brief overview of our project and answered questions.

APPENDIX 'A'
ALTA SURVEY & AERIAL CSM

SURVEYOR'S CERTIFICATE

TO: Fiduciary Real Estate Development, Inc.
Knight Barry Title Group

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys", jointly established and adopted by ALTA and NSPS, and includes items 1, 4, 8, & 11(a) Table A thereof. The field work was completed on May 29, 2014.

Dated this 6th day of June, 2014

Brett T. Stoffregan
Brett T. Stoffregan, Registered Land Surveyor S-2742



NOTES

- This survey was performed over Outlot 9 of the proposed Quarry Vista plat.
- Surveyed for: Fiduciary Real Estate Development
789 North Water Street, Suite 200
Milwaukee, WI 53202

LEGAL DESCRIPTION

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 152-154 as Document Number 3959694, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin to-wit:
Commencing at the Northwest corner of said Section 18; thence S89°50'48"E, 70.73 feet along the North line of said NW1/4; thence S02°09'12"W, 34.25 feet to a point of curve also being the point of beginning thence Easterly along a curve to the right which has a radius of 30.00 feet and a chord which bears N81°49'03"E, 10.77 feet; thence S87°50'32"E, 257.45 feet to a point of curve thence Easterly along a curve to the left which has a radius of 478.00 feet and a chord which bears N85°53'55.5"E, 104.23 feet to a point of curve thence Southwesterly along a curve to the right which has a radius of 15.00 feet and a chord which bears S53°05'23"E, 22.04 feet; thence S05°49'08"E, 447.90 feet; thence S77°20'54"W, 140.54 feet; thence S77°15'16"W, 205.69 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 356.24 feet and a chord which bears S83°37'38"W, 79.08 feet; thence N90°00'00"W, 27.59 feet thence N00°56'55"E, 544.54 feet to the point of beginning. Containing 210,871 square feet (4.841 acres).

TITLE COMMITMENT

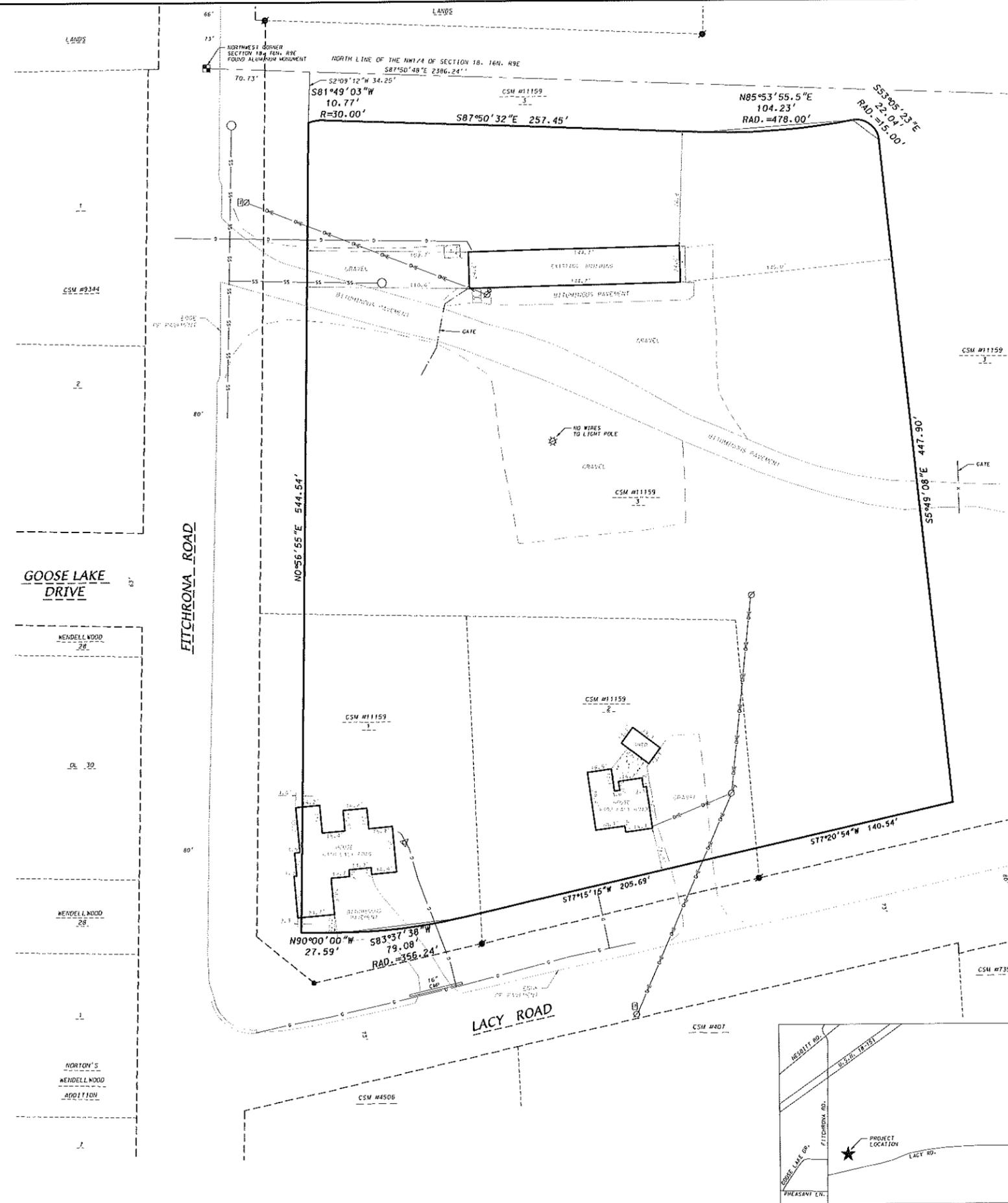
Disposition of Exceptions Identified in Schedule B - Part II
Commitment For Title Insurance
Issued by Knight Barry Title Group
Commitment date May 15, 2014
Title Insurance File No. 0715910

EXCEPTION:

- 1-11, 19, 20 & 21. These items are statements, standard exceptions or financial matters which cannot be plotted on this survey.
2. Easements, restrictions and other matters shown on Certified Survey Map No. 11159 recorded August 26, 2004 as Document No. 3959694.
Notes on CSM: 1. No other permit or approval is waived or deemed satisfied except for the approval herein provided.
2. House on Lot 1 is nonconforming as to the side street (Fitchrona Road) setback in the R-1 District.
-Affect subject parcel, not plottable.
3. Order Establishing Utility District recorded February 28, 1969, as Document No. 1235025.
-Affects subject parcel, not plottable.
4. Notice Affecting Real Estate situated within the Town of Fitchburg dated September 21, 1978 and recorded September 21, 1978 in the Office of the Register of Deeds for Dane County in Volume 996 of Records, page 8 as Document No. 1592785.
-Affects subject parcel, not plottable.
5. Notice Affecting Real Estate situated within the Town of Fitchburg dated September 21, 1978 and recorded September 25, 1978 in the Office of the Register of Deeds for Dane County in Volume 996 of Records, page 652 as Document No. 1093197.
-Affects subject parcel, not plottable.
6. Ordinance recorded on August 8, 1969 as Document No. 1247637.
-Affects subject parcel, not plottable.
7. Resolution and Order Altering the Boundary Lines of Fitchburg Utility District No. 1, recorded in Volume 27371 of Records, page 43 as Document No. 2599374.
-Located on land east of the subject parcel.
8. Individual Conveyance of Easement recorded on April 16, 2002 as Document No. 3475850.
-Is not located on subject parcel. Located within the current Fitchrona Road right-of-way.
9. Mortgage from Hamm Fam Land, LLC to Independent Bank in the amount of \$300,000.00 dated December 8, 2004 and recorded December 13, 2004 as Document No. 4000303. (Lots 2 and 3 CSM 11159).
10. Assignment of Rents from Hamm Fam Land, LLC to Independent Bank recorded December 13, 2004 as Document No. 4000304. (Lots 2 and 3 CSM 11159).
11. Mortgage from Nathan Hamersley and Jana Hornbrook to Mortgage Electronic Registration Systems, Inc. acting solely as a nominee for Lender, Countrywide Bank, FSB, and its successors and assigns, in the amount of \$188,000.00 dated January 23, 2006 and recorded January 29, 2006 as Document No. 4392314.
The mortgage described above was assigned of record to Federal National Mortgage Association by an instrument recorded November 1, 2012 in Document No. 4928653.

LEGEND

- FOUND PLSS MONUMENT
- FOUND 1" IRON PIPE
- FOUND 3/4" IRON REBAR
- SS SANITARY SEWER
- G GAS MAIN
- DHE OVERHEAD ELECTRIC
- TELEPHONE PEDESTAL
- MANHOLE
- POWER POLE W/LIGHT
- POWER POLE
- GUY WIRE
- VALVE
- MONITORING WELL
- FENCE
- CONC. CURB
- CONCRETE



D'ONFRID KOTTKE AND ASSOCIATES, INC.
7550 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

ALTA/ACSM LAND TITLE SURVEY
PART OF LOTS 1, 2, AND 3, CERTIFIED SURVEY MAP NO. 11159
LOCATED IN THE NW1/4 OF THE NW1/4 OF SECTION 18, T6N, 9E,
CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



GRID NORTH WISCONSIN COUNTY COORDINATE SYSTEM (DANE ZONE)
THE NORTH LINE OF THE NW1/4 OF SECTION 18, T6N, 9E BEARS S87°30'48"E

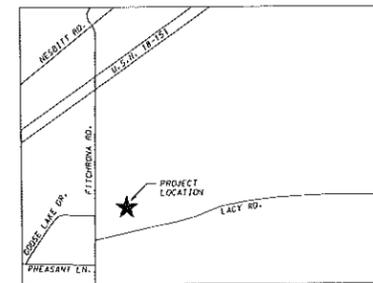
SCALE: 1" = 40'

DATE: 06-06-14
REVISED: 06-11-14

DRAWN BY: KRK

FN: 14-03-104

Sheet Number:
1 of 1



APPENDIX 'B'
GENERAL DEVELOPMENT PLAN RECORDING

**Planned Development District
Granting General Implementation Plan
Zoning for Portion of Quarry Vista Plat,
Part of Lots 1, 2 and 3 CSM 11159**



**KRISTY CHLEBOWSKI
DANE COUNTY
REGISTER OF DEEDS**

**DOCUMENT #
5118141
12/18/2014 11:37 AM
Trans. Fee:
Exempt #:
Rec. Fee: 30.00
Pages: 5**

Legal Description:

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 152-154 as Document Number 3959694, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin to-wit:

Commencing at the Northwest corner of said Section 18; thence S89°50'48"E, 70.73 feet along the North line of said NW1/4; thence S02°09'12"W, 34.25 feet to a point of curve also being the point of beginning; thence Easterly along a curve to the right which has a radius of 30.00 feet and a chord which bears N81°49'03"E, 10.77 feet; thence S87°50'32"E, 257.45 feet to a point of curve; thence Easterly along a curve to the left which has a radius of 478.00 feet and a chord which bears N85°53'55.5"E, 104.23 feet to a point of curve; thence Southeasterly along a curve to the right which has a radius of 15.00 feet and a chord which bears S53°05'23"E, 22.04 feet; thence S05°49'08"E, 447.90 feet; thence S77°20'54"W, 140.54 feet; thence S77°15'15"W, 205.69 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 356.24 feet and a chord which bears S83°37'38"W, 79.08 feet; thence N90°00'00"W, 27.59 feet; thence N00°56'55"E, 544.54 feet to the point of beginning. Containing 210,871 square feet (4.841 acres).

Return to: Fitchburg City Clerk 5520 Lacy Road Fitchburg, WI 53711
Parcel No: 060918285602 060918285802 060918286002

Plan Commission
Initiated By

Susan B. Badtke
Drafted By

11/4/2014
Date

**ORDINANCE NO. 2014-O-37
ZONING ORDINANCE AMENDMENT
GRANTING GENERAL IMPLEMENTATION PLAN ZONING
FOR PORTION of QUARRY VISTA PLAT, PART of LOTS 1, 2 & 3 CSM 11159**

WHEREAS, pursuant to Fitchburg Ordinance No. 87-0-06, Section 3, Zoning District Maps were adopted within the corporate limits of the City of Fitchburg until expressly altered by the City Council, and

Ordinance 2014-O-37
Page 2 of 5

WHEREAS, Fiduciary Real Estate Development, Inc. has submitted an application (RZ-2043-14) for Planned Development District General Implementation Plan (PDD-GIP) zoning for part of lots 1, 2 and 3 CSM 11159, and

WHEREAS, the Plan Commission has reviewed, after public hearing on November 18, 2014, the application in accord with ordinance standards and recommends approval of PDD-GIP zoning for part of lots 1, 2 and 3 CSM 11159, with the area more particularly described in Exhibit A.

NOW THEREFORE the City Council of the City of Fitchburg, Dane County, Wisconsin does ordain as follows:

(A) PDD-GIP zoning is hereby granted for part of lots 1, 2 and 3 CSM-11159 as particularly described in Exhibit A, and in accord with submitted plans and information which accompanied the rezoning application in a report titled "Quarry Vista Apartment Homes General Implementation Plan – Amended November 5, 2014" received on November 4, 2014. The documents referred to above are hereby made a part of this ordinance, and with the following additional requirements:

1. Approval and recording of a land division will be required prior to SIP issuance.
2. Recording of a Subdivision Improvement Agreement.
3. Necessary public improvement shall be installed and accepted prior to any building construction, unless approvals are granted to allow early start under section 24-14(b) – (e). (An operable public water supply is one necessary condition under section 24.14.)
4. Park requirements and fees shall be calculated and handled with land division approval.
5. Signage shall be handled during the PDD-SIP (Planned Development District – Specific Implementation Plan) zoning.
6. Project is approved for 152 dwelling units in 3 structures.
7. Zoning standards shall follow those outlined in the report titled "Quarry Vista Apartment Homes General Implementation Plan – Amended November 5, 2014".

(B) This ordinance shall take effect following its publication, the consent of the property owner, or the recording of a plat, whichever occurs last. However, in accord with section 22-596 of the zoning code, owners shall consent within 30 days of approval for the PDD-GIP zoning to be in effect.

(C) Applicant shall pay cost of ordinance publication to avoid a two Council meeting approval process.

(D) Approval of preliminary and final plats by the Common Council.

The above and foregoing ordinance was duly adopted by the City Council of the City of Fitchburg, at a regular meeting held on the 25th day of November, 2014.

Patti Anderson
Patti Anderson, City Clerk

Approved: 12-2-14

Shawn Pfaff
Shawn Pfaff, Mayor

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this 2nd day of December, 2014, the above named Patti Anderson, and Shawn Pfaff to me known to be the City Clerk and Mayor (respectively) of the City of Fitchburg, and the persons who executed the foregoing instrument and acknowledged the same.

Tracy L. Oldenburg
Notary Public, State of Wisconsin



Printed Name of Notary Public Tracy L. Oldenburg
My Commission Expires: Dec 18, 2016

Consent of the Property Owner

Name: Keith E. Hammersley
Title: Managing Member

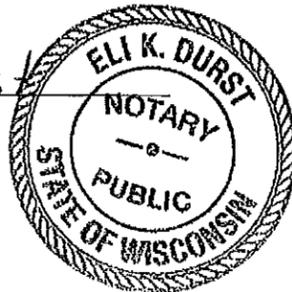
Date: 12/08/2014

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this 8 day of December, 2014, the above named Keith E. Hammersley to me known to be Member, of Hanson Farm Land LLC and the person who executed the foregoing instrument and acknowledged the same.

Eli K. Durst
Notary Public, State of Wisconsin

Printed Name of Notary Public Eli K. Durst
My Commission Expires: 12/18/16



Consent of Mortgage Holder:

Oak Bank
By Mary B. Schuchardt Date: 12-8-14
Mortgage Holder Senior Vice President
Mary B. Schuchardt, Senior Vice President

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this 8 day of December, 2014, the above named

Mary B. Schuchardt to me known to be the Senior Vice President of Oak Bank and the person who executed the foregoing instrument and acknowledged the same.

Carol Van Pee
Notary Public, State of Wisconsin

Printed Name of Notary Public Carol Van Pee
My Commission Expires: 3-13-16

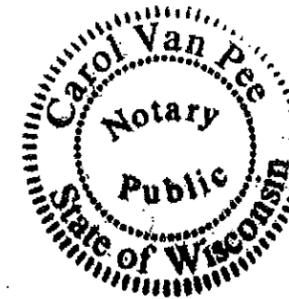


Exhibit A—Legal Description

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APPENDIX 'C'
SPECIFIC IMPLEMENTATION PLAN

LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
EP - EDGE OF PAVEMENT
TC - TOP OF CURB
TW - TOP OF WALL
BW - BOTTOM OF WALL
- LIMITS OF DISTURBANCE
- SILT FENCE/SILT SOCK
- FLOW ARROW

GENERAL NOTES:

1. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CITY OF FITCHBURG STANDARDS.
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
4. IF ANY ERRORS, DISCREPANCIES OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATION AND OFFSITE DURING FINAL RESTORATION.

SITE GRADING AND EROSION CONTROL NOTES:

1. ALL SITE GRADING AND EROSION CONTROL SHALL CONFORM WITH THE CITY OF FITCHBURG EROSION CONTROL ORDINANCE, CHAPTER 30 AND ANY ADDENDUMS ISSUED PRIOR TO THE CONTRACT BID DATE.
2. STONE TRACKING PADS AND SILT FENCE SHALL BE INSTALLED AT THE START OF SITE GRADING AND MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED. ALL INLETS ON-SITE AND ON STREETS THAT ARE ADJACENT TO THE WORK AREA SHALL RECEIVE TYPE D INLET FILTER BAGS PRIOR TO SITE DISTURBANCE AND MAINTAINED THROUGHOUT CONSTRUCTION.
3. DISTURBED AREAS WITHIN THE CITY ROW SHALL BE RESTORED WITH SEED, FERTILIZER AND MULCH IN ACCORDANCE WITH THE CITY SPECIFICATIONS. ALL DISTURBED AREAS ON SITES SHALL BE RESTORED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. ANY DISTURBED SLOPES 4:1 OR STEEPER SHALL BE RESTORED WITH CLASS 1 TYPE E EROSION MATTING WITHIN 48 HRS OF FINAL TOPSOIL PLACEMENT ON THE BANKS. EROSION MATTING TO EXTEND 1-FOOT BELOW PERMANENT WATER ELEVATION IN THE DETENTION POND.
4. EROSION CONTROL SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR UNTIL THE SITE HAS BEEN STABILIZED. EROSION MEASURES AS LISTED SHALL BE THE MINIMUM MEASURES THAT WILL BE ACCEPTABLE.
5. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION MEASURES AS REQUESTED IN WRITING BY THE PROJECT SUPERINTENDENT OR THE CITY OF FITCHBURG WITHIN 24 HOURS OF NOTIFICATION.
6. ONCE THE SITE HAS UNDERGONE FINAL RESTORATION AND VEGETATION HAS ESTABLISHED, THE SILT FENCE SHALL BE REMOVED AND IF NECESSARY, RESTORED WITH FERTILIZER, SEED AND MULCH. ALTERNATIVELY, IF VEGETATION HAS NOT ESTABLISHED, EROSION MATTING MUST BE PLACED ON ALL DISTURBED AREAS THAT MAY DRAIN TOWARD THE SILT FENCE.
7. SITE INSPECTIONS SHALL BE COMPLETED ON A WEEKLY BASIS OR AFTER EVERY RAINFALL OF AT LEAST 0.5 INCHES. ALL NECESSARY REPAIRS MUST BE COMPLETED WITHIN 24 HOURS OF NOTIFICATION.
8. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
9. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
11. DEWATERING, IF APPLICABLE SHALL BE CONDUCTED PER WDRN STORMWATER MANAGEMENT TECHNICAL STANDARD 1061.

PROPOSED STONE CONSTRUCTION ENTRANCE

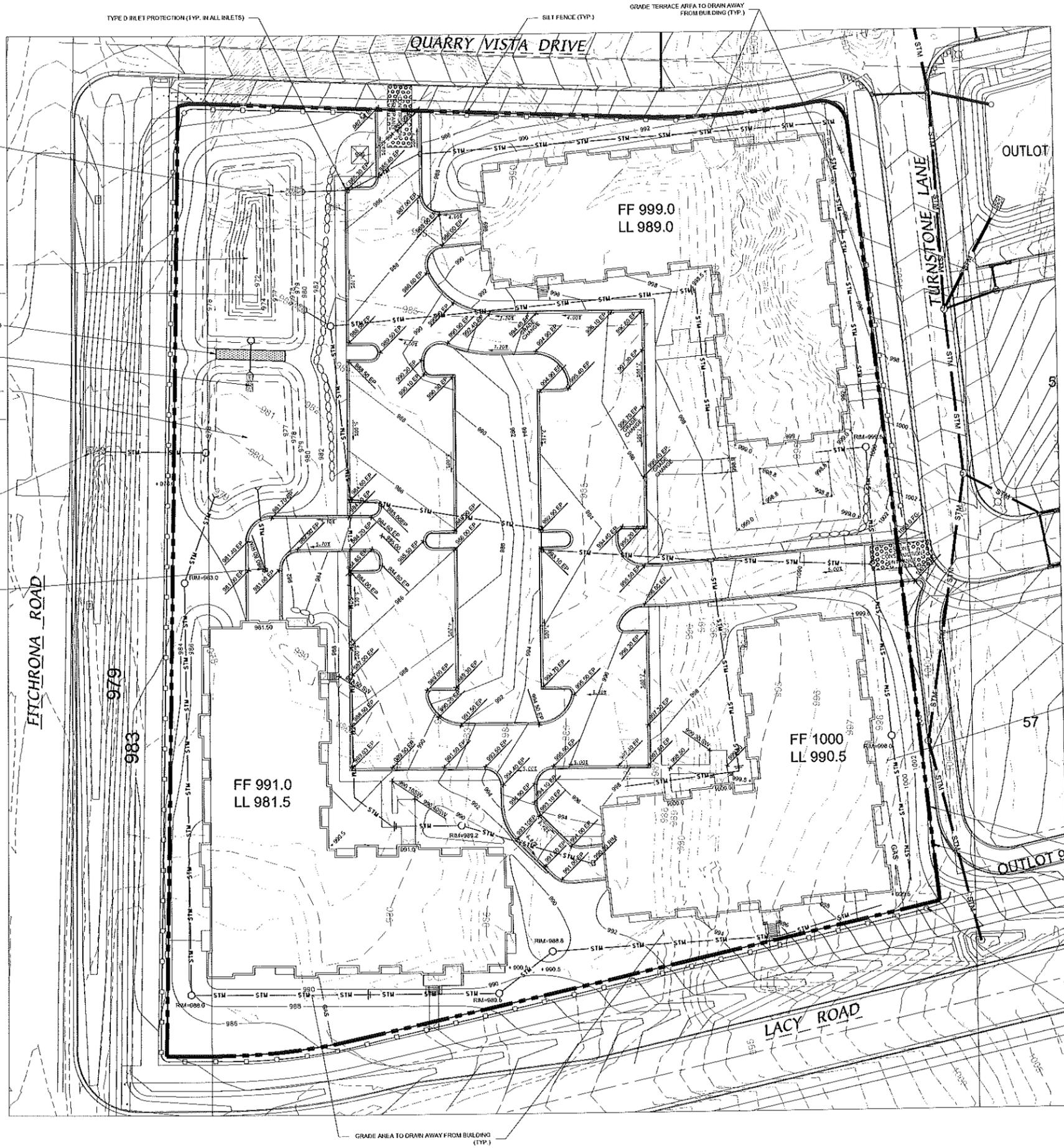
GRADE AREA TO DRAIN AWAY FROM BUILDING (TYP.)

LIMITS OF DISTURBANCE = 211,950 SQFT

LIMITS OF DISTURBANCE (TYP.)

PROPERTY LINE

SILT FENCE (TYP.)



PROPOSED WET DETENTION BASIN CELL
TOP OF POND BERM - 987.00, AREA = 9,390 SQFT
TOP OF WET POND/OUTLET - 978.00, AREA = 4,440 SQFT

OUTLET STRUCTURES:
PROPOSED 36" STANDPIPE - RIM = 978.50
12" ORIFICE @ 978.00
12" OUTLET @ 978.00

40 FT SEPARATION WEIR ROUTED TO INFILTRATION BASIN @ 980.00

PROPOSED INFILTRATION BASIN
TOP OF POND BERM - 982.00, AREA = 2,250 SQFT
BOTTOM OF INFILTRATION BASIN - 977.00, AREA = 2,350 SQFT

OUTLET STRUCTURES:
PROPOSED 36" STANDPIPE - RIM = 978.50
1" ORIFICE @ 978.00
15" OUTLET @ 977.00

10 FT OVERFLOW WEIR @ 981.00

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE

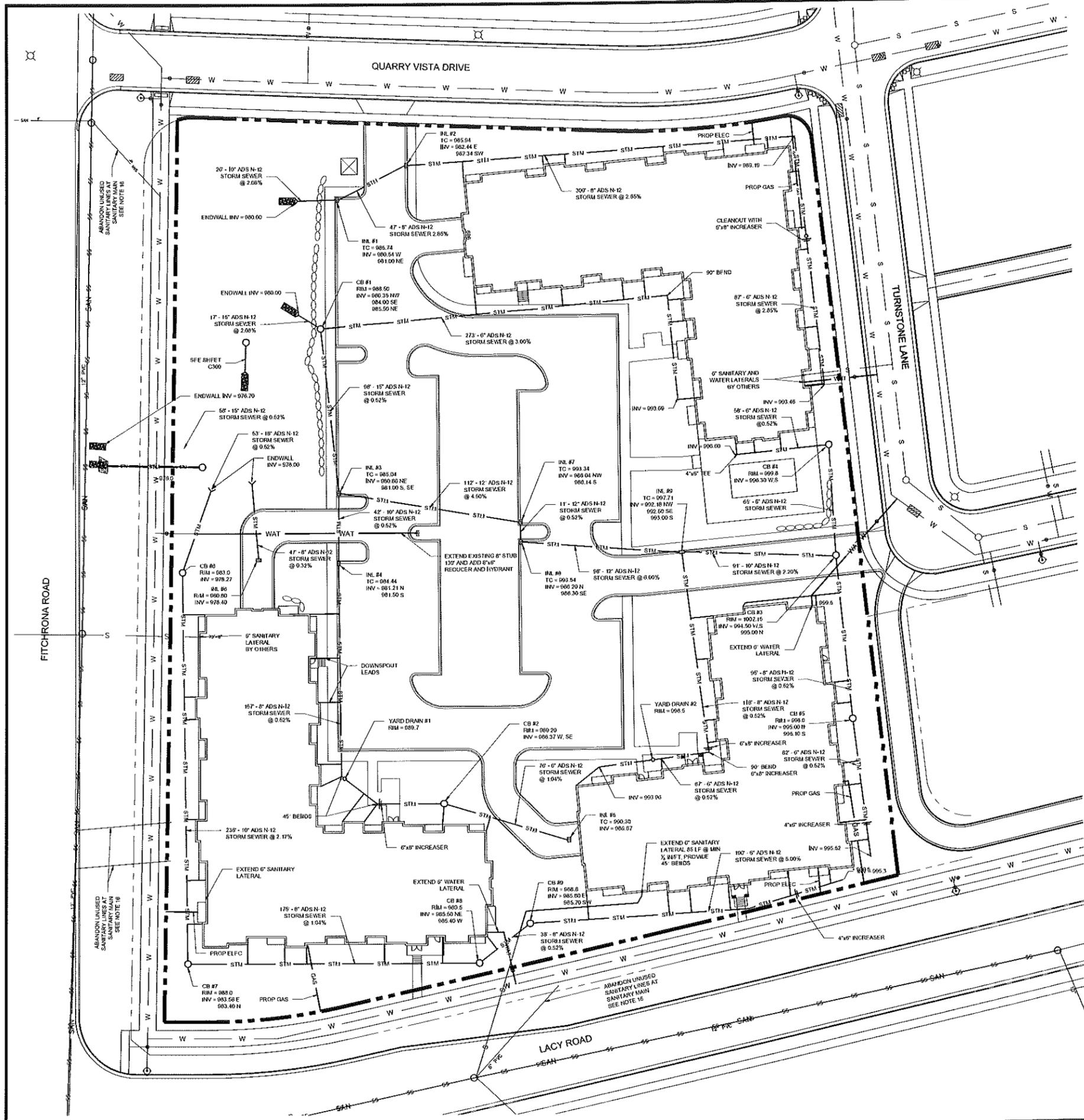
O'CONNOR KOTKIE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7330 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

GRADING AND EROSION CONTROL PLAN
ELAN APARTMENTS
FITCHBURG, WISCONSIN



DATE: 04-01-15
REVISED:

DRAWN BY: BJJ
FN: 14-03-104
Sheet Number:
C200



- UTILITY NOTES:
1. ALL STORM SEWER AND SANITARY SEWER SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION, INCLUDING ALL ADDENDUMS.
 2. WATER MAIN SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF FITCHBURG AND DNR STANDARDS.
 3. WATER MAIN SHALL HAVE A MINIMUM 6.5' OF BURY TO TOP OF PIPE.
 4. CB #1 - #9 SHALL BE 30" DIAMETER PRECAST MANHOLES WITH NEENAH R-2560-D1 CASTING AND GRATE.
 5. CB #1, #3, #6 - #8 SHALL HAVE NEENAH R-1550 CASTING WITH SOLID LID.
 6. CB #2, #4, #5, AND #9 SHALL HAVE NEENAH R-2560-D1 CASTING AND BEEHIVE GRATE.
 7. INL #1 - #4 AND #7 - #9 SHALL BE 2' X 3' PRECAST STRUCTURES WITH NEENAH R-3067 FRAME AND GRATE.
 8. INL #5 AND #6 SHALL BE 2' X 3' PRECAST STRUCTURES WITH NEENAH R-1878-B7G FRAME AND GRATE.
 9. CONTRACTOR TO COORDINATE SANITARY LATERAL AND WATER SERVICE ROUTING AND BUILDING CONNECTION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION.
 10. ALL STORM LEADS CONNECTED TO BUILDING DOWNSPOUTS TO BE 4" ADS N-12 STORM SEWER SLOPED AT 1/16" IN FT WITH WYES INTO THE MAIN PARALLEL TO THE BUILDING.
 11. PER CITY ORDINANCE, CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VALVES. CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 270-4270 FOR OPERATION OF THESE VALVES.
 12. UTILITY CONTRACTOR TO USE A CONCRETE APRON ENDWALL AT THE 15" DISCHARGE PIPE FROM THE INFILTRATION BASIN AND TIE INTO THE ADS N-12 STORM SEWER PIPE USING A CONCRETE COLLAR PER THE CITY OF FITCHBURG STANDARDS.
 13. ALL WATER SERVICES BETWEEN THE PUBLIC MAIN UP TO A PRIVATE FIRE HYDRANT ARE REQUIRED TO BE A MINIMUM OF 8" AND BE INSTALLED PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 14. SAFE SAMPLE RESULTS NEED TO BE PROVIDED TO THE FITCHBURG UTILITY PRIOR TO PRESSURE TESTING THE PRIVATE WATER MAINS.
 15. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE AT THE POINT OF CONNECTION.
 16. EXISTING SANITARY LATERALS, THAT WILL NOT BE REUSED, WILL NEED TO BE ABANDONED AT THE SEWER MAIN PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. PUBLIC WORKS WILL NEED TO WITNESS THESE ABANDONMENTS.
 17. ALL PRIVATE WELLS ON THIS SITE NEED TO BE ABANDONED PER DNR REQUIREMENTS. A DNR WELL ABANDONMENT FORM NEEDS TO BE SUBMITTED TO PUBLIC WORKS FOR EACH ABANDONED WELL.

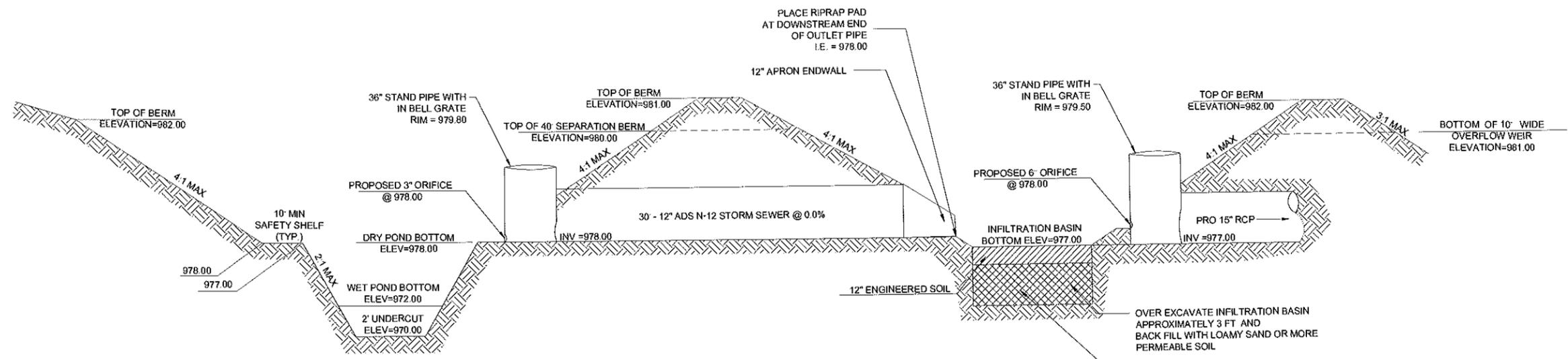
O'DONOHIO KOTKE AND ASSOCIATES, INC.
 7730 Westwood Way, Madison, WI 53717
 Phone: 608.333.7250 • Fax: 608.333.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

ELAN APARTMENTS
 LACY RD & FITCHRONA RD
 FITCHBURG, WISCONSIN

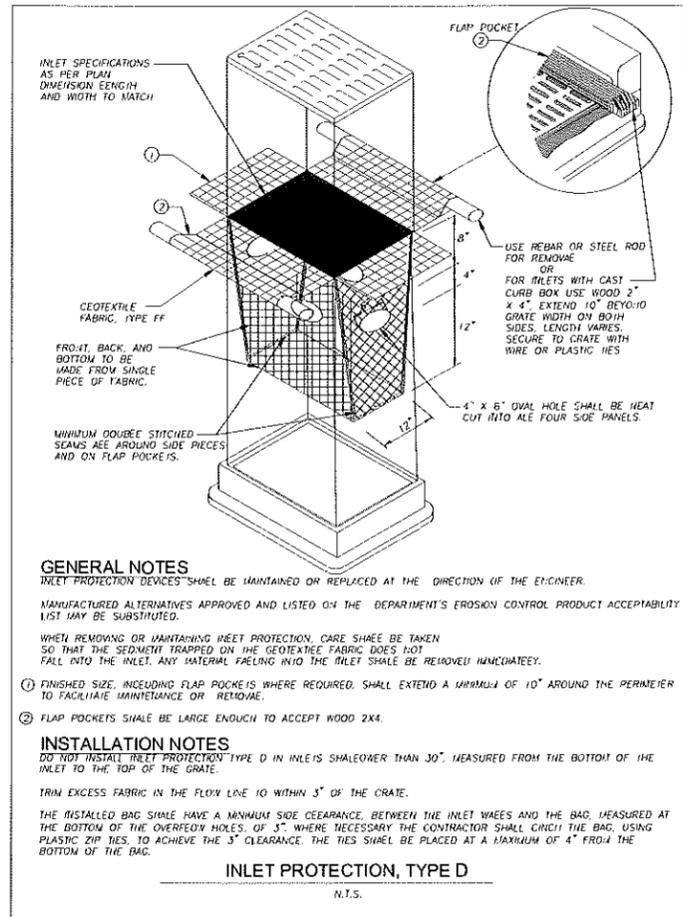


DATE: 05-05-15
 REVISED:
 DRAWN BY: BHH
 EN: 14-03-104
 Sheet Number:
C300

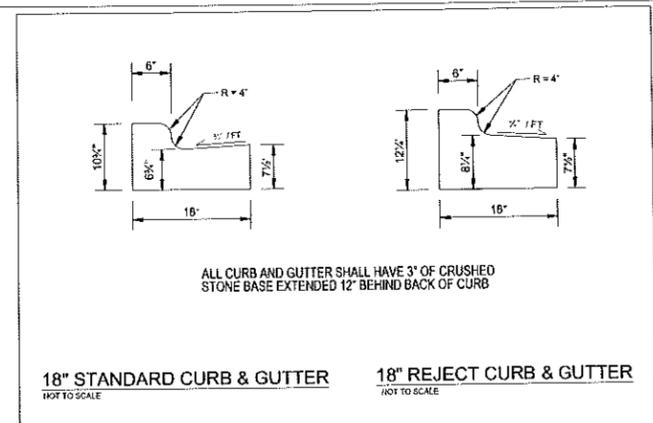
SITE DETAILS



PROFILE VIEW
PROPOSED WET DETENTION/INFILTRATION BASIN DETAIL
 NOT TO SCALE

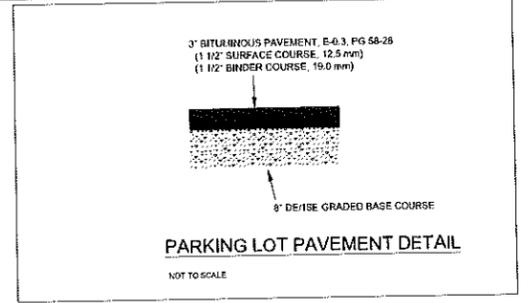


GENERAL NOTES
 INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
 MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
 WHEN REMOVING OR MAINTAINING WET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 1 FINISHED SIZE, INCLUDING FLAP POCKET IS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVE.
 2 FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.
INSTALLATION NOTES
 DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WEBS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CUT THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.
INLET PROTECTION, TYPE D
 N.T.S.

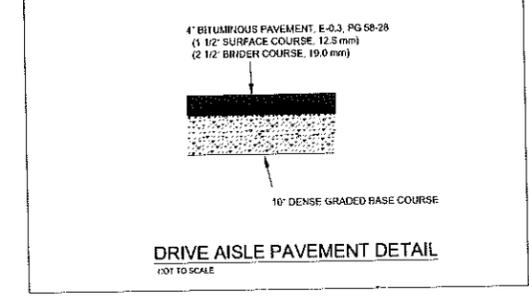


18" STANDARD CURB & GUTTER
 NOT TO SCALE

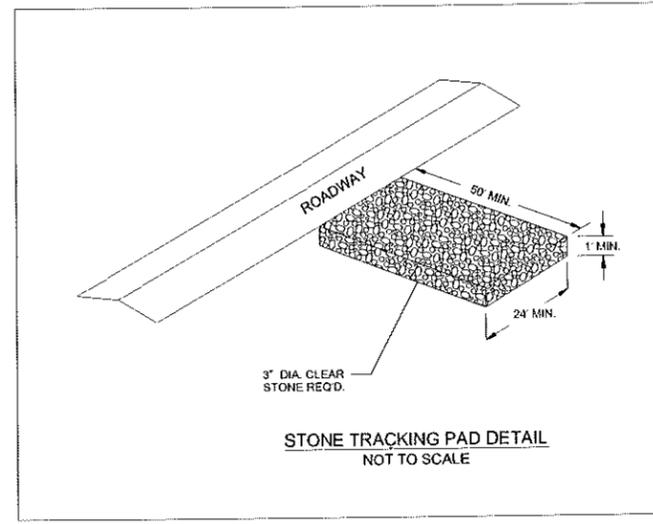
18" REJECT CURB & GUTTER
 NOT TO SCALE



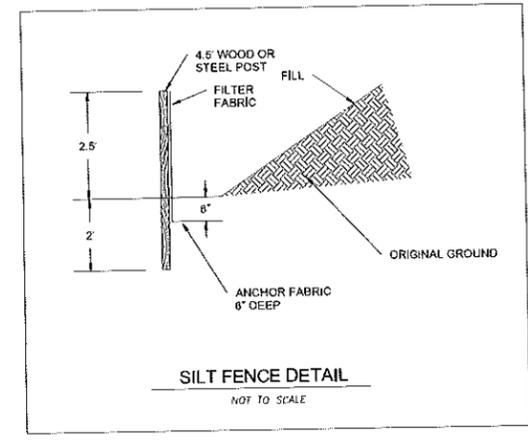
PARKING LOT PAVEMENT DETAIL
 NOT TO SCALE



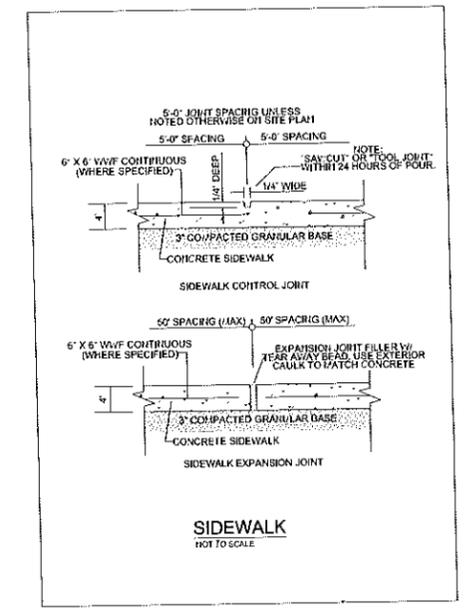
DRIVE AISLE PAVEMENT DETAIL
 NOT TO SCALE



STONE TRACKING PAD DETAIL
 NOT TO SCALE



SILT FENCE DETAIL
 NOT TO SCALE



SIDEWALK
 NOT TO SCALE

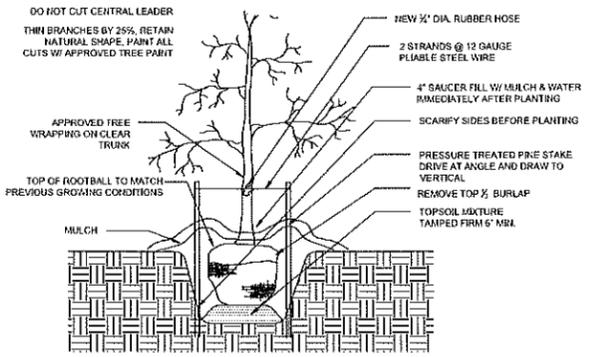
DATE: 04-01-15
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 DRAWN BY: BHI
 EN: 14-03-104
 Sheet Number:
C400

SITE LANDSCAPE PLAN - GENERAL NOTES

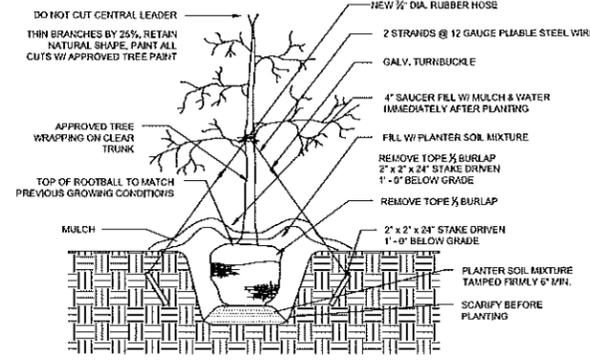
- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
- ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
- LANDSCAPE EDGING SHALL BE ALUMINUM "CURV-RITE" EDGING.
- ALL TREES IN TURF AREAS SHALL HAVE A 5' DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH.
- ALL LANDSCAPE AREAS NOT WITHIN A PLANTING BED SHALL BE FINISH GRADED, AND SEEDED WITH TURF GRASS SEED PER THE PROJECT MANUAL SPECIFICATIONS UNLESS OTHERWISE NOTED.
- INFILTRATION MIX SHALL CONFORM TO PRAIRIE NURSERY 'MOIST MEADOW AND RAIN GARDEN MIX'.
- ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY ZONING ORDINANCE.
- SEE THE PROJECT MANUAL FOR SPECIFICATIONS AND REQUIREMENTS FOR PLANTING, STAKING OF TREES, WARRANTY PERIOD, MAINTENANCE, ETC.
- SEE DETAILS FOR PLANTING INSTALLATION.

LANDSCAPE SCHEDULE

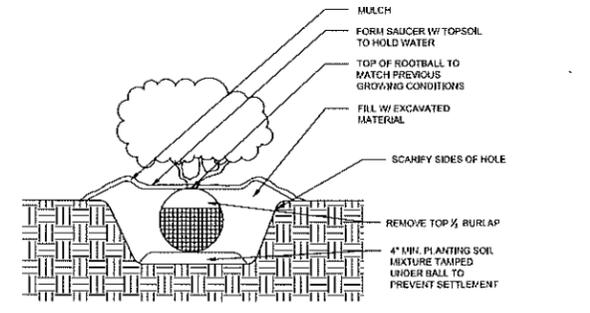
CODE	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT COND	NOTES
DECIDUOUS TREES						
ACA	<i>Aristaefolia grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4	8' TALL	B&B	MULTI-STEM
AFA	<i>Acer x freemanii</i> 'Fall Fantasy'	Fall Fantasy Maple	8	2.5'	B&B	
AFC	<i>Acer x freemanii</i> 'Celebration'	Celebration Maple	5	2.5'	B&B	
ARK	<i>Acer rubrum</i> 'Karpisck'	Karpisck Red Maple	5	2.5'	B&B	
CA	<i>Cornus stolonata</i>	Parade Dogwood	5	8' TALL	B&B	MULTI-STEM
COJ	<i>Carygus canadensis</i> 'JN Strain'	JN Strain Musclewood	5	8' TALL	B&B	MULTI-STEM
CCN	<i>Cercis canadensis</i> 'Northern Strain'	Northern Strain Redbud	4	8' TALL	B&B	MULTI-STEM
COU	<i>Celtis occidentalis</i> 'Lizani'	Ultra Hackberry	6	2.5'	B&B	
GBA	<i>Gelgigo bioba</i> 'Autumn Gold'	Autumn Gold Gerigo	3	2.5'	B&B	
GBF	<i>Gerigo bioba</i> 'Princeton Sentry'	Princeton Sentry Gerigo	6	2.5'	B&B	
GIS	<i>Gleditsia triacanthos</i> 'Shademaster'	Shademaster Honeylocust	7	2.5'	B&B	
MPF	<i>Malva</i> 'Prairie Fire'	Prairie Fire Crabapple	6	8' TALL	S&B	MULTI-STEM
NSW	<i>Nyssa sylvatica</i> 'Wildfire'	Wildfire Black Gum	4	2.5'	B&B	
OV	<i>Ostrya virginiana</i>	Ironwood	6	8' TALL	B&B	MULTI-STEM
SRI	<i>Syringa reticulata</i> 'Ivory Pitar'	Ivory Pitar Japanese Tree Lilac	5	1.5'	B&B	
EVERGREEN TREES						
AC	<i>Abies concolor</i>	Concolor Fir	7	8' TALL	B&B	
POD	<i>Podocarpus glaucus</i> var. <i>disticta</i>	Black Hills Spruce	12	8' TALL	B&B	
PS	<i>Pinus strobus</i>	Eastern White Pine	4	8' TALL	B&B	
DECIDUOUS SHRUBS						
AM	<i>Aronia melanocarpa</i> 'Inquis Beauty'	Inquis Beauty Chokeberry	5	36" TALL	POT	
CSA	<i>Cornus sericea</i> 'Arctic Fire'	Arctic Fire Dogwood	11	36" TALL	POT	
FGB	<i>Fothergilla gardenii</i> 'Banner Creek'	Banner Creek Fothergilla	17	18" TALL	POT	
HSA	<i>Hydrangea macrophylla</i> 'All Summer Beauty'	All Summer Beauty Hydrangea	9	24" TALL	B&B	
PCS	<i>Physocarpus opulifolius</i> 'Seward'	Summer Wine Ninebark	8	36" TALL	POT	
RT	<i>Rhus typhina</i>	Staghorn sumac	31	48" TALL	POT	
SJM	<i>Spiraea japonica</i> 'Magic Carpet'	Magic Carpet Spiraea	20	12" TALL	POT	
SP	<i>Syringa</i> 'Pencil'	Bloomerang Lilac	10	24" TALL	POT	
VCC	<i>Viburnum cadesii</i>	Koreanop Viburnum	10	36" TALL	POT	
VT	<i>Viburnum trilobum</i> 'Alfred'	Alfreds Cranberrybush Viburnum	7	48" TALL	POT	
WR	<i>Wibesga</i> 'Rumba'	Rumba Weigela	11	24" TALL	POT	
EVERGREEN SHRUBS						
CPO	<i>Chamaecyparis platifera</i> 'Golden Mops'	Golden Mops False Cypress	19	18" TALL	POT	
JHJ	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	9	12" TALL	POT	
JSW	<i>Juniperus scopulorum</i> 'Waldi'	Waldi Juniper	6	24" TALL	POT	
JWB	<i>Juniperus virginiana</i> 'Blue Mountain'	Blue Mountain Juniper	17	24" TALL	POT	
RP	<i>Rhododendron</i> 'PJM'	PJM Rhododendron	7	36" TALL	POT	
TCB	<i>Taxus canadensis</i> 'Bernier'	Bernier David Canadian Hemlock	21	24" TALL	POT	
TMT	<i>Taxus x media</i> 'Taurillon'	Taurillon Yew	23	24" TALL	B&B	
TOH	<i>Thuja occidentalis</i> 'Holmsstrup'	Holmsstrup Arborvitae	4	24" TALL	B&B	
TOS	<i>Thuja occidentalis</i> 'Smaragd'	Pyramidal Arborvitae	29	48" TALL	B&B	



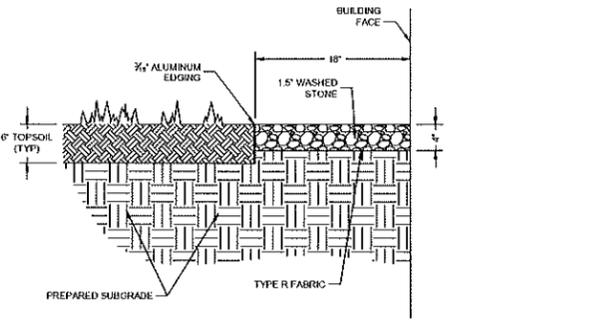
TREE PLANTING DETAIL
(TREES OVER 2" CALIPER)



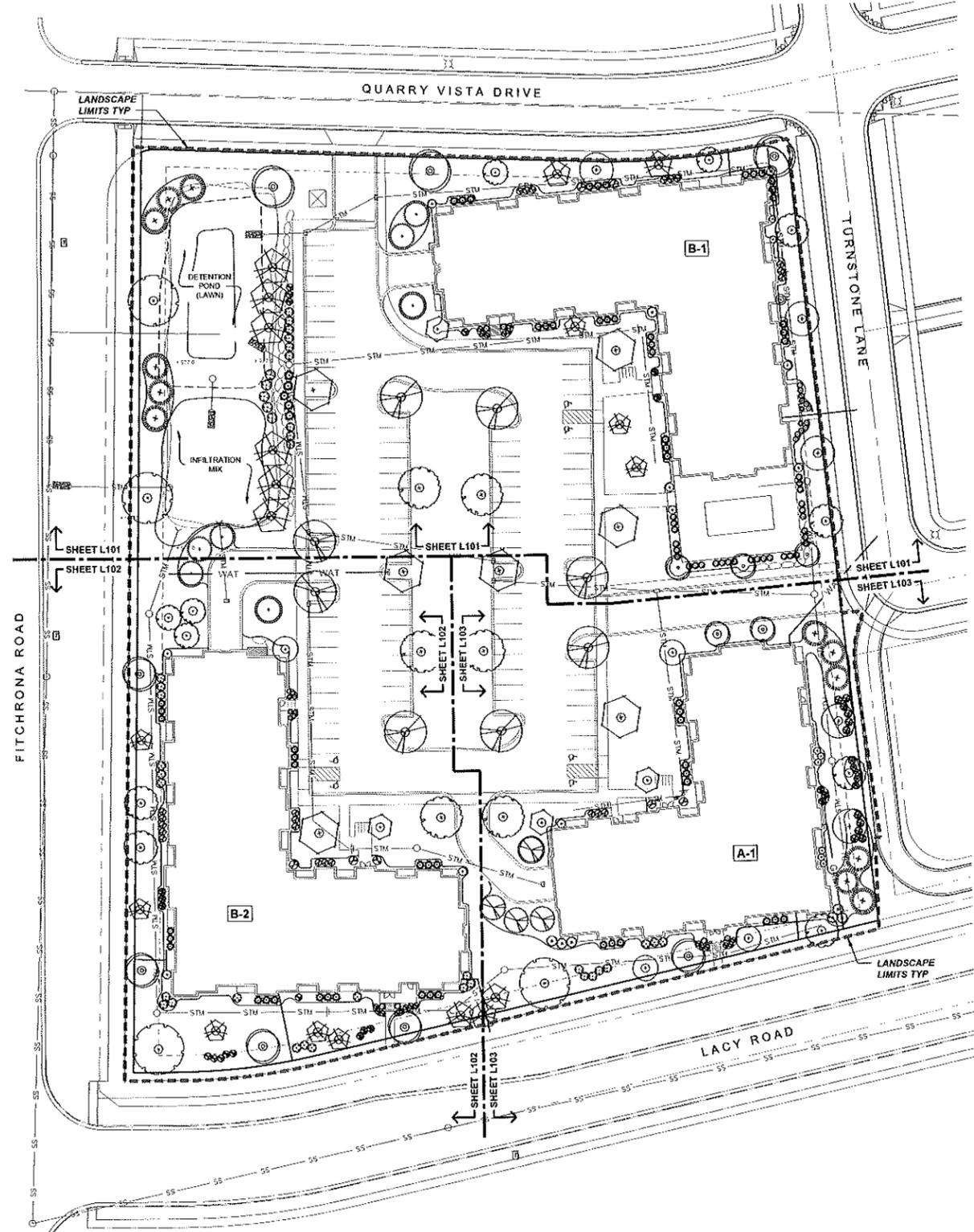
TREE PLANTING DETAIL
(TREES UNDER 2" CALIPER)



SHRUB PLANTING DETAIL



STONE MAINTENANCE EDGE



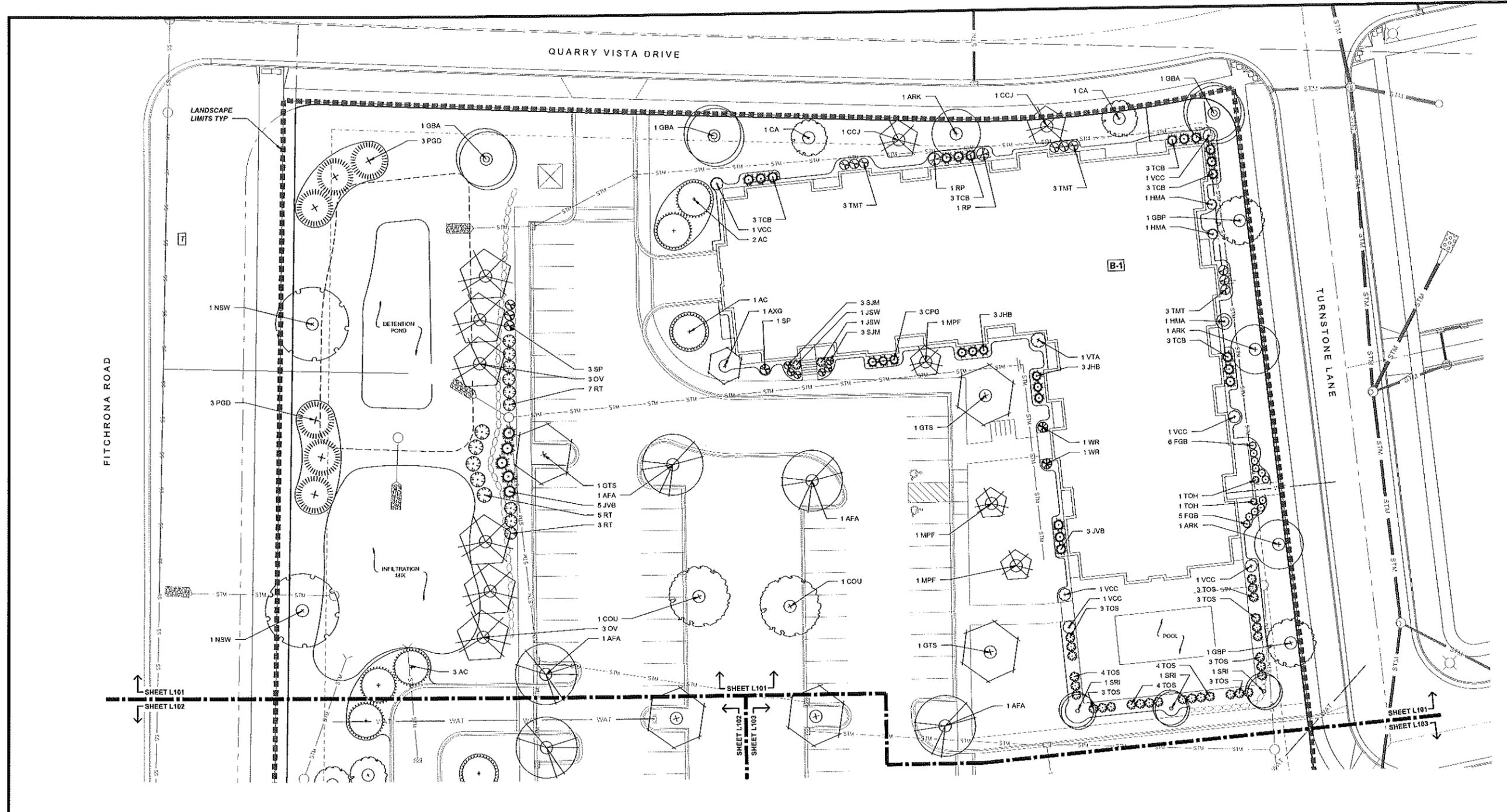
D'ONOFRIO KOTKE AND ASSOCIATES, INC.
7530 Westwood Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1099
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

OVERALL LANDSCAPE PLAN
ELAN APARTMENTS
FITZGERALD, WISCONSIN



DATE: 04-01-15
REVISED:

DR 10.0 BY: JIS
FN: 14-03-104
Sheet Number
L100



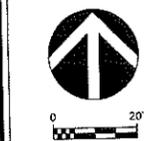
LANDSCAPE SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT COND	NOTES
DECIDUOUS TREES						
ACA	<i>Aristaechter x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4	8" TALL	B&B	MULTI-STEM
AFA	<i>Acer x freemanii</i> 'Fall Fantasy'	Fall Fantasy Maple	8	2 1/2'	B&B	
AFC	<i>Acer x freemanii</i> 'Catsam'	Catsam Maple	5	2 1/2'	B&B	
ARK	<i>Acer rubrum</i> 'Karpis'	Karpis Red Maple	5	2 1/2'	B&B	
CA	<i>Cornus alternifolia</i>	Paopoda Dogwood	5	8" TALL	B&B	MULTI-STEM
CCJ	<i>Carpinus caroliniana</i> 'N Strain'	N Strain Muscadewood	5	8" TALL	B&B	MULTI-STEM
CCN	<i>Cercis canadensis</i> 'Northern Strain'	Northern Strain Redbud	4	8" TALL	B&B	MULTI-STEM
COU	<i>Cornus occidentalis</i> 'Ultram'	Ultra Hackberry	8	2 1/2'	B&B	
CSA	<i>Cornus spicata</i> 'Autumn Gold'	Autumn Gold Spice	3	2 1/2'	B&B	
GBF	<i>Gleditsia bicolor</i> 'Pinnacle Sentry'	Pinnacle Sentry Ginkgo	6	2 1/2'	B&B	
GTS	<i>Gleditsia triacanthos</i> 'Shademaster'	Shademaster Honeylocust	7	2 1/2'	B&B	
MPF	<i>Malva</i> 'Prairie Fire'	Prairie Fire Crabapple	8	8" TALL	B&B	MULTI-STEM
NSW	<i>Nyssa sylvatica</i> 'Winkler'	Winkler Black Gum	4	2 1/2'	B&B	
OV	<i>Ostrya virginiana</i>	Ironwood	8	8" TALL	B&B	MULTI-STEM
SRI	<i>Syringa reticulata</i> 'Ivory Pillar'	Ivory Pillar Japanese Tree Lilac	5	1 1/2'	B&B	
EVERGREEN TREES						
AC	<i>Abies concolor</i>	Concolor Fir	7	8" TALL	B&B	
PGD	<i>Picea glauca</i> var. 'densata'	Black Hills Spruce	12	8" TALL	B&B	
PS	<i>Pinus strobus</i>	Eastern White Pine	4	8" TALL	B&B	

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT COND	NOTES
DECIDUOUS SHRUBS						
AM	<i>Aronia melanocarpa</i> 'Vigors Beauty'	Vigors Beauty Chokeberry	5	36" TALL	POT	
CSA	<i>Cornus sericea</i> 'White Fire'	White Fire Dogwood	11	36" TALL	POT	
FGB	<i>Forsythia gardenii</i> 'Beaver Creek'	Beaver Creek Forsythia	17	18" TALL	POT	
HMA	<i>Hydrangea macrophylla</i> 'All Summer Beauty'	All Summer Beauty Hydrangea	5	24" TALL	B&B	
POS	<i>Physocarpus opulifolius</i> 'Seward'	Summer Wine Ninebark	8	36" TALL	POT	
RT	<i>Rhus typhina</i>	Staghorn sumac	31	48" TALL	POT	
SJM	<i>Spiraea japonica</i> 'Magic Carpet'	Magic Carpet Spiraea	20	12" TALL	POT	
SP	<i>Syringa pendula</i>	Bloomerang Lilac	10	24" TALL	POT	
VCC	<i>Viburnum cerasifolium</i>	Korean Spice Viburnum	10	36" TALL	POT	
VT	<i>Viburnum trilobum</i> 'Alfred'	Alfred Crabapple/Viburnum	7	48" TALL	POT	
WR	<i>Weigela 'Rumba'</i>	Rumba Weigela	11	24" TALL	POT	
EVERGREEN SHRUBS						
CPG	<i>Chamaecyparis pfitzeri</i> 'Golden Mops'	Golden Mops False Cypress	18	18" TALL	POT	
JHB	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	9	12" TALL	POT	
JSW	<i>Juniperus scopulorum</i> 'Witch's Jigger'	Witch's Juniper	6	24" TALL	POT	
JVB	<i>Juniperus virginiana</i> 'Blue Mountain'	Blue Mountain Juniper	17	24" TALL	POT	
RP	<i>Rhododendron 'PJM'</i>	PJM Rhododendron	7	36" TALL	POT	
TCB	<i>Tsuga canadensis</i> 'Banner'	Banner Dwarf Canadian Hemlock	21	24" TALL	POT	
TMT	<i>Taxus x media</i> 'Taunton'	Taunton Yew	23	24" TALL	B&B	
TOH	<i>Thuja occidentalis</i> 'Horseshoe'	Horseshoe Arborvitae	4	24" TALL	B&B	
TOS	<i>Thuja occidentalis</i> 'Smaragd'	Pyramidal Arborvitae	29	48" TALL	B&B	

SITE LANDSCAPE PLAN - GENERAL NOTES

- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
- ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
- LANDSCAPE EDGING SHALL BE ALUMINUM "CURV-RITE" EDGING.
- ALL TREES IN TURF AREAS SHALL HAVE A 5" DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH.
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- INFILTRATION MIX SHALL CONFORM TO PRAIRIE NURSERY 'MOIST MEADOW AND RAIN GARDEN MIX'.
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DATE: 04-01-15
 REVISED:

DR: ALN/B: AS

FN: 14-03-104

Sheet Number:
L101



Qty	Label	Arrangement	Total Lamp Lumens	Lum. Lumens	LLF	Description
16	OA23	SINGLE	14000	9612	0.750	LUMARK + FFT11523P15
3	OB3	SINGLE	N.A.	2649	0.875	LUMARK + XTOR3A
17	OC	SINGLE	N.A.	1209	0.940	LUMIRE + 303-B1-LED2-400-LIN-T2-DIVELY-02-30

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ENTIRE SITE	Brightness	Fc	0.55	15.5	0.0	N.A.	N.A.
PARKING LOT & DRIVES	Brightness	Fc	1.44	5.5	0.4	3.60	13.75


Enterprise Lighting LTD
QUARRY VISTA / ELAN
RESIDENTIAL DEVELOPMENT
FITCHBURG, WISCONSIN
SITE LIGHTING PLAN
 DATE: APR. 15, 2015 SCALE: 1" = 30'-0" SHEET NUMBER: E1



Date: Dec 10, 2014

Enterprise Lighting, LTD.
2007 Pewaukee Rd.
Waukesha WI 53188
Phone: (262) 953-2700
Fax: (262) 953-2710

Job Name
Quarry Vista - current site

Bid Date
Dec 10, 2014

Submittal Date
Dec 10, 2014

Submitted by Enterprise Lighting, LTD.	Catalog Number: PFT11523P15	Type: OA23
Enterprise Lighting	Job Name: Quarry Vista - current site	Notes:

COOPER LIGHTING - LUMARK®

DESCRIPTION
The Lumark Tribute Pole/Fixture Combo features all you need for easy selection and installation for poles and fixtures. Including the quality, die-cast Tribute area luminaire and 8" arm complete with lamp, square straight steel pole and necessary anchorage. Available in single or dual fixture combinations.

The Tribute/Pole Combo is ideal for parking areas, access roadways and other general off street area/site lighting applications.

Catalog #	Type
Project	Date
Comments	
Prepared by	

SPECIFICATION FEATURES

Construction
Rugged one-piece die-cast aluminum housing and door frame finished in dark bronze polyester powder paint. One-piece silicone gasket protects the optical chamber from performance degrading contaminants. One (1) stainless spring latch and two (2) stainless steel hinges allow toolless opening and removal of door frame. U.L. Listed and CSA certified for wet locations.

Electrical
Ballast and related electrical componentry are hard mounted to die-cast housing for optimal heat transfer and operating efficiency.

Mounting
Extruded 8" aluminum arm features internal bolt guides for easy positioning of fixture during installation to pole.

Finish
Housing and arm finished in a 5 stage premium TGIC bronze polyester powder coat paint.

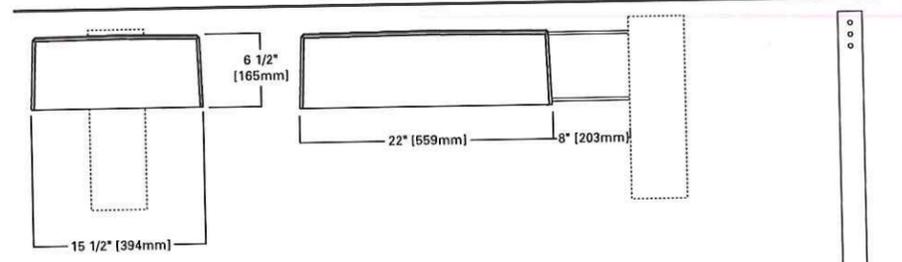
Reflector
Hydroformed anodized aluminum reflector offered in an adjustable Type II/III or a Type IV distribution. Optical modules are field rotatable in 90° increments and offered standard with medium or mogul-base lampholders.

Pole
Shaft is one piece construction ASTM A500 grade "B" steel, shot blasted and finished in dark bronze polyester powder coat. Anchor base is fabricated from ASTM grade steel. ASTM A366 steel full base cover is provided to enclose base plate and anchor bolts. Anchor bolts are per ASTM A576 with (2) nuts, (2) flat washers, and (1) lock washer. Hardware and threaded portion of bolt are hot dip galvanized. 3" hook for 3/4" bolt. 4" hook for 1" bolt.

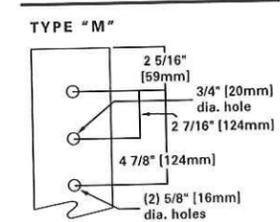


LAMP TYPE	WATTAGE
Pulse Start Metal Halide (MP)	150, 250, 320, 400W
High Pressure Sodium (HP)	150, 250, 400W

DIMENSIONS



DRILLING PATTERNS



PFT TRIBUTE AND POLE COMBO

150 - 400 W
High Pressure Sodium
Pulse Start Metal Halide

15' - 30'
Square Straight
Steel Pole

POLE AND FIXTURE COMBO

TECHNICAL DATA (Fixture)

U.L. Wet Location Listed
CSA Certified
EISA Compliant

ENERGY DATA
Hi-Reactance Ballast Input Watts
150W HPS HPF (190 Watts)
150W MP HPF (185 Watts)

CWA Ballast Input Watts
250W MP HPF (283 Watts)
250W HPS HPF (295 Watts)
320W MP HPF (365 Watts)
400W MP HPF (452 Watts)
400W HPS HPF (465 Watts)

EPA
Effective Projected Area: (Sq. Ft.)
Single: 1.62
Dual: 3.24

SHIPPING DATA
Approximate Net Weight:
39 lbs. (17.73 kgs.)

ORDERING INFORMATION **PFT TRIBUTE AND POLE COMBO**

Sample Number: PFT1153H159N/AB

Series PFT-Tribute Pole Combo	Number of Fixtures 1=1 2=2	Lamp Wattage 15=150W 25=250W 32=320W 40=400W	Distribution 23=Type II/III 4F=Type IV Formed	Lamp Type 1 P=Pulse Start Metal Halide H=High Pressure Sodium	Pole Height 15=15' 20=20' 25=25' 30=30'	Zone 9=90 MPH Wind Zone 0=100 MPH Wind Zone	Options 2 N/AB=No Anchor Bolts (Used when ordered separately)
---	---	---	--	--	--	--	---

Notes: 1 8 inch arm and pole adapter included with fixture. Lamp included with all PFT configurations.
 2 N/AB models available by specifying N/AB (IE: PFT11523P15N/AB).
 * Note: Supplied with Multi-Tap ballast 120/208/240/277 (wired 277V) with square straight steel shaft, anchor bolts, template, base cover and hardware.

Lamp Source/Number of Fixtures	Pole Height	Wattage	Distribution	80 MPH	90 MPH 1	100 MPH 1	
HIGH PRESSURE SODIUM (HPS)							
Single Fixture							
	15' Pole	150W HPS	Type II/III	PFT11523H15 2	PFT11523H15 2	PFT11523H15 2	
		250W HPS	Type IV	PFT1154FH15 2	PFT1154FH15 2	PFT1154FH15 2	
		400W HPS	Type II/III	PFT12523H20 2	PFT12523H20 2	PFT12523H20 2	
	20' Pole	250W HPS	Type IV	PFT1254FH20 2	PFT1254FH20 2	PFT1254FH20 2	
		400W HPS	Type II/III	PFT14023H20 2	PFT14023H20 2	PFT14023H20 2	
		400W HPS	Type IV	PFT1404FH20 2	PFT1404FH20 2	PFT1404FH20 2	
		25' Pole	250W HPS	Type II/III	PFT12523H25 2	PFT12523H25 2	PFT12523H25 2
			400W HPS	Type IV	PFT1254FH25 2	PFT1254FH25 2	PFT1254FH25 2
			400W HPS	Type II/III	PFT14023H25 2	PFT14023H25 2	PFT14023H25 2
	30' Pole	400W HPS	Type IV	PFT1404FH25 2	PFT1404FH25 2	PFT1404FH25 2	
		250W HPS	Type II/III	PFT12523H30 3	PFT12523H30 3	PFT12523H30 3	
		400W HPS	Type IV	PFT1254FH30 3	PFT1254FH30 3	PFT1254FH30 3	
400W HPS		Type II/III	PFT14023H30 3	PFT14023H30 3	PFT14023H30 3		
400W HPS		Type IV	PFT1404FH30 3	PFT1404FH30 3	PFT1404FH30 3		
Dual Fixture							
	15' Pole	150W HPS	Type II/III	PFT21523H15 2	PFT21523H15 2	PFT21523H15 2	
		250W HPS	Type IV	PFT2154FH15 2	PFT2154FH15 2	PFT2154FH15 2	
		400W HPS	Type II/III	PFT22523H20 2	PFT22523H20 2	PFT22523H20 2	
	20' Pole	250W HPS	Type IV	PFT2254FH20 2	PFT2254FH20 2	PFT2254FH20 2	
		400W HPS	Type II/III	PFT24023H20 2	PFT24023H20 2	PFT24023H20 2	
		400W HPS	Type IV	PFT2404FH20 2	PFT2404FH20 2	PFT2404FH20 2	
		25' Pole	250W HPS	Type II/III	PFT22523H25 2	PFT22523H25 2	PFT22523H25 2
			400W HPS	Type IV	PFT2254FH25 2	PFT2254FH25 2	PFT2254FH25 2
			400W HPS	Type II/III	PFT24023H25 2	PFT24023H25 2	PFT24023H25 2
	30' Pole	400W HPS	Type IV	PFT2404FH25 2	PFT2404FH25 2	PFT2404FH25 2	
		250W HPS	Type II/III	PFT22523H30 3	PFT22523H30 3	PFT22523H30 3	
		400W HPS	Type IV	PFT2254FH30 3	PFT2254FH30 3	PFT2254FH30 3	
400W HPS		Type II/III	PFT24023H30 3	PFT24023H30 3	PFT24023H30 3		
400W HPS		Type IV	PFT2404FH30 3	PFT2404FH30 3	PFT2404FH30 3		
PULSE START METAL HALIDE (PSMH)							
Single Fixture							
	15' Pole	150W PSMH	Type II/III	PFT11523P15 2	PFT11523P15 2	PFT11523P15 2	
		250W PSMH	Type IV	PFT1154FP15 2	PFT1154FP15 2	PFT1154FP15 2	
		320W PSMH	Type II/III	PFT12523P20 2	PFT12523P20 2	PFT12523P20 2	
	20' Pole	320W PSMH	Type IV	PFT1254FP20 2	PFT1254FP20 2	PFT1254FP20 2	
		400W PSMH	Type II/III	PFT13223P20 2	PFT13223P20 2	PFT13223P20 2	
		400W PSMH	Type IV	PFT1324FP20 2	PFT1324FP20 2	PFT1324FP20 2	
		25' Pole	400W PSMH	Type II/III	PFT14023P20 2	PFT14023P20 2	PFT14023P20 2
			250W PSMH	Type IV	PFT1404FP20 2	PFT1404FP20 2	PFT1404FP20 2
			250W PSMH	Type II/III	PFT12523P25 2	PFT12523P25 2	PFT12523P25 2
	30' Pole	320W PSMH	Type IV	PFT1254FP25 2	PFT1254FP25 2	PFT1254FP25 2	
		400W PSMH	Type II/III	PFT13223P25 2	PFT13223P25 2	PFT13223P25 2	
		400W PSMH	Type IV	PFT1324FP25 2	PFT1324FP25 2	PFT1324FP25 2	
25' Pole		400W PSMH	Type II/III	PFT14023P25 2	PFT14023P25 2	PFT14023P25 2	
		400W PSMH	Type IV	PFT1404FP25 2	PFT1404FP25 2	PFT1404FP25 2	
		250W PSMH	Type II/III	PFT12523P30 3	PFT12523P30 3	PFT12523P30 3	
30' Pole	320W PSMH	Type IV	PFT1254FP30 3	PFT1254FP30 3	PFT1254FP30 3		
	400W PSMH	Type II/III	PFT13223P30 3	PFT13223P30 3	PFT13223P30 3		
	400W PSMH	Type IV	PFT1324FP30 3	PFT1324FP30 3	PFT1324FP30 3		
	25' Pole	400W PSMH	Type II/III	PFT14023P30 3	PFT14023P30 3	PFT14023P30 3	
		400W PSMH	Type IV	PFT1404FP30 3	PFT1404FP30 3	PFT1404FP30 3	
		150W PSMH	Type II/III	PFT21523P15 2	PFT21523P15 2	PFT21523P15 2	
20' Pole	250W PSMH	Type IV	PFT2154FP15 2	PFT2154FP15 2	PFT2154FP15 2		
	320W PSMH	Type II/III	PFT22523P20 2	PFT22523P20 2	PFT22523P20 2		
	320W PSMH	Type IV	PFT2254FP20 2	PFT2254FP20 2	PFT2254FP20 2		
	400W PSMH	Type II/III	PFT23223P20 2	PFT23223P20 2	PFT23223P20 2		
	400W PSMH	Type IV	PFT2324FP20 2	PFT2324FP20 2	PFT2324FP20 2		
	25' Pole	400W PSMH	Type II/III	PFT24023P20 2	PFT24023P20 2	PFT24023P20 2	
400W PSMH		Type IV	PFT2404FP20 2	PFT2404FP20 2	PFT2404FP20 2		
250W PSMH		Type II/III	PFT22523P25 2	PFT22523P25 2	PFT22523P25 2		
30' Pole	320W PSMH	Type IV	PFT2254FP25 2	PFT2254FP25 2	PFT2254FP25 2		
	400W PSMH	Type II/III	PFT23223P25 2	PFT23223P25 2	PFT23223P25 2		
	400W PSMH	Type IV	PFT2324FP25 2	PFT2324FP25 2	PFT2324FP25 2		
	25' Pole	400W PSMH	Type II/III	PFT24023P25 2	PFT24023P25 2	PFT24023P25 2	
		400W PSMH	Type IV	PFT2404FP25 2	PFT2404FP25 2	PFT2404FP25 2	
		250W PSMH	Type II/III	PFT22523P30 3	PFT22523P30 3	PFT22523P30 3	
30' Pole	320W PSMH	Type IV	PFT2254FP30 3	PFT2254FP30 3	PFT2254FP30 3		
	400W PSMH	Type II/III	PFT23223P30 3	PFT23223P30 3	PFT23223P30 3		
	400W PSMH	Type IV	PFT2324FP30 3	PFT2324FP30 3	PFT2324FP30 3		
	25' Pole	400W PSMH	Type II/III	PFT24023P30 3	PFT24023P30 3	PFT24023P30 3	
		400W PSMH	Type IV	PFT2404FP30 3	PFT2404FP30 3	PFT2404FP30 3	
		250W PSMH	Type II/III	PFT22523P30 3	PFT22523P30 3	PFT22523P30 3	
30' Pole	320W PSMH	Type IV	PFT2254FP30 3	PFT2254FP30 3	PFT2254FP30 3		
	400W PSMH	Type II/III	PFT23223P30 3	PFT23223P30 3	PFT23223P30 3		
	400W PSMH	Type IV	PFT2324FP30 3	PFT2324FP30 3	PFT2324FP30 3		
	25' Pole	400W PSMH	Type II/III	PFT24023P30 3	PFT24023P30 3	PFT24023P30 3	
		400W PSMH	Type IV	PFT2404FP30 3	PFT2404FP30 3	PFT2404FP30 3	
		250W PSMH	Type II/III	PFT22523P30 3	PFT22523P30 3	PFT22523P30 3	
30' Pole	320W PSMH	Type IV	PFT2254FP30 3	PFT2254FP30 3	PFT2254FP30 3		
	400W PSMH	Type II/III	PFT23223P30 3	PFT23223P30 3	PFT23223P30 3		
	400W PSMH	Type IV	PFT2324FP30 3	PFT2324FP30 3	PFT2324FP30 3		
	25' Pole	400W PSMH	Type II/III	PFT24023P30 3	PFT24023P30 3	PFT24023P30 3	
		400W PSMH	Type IV	PFT2404FP30 3	PFT2404FP30 3	PFT2404FP30 3	
		250W PSMH	Type II/III	PFT22523P30 3	PFT22523P30 3	PFT22523P30 3	
30' Pole	320W PSMH	Type IV	PFT2254FP30 3	PFT2254FP30 3	PFT2254FP30 3		
	400W PSMH	Type II/III	PFT23223P30 3	PFT23223P30 3	PFT23223P30 3		
	400W PSMH	Type IV	PFT2324FP30 3	PFT2324FP30 3	PFT2324FP30 3		
	25' Pole	400W PSMH	Type II/III	PFT24023P30 3	PFT24023P30 3	PFT24023P30 3	
		400W PSMH	Type IV	PFT2404FP30 3	PFT2404FP30 3	PFT2404FP30 3	
		250W PSMH	Type II/III	PFT22523P30 3	PFT22523P30 3	PFT22523P30 3	
30' Pole	320W PSMH	Type IV	PFT2254FP30 3	PFT2254FP30 3	PFT2254FP30 3		
	400W PSMH	Type II/III	PFT23223P30 3	PFT23223P30 3	PFT23223P30 3		
	400W PSMH	Type IV	PFT2324FP30 3	PFT2324FP30 3	PFT2324FP30 3		
	25' Pole	400W PSMH	Type II/III	PFT24023P30 3	PFT24023P30 3	PFT24023P30 3	
		400W PSMH	Type IV	PFT2404FP30 3	PFT2404FP30 3	PFT2404FP30 3	
		250W PSMH	Type II/III	PFT22523P30 3	PFT22523P30 3	PFT22523P30 3	
30' Pole	320W PSMH	Type IV	PFT2254FP30 3	PFT2254FP30 3	PFT2254FP30 3		
	400W PSMH	Type II/III	PFT23223P30 3	PFT23223P30 3	PFT23223P30 3		
	400W PSMH	Type IV	PFT2324FP30 3	PFT2324FP30 3	PFT2324FP30 3		
	25' Pole	400W PSMH	Type II/III	PFT24023P30 3	PFT24023P30 3	PFT24023P30 3	
		400W PSMH	Type IV	PFT2404FP30 3	PFT2404FP30 3	PFT2404FP30 3	
		250W PSMH	Type II/III	PFT22523P30 3	PFT22523P30 3	PFT22523P30 3	
30' Pole	320W PSMH	Type IV	PFT2254FP30 3	PFT2254FP30 3	PFT2254FP30 3		
	400W PSMH	Type II/III	PFT23223P30 3	PFT23223P30 3	PFT23223P30 3		
	400W PSMH	Type IV	PFT2324FP30 3	PFT2324FP30 3	PFT2324FP30 3		
	25' Pole	400W PSMH	Type II/III	PFT24023P30 3	PFT24023P30 3	PFT24023P30 3	
		400W PSMH	Type IV	PFT2404FP30 3	PFT2404FP30 3	PFT2404FP30 3	
		250W PSMH	Type II/III	PFT22523P30 3	PFT22523P30 3	PFT22523P30 3	
30' Pole	320W PSMH	Type IV	PFT2254FP30 3	PFT2254FP30 3	PFT2254FP30 3		
	400W PSMH	Type II/III	PFT23223P30 3	PFT23223P30 3	PFT23223P30 3		
	400W PSMH	Type IV	PFT2324FP30 3	PFT2324FP30 3	PFT2324FP30 3		
	25' Pole	400W PSMH	Type II/III	PFT24023P30 3	PFT24023P30 3	PFT24023P30 3	
		400W PSMH	Type IV	PFT2404FP30 3	PFT2404FP30 3	PFT2404FP30 3	
		250W PSMH	Type II/III	PFT22523P30 3	PFT22523P30 3	PFT22523P30 3	
30' Pole	320W PSMH	Type IV	PFT2254FP30 3	PFT2254FP30 3	PFT2254FP30 3		
	400W PSMH	Type II/III	PFT23223P30 3	PFT23223P30 3	PFT23223P30 3		
	400W PSMH	Type IV	PFT2324FP30 3	PFT2324FP30 3	PFT2324FP30 3		
	25' Pole	400W PSMH	Type II/III	PFT24023P30 3	PFT24023P30 3	PFT24023P30 3	
		400W PSMH	Type IV	PFT2404FP30 3	PFT2404FP30 3	PFT2404FP30 3	
		250W PSMH	Type II/III	PFT22523P30 3	PFT22523P30 3	PFT22523P30 3	
30' Pole	320W PSMH	Type IV	PFT2254FP30 3	PFT2254FP30 3	PFT2254FP30 3		
	400W PSMH	Type II/III	PFT23223P30 3	PFT23223P30 3	PFT23223P30 3		
	400W PSMH	Type IV	PFT2324FP30 3	PFT2324FP30 3	PFT2324FP30 3		
	25' Pole	400W PSMH	Type II/III	PFT24023P30 3	PFT24023P30 3	PFT24023P30 3	
		400W PSMH	Type IV	PFT2404FP30 3	PFT2404FP30 3	PFT2404FP30 3	
		250W PSMH	Type II/III	PFT22523P30 3	PFT22523P30 3	PFT22523P30 3	
30' Pole	320W PSMH	Type IV	PFT2254FP30 3	PFT2254FP30 3	PFT2254FP30 3		
	400W PSMH	Type II/III	PFT23223P30 3	PFT23223P30 3	PFT23223P30 3		
	400W PSMH	Type IV	PFT2324FP30 3	PFT2324FP30 3	PFT2324FP30 3		
	25' Pole	400W PSMH	Type II/III	PFT24023P30 3	PFT24023P30 3	PFT24023P30 3	
		400W PSMH	Type IV	PFT2404FP30 3	PFT2404FP30 3	PFT2404FP30 3	
		250W PSMH	Type II/III	PFT22523P30 3	PFT22523P30 3	PFT22523P30 3	
30' Pole	320W PSMH	Type IV	PFT2254FP30 3	PFT2254FP30 3	PFT2254FP30 3		
	400W PSMH	Type II/III	PFT23223P30 3	PFT23223P30 3	PFT23223P30 3		
	400W PSMH	Type IV	PFT2324FP30 3	PFT2324FP30 3	PFT2324FP30 3		
	25' Pole	400W PSMH	Type II/III	PFT24023P30 3	PFT24023P30 3	PFT24023P30 3	
		400W PSMH	Type IV	PFT2404FP30 3	PFT2404FP30 3	PFT2404FP30 3	
		250W PSMH	Type II/III	PFT22523P30 3	PFT22523P30 3	PFT22523P30 3	
30' Pole	320W PSMH	Type IV	PFT2254FP30 3	PFT2254FP30 3	PFT2254FP30 3		
	400W PSMH	Type II/III	PFT23223P30 3	PFT23223P30 3	PFT23223P30 3		
	400W PSMH	Type IV	PFT2324FP30 3	PFT2324FP30 3	PFT2324FP30 3		
	25' Pole	400W PSMH	Type II/III	PFT24023P30 3	PFT24023P30 3	PFT24023P30 3	
		400W PSMH	Type IV	PFT2404FP30 3	PFT2404FP30 3	PFT2404FP30 3	
		250W PSMH	Type II/III	PFT22523P30 3	PFT22523P30 3	PFT22523P30 3	



DESCRIPTION

The patent pending Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks.

SPECIFICATION FEATURES

Construction

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and large design. The small housing is available in 10W and 20W. The large housing is available in the 30W model. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three (3) half-inch, NPT threaded conduit entry points. The universal back box supports both the small and large forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Solid state LED Crosstour luminaires are thermally optimized with five (5) lumen packages in cool 5000K or neutral warm 3500K LED color temperature (CCT).

Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection for adaptation to junction box or wall. External fin design extracts heat from the LED source. 10W models operate in -40°C to 40°C [-40°F to 104°F]. 20W and 30W models operate in -30°C to 40°C [-22°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 70% of initial

light output after 72,000 hours of operation. Three (3) half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

Finish

Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

Warranty

Five-year limited warranty.

Catalog #	Type
Project	
Comments	Date
Prepared by	



XTOR CROSSTOUR LED

APPLICATIONS:
WALL / SURFACE
POST / BOLLARD
LOW LEVEL
FLOODLIGHT
INVERTED
SITE LIGHTING



CERTIFICATION DATA

UL/cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
ARRA Compliant
ADA Compliant
NOM Compliant Models
IP66 Ingress Protection Rated
Lighting Facts® Registered
DesignLights Consortium® Qualified*
Title 24 Compliant

TECHNICAL DATA

40°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum

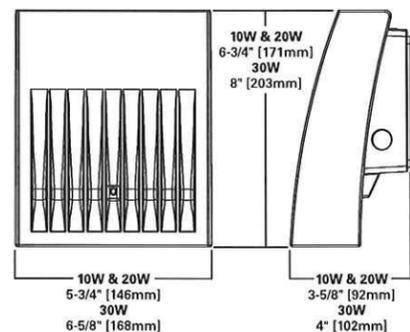
EPA

Effective Projected Area:
(Sq. Ft.)
XTOR1A/XTOR2A=0.34
XTOR3A = 0.45

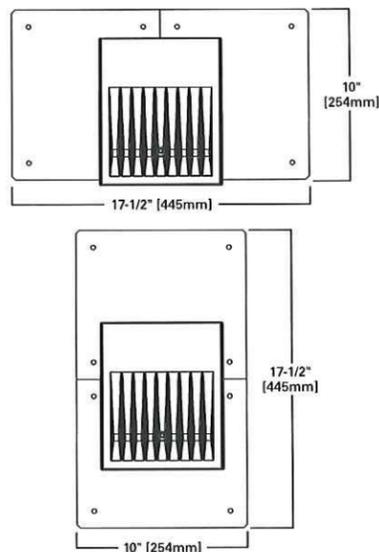
SHIPPING DATA:

Approximate Net Weight:
3.7 – 5.25 lbs. [1.7 – 2.4 kgs.]

DIMENSIONS



ESCUTCHEON PLATES



XTOR CROSSTOUR LED

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
10W Model		
25°C	> 91%	> 350,000
40°C	> 91%	> 340,000
50°C	> 91%	> 330,000
20W Model		
25°C	> 91%	> 340,000
40°C	> 90%	> 320,000
50°C	> 90%	> 300,000
30W Model		
25°C	> 91%	> 340,000
40°C	> 91%	> 320,000
50°C	> 90%	> 300,000

LUMENS - CRI/CCT TABLE

LED Information	XTOR1A	XTOR2A	XTOR2A-N	XTOR3A	XTOR3A-N
Delivered Lumens (Wall Mount)	734	1432	1323	2649	2273
Delivered Lumens (With Flood Accessory Kit)	713	1424	1315	2614	2243
B.U.G. Rating*	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0
CCT (Kelvin)	5000	5000	3500	5000	3500
CRI (Color Rendering Index)	67	65	68	65	68
Power Consumption (Watts)	8W	21W	21W	30W	30W

* B.U.G. Rating does not apply to floodlighting.

CURRENT DRAW

Voltage	Model Series		
	10W	20W	30W
120V	0.06A	0.21A	0.29A
208V	0.04A	0.13A	0.18A
240V	0.04A	0.12A	0.16A
277V	0.03A	0.10A	0.14A
347V	0.03A	0.08A	0.11A

ORDERING INFORMATION

Sample Number: XTOR2A-N-WT-PC1

Series ¹	LED Kelvin Color ²	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR1A=Small Door, 10W XTOR2A=Small Door, 20W XTOR3A=Small Door, 30W	[Blank]=Bright White (Standard) 5000K N=Neutral Warm White, 3500K	[Blank]=Carbon Bronze (Standard) WT=Summit White	347V=347V ³ PC1=Photocontrol 120V ⁴ PC2=Photocontrol 208-277V ^{4,5} HA=50 C High Ambient ⁶	WG/XTOR=Wire Guard ⁷ XTORFLD-KNC=Knuckle Floodlight Kit ⁷ XTORFLD-TRN=Trunnion Floodlight Kit ⁷ XTORFLD-KNC-WT=Knuckle Floodlight Kit, White ⁷ XTORFLD-TRN-WT=Trunnion Floodlight Kit, White ⁷

NOTES: 1 DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2 XTOR1A not available in 3500K. 3 Photocontrols are factory installed. 4 Order PC2 for 347V models. 5 Thru-branch wiring not available with HA option or with 347V. 6 Wire guard for wall/surface mount. Not for use with floodlight kit accessory. 7 Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small and large top visors and small and large impact shields.

STOCK ORDERING INFORMATION

10W Series	20W Series	30W Series
XTOR1A=10W, 5000K, Carbon Bronze	XTOR2A=20W, 5000K, Carbon Bronze	XTOR3A=30W, 5000K, Carbon Bronze
XTOR1A-WT=10W, 5000K, Summit White	XTOR2A-N=20W, 3500K, Carbon Bronze	XTOR3A-N=30W, 3500K, Carbon Bronze
XTOR1A-PC1=10W, 5000K, 120V PC, Carbon Bronze	XTOR2A-WT=20W, Summit White	XTOR3A-WT=30W, Summit White
	XTOR2A-PC1=20W, 120V PC, Carbon Bronze	XTOR3A-PC1=30W, 120V PC, Carbon Bronze



5-DAY QUICK SHIP ORDERING INFORMATION

10W Series	20W Series	30W Series
XTOR1A-WT-PC1=10W, 5000K, Summit White, 120V PC	XTOR2A-PC2=20W, 5000K, 208-277V PC, Carbon Bronze	XTOR3A-PC2=30W, 5000K, 208-277V PC, Carbon Bronze
	XTOR2A-WT-PC1=20W, 5000K, Summit White, 120V PC	XTOR3A-WT-PC1=30W, 5000K, Summit White, 120V PC
	XTOR2A-WT-PC2=20W, 5000K, Summit White, 208-277V PC	XTOR3A-WT-PC2=30W, 5000K, Summit White, 208-277V PC
	XTOR2A-N-WT=20W, 3500K, Summit White	XTOR3A-N-WT=30W, 3500K, Summit White
	XTOR2A-N-PC1=20W, 3500K, 120V PC, Carbon Bronze	XTOR3A-N-PC1=30W, 3500K, 120V PC, Carbon Bronze
	XTOR2A-N-PC2=20W, 3500K, 208-277V PC, Carbon Bronze	XTOR3A-N-PC2=30W, 3500K, 208-277V PC, Carbon Bronze
	XTOR2A-N-WHT-PC1=20W, 3500K, Summit White, 120V PC	XTOR3A-N-WHT-PC1=30W, 3500K, Summit White, 120V PC
	XTOR2A-N-WT-PC2=20W, 3500K, Summit White, 208-277V PC	XTOR3A-N-WT-PC2=30W, 3500K, Summit White, 208-277V PC

Submitted by Enterprise Lighting, LTD.



Job Name:
Quarry Vista - current site

Catalog Number:
303-B1-LEDB2-4000-UNV-T2-DIMELV-BZ-36

Notes:

Type:

OC

lumière

DESCRIPTION

Eon 303 - B1 and 303 - B2 are compact, low profile, dimmable, LED bollards that provide downlight only via a fixed head. 303 - B1 has a single head on one side of the luminaire and 303 - B2 has two, integrated heads coming off opposite sides of the luminaire. 303 - B1 and 303 - B2 come standard with universal input LED drivers (120 - 277V, 50/60 Hz). Dimming is achieved with a standard ELV, reverse phase dimming driver. Eon fixtures may be used indoors or outdoors and carry an IP66 rating. Our patented LumaLevelTM leveling system provides quick installation, easy adjustment, secure mounting and protection from vibration.

Catalog #	Type
Project	
Comments	Date
Prepared by	

SPECIFICATION FEATURES

A ... Material

Head is precision-machined from corrosion-resistant 6061-T6 aluminum. Body is extruded aluminum and mounting base is cast from corrosion resistant silicone aluminum alloy.

B ... Finish

Fixture and mounting base are double protected by a RoHS compliant chemical film undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. Mounting base is painted black. Fixture housing and head are available in a variety of standard colors. In addition to the standard five colors offered by Lumiere, the Eon bollards are also available in colors to match other outdoor Cooper brands, such as Invue. See the Finish section in the ordering detail for more information.

C ... Lens

Clear, tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock. EDGE LIT option: when specified with the EDGE option, the glass will be slightly thicker, clear, tempered and sealed in the same manner referenced above. The added glass thickness will offer a brighter line of light around the edge of the glass that will accentuate the fixture's aesthetics and styling.

D ... Adjustable Mounting Base

Cast aluminum mounting base is equipped with the patented LumaLevelTM leveling system that includes mounting chassis, 70 shore neoprene base, stainless steel hardware and 3/4" conduit entry. It provides quick installation, easy adjustment, secure mounting and protection from vibration.

E ... Hardware

Stainless steel hardware is standard to provide maximum corrosion-resistance.

F ... Electrical

Both models come standard with universal input LED drivers (120-277, 50/60Hz). The standard driver is ELV reverse phase dimmable.

G ... LED

LEDs are included and available in three color temperatures (2700K, 3000K & 4000K) and a variety of optics. Both color temperature and distribution must be specified when ordering - see reverse side for details and catalog logic. 303 - B1 comes standard with two mini lightbars and 303 - B2 comes standard with four mini lightbars.

H ... Labels & Approvals

UL and cUL listed, standard wet label. IP66 rated.

I ... Warranty

Lumiere warrants its fixtures against defects in materials & workmanship for five (5) years. Auxiliary equipment such as transformers, ballasts and LED drivers carry the original manufacturer's warranty.



EON

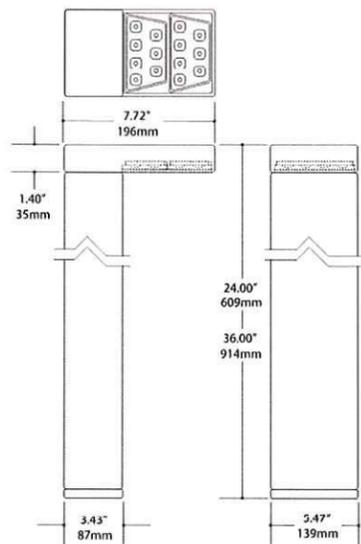
303-B1 / 303-B2

15.5 W LED
31 W LED

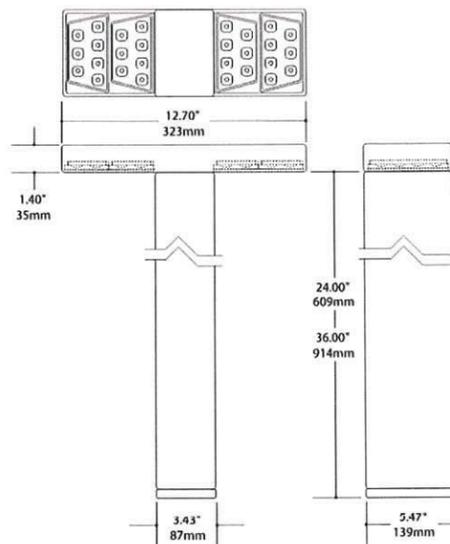
LED
BOLLARD

IP66

303-B1



303-B2



Specification and Dimensions subject to change without notice.

Consult your representative for additional options and finishes.

COOPER Lighting
www.cooperlighting.com

Submitted by Enterprise Lighting, LTD.



Job Name:
Quarry Vista - current site

Catalog Number:
303-B1-LEDB2-4000-UNV-T2-DIMELV-BZ-36

Notes:

Type:

OC

LED INFORMATION

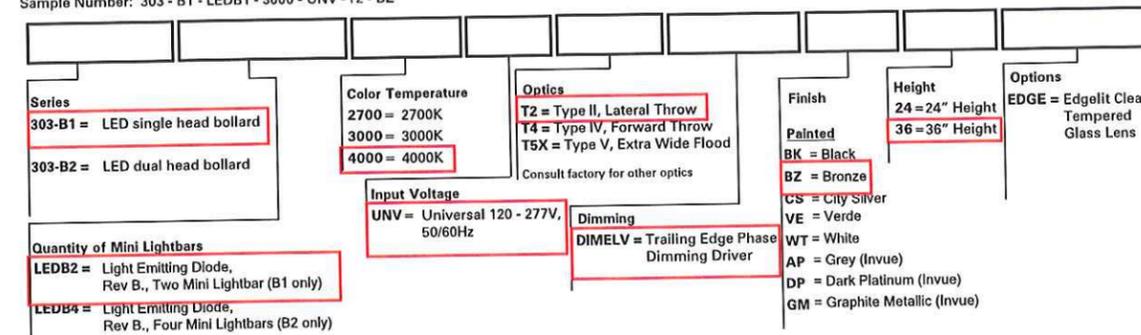
LED	Watts	Distribution	Total Lumens	CRI	°K	Life (hrs.)	Volts
LEDB2 - 2700 - T2	15.5	Type II - Lateral Throw	725	95	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 2700 - T4	15.5	Type IV - Forward Throw	709	85	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 2700 - T5X	15.5	Type V - Flood	626	65	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 3000 - T2	15.5	Type II - Lateral Throw		95	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 3000 - T4	15.5	Type IV - Forward Throw		85	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 3000 - T5X	15.5	Type V - Flood		65	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 4000 - T2	15.5	Type II - Lateral Throw	1209	95	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 4000 - T4	15.5	Type IV - Forward Throw	1181	85	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 4000 - T5X	15.5	Type V - Flood	1044	65	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 2700 - T2	31	Type II - Lateral Throw	1436	95	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 2700 - T4	31	Type IV - Forward Throw	1410	85	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 2700 - T5X	31	Type V - Flood	1247	65	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 3000 - T2	31	Type II - Lateral Throw		95	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 3000 - T4	31	Type IV - Forward Throw		85	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 3000 - T5X	31	Type V - Flood		65	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 4000 - T2	31	Type II - Lateral Throw	2393	95	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 4000 - T4	31	Type IV - Forward Throw	2350	85	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 4000 - T5X	31	Type V - Flood	2078	65	4000	50000	Universal Input (120 - 277V, 50/60Hz)

NOTES AND FORMULAS

- Apply appropriate light loss factors where necessary.
- Photometry is LM-79 compliant.

ORDERING INFORMATION

Sample Number: 303 - B1 - LEDB1 - 3000 - UNV - T2 - BZ



COOPER Lighting
www.cooperlighting.com

Specification and Dimensions subject to change without notice.
Consult your representative for additional options and finishes.



FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN



ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

ARCHITECTURAL SITE PLAN - OVERALL

SHEET NUMBER

ASP100

MASTERPLAN DATA											
BLDG	UNITS							PARKING			
	ST	1BR	1BR+	2BR	2BR+	TOTAL	BR'S	COVERED	SURFACE	TOTAL	RATIO
A1	3	15	9	14	3	44	5B	44	26	70	1.59/UNIT
B1	3	17	13	16	3	52	6B	52	32	84	1.62/UNIT
B2	4	19	15	15	3	56	70	53	31	84	1.50/UNIT
T.	10	51	37	45	9	152	196	149	89	238	1.57/UNIT
	6%	34%	24%	30%	6%						1.21/BR

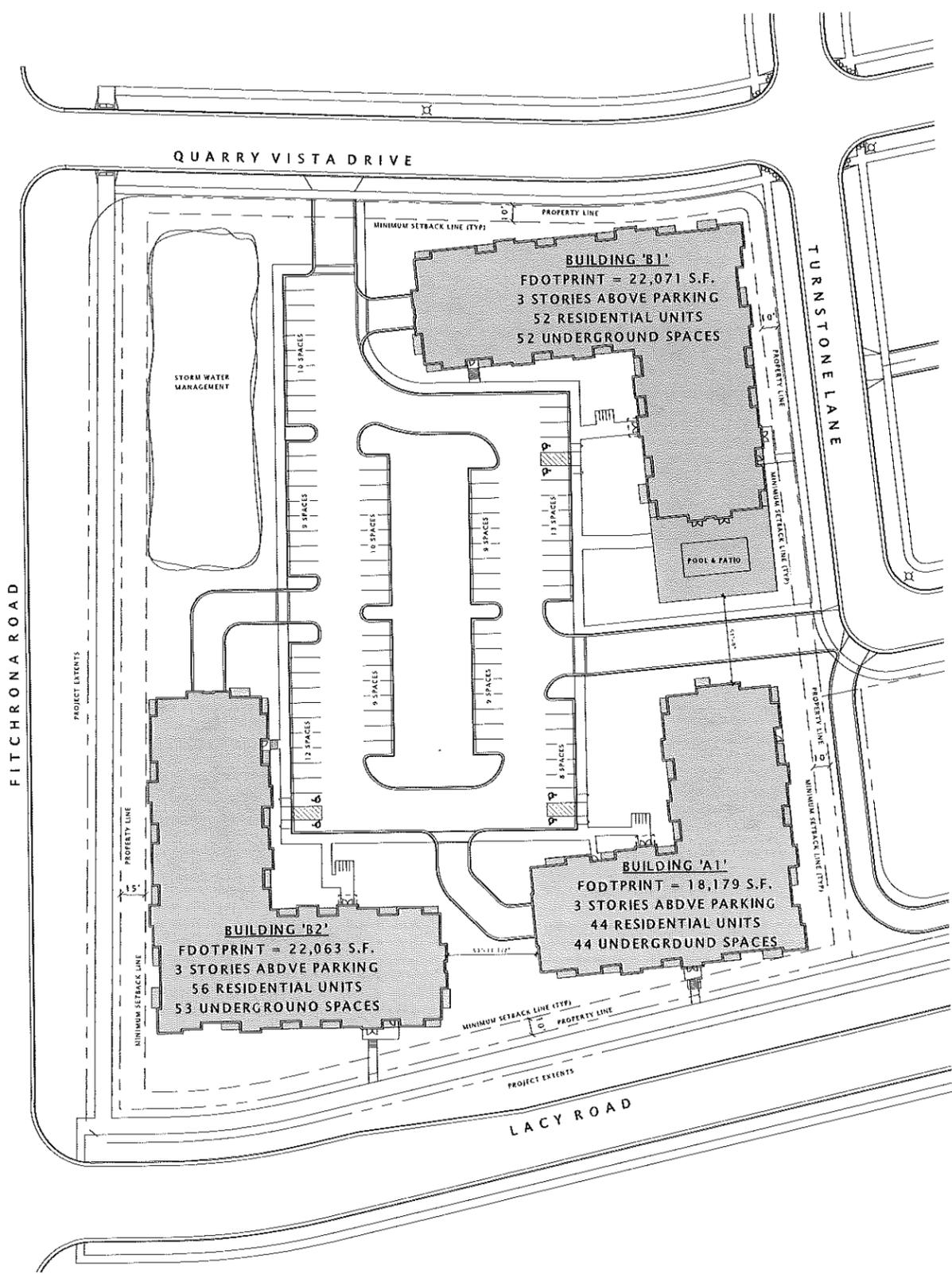
PARKING NOTES:
COVERED VEHICULAR & BICYCLE PARKING COUNTS ARE MINIMUM. SURFACE PARKING COUNTS ARE MAXIMUM. COVERED BICYCLE PARKING SHALL BE PROVIDED IN THE LOWER LEVEL BY INDIVIDUAL STORAGE LOCKERS OR WALL/CEILING HOOKS ABOVE AUTOMOBILE SPACES.

LANDSCAPING NOTES:
ALL LANDSCAPING ELEMENTS SHOWN ON THIS MASTERPLAN ARE CONCEPTUAL ONLY. SEE LANDSCAPE PLANS FOR INFORMATION AND DETAILS REGARDING THE ACTUAL LANDSCAPING FOR THIS PROJECT.

EXTERIOR SITE LIGHTING:
ALL EXTERIOR LIGHTING SHALL BE ESTABLISHED, DIRECTED, AND MAINTAINED SO AS NOT TO BE CAST DIRECTLY ON PUBLIC RIGHTS-OF-WAY OR NEIGHBORING PROPERTIES-- OR BE LIGHTED IN INTENSITY OR COLORS SERIOUSLY DISTURBING TO NEIGHBORING PROPERTIES (PER CITY OF FITCHBURG ZONING CODE SECTION 22-607 (B)10.)

SEE THE FOLLOWING SHEETS FOR ADDITIONAL SITE INFORMATION:
SHEET ASP101-A1 BUILDING 'A1'
SHEET ASP101-B1 BUILDING 'B1'
SHEET ASP101-B2 BUILDING 'B2'

ZONING REQUIREMENT	DESIGN VALUE	CALCULATIONS
SITE DENSITY	31.40 Units/Acre	152 Units / 4.84 AC. = 31.40
BUILDING COVERAGE	29.6% of Parcel	62,321 S.F. / 210,871 S.F. = 29.6%
FLOOR AREA RATIO	83.4% of Parcel	175,887 S.F. / 210,871 S.F. = 83.4%
IMPERVIOUS SURFACE	57.1% of Parcel	120,350 S.F. / 210,871 S.F. = 57.1%
LANDSCAPE AREA	42.9% of Parcel	90,521 S.F. / 210,871 S.F. = 42.9%





ELAN RESIDENTIAL DEVELOPMENT
Fitchrona & Lacy Rd. Fitchburg, Wisconsin



SPECIFIC IMPLEMENTATION PLAN



BUILDING: A1

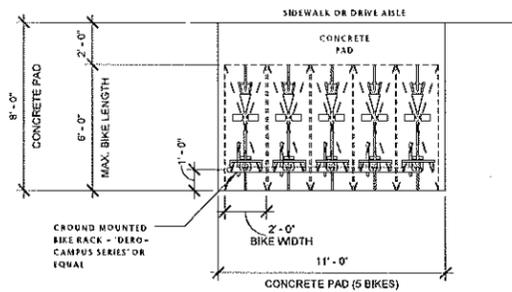
PROGRESS DOCUMENTS

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JLA PROJECT NUMBER: 14-0515

APRIL 21, 2015

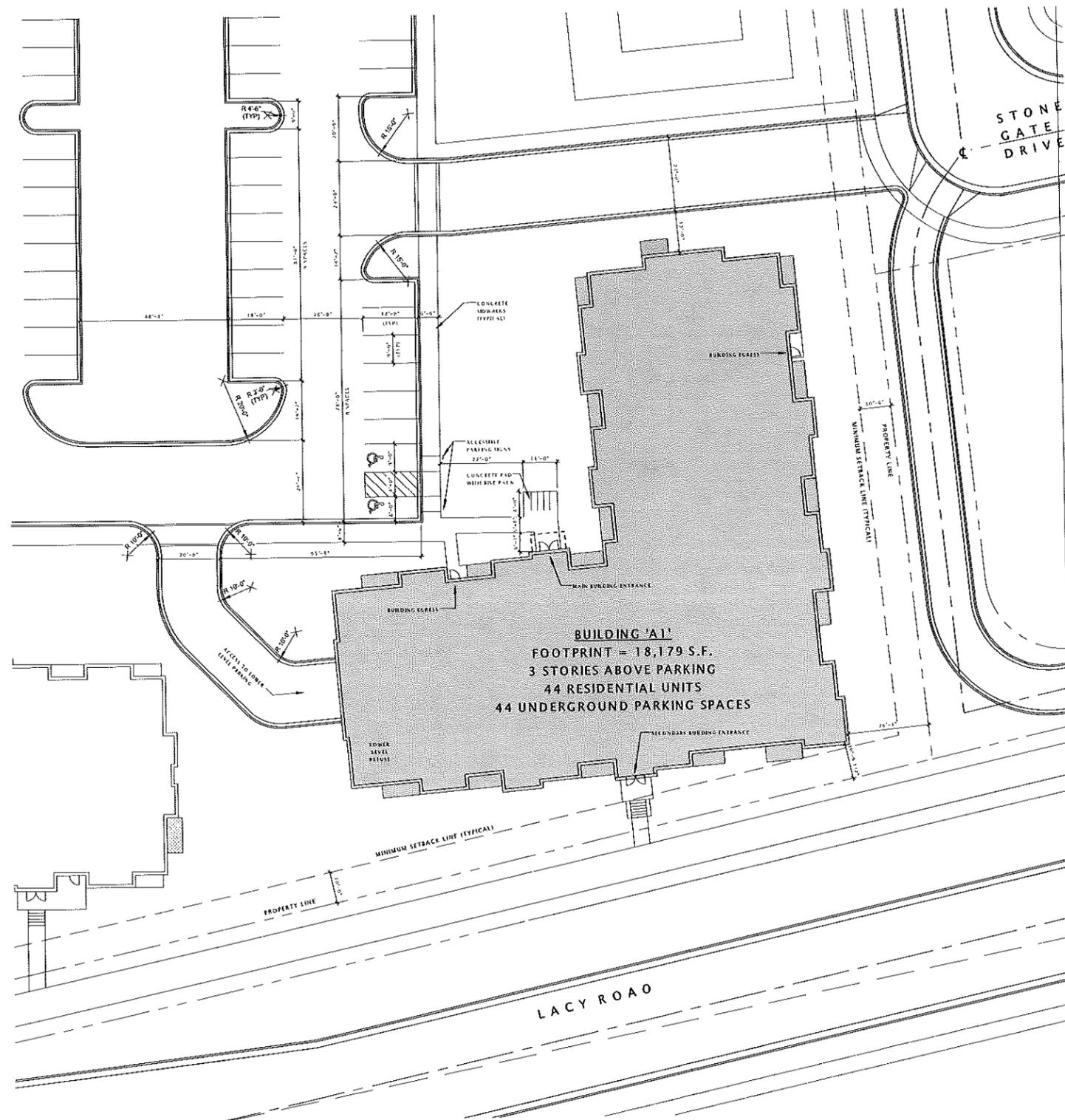


EXTERIOR BIKE PARKING
1/4" = 1'-0"



EXAMPLE OF THE STYLE OF BIKE RACK TO BE LOCATED AT THE EXTERIOR OF EACH BUILDING (SEE SITE PLANS FOR LOCATIONS).

EXTERIOR BIKE RACK STYLE
1/8" = 1'-0"



PROGRESS DOCUMENTS

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DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

ARCHITECTURAL SITE PLAN - BUILDING 'A1'

SHEET NUMBER

ASP101-A1



FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
apartments
ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: APRIL 21, 2015

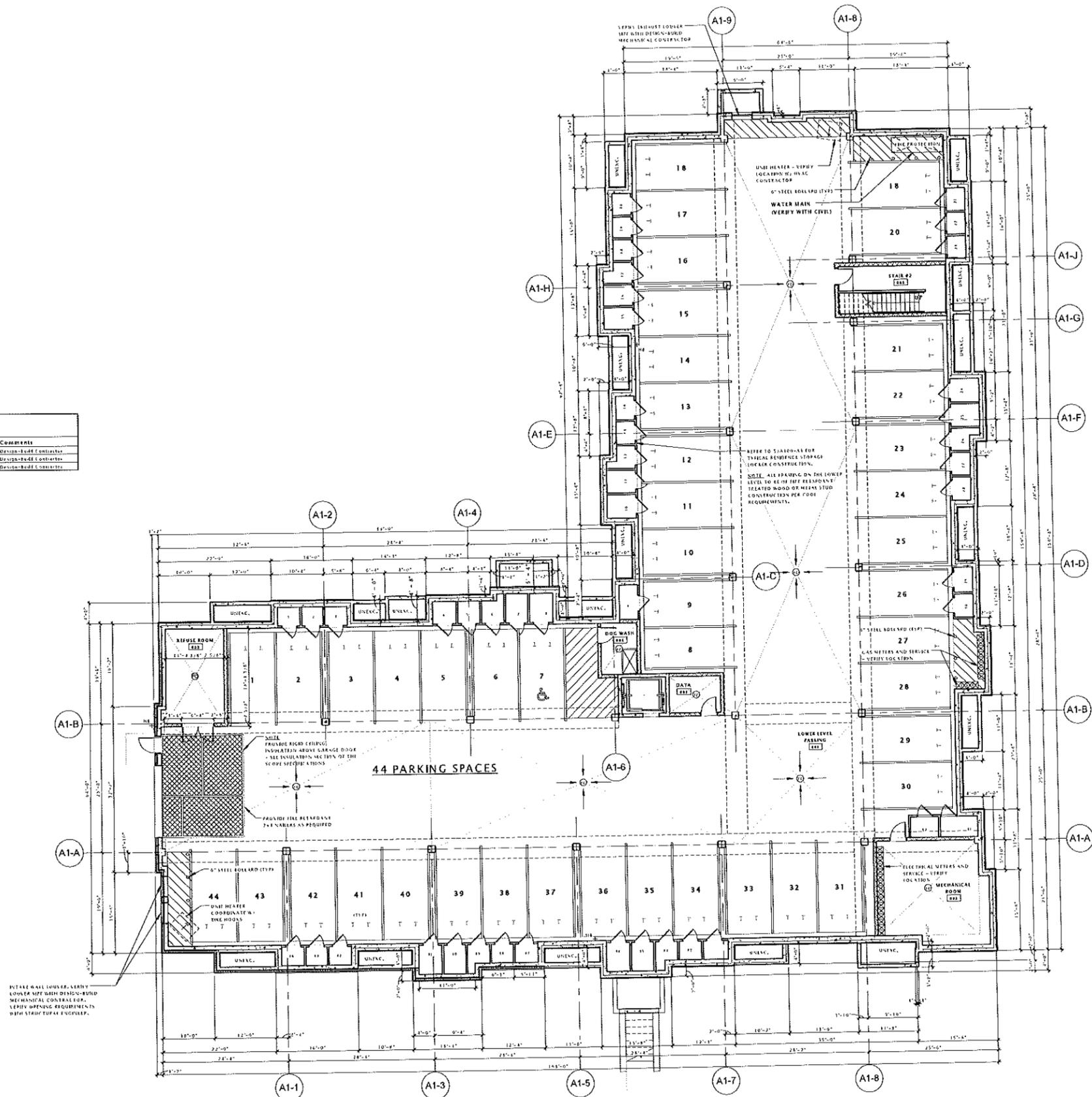
REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE
BUILDING 'A1' LOWER LEVEL PLAN

SHEET NUMBER
A100-A1

Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Type Comments
L2	2'-0"	2'-0"	UNAC FINISH	FED	FED	MATCH HDL W/ST.	Coordinate Size w/ HVAC DESIGN-BUILD CONTRACTOR.
L4	2'-0"	2'-0"	UNAC FINISH	FED	FED	MATCH HDL W/ST.	Coordinate Size w/ HVAC DESIGN-BUILD CONTRACTOR.
L6	2'-0"	2'-0"	UNAC FINISH	FED	FED	MATCH HDL W/ST.	Coordinate Size w/ HVAC DESIGN-BUILD CONTRACTOR.



17 BUILDING 'A1' - LOWER LEVEL PLAN
3/32" = 1'-0"

SEE BUILDING TO BE FULLY SPANNED PER 2009 IBC, SEPA 15, 10 SEPA 13R.



FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
apartments
ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS
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DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
BUILDING 'A1' FIRST FLOOR PLAN

SHEET NUMBER
A101-A1

WINDOW SCHEDULE											
Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS U FACTOR	SHGC	DLO AREA	VENT AREA	Type Comments
A	3'-0"	6'-0"	Slab Double Hung - Single	Polco Windows and Doors	2-1/2" 6-1/2"	WHITE	0.32	0.26	11.6 SF	22.3 SF	22.3 SF Single Pattern As Shown
B	3'-0"	6'-0"	Slab Double Hung - Double	Polco Windows and Doors	2-1/2" 6-1/2"	WHITE	0.32	0.26	11.6 SF	22.3 SF	22.3 SF Double Pattern As Shown
C	6'-0"	6'-0"	Slab Double Hung - Twin	Polco Windows and Doors	2-1/2" 6-1/2"	WHITE	0.32	0.26	22.4 SF	44.6 SF	44.6 SF Single Pattern As Shown
D	6'-0"	6'-0"	Slab Double Hung - Twin	Polco Windows and Doors	2-1/2" 6-1/2"	WHITE	0.32	0.26	22.4 SF	44.6 SF	44.6 SF Double Pattern As Shown
E	3'-0"	6'-0"	Slab Double Hung - Triple	Polco Windows and Doors	2-1/2" 6-1/2"	WHITE	0.32	0.26	11.6 SF	22.3 SF	22.3 SF Single Pattern As Shown
F	3'-0"	6'-0"	Slab Double Hung - Triple	Polco Windows and Doors	2-1/2" 6-1/2"	WHITE	0.32	0.26	11.6 SF	22.3 SF	22.3 SF Double Pattern As Shown
G	2'-0"	6'-0"	Slab Double Hung - Quad	Polco Windows and Doors	2-1/2" 6-1/2"	WHITE	0.32	0.26	7.7 SF	15.4 SF	15.4 SF Single Pattern As Shown
H	2'-0"	6'-0"	Slab Double Hung - Quad	Polco Windows and Doors	2-1/2" 6-1/2"	WHITE	0.32	0.26	7.7 SF	15.4 SF	15.4 SF Double Pattern As Shown

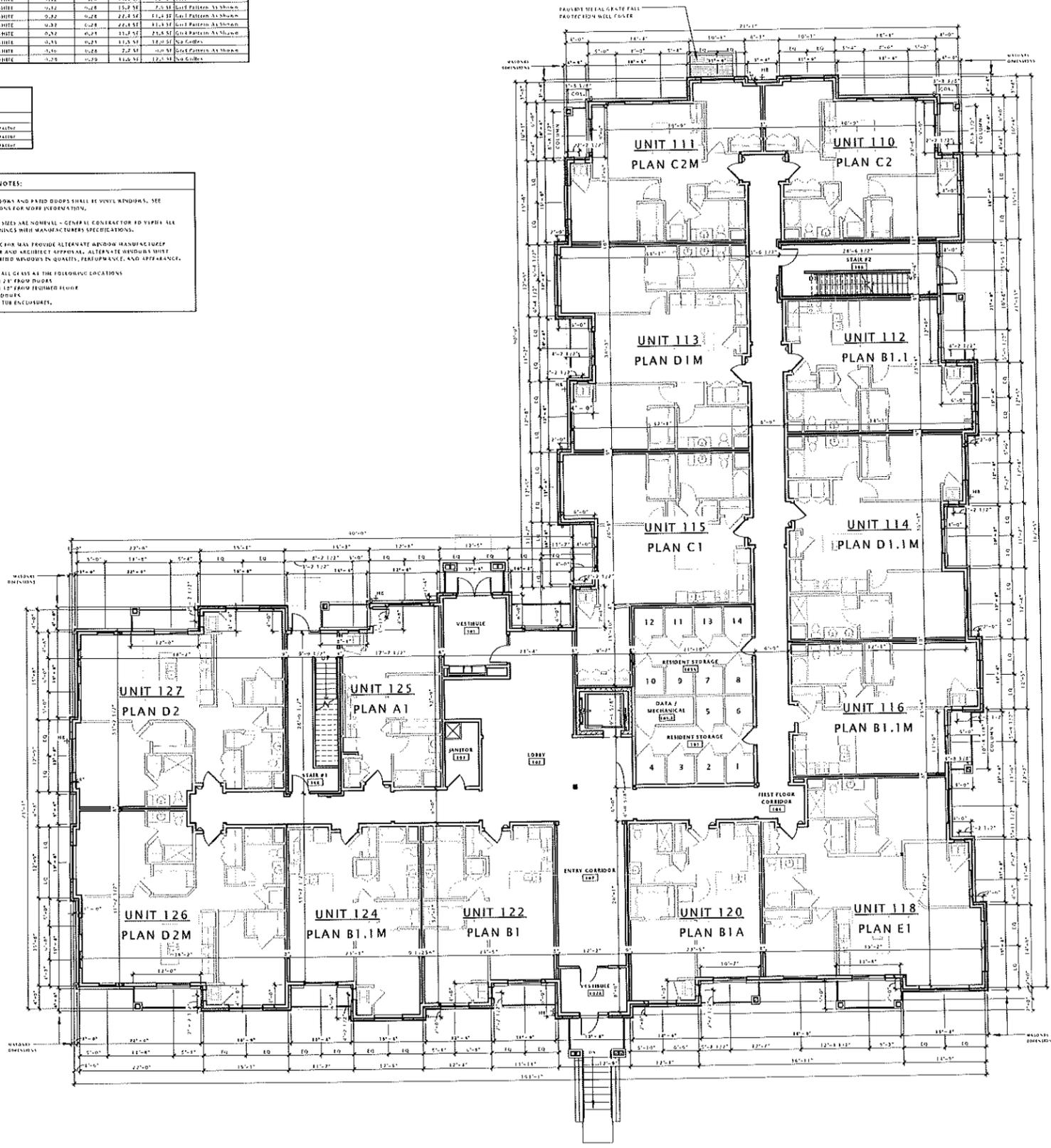
LOUVER SCHEDULE						
Mark	Width	Height	Description	Manufacturer	Model	Type Comments
L1	2'-0"	2'-0"	HVAC Louver	TEO	STATHADL MAT.	Custom Size w/ HVAC Design/Build Contractor
L2	2'-0"	2'-0"	HVAC Louver	TEO	STATHADL MAT.	Custom Size w/ HVAC Design/Build Contractor
L3	2'-0"	2'-0"	HVAC Louver	TEO	STATHADL MAT.	Custom Size w/ HVAC Design/Build Contractor

BUILDING A1 - FIRST FLOOR UNIT SCHEDULE		
UNIT NO.	PLAN TYPE	AREA
110	PLAN C2	850 SF
111	PLAN C2M	850 SF
112	PLAN B1.1	752 SF
113	PLAN D1M	1123 SF
114	PLAN D1.1M	1148 SF
115	PLAN C1	1011 SF
116	PLAN B1.1M	752 SF
118	PLAN E1	1307 SF
120	PLAN B1A	729 SF
122	PLAN B1	729 SF
124	PLAN B1.1M	752 SF
125	PLAN A1	574 SF
126	PLAN D2M	1182 SF
127	PLAN D2	1182 SF

ENLARGED UNIT SHEET LISTING	
SHEET	PLAN TYPES
A410	A1, A1.1, A1M, A1.1M, A2
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.2M
A412	B1A, B1.1A, D1.1A
A413	B2, B2M
A414	C1
A415	C2, C2.1, C2M, C2.1M
A416	C3, C3.1, C3M, C3.1M
A417	D1, D1.2, D1.4, D1.5, D1.6
A418	D1M, D1.1M, D1.3M, D1.4M, D1.5M, D1.6M
A419	D2, D2.1, D2M, D2.1M
A420	E1, E1.1, E1M, E1.1M

WINDOW NOTES:

- SEE WINDOWS AND PATIO DOORS FOR VINYL WINDOWS. SEE SPECIFICATIONS FOR MORE INFORMATION.
- WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR HAS PROVIDED ALTERNATE WINDOW MANUFACTURER WITH OWNER AND ARCHITECT APPROVAL. ALTERNATE WINDOWS MUST EQUAL SPECIFIED WINDOWS IN QUANTITY, PERFORMANCE, AND APPEARANCE.
- TEMPER ALL GLASS AT THE FOLLOWING LOCATIONS:
 - WITHIN 2' FROM DOORS
 - WITHIN 12" FROM FINISHED FLOOR
 - IN ALL DOORS
 - ABOVE TUB ENCLOSURES



17 BUILDING 'A1' - FIRST FLOOR PLAN
3/32" = 1'-0"

DATE: BUILDING TO BE FULLY SPANNISHED PER 2009 IBC, SECTION 13, AND APPA 116.



FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
apartments
ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE

Mark	Description	Date
------	-------------	------

SHEET TITLE

BUILDING 'A1'
SECOND FLOOR PLAN

SHEET NUMBER

A102-A1

WINDOW SCHEDULE											
Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS U FACTOR	SHGC	DIG AREA	VENT AREA	Type Comments
1	3'-0"	6'-0"	Vertical Single Hung - Single	Pharos Windows and Doors	3-00 6-00	WHITE	0.32	0.28	13.2 SF	2.0 SF	Grid Pattern As Shown
2	3'-0"	6'-0"	Vertical Single Hung - Single	Pharos Windows and Doors	3-00 6-00	WHITE	0.32	0.28	13.2 SF	2.0 SF	Grid Pattern As Shown
3	3'-0"	6'-0"	Vertical Single Hung - Single	Pharos Windows and Doors	3-00 6-00	WHITE	0.32	0.28	13.2 SF	2.0 SF	Grid Pattern As Shown
4	3'-0"	6'-0"	Vertical Single Hung - Single	Pharos Windows and Doors	3-00 6-00	WHITE	0.32	0.28	13.2 SF	2.0 SF	Grid Pattern As Shown
5	3'-0"	6'-0"	Vertical Single Hung - Single	Pharos Windows and Doors	3-00 6-00	WHITE	0.32	0.28	13.2 SF	2.0 SF	Grid Pattern As Shown
6	3'-0"	6'-0"	Vertical Single Hung - Single	Pharos Windows and Doors	3-00 6-00	WHITE	0.32	0.28	13.2 SF	2.0 SF	Grid Pattern As Shown
7	3'-0"	6'-0"	Vertical Single Hung - Single	Pharos Windows and Doors	3-00 6-00	WHITE	0.32	0.28	13.2 SF	2.0 SF	Grid Pattern As Shown
8	3'-0"	6'-0"	Vertical Single Hung - Single	Pharos Windows and Doors	3-00 6-00	WHITE	0.32	0.28	13.2 SF	2.0 SF	Grid Pattern As Shown
9	3'-0"	6'-0"	Vertical Single Hung - Single	Pharos Windows and Doors	3-00 6-00	WHITE	0.32	0.28	13.2 SF	2.0 SF	Grid Pattern As Shown
10	3'-0"	6'-0"	Vertical Single Hung - Single	Pharos Windows and Doors	3-00 6-00	WHITE	0.32	0.28	13.2 SF	2.0 SF	Grid Pattern As Shown

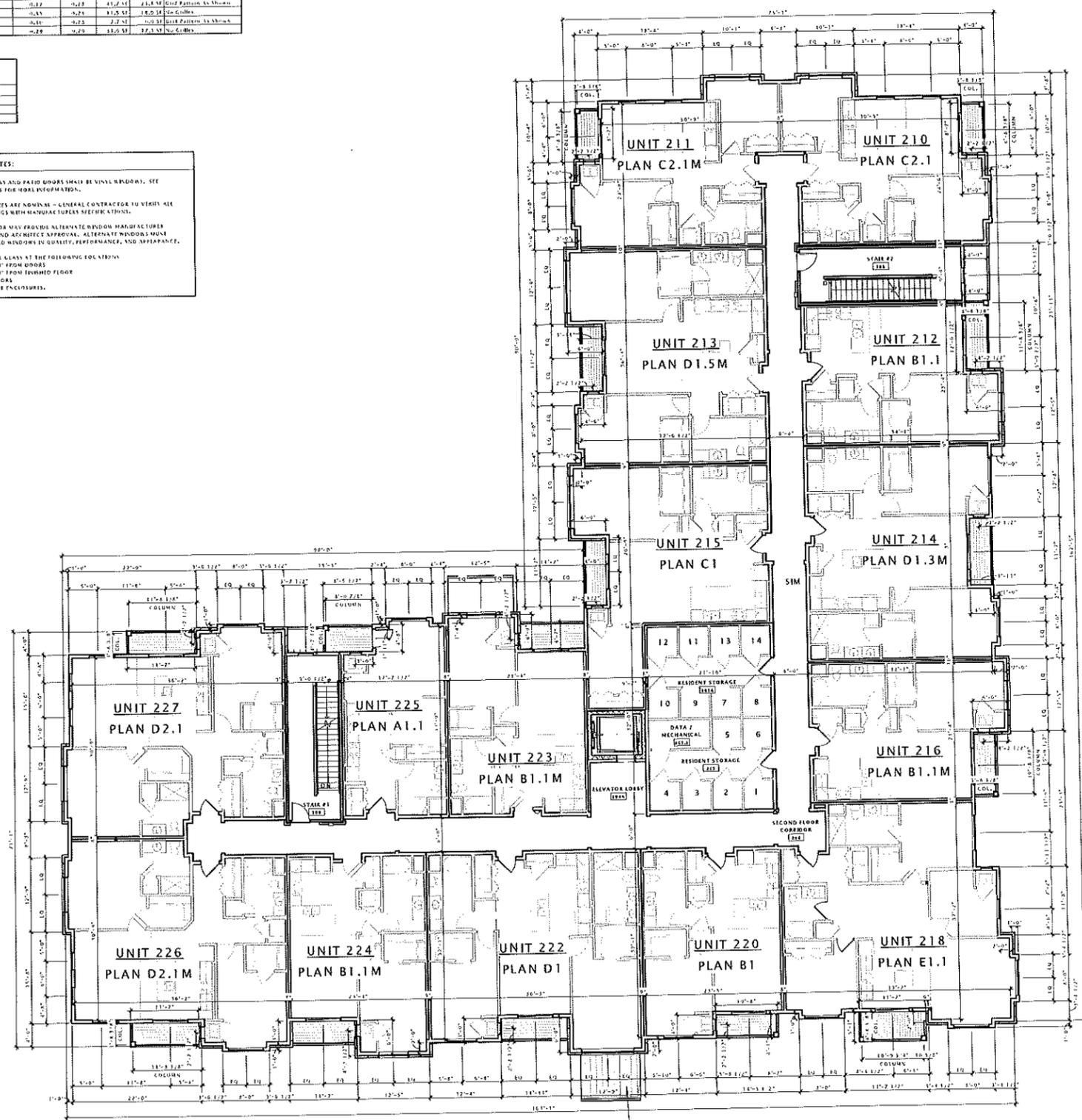
LOUVER SCHEDULE						
Mark	Width	Height	Description	Manufacturer	Model	Type Comments
11	3'-0"	4'-0"	ALU Louvers	TRD	TRD	Match ADA, N.I.T., Custom Size w/ HVAC Design-Build Contractor
12	3'-0"	4'-0"	ALU Louvers	TRD	TRD	Match ADA, N.I.T., Custom Size w/ HVAC Design-Build Contractor
13	3'-0"	4'-0"	ALU Louvers	TRD	TRD	Match ADA, N.I.T., Custom Size w/ HVAC Design-Build Contractor

BUILDING A1 - SECOND FLOOR UNIT SCHEDULE		
UNIT NO.	PLAN TYPE	AREA
210	PLAN C2.1	858 SF
211	PLAN C2.1M	858 SF
212	PLAN E1.1	752 SF
213	PLAN D1.5M	1181 SF
214	PLAN D1.3M	1156 SF
215	PLAN C1	1011 SF
216	PLAN B1.1M	752 SF
218	PLAN E1.1	1331 SF
220	PLAN B1	729 SF
222	PLAN D1	1173 SF
223	PLAN B1.1M	752 SF
224	PLAN B1.1M	752 SF
225	PLAN A1.1	582 SF
226	PLAN D2.1M	1190 SF
227	PLAN D2.1	1190 SF
Grand Total: 15		

ENLARGED UNIT SHEET LISTING	
SHEET	PLAN TYPES
A410	A1, A1.1, A1M, A1.1M, A2
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.2M
A412	B1A, B1.1A, D1.1A
A413	B2, B2M
A414	C1
A415	C2, C2.1, C2M, C2.1M
A416	C3, C3.1, C3M, C3.1M
A417	D1, D1.1, D1.4, D1.5, D1.6
A418	D1M, D1.1M, D1.3M, D1.4M, D1.5M, D1.6M
A419	D2, D2.1, D2M, D2.1M
A420	E1, E1.1, E1M, E1.1M

WINDOW NOTES:

- ALL WINDOWS AND PAINT WINDOWS SHALL BE VINYL WINDOWS. SEE SPECIFICATIONS FOR MORE INFORMATION.
- WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL WINDOW SIZES WITH MANUFACTURER SPECIFICATIONS.
- CONTRACTOR MAY PROVIDE ALTERNATE WINDOW MANUFACTURER WITH OWNER AND ARCHITECT APPROVAL. ALTERNATE WINDOWS MUST EQUAL SPECIFIED WINDOWS IN QUALITY, PERFORMANCE, AND APPEARANCE.
- VERIFY ALL GLASS AT THE FOLLOWING LOCATIONS:
 - WITHIN 24" FROM DOORS
 - WITHIN 14" FROM FINISHED FLOOR
 - IN ALL DOORS
 - AROUND THE ENCLOSURES.



17 BUILDING 'A1' - SECOND FLOOR PLAN
3/32" = 1'-0"



DATE: 04/21/15, 10:24 AM
BY: JLA, 10:24 AM

WINDOW SCHEDULE											
Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS		DLO AREA	VENT AREA	Type Comments
							U FACTOR	SHGC			
A	3'-0"	0'-0"	Sliding Glass Door - Single	Pilco	3000 S-100	WHITE	0.32	0.28	13.5 SF	2.0 SF	See Pattern A1-3000
B	3'-0"	0'-0"	Sliding Glass Door - Double	Pilco	3000 S-100	WHITE	0.32	0.28	13.5 SF	2.0 SF	See Pattern A1-3000
C	3'-0"	0'-0"	Sliding Glass Door - Double	Pilco	3000 S-100	WHITE	0.32	0.28	13.5 SF	2.0 SF	See Pattern A1-3000
D	3'-0"	0'-0"	Sliding Glass Door - Double	Pilco	3000 S-100	WHITE	0.32	0.28	13.5 SF	2.0 SF	See Pattern A1-3000
E	3'-0"	0'-0"	Sliding Glass Door - Double	Pilco	3000 S-100	WHITE	0.32	0.28	13.5 SF	2.0 SF	See Pattern A1-3000
F	3'-0"	0'-0"	Sliding Glass Door - Double	Pilco	3000 S-100	WHITE	0.32	0.28	13.5 SF	2.0 SF	See Pattern A1-3000
G	3'-0"	0'-0"	Sliding Glass Door - Double	Pilco	3000 S-100	WHITE	0.32	0.28	13.5 SF	2.0 SF	See Pattern A1-3000
H	3'-0"	0'-0"	Sliding Glass Door - Double	Pilco	3000 S-100	WHITE	0.32	0.28	13.5 SF	2.0 SF	See Pattern A1-3000

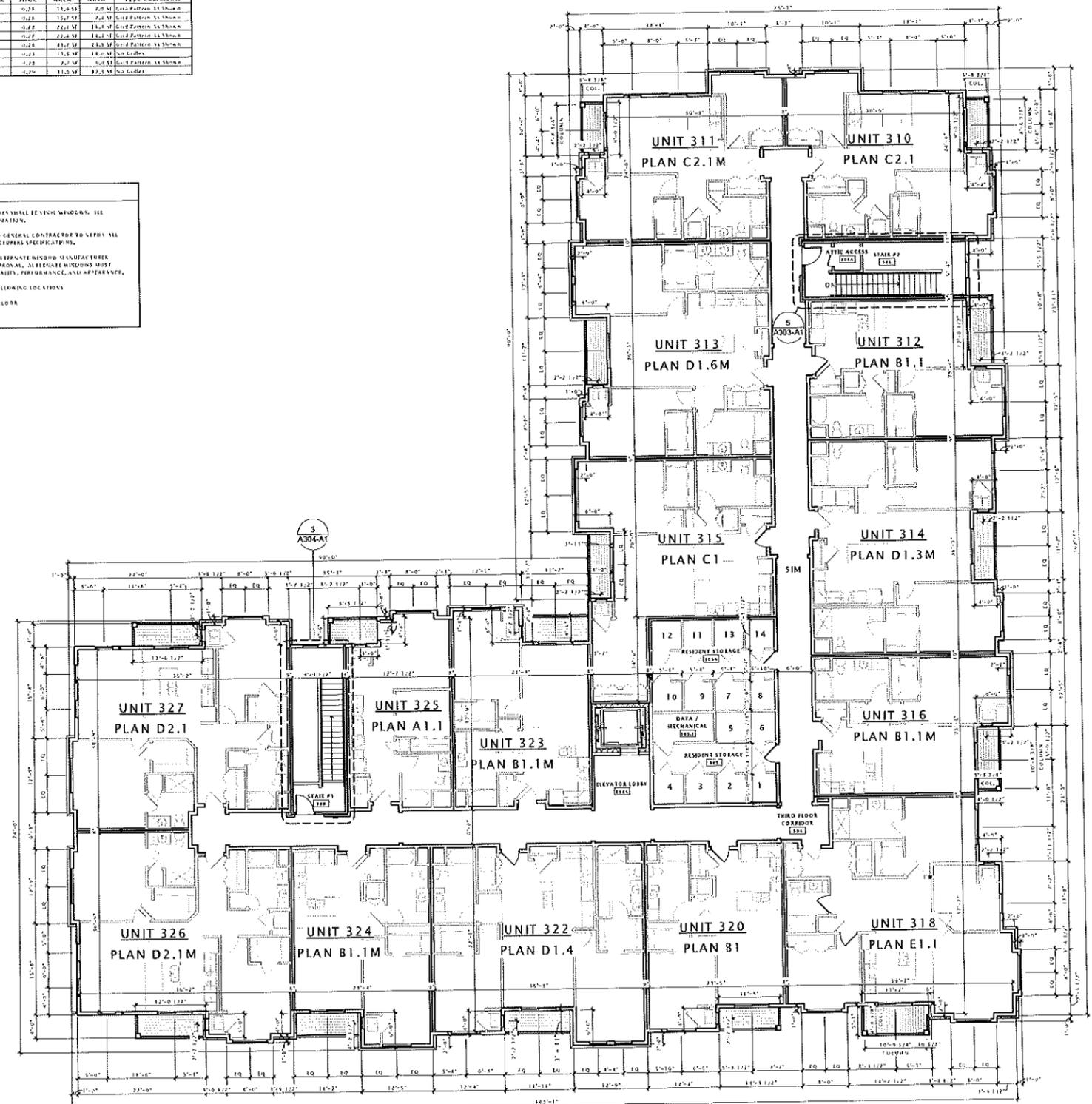
LOUVER SCHEDULE										
Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Type Comments			
L2	2'-0"	2'-0"	HVAC Louver	TRD	TRD	MATCH ADJ. MAT.	Conform Size w/ HVAC Design-Trade Contractor			
L4	4'-0"	2'-0"	HVAC Louver	TRD	TRD	MATCH ADJ. MAT.	Conform Size w/ HVAC Design-Trade Contractor			
L6	4'-0"	2'-0"	HVAC Louver	TRD	TRD	MATCH ADJ. MAT.	Conform Size w/ HVAC Design-Trade Contractor			

BUILDING 'A1' - THIRD FLOOR UNIT SCHEDULE		
UNIT NO.	PLAN TYPE	AREA
310	PLAN C2.1	858 SF
311	PLAN C2.1M	858 SF
312	PLAN B3.1	752 SF
313	PLAN D1.6M	1181 SF
314	PLAN D1.3M	1156 SF
315	PLAN C1	1011 SF
316	PLAN B1.1M	752 SF
318	PLAN E1.1	1331 SF
320	PLAN B1	729 SF
322	PLAN D1.4	1173 SF
323	PLAN B1.1M	752 SF
324	PLAN B1.1M	752 SF
325	PLAN A1.1	582 SF
326	PLAN D2.1M	1190 SF
327	PLAN D2.1	1190 SF
Grand total: 15		

ENLARGED UNIT SHEET LISTING	
SHEET	PLAN TYPES
A410	A1, A1.1, A1M, A1.1M, A2
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.2M
A412	B1A, B1.1A, D1.1A
A413	B2, B2M
A414	C1
A415	C2, C2.1, C2M, C2.1M
A416	C3, C3.1, C3M, C3.1M
A417	D1, D1.2, D1.4, D1.5, D1.6
A418	D1M, D1.1M, D1.3M, D1.4M, D1.3M, D1.6M
A419	D2, D2.1, D2M, D2.1M
A420	E1, E1.1, E1M, E1.1M

WINDOW NOTES:

- ALL WINDOWS AND FIBER GLASS DOORS SHALL BE VINYL WINDOWS. SEE SPECIFICATIONS FOR MORE INFORMATION.
- WINDOW TYPES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR MAY PROVIDE ALTERNATE WINDOW OR GLASS TYPES WITH OWNER AND ARCHITECT APPROVAL. ALL ALTERNATE WINDOWS MUST EQUAL SPECIFIED WINDOWS IN QUALITY, PERFORMANCE, AND APPEARANCE.
- TEMPER GLASS SHALL BE USED AT THE FOLLOWING LOCATIONS:
 - WITHIN 24" FROM DOORS
 - WITHIN 18" FROM FINISHED FLOOR
 - BY ALL DOORS
 - ABOVE THE ENCLOSURE.



17 BUILDING 'A1' - THIRD FLOOR PLAN
3/32" = 1'-0"

NOTE: BUILDING TO BE FULLY SPINNED PER 2009 IBC, AS PER 13. AD 1000 1.1.1.

JLA

JOSEPH LEE ASSOCIATES
2415 CAPS DRIVE SUITE 2100
MADISON, WISCONSIN 53718
TEL: 608.233.2500

JLA PROJECT NUMBER: 14-0515

Fiduciary
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
apartments

ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

BUILDING 'A1' THIRD FLOOR PLAN

SHEET NUMBER

A103-A1



SPECIFIC IMPLEMENTATION PLAN



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Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS 'A1' BUILDING

SHEET NUMBER

A200-A1



6 SOUTH ELEVATION - A1
1/8" = 1'-0"



10 NORTH ELEVATION - A1
1/8" = 1'-0"

PROGRESS DOCUMENTS
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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
EXTERIOR ELEVATIONS 'A1' BUILDING

SHEET NUMBER
A201-A1



6 EAST ELEVATION - A1
1/8" = 1'-0"



16 WEST ELEVATION - A1
1/8" = 1'-0"



ELAN RESIDENTIAL DEVELOPMENT
Fitchrona & Lacy Rd. Fitchburg, Wisconsin



SPECIFIC IMPLEMENTATION PLAN



BUILDING: B1

PROGRESS DOCUMENTS

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JLA PROJECT NUMBER: 14-0515

APRIL 21, 2015



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SPECIFIC IMPLEMENTATION PLAN



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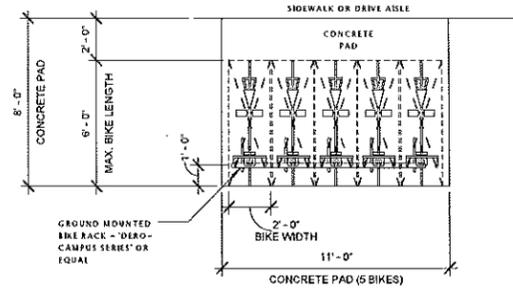
Mark	Description	Date

SHEET TITLE

ARCHITECTURAL SITE PLAN - BUILDING 'B1'

SHEET NUMBER

ASP101-B1

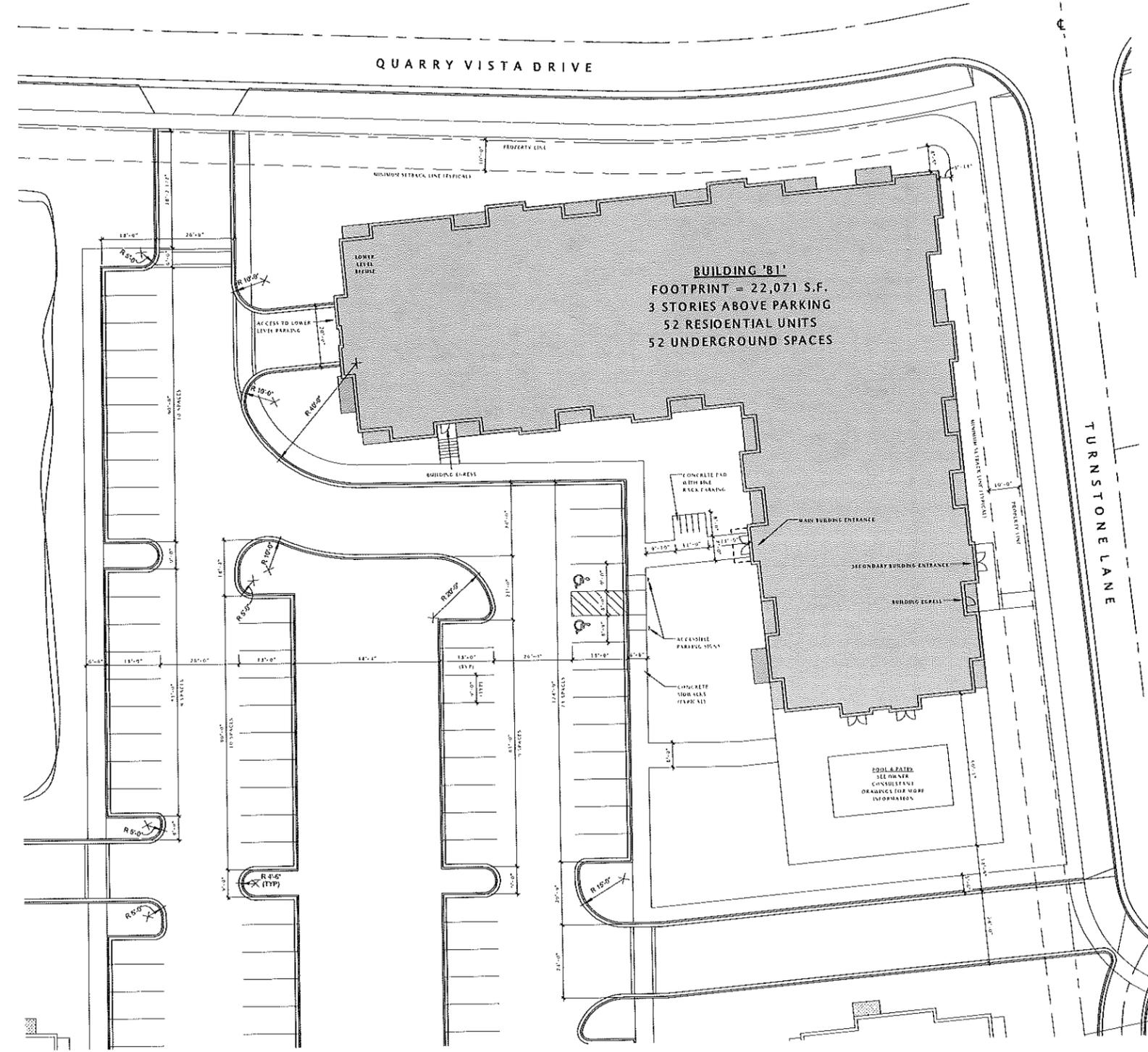


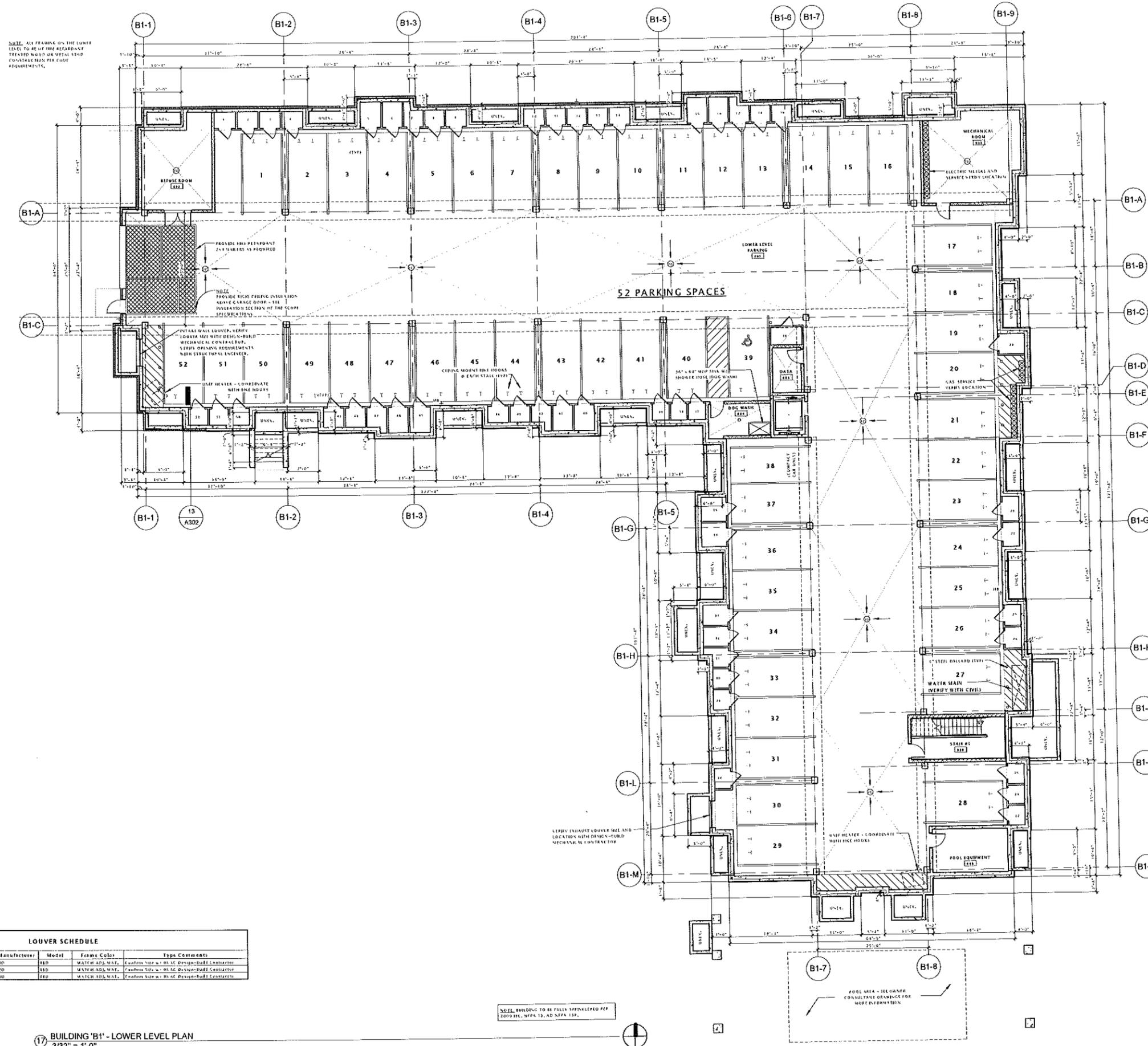
EXTERIOR BIKE PARKING
1/4" = 1'-0"



EXAMPLE OF THE STYLE OF BIKE RACK TO BE LOCATED AT THE EXTERIOR OF EACH BUILDING (SEE SITE PLANS FOR LOCATIONS).

EXTERIOR BIKE RACK STYLE
1/8" = 1'-0"





NOTE: ALL FRAMING ON THE LOUVER LEVEL TO BE UP THE REFERENCE TREATED WOOD OR METAL STUD CONSTRUCTION PER CODE REQUIREMENTS.

PROVIDE RIGID PERFORATED 2x8 TABLET AS REQUIRED

NOTE: PROVIDE RIGID FRAMING INSULATION ABOVE GARAGE DOOR - SEE FOUNDATION SECTION OF THE SCOPE SPECIFICATIONS

INSTALL WALL LAYOUT, VERIFY LOWER LEVEL MECHANICAL CONTRACTOR, VERIFY OPENING REQUIREMENTS WITH STRUCTURAL ENGINEER.

URAF HEATER - COORDINATE WITH RISE HOODS

VERIFY EXISTING LOUVER SIZE AND LOCATION WITH DESIGN-GOULD MECHANICAL CONTRACTOR

POOL AREA - SEE OWNER CONSULTANT DRAWINGS FOR MORE INFORMATION

SOIL BONDING TO BE FULLY SPINNERED PER 2009 IBC, NFPA 13, AND NFPA 119.

Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Type Comments
12	2'-0"	4'-0"	6x6 ALU Louver	TED	1210	MATCH ADJ. MAT.	Custom Size w/ Hvac Design/Build Contractor
13	1'-0"	4'-0"	6x6 ALU Louver	TED	1210	MATCH ADJ. MAT.	Custom Size w/ Hvac Design/Build Contractor
15	4'-0"	4'-0"	6x6 ALU Louver	TED	1210	MATCH ADJ. MAT.	Custom Size w/ Hvac Design/Build Contractor

17 BUILDING 'B1' - LOWER LEVEL PLAN
3/32" = 1'-0"



FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

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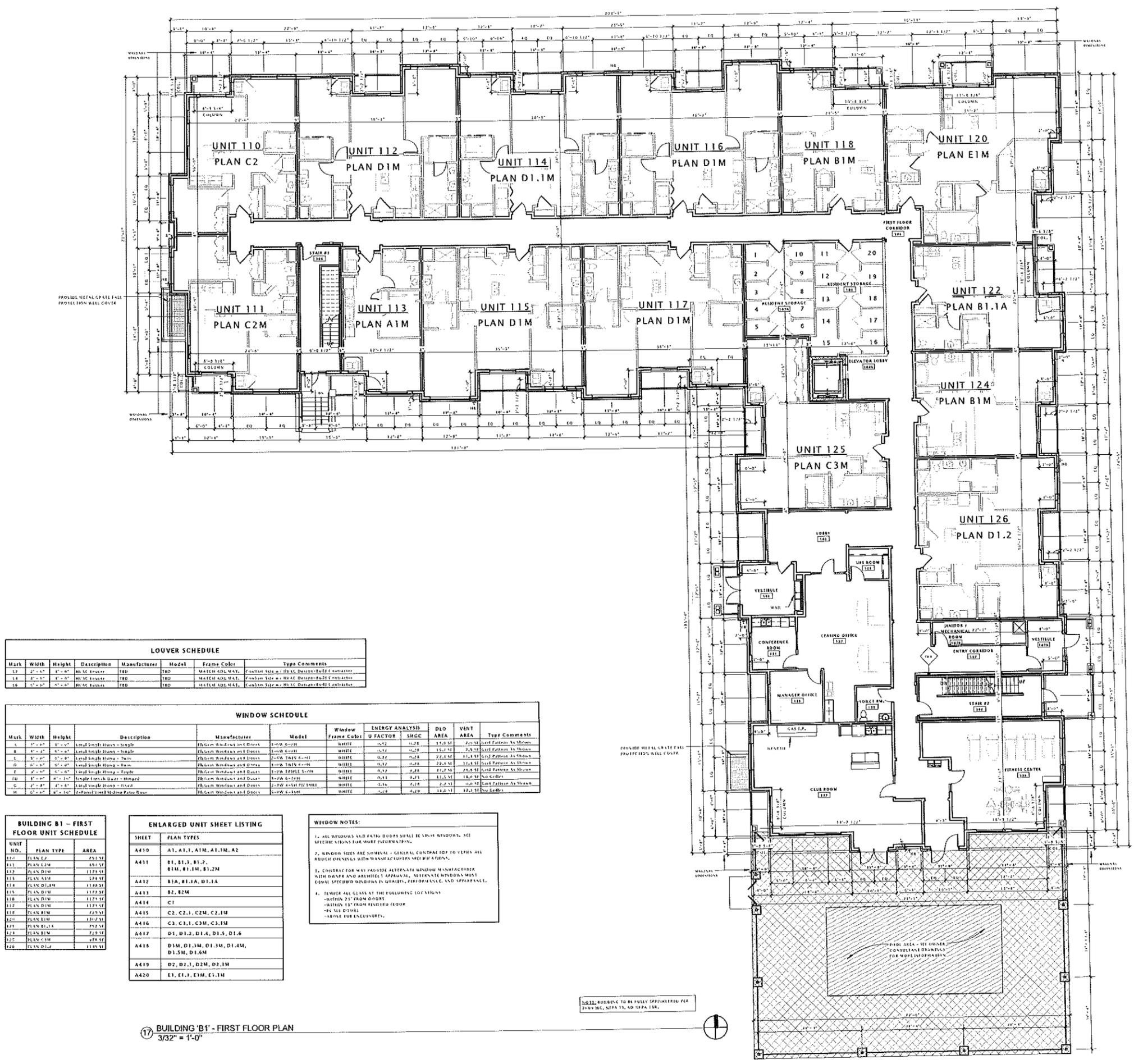
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

BUILDING 'B1' FIRST FLOOR PLAN

SHEET NUMBER

A101-B1



LOUVER SCHEDULE							
Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Type Comments
L1	2'-0"	8'-0"	ALU. ALU. W/ALU.	TRD	TRD	WHITE	Custom Size - 10" ALU. DESIGN - BUILD EXHIBITION
L2	2'-0"	8'-0"	ALU. ALU. W/ALU.	TRD	TRD	WHITE	Custom Size - 10" ALU. DESIGN - BUILD EXHIBITION
L3	2'-0"	8'-0"	ALU. ALU. W/ALU.	TRD	TRD	WHITE	Custom Size - 10" ALU. DESIGN - BUILD EXHIBITION

WINDOW SCHEDULE											
Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS	DLO AREA	VENT AREA	Type Comments	
							U FACTOR	SHGC			
W1	3'-0"	8'-0"	Single Hung Window - Single	Phlox Windows and Doors	3-PW 3000L 5-0M	WHITE	0.27	0.28	11.2 SF	27.4 SF	Unit Pattern As Shown
W2	3'-0"	8'-0"	Single Hung Window - Single	Phlox Windows and Doors	3-PW 3000L 5-0M	WHITE	0.27	0.28	11.2 SF	27.4 SF	Unit Pattern As Shown
W3	3'-0"	8'-0"	Single Hung Window - Single	Phlox Windows and Doors	3-PW 3000L 5-0M	WHITE	0.27	0.28	11.2 SF	27.4 SF	Unit Pattern As Shown
W4	3'-0"	8'-0"	Single Hung Window - Single	Phlox Windows and Doors	3-PW 3000L 5-0M	WHITE	0.27	0.28	11.2 SF	27.4 SF	Unit Pattern As Shown
W5	3'-0"	8'-0"	Single Hung Window - Single	Phlox Windows and Doors	3-PW 3000L 5-0M	WHITE	0.27	0.28	11.2 SF	27.4 SF	Unit Pattern As Shown
W6	3'-0"	8'-0"	Single Hung Window - Single	Phlox Windows and Doors	3-PW 3000L 5-0M	WHITE	0.27	0.28	11.2 SF	27.4 SF	Unit Pattern As Shown
W7	3'-0"	8'-0"	Single Hung Window - Single	Phlox Windows and Doors	3-PW 3000L 5-0M	WHITE	0.27	0.28	11.2 SF	27.4 SF	Unit Pattern As Shown
W8	3'-0"	8'-0"	Single Hung Window - Single	Phlox Windows and Doors	3-PW 3000L 5-0M	WHITE	0.27	0.28	11.2 SF	27.4 SF	Unit Pattern As Shown
W9	3'-0"	8'-0"	Single Hung Window - Single	Phlox Windows and Doors	3-PW 3000L 5-0M	WHITE	0.27	0.28	11.2 SF	27.4 SF	Unit Pattern As Shown
W10	3'-0"	8'-0"	Single Hung Window - Single	Phlox Windows and Doors	3-PW 3000L 5-0M	WHITE	0.27	0.28	11.2 SF	27.4 SF	Unit Pattern As Shown

BUILDING B1 - FIRST FLOOR UNIT SCHEDULE		
UNIT NO.	PLAN TYPE	AREA
110	PLAN C2	753 SF
111	PLAN C2M	451 SF
112	PLAN D1M	1175 SF
113	PLAN A1M	524 SF
114	PLAN D1.1M	1128 SF
115	PLAN D1M	1175 SF
116	PLAN D1M	1175 SF
117	PLAN D1M	1175 SF
118	PLAN B1M	723 SF
120	PLAN E1M	1102 SF
122	PLAN B1.1A	753 SF
124	PLAN B1M	723 SF
125	PLAN C3M	474 SF
126	PLAN D1.2	1128 SF

ENLARGED UNIT SHEET LISTING	
SHEET	PLAN TYPES
A410	A1, A1.1, A1M, A1.1M, A2
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.2M
A412	B1A, B1.1A, D1.1A
A413	B2, B2M
A414	C1
A415	C2, C2.1, C2M, C2.1M
A416	C3, C3.1, C3M, C3.1M
A417	D1, D1.2, D1.4, D1.5, D1.6
A418	D1M, D1.1M, D1.3M, D1.4M, D1.5M, D1.6M
A419	D2, D2.1, D2M, D2.1M
A420	E1, E1.1, E1M, E1.1M

WINDOW NOTES:

- ALL WINDOWS AND PATIO DOORS SHALL BE VENT WINDOWS. SEE SPECIFICATIONS FOR MORE INFORMATION.
- WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL WINDOW OPENINGS WITH MANUFACTURER'S WINDOW SIZES.
- CONTRACTOR TO VERIFY ALTERNATE WINDOW MANUFACTURER WITH OWNER AND ARCHITECT APPROVAL. VERIFY WINDOW MUST EQUAL SPECIFIED WINDOWS IN QUALITY, PERFORMANCE, AND APPEARANCE.
- TEMPER ALL GLASS AT THE FOLLOWING LOCATIONS:
 - WITHIN 2' FROM DOORS
 - WITHIN 18" FROM FINISHED FLOOR
 - NEAR DOORS
 - ADJACENT TO ENCLOSURES

NOTE: BUILDING TO BE FULLY SPRINKLERED PER 2013 IBC, NFPA 13, AND NFPA 13A.

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN RESIDENTIAL DEVELOPMENT

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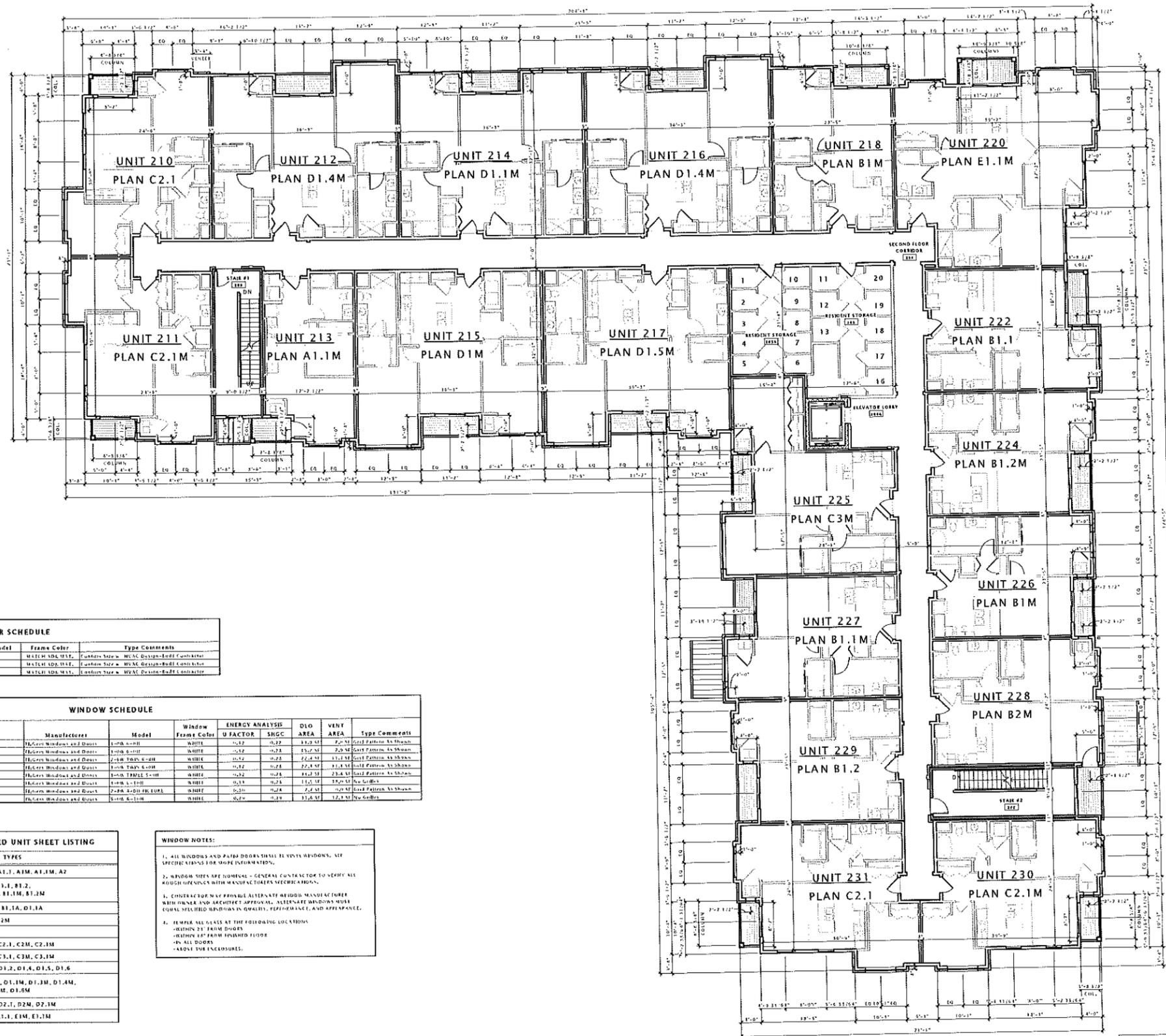
DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE
BUILDING 'B1' SECOND FLOOR PLAN

SHEET NUMBER
A102-B1



Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Type Comments
L2	2'-0"	4'-0"	ALU Louver	FED	FED	WHITE	Custom Size - HVAC Design-Left Cantilever
L4	2'-0"	4'-0"	ALU Louver	FED	FED	WHITE	Custom Size - HVAC Design-Right Cantilever
L6	4'-0"	4'-0"	ALU Louver	FED	FED	WHITE	Custom Size - HVAC Design-Left Cantilever

Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS U FACTOR	SHGC	DLO AREA	VENT AREA	Type Comments
A	4'-0"	4'-0"	Single Hung - Single	Hickok Windows and Doors	1-100 4-0-0	WHITE	0.22	0.22	13.2 SF	2.0 SF	Grid Pattern As Shown
B	4'-0"	4'-0"	Single Hung - Single	Hickok Windows and Doors	1-100 4-0-0	WHITE	0.22	0.22	13.2 SF	2.0 SF	Grid Pattern As Shown
C	4'-0"	4'-0"	Single Hung - Double	Hickok Windows and Doors	2-100 4-0-0	WHITE	0.22	0.22	26.4 SF	4.0 SF	Grid Pattern As Shown
D	4'-0"	4'-0"	Single Hung - Double	Hickok Windows and Doors	2-100 4-0-0	WHITE	0.22	0.22	26.4 SF	4.0 SF	Grid Pattern As Shown
E	4'-0"	4'-0"	Single Hung - Triple	Hickok Windows and Doors	3-100 4-0-0	WHITE	0.22	0.22	39.6 SF	6.0 SF	Grid Pattern As Shown
FD	4'-0"	4'-0"	Single Fixed - Horizontal	Hickok Windows and Doors	1-100 4-0-0	WHITE	0.22	0.22	13.2 SF	0.0 SF	See Grids
G	4'-0"	4'-0"	Single Hung - Fixed	Hickok Windows and Doors	2-100 4-0-0	WHITE	0.22	0.22	26.4 SF	0.0 SF	Grid Pattern As Shown
H	4'-0"	4'-0"	Parted Single Hung - Parted	Hickok Windows and Doors	1-100 4-0-0	WHITE	0.22	0.22	13.2 SF	1.0 SF	See Grids

UNIT NO.	PLAN TYPE	AREA
210	PLAN C2.1	854 SF
211	PLAN C2.1M	854 SF
212	PLAN D1.4M	1173 SF
213	PLAN A1.1M	582 SF
214	PLAN D1.5M	1148 SF
215	PLAN D1M	1173 SF
216	PLAN D1.4M	1173 SF
217	PLAN D1.5M	1191 SF
218	PLAN B1M	725 SF
220	PLAN E1.1M	1321 SF
222	PLAN B1.1	752 SF
224	PLAN B1.2M	737 SF
225	PLAN C3M	974 SF
226	PLAN B1M	725 SF
227	PLAN B1.1M	752 SF
228	PLAN B2M	823 SF
229	PLAN B1.2	737 SF
230	PLAN C2.1M	854 SF
231	PLAN C2.1	854 SF

SHEET	PLAN TYPES
A410	A1, A1.1, A1M, A1.1M, A2
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.1M
A412	B1A, B1.1A, D1.1A
A413	B2, B2M
A414	C1
A415	C2, C2.1, C2M, C2.1M
A416	C3, C3.1, C3M, C3.1M
A417	D1, D1.1, D1.4, D1.4M, D1.5
A418	D1M, D1.1M, D1.1M, D1.4M, D1.5M, D1.5M
A419	D2, D2.1, D2M, D2.1M
A420	E1, E1.1, E1M, E1.1M

WINDOW NOTES:

- ALL WINDOWS AND PARTIALLY OPEN DOORS SHALL BE VENT WINDOWS, SEE SPECIFICATIONS FOR MORE INFORMATION.
- WINDOW TYPES ARE GENERAL - GENERAL CONTRACTOR TO VERIFY ALL WINDOW SPECIFICATIONS WITH MANUFACTURER'S REQUIREMENTS.
- CONTRACTOR TO VERIFY ALL WINDOW MANUFACTURER'S REQUIREMENTS AND ARCHITECT APPROVAL. ALTERNATE WINDOWS MUST EQUAL SPECIFIED WINDOWS IN QUALITY, PERFORMANCE, AND APPEARANCE.

1. REMEAS ALL GLASS AT THE FOLLOWING LOCATIONS:
- WITHIN 2' FROM DOORS
- WITHIN 4' FROM FINISHED FLOOR
- AT ALL DOORS
- ABOUT THE ENCLOSURES.

17 BUILDING 'B1' - SECOND FLOOR PLAN
3/32" = 1'-0"



FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN RESIDENTIAL DEVELOPMENT

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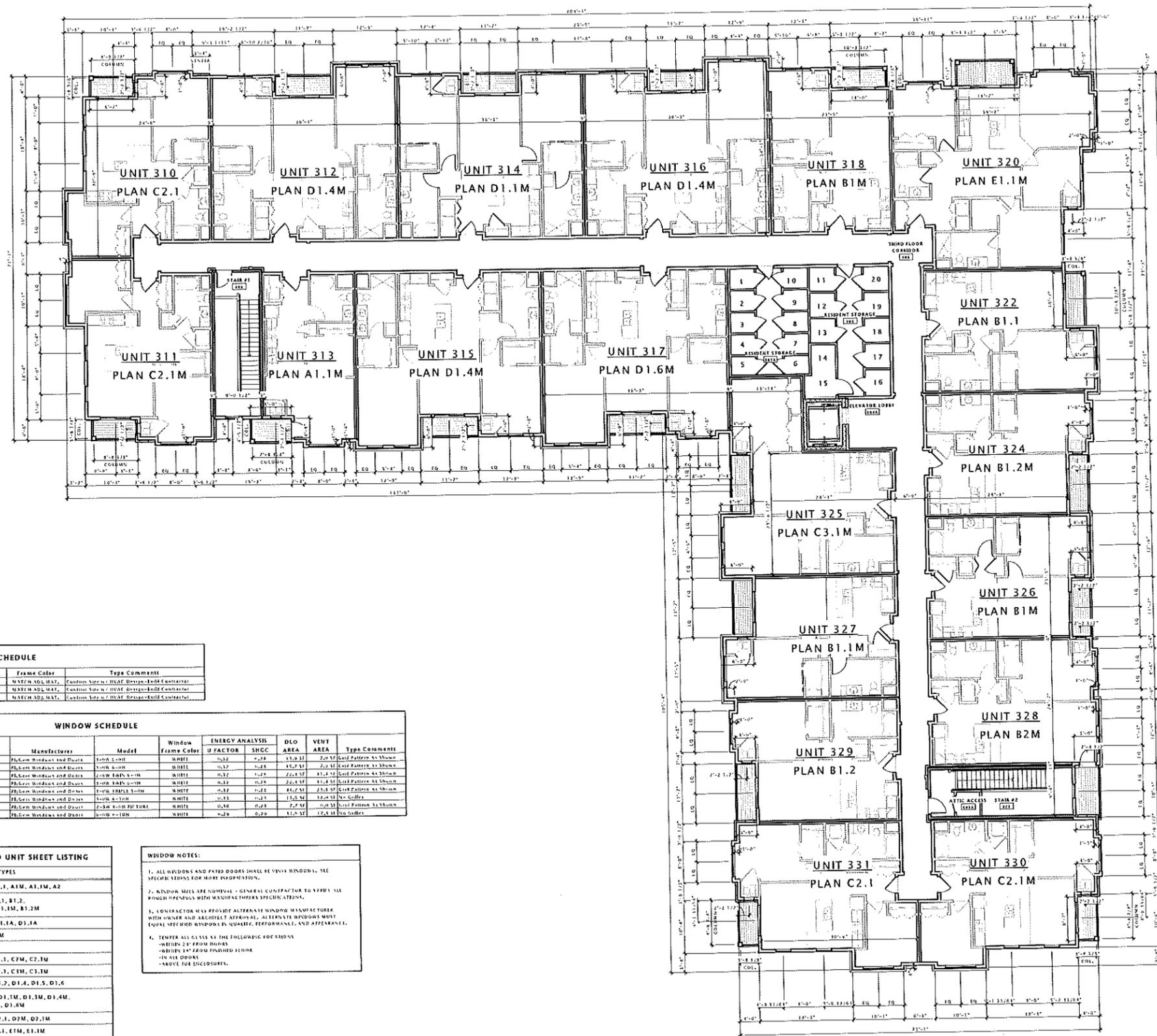
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REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE
BUILDING 'B1' THIRD FLOOR PLAN

SHEET NUMBER
A103-B1



Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Type Comment
L1	2'-0"	2'-0"	INSUL Louvers	TBD	TBD	SYSTEM ADJ. MAT.	Custom Size / HEAT DESIGN (SEE CONTRACT)
L4	4'-0"	4'-0"	INSUL Louvers	TBD	TBD	SYSTEM ADJ. MAT.	Custom Size / HEAT DESIGN (SEE CONTRACT)
L5	2'-0"	4'-0"	INSUL Louvers	TBD	TBD	SYSTEM ADJ. MAT.	Custom Size / HEAT DESIGN (SEE CONTRACT)

Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS	DEG AREA	VENT AREA	Type Comment	
							U FACTOR	SHGC			
A	3'-0"	4'-0"	Single Hung - Single	Philon Windows and Doors	6-W 6-00	WHITE	0.22	0.28	15.8 SF	2.2 SF	Grid Pattern As Shown
A	3'-0"	4'-0"	Single Hung - Single	Philon Windows and Doors	6-W 6-00	WHITE	0.22	0.28	15.8 SF	2.2 SF	Grid Pattern As Shown
L	3'-0"	4'-0"	Single Hung - Fin	Philon Windows and Doors	6-W 6-00	WHITE	0.22	0.28	15.8 SF	2.2 SF	Grid Pattern As Shown
D	6'-0"	4'-0"	Single Hung - Fin	Philon Windows and Doors	6-W 6-00	WHITE	0.22	0.28	15.8 SF	2.2 SF	Grid Pattern As Shown
F	3'-0"	4'-0"	Single Hung - Single	Philon Windows and Doors	6-W 6-00	WHITE	0.22	0.28	15.8 SF	2.2 SF	Grid Pattern As Shown
FD	3'-0"	4'-0"	Single Hung - Single	Philon Windows and Doors	6-W 6-00	WHITE	0.22	0.28	15.8 SF	2.2 SF	Grid Pattern As Shown
G	3'-0"	4'-0"	Single Hung - Single	Philon Windows and Doors	6-W 6-00	WHITE	0.22	0.28	15.8 SF	2.2 SF	Grid Pattern As Shown
H	3'-0"	4'-0"	Single Hung - Single	Philon Windows and Doors	6-W 6-00	WHITE	0.22	0.28	15.8 SF	2.2 SF	Grid Pattern As Shown

UNIT NO.	PLAN TYPE	AREA
310	PLAN C2.1	858 SF
311	PLAN C2.1M	858 SF
312	PLAN D1.4M	1173 SF
313	PLAN A1.1M	502 SF
314	PLAN D1.1M	1148 SF
315	PLAN D1.4M	1173 SF
316	PLAN D1.4M	1173 SF
317	PLAN D1.6M	1181 SF
318	PLAN B1M	729 SF
320	PLAN E1.1M	1331 SF
322	PLAN B1.1	752 SF
324	PLAN B1.2M	752 SF
325	PLAN C3.1M	924 SF
326	PLAN B1M	729 SF
327	PLAN B1.1M	752 SF
328	PLAN B2M	823 SF
329	PLAN B1.2	737 SF
330	PLAN C2.1M	858 SF
331	PLAN C2.1	858 SF

SHEET	PLAN TYPES
A410	A1, A1.1, A1M, A1.1M, A2
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.1M
A412	B1A, B1.1A, D1.1A
A413	B2, B2M
A414	C1
A415	C2, C2.1, C2M, C2.1M
A416	C3, C3.1, C3M, C3.1M
A417	D1, D1.1, D1.2, D1.4, D1.5, D1.6
A418	D1M, D1.1M, D1.3M, D1.4M, D1.5M, D1.6M
A419	D2, D2.1, D2M, D2.1M
A420	E1, E1.1, E1M, E1.1M

WINDOW NOTES:

- ALL WINDOWS AND PATIO DOORS SHALL BE VINYL WINDOWS. SEE SPECIFIC NOTES FOR MORE INFORMATION.
- WINDOW MEAS ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL WINDOW DIMENSIONS WITH MANUFACTURER SPECIFICATIONS.
- CONTRACTOR WILL PROVIDE ALTERNATE WINDOW MANUFACTURER WITH OWNER AND ARCHITECT APPROVAL. ALTERNATE WINDOWS MUST EQUAL VEE SHED WINDOWS IN QUALITY, PERFORMANCE, AND APPEARANCE.
- TEMPER ALL GLASS AT THE FOLLOWING LOCATIONS:
 - WITHIN 2' FROM DOORS
 - WITHIN 18" FROM FINISHED FLOOR
 - IN ALL DOORS
 - ABOVE FOR ENCLOSURES.

17 BUILDING 'B1' - THIRD FLOOR PLAN
3/32" = 1'-0"



FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN



ELAN RESIDENTIAL DEVELOPMENT

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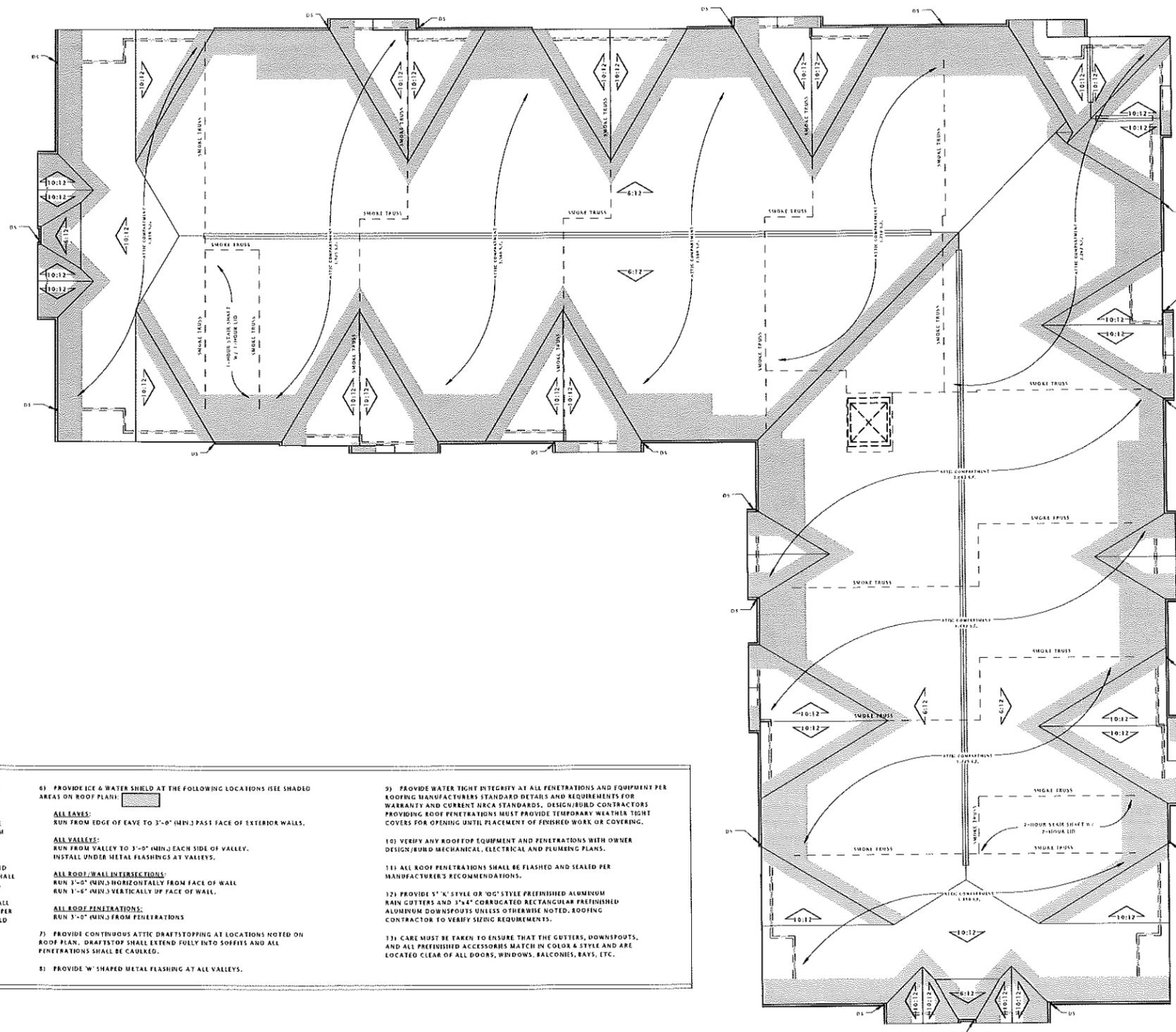
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

BUILDING 'B1' ROOF PLAN

SHEET NUMBER

A109-B1



ROOF NOTES

- 1) ROOF SHALL BE ROOF ASSEMBLY - W1 UNLESS NOTED OTHERWISE. TOP CHORDS OF TRUSSES SHALL BE PITCHED AS INDICATED ON ROOF PLAN. SEE ROOF ASSEMBLY SHEET FOR DETAILED INFORMATION.
- 2) AT CANOPY ROOF AREAS: PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF SUBSTRATE TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS, SCUPPER OPENINGS.
- 3) ROOF DRAINS/ SCUPPERS ARE SHOWN FOR INTENT ONLY. PLUMBING DESIGN/BUILD CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
- 4) RIDGE VENTS SHOWN ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL PROVIDE INTAKE & EXHAUST ROOF VENTS TO PROVIDE 1 S.F. OF VENT AREA PER 300 S.F. OF ATTIC AREA (PER ATTIC COMPARTMENT). OWNER'S DESIGN/BUILD MECHANICAL CONTRACTOR SHALL PROVIDE CALCULATIONS SHOWING FINAL VENTILATION PLAN PRIOR TO INSTALLATION.
- 5) OVERHANGS SHALL BE AS SHOWN ON ROOF PLAN.
- 6) PROVIDE ICE & WATER SHIELD AT THE FOLLOWING LOCATIONS (SEE SHADED AREAS ON ROOF PLAN):
ALL EAVES:
 RUN FROM EDGE OF EAVE TO 3'-0" (MIN.) PAST FACE OF EXTERIOR WALLS.
ALL VALLEYS:
 RUN FROM VALLEY TO 3'-0" (MIN.) EACH SIDE OF VALLEY. INSTALL UNDER METAL FLASHINGS AT VALLEYS.
ALL ROOF/WALL INTERSECTIONS:
 RUN 3'-0" (MIN.) HORIZONTALLY FROM FACE OF WALL RUN 1'-6" (MIN.) VERTICALLY UP FACE OF WALL.
ALL ROOF PENETRATIONS:
 RUN 3'-0" (MIN.) FROM PENETRATIONS
- 7) PROVIDE CONTINUOUS ATTIC DRAFTSTOPPING AT LOCATIONS NOTED ON ROOF PLAN. DRAFTSTOP SHALL EXTEND FULLY INTO SOFFITS AND ALL PENETRATIONS SHALL BE CAULKED.
- 8) PROVIDE W SHAPED METAL FLASHING AT ALL VALLEYS.
- 9) PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS. DESIGN/BUILD CONTRACTORS PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATHER TIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED WORK OR COVERING.
- 10) VERIFY ANY ROOF TOP EQUIPMENT AND PENETRATIONS WITH OWNER DESIGN/BUILD MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
- 11) ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MANUFACTURER'S RECOMMENDATIONS.
- 12) PROVIDE 1" X" STYLE OR 10" STYLE PREFINISHED ALUMINUM RAIN CUTTERS AND 3/4" CORRUGATED RECTANGULAR PREFINISHED ALUMINUM DOWNSPOUTS UNLESS OTHERWISE NOTED. ROOFING CONTRACTOR TO VERIFY SIZING REQUIREMENTS.
- 13) CARE MUST BE TAKEN TO ENSURE THAT THE GUTTERS, DOWNSPOUTS, AND ALL PREFINISHED ACCESSORIES MATCH IN COLOR & STYLE AND ARE LOCATED CLEAR OF ALL DOORS, WINDOWS, BALCONIES, BAYS, ETC.

SCALE: SHOWN TO BE FULLY UNFOLDABLE PER 2009 IBC, NFPA 13, AND NFPA 119.



PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE APRIL 21, 2015

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS 'B1' BUILDING

SHEET NUMBER

A200-B1



15 SOUTH ELEVATION - B1
1/8" = 1'-0"



16 NORTH ELEVATION - B1
1/8" = 1'-0"

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE

Mark	Description	Date
------	-------------	------

SHEET TITLE

EXTERIOR ELEVATIONS 'B1' BUILDING

SHEET NUMBER

A201-B1



6 EAST ELEVATION - B1
1/8" = 1'-0"



16 WEST ELEVATION - B1
1/8" = 1'-0"



ELAN RESIDENTIAL DEVELOPMENT

Fitchrona & Lacy Rd. Fitchburg, Wisconsin



SPECIFIC IMPLEMENTATION PLAN



BUILDING: B2

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

JLA PROJECT NUMBER: 14-0515

APRIL 21, 2015



FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
apartments
ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change, including additional detail. They are not final construction documents and should not be used for final bidding or construction-related purposes.

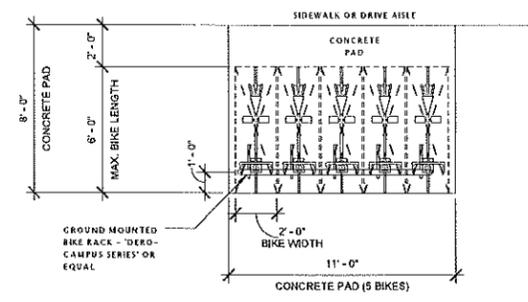
DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE
ARCHITECTURAL SITE PLAN - BUILDING 'B2'

SHEET NUMBER
ASP101-B2



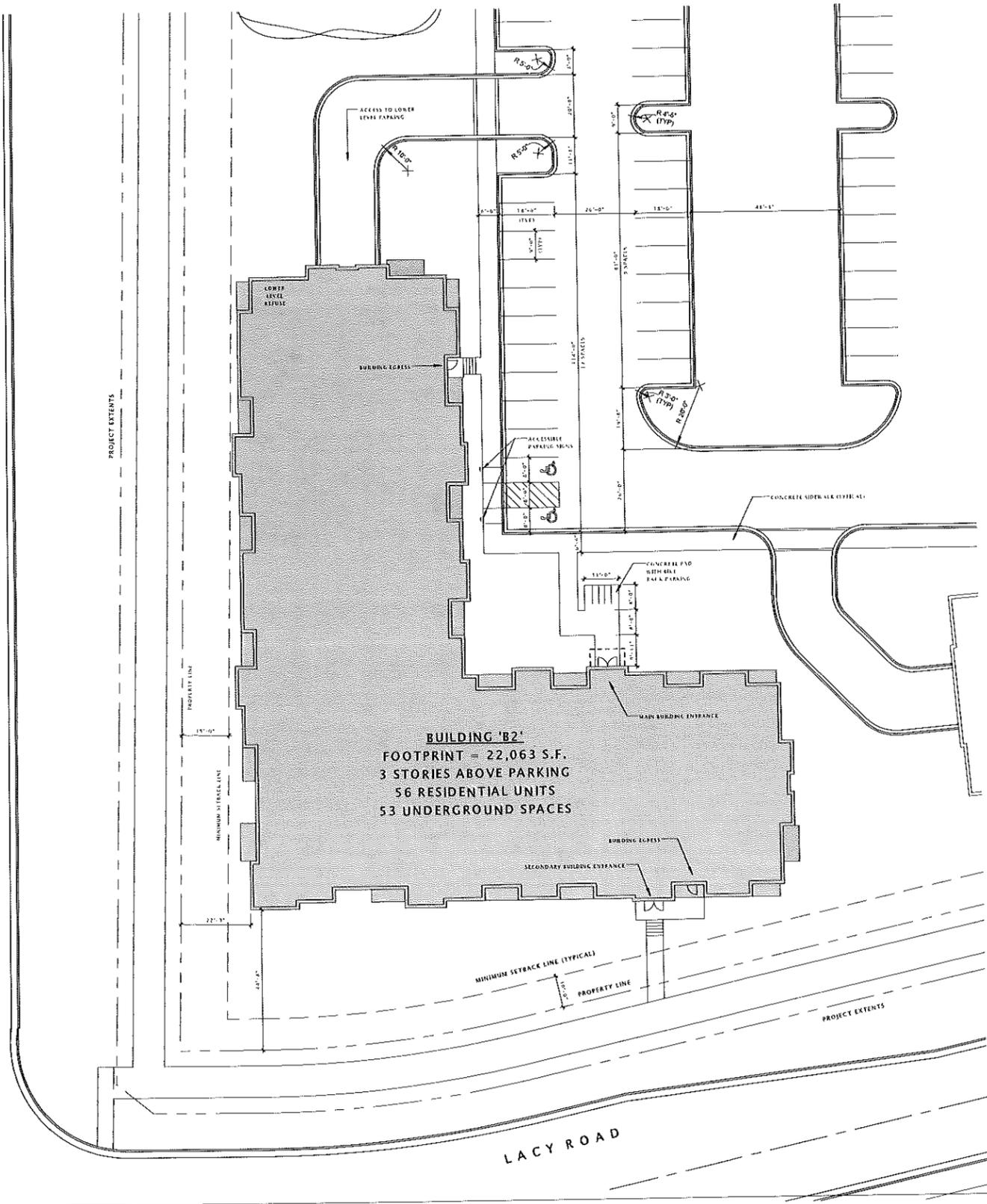
EXTERIOR BIKE PARKING
1/4" = 1'-0"



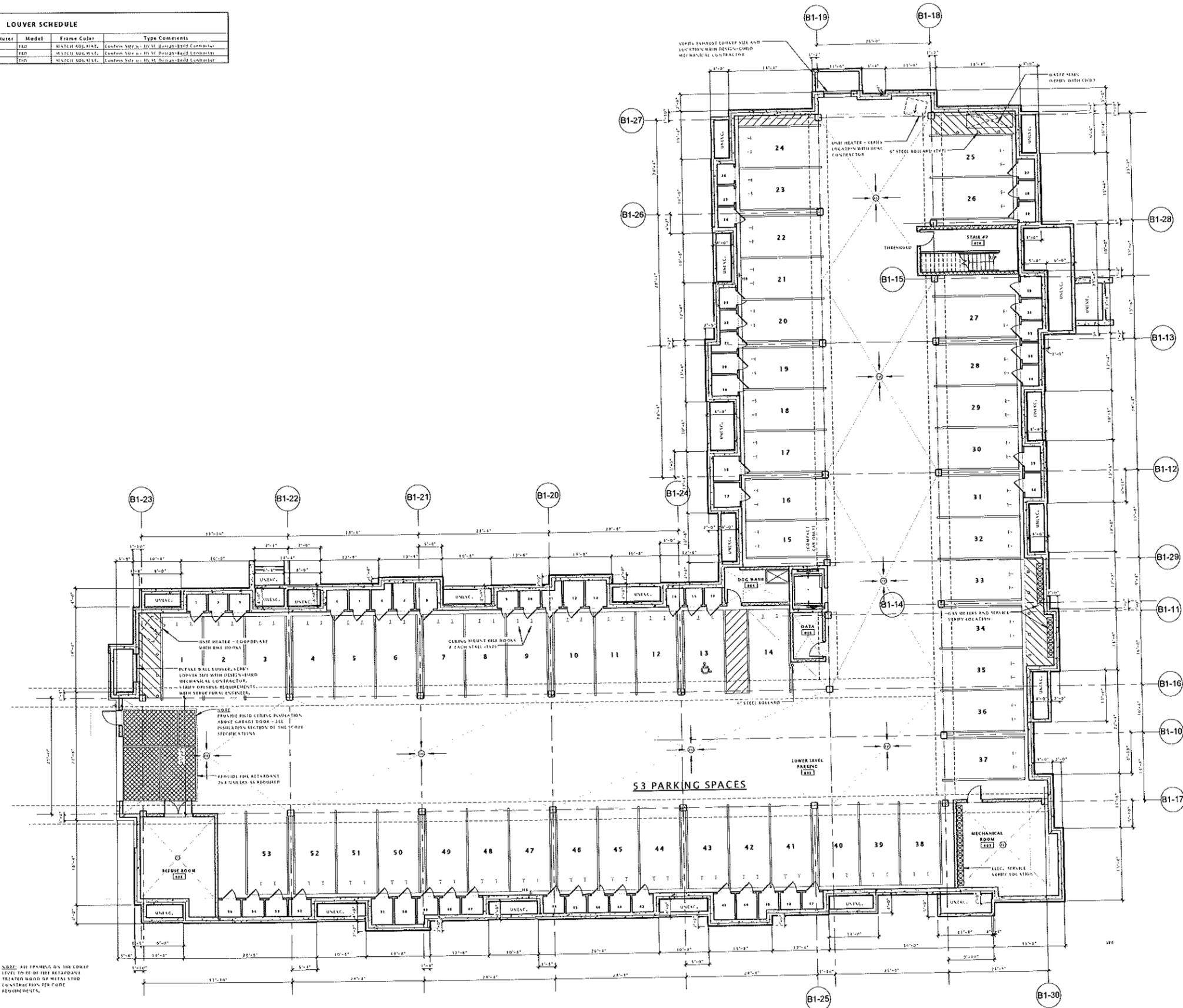
EXAMPLE OF THE STYLE OF BIKE RACK TO BE LOCATED AT THE EXTERIOR OF EACH BUILDING (SEE SITE PLANS FOR LOCATIONS).

EXTERIOR BIKE RACK STYLE
1/8" = 1'-0"

FITCHRONA ROAD



LOUVER SCHEDULE						
Mark	Width	Height	Description	Manufacturer	Model	Type Comments
L2	2'-0"	4'-0"	INSUL Louver	TBD	TBD	MATCH ADD. M.F.C. Confirm size w. HVAC Design-Build Contractor
L4	4'-0"	4'-0"	INSUL Louver	TBD	TBD	MATCH ADD. M.F.C. Confirm size w. HVAC Design-Build Contractor
L6	6'-0"	4'-0"	INSUL Louver	TBD	TBD	MATCH ADD. M.F.C. Confirm size w. HVAC Design-Build Contractor



NOTE: ALL FRAMING ON THE LOWER LEVEL TO BE OF HEAVY RETARDANCE TREATED WOOD OR METAL STUD CONSTRUCTION PER CODE REQUIREMENTS.

17 BUILDING 'B1' - LOWER LEVEL PLAN
3/32" = 1'-0"

NOTE: BUILDING TO BE FULLY SPECIFIED PER 2003 IBC, SEPA 13, AND SEPA 13A.

JLA

JOSEPH LEE ASSOCIATES
2815 CROSS ST. DRIVE, SUITE 2100
MADISON, WISCONSIN 53718
TEL: 608.241.9200

JLA PROJECT NUMBER: 14-0515

Fiduciary
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
apartments

ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

BUILDING 'B2' LOWER LEVEL PLAN

SHEET NUMBER

A100-B2

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

Mark	Description	Date

Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	U FACTOR	SHGC	GLAZ AREA	VENT AREA	Type Comments
A	3'-0"	4'-0"	Single Hung - Top	Hydrex Windows and Doors	3-1/2" 6-1/2"	WHITE	0.32	0.25	12.0 SF	2.0 SF	Unit Pattern As Shown
B	3'-0"	4'-0"	Single Hung - Top	Hydrex Windows and Doors	3-1/2" 6-1/2"	WHITE	0.32	0.25	12.0 SF	2.0 SF	Unit Pattern As Shown
C	3'-0"	4'-0"	Single Hung - Top	Hydrex Windows and Doors	3-1/2" 6-1/2"	WHITE	0.32	0.25	12.0 SF	2.0 SF	Unit Pattern As Shown
D	3'-0"	4'-0"	Single Hung - Top	Hydrex Windows and Doors	3-1/2" 6-1/2"	WHITE	0.32	0.25	12.0 SF	2.0 SF	Unit Pattern As Shown
E	3'-0"	4'-0"	Single Hung - Top	Hydrex Windows and Doors	3-1/2" 6-1/2"	WHITE	0.32	0.25	12.0 SF	2.0 SF	Unit Pattern As Shown
F	3'-0"	4'-0"	Single Hung - Top	Hydrex Windows and Doors	3-1/2" 6-1/2"	WHITE	0.32	0.25	12.0 SF	2.0 SF	Unit Pattern As Shown
G	3'-0"	4'-0"	Single Hung - Top	Hydrex Windows and Doors	3-1/2" 6-1/2"	WHITE	0.32	0.25	12.0 SF	2.0 SF	Unit Pattern As Shown
H	3'-0"	4'-0"	Single Hung - Top	Hydrex Windows and Doors	3-1/2" 6-1/2"	WHITE	0.32	0.25	12.0 SF	2.0 SF	Unit Pattern As Shown

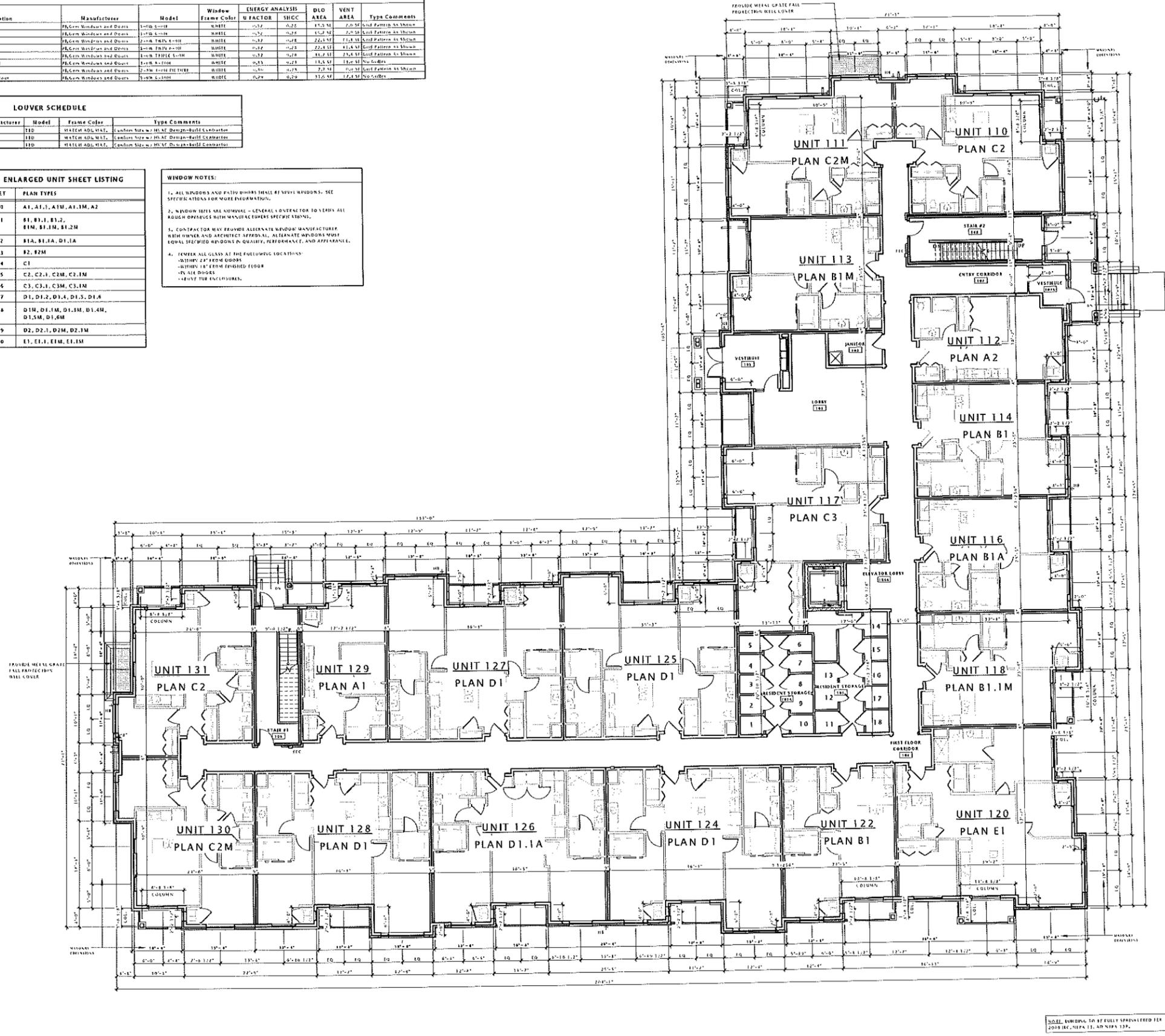
Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Type Comments
L1	3'-0"	4'-0"	HYAC Louver	HYAC	L10	MATCH ADJ. MAT.	Confirm Size w/ H.A.T. Design-Build Contractor
L2	3'-0"	4'-0"	HYAC Louver	HYAC	L10	MATCH ADJ. MAT.	Confirm Size w/ H.A.T. Design-Build Contractor
L3	3'-0"	4'-0"	HYAC Louver	HYAC	L10	MATCH ADJ. MAT.	Confirm Size w/ H.A.T. Design-Build Contractor

UNIT NO.	PLAN TYPE	AREA
120	PLAN C2	216 SF
121	PLAN C2.1M	156 SF
122	PLAN B2	225 SF
123	PLAN B1.1M	212 SF
124	PLAN B1	228 SF
125	PLAN B1.1	212 SF
126	PLAN B1.2	212 SF
127	PLAN C1.1	228 SF
128	PLAN B1.1M	212 SF
129	PLAN B1.1	194 SF
130	PLAN B1	229 SF
131	PLAN D1.1	1129 SF
132	PLAN D1.1A	1194 SF
133	PLAN D1.1M	1156 SF
134	PLAN D1.1	1171 SF
135	PLAN D1.1	1171 SF
136	PLAN D1.1	1171 SF
137	PLAN D1.1	1171 SF
138	PLAN D1.1	1171 SF
139	PLAN D1.1	1171 SF
140	PLAN C2.1M	156 SF
141	PLAN C2.1	156 SF

SHEET	PLAN TYPES
A410	A1, A1.1, A1M, A1.1M, A2
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.2M
A412	B1A, B1.1A, D1.1A
A413	B2, B2M
A414	C1
A415	C2, C2.1, C2M, C2.1M
A416	C3, C3.1, C3M, C3.1M
A417	D1, D1.1, D1.1A, D1.1M, D1.1A, D1.1M, D1.1M
A418	D1M, D1.1M, D1.1M, D1.1M, D1.1M, D1.1M
A419	D2, D2.1, D2M, D2.1M
A420	E1, E1.1, E1M, E1.1M

WINDOW NOTES:

- ALL WINDOWS AND PATIO DOORS SHALL BE VINYL WINDOWS. SEE SPECIFICATIONS FOR MORE INFORMATION.
- WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER SPECIFICATIONS.
- CONTACT FOR ANY PROVIDED ALTERNATE WINDOW MANUFACTURER WITH OWNER AND ARCHITECT APPROVAL. ALTERNATE WINDOWS MUST EQUAL SPECIFIED WINDOWS IN QUALITY, PERFORMANCE, AND APPEARANCE.
- REFER ALL GLASS AT THE FOLLOWING LOCATIONS:
 - WITHIN 2' FROM DOORS
 - WITHIN 18" FROM FINISHED FLOOR
 - AT ALL DOORS
 - AT ALL ENCLOSURES.



11 BUILDING 'B2' - FIRST FLOOR PLAN
3/32" = 1'-0"



SPECIFIC IMPLEMENTATION PLAN



ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE

Mark	Description	Date
------	-------------	------

SHEET TITLE

EXTERIOR ELEVATIONS 'B2' BUILDING

SHEET NUMBER

A200-B2



15 SOUTH ELEVATION - B2
1/8" = 1'-0"



16 NORTH ELEVATION - B2
1/8" = 1'-0"

PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
EXTERIOR ELEVATIONS 'B2' BUILDING

SHEET NUMBER
A201-B2



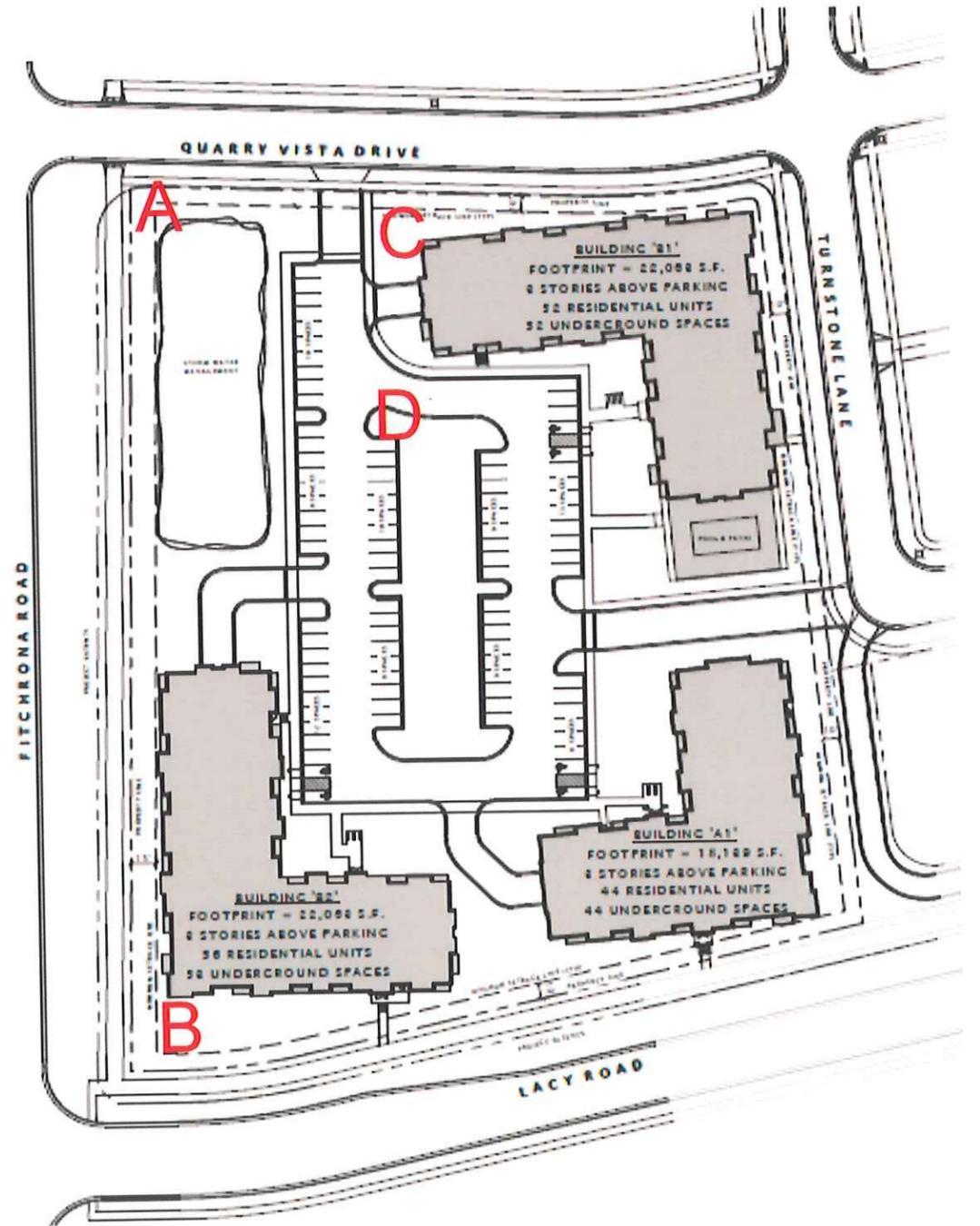
6 EAST ELEVATION - B2
1/8" = 1'-0"



16 WEST ELEVATION - B2
1/8" = 1'-0"

APPENDIX 'D'
SIGN PROGRAM

ELAN
apartments



ELAN APARTMENTS - FITCHBURG, WI

Location : A & B



Scale 1"=1'-0"
 (2) 4'h x 8'w x 1/2" MDO Plywood Now Leasing Signs Rev1
 Digital printed on vinyl applied to boards
 Installed on 4x4 posts.



Customer ELAN APARTMENTS
 Street
 City FITCHBURG, WI

Date: 4.17.15
 Acct. Rep. James Miller

Designer: JEM
 Drawing No. Leasing sign41715
 Revision 1
 Scale:

Client Approval
 Signature:
 Print:
 Date:

Landlord Approval
 Signature:
 Print:
 Date:

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Elan Apartments



Scale 1/2" = 1'
Location A

Double Faced Internal illumination with white LED
Sign SqFt = 72

Monument sign

- MAP Satin White
- MAP paint match PMS 582C
- MAP paint match PMS 431C



Customer Fiduciary_ Elan
Street Fitchburg, WI
City

Date: 4.20.15
Acct. Rep. James Miller

Designer: M Studnicka
Drawing No. Elan Sign A
Revision
Scale:

Client Approval
Signature:
Print:
Date:

Landlord Approval
Signature:
Print:
Date:

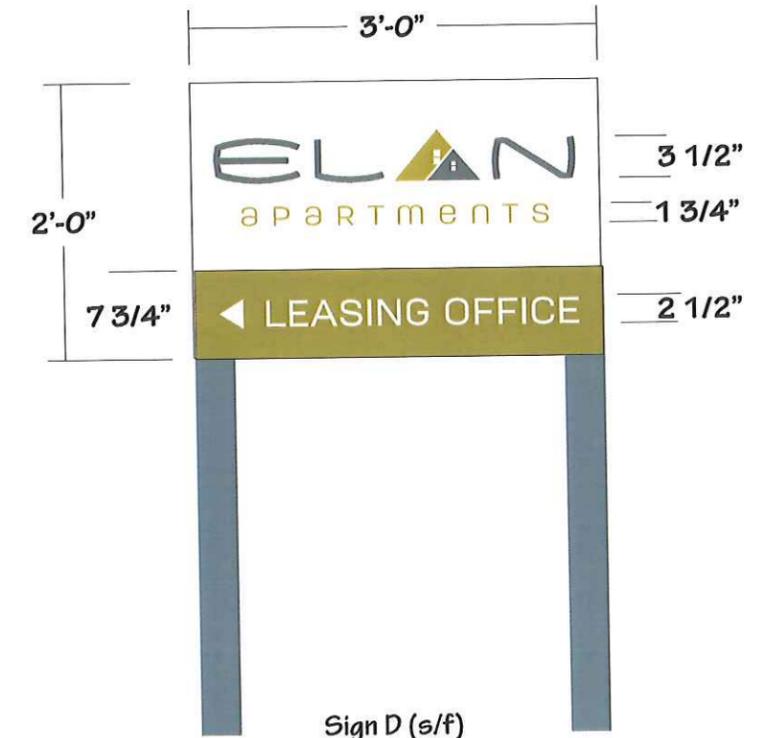
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ELAN APARTMENTS - FITCHBURG, WI

Location: C and D



Sign C (s/f)



Sign D (s/f)

TEMPORARY SIGNS C & D

(2) 1/2" MDO Plywood Now Leasing Signs Rev1
 Digital printed on vinyl applied to boards
 Installed on 4x4 posts.



Customer ELAN APARTMENTS
 Street
 City FITCHBURG, WI

Date: 4.17.15
 Acct. Rep. James Miller

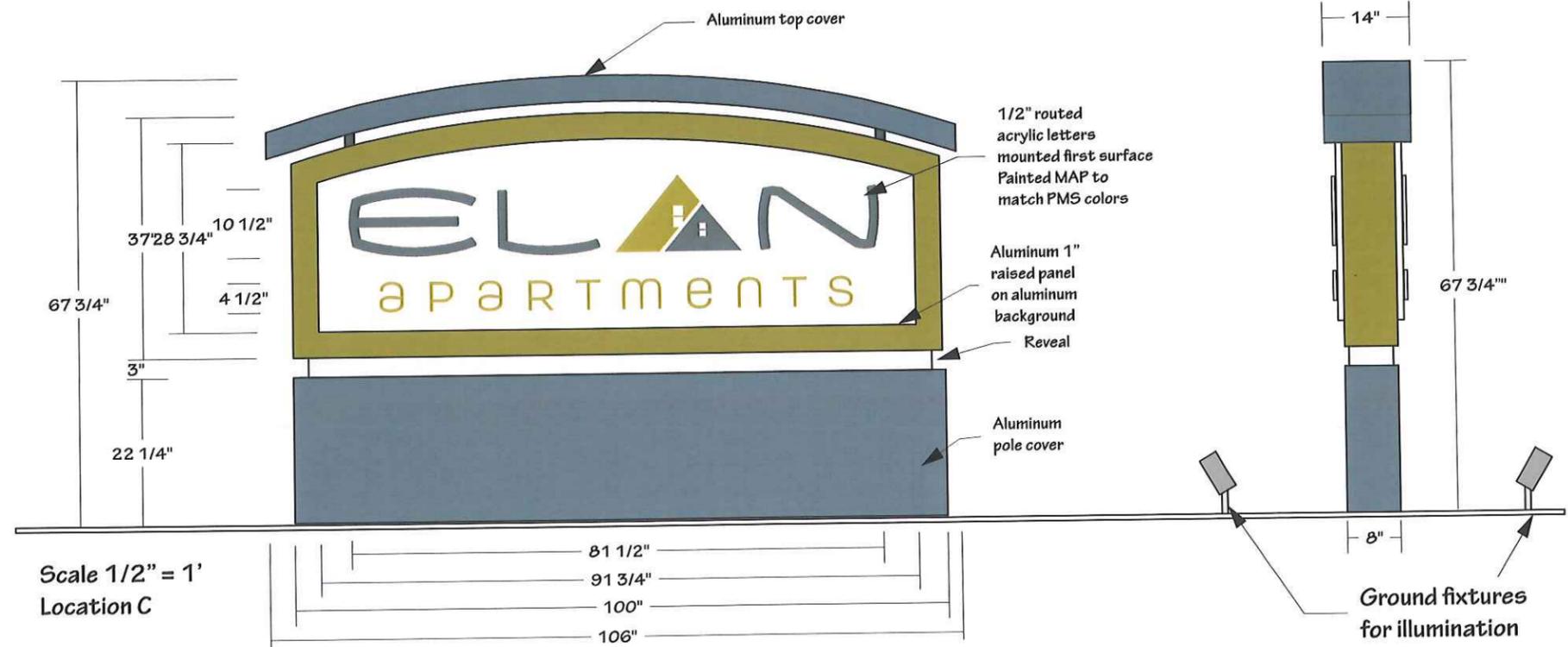
Designer: JEM
 Drawing No. Leasing sign41715
 Revision 1
 Scale:

Client Approval
 Signature:
 Print:
 Date:

Landlord Approval
 Signature:
 Print:
 Date:

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Elan Apartments



Monument sign

- MAP Satin White
- MAP paint match PMS 582C
- MAP paint match PMS 431C

Double Faced non-illuminated

Sign SqFt = 49.872



Customer Fiduciary_Elan
 Street Fitchburg, WI
 City

Date: 4.20.15
 Acct. Rep. James Miller

Designer: M Studnicka
 Drawing No. Elan Sign C
 Revision
 Scale:

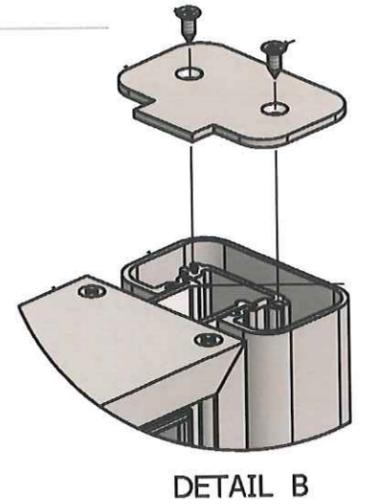
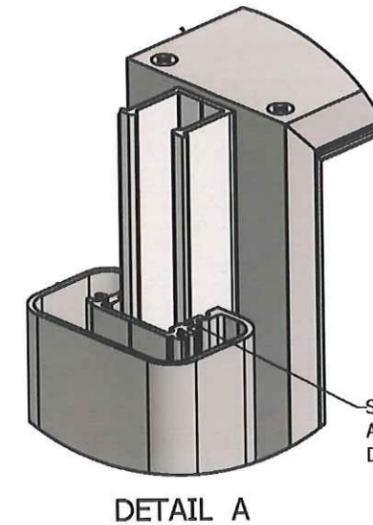
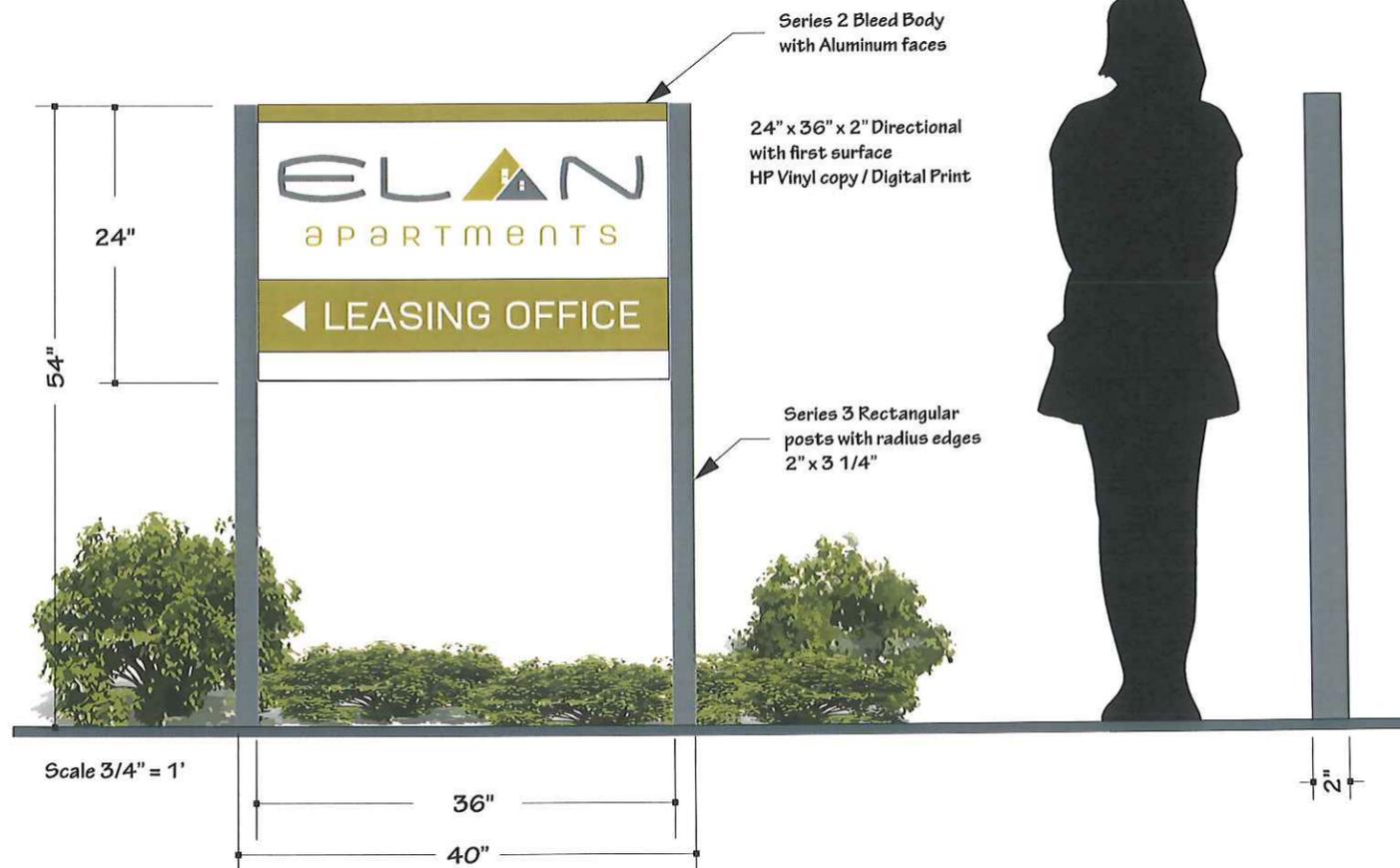
Client Approval
 Signature:
 Print:
 Date:

Landlord Approval
 Signature:
 Print:
 Date:

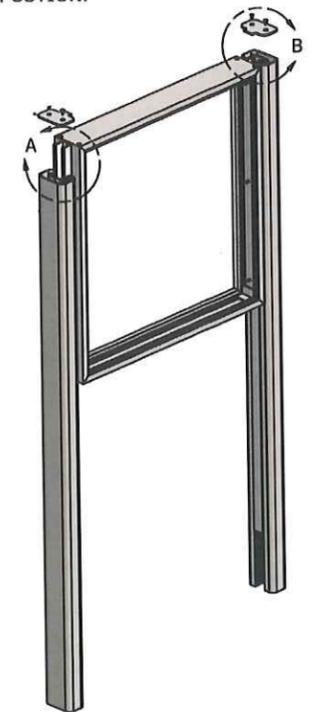
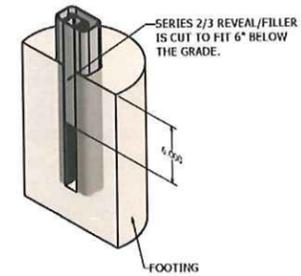
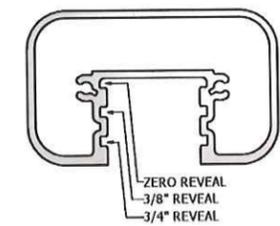
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Elan Apartments / Fitchburg, WI

Directional Sign D
SF 24 x 36



SLIDE THE BOI ASSEMBLY INTO THE DESIRED REVEAL POSITION.



Customer Elan Apartments
Street Fitchburg, WI

Date: 4.14.15
Acct. Rep. James Miller

Designer: M Studnicka
Drawing No. Elan Apart 24x36 C
Revision
Scale:

Client Approval
Signature:
Print:
Date:

Landlord Approval
Signature:
Print:
Date:

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APPENDIX 'E'
NEIGHBORHOOD INPUT INFORMATION

Invite list for 10-14-14 Neighborhood meeting
Fiduciary Real Estate Development - Quarry Vista Multi-Family

BEYLER LIVING TR	6342 PHEASANT LN	VERONA WI 53593
BRAD D ANDERSON	2712 FITCHRONA RD	FITCHBURG WI 53719
COREY L DINTELMAN	2706 FITCHRONA RD	FITCHBURG WI 53711
DANE COUNTY	210 MARTIN LUTHER KING JR BLVD RM 114	MADISON WI 53703-3342
DIANE REMEIKA	1321 MORRISON ST	MADISON WI 53703
EARLE N WILLIAMS & ARISA M WILLIAMS	2687 FITCHRONA RD	MADISON WI 53719
FITCHBURG MINERALS LLC	6295 LACY RD	VERONA WI 53595
FITCHBURG, CITY OF	5520 LACY RD	FITCHBURG WI 53711
GREGORY A LUKAS & DIANE M LUKAS	7330 SOUTHERN OAK PL	MADISON WI 53719
HAMM FAM LAND LLC	6244 OAK HOLLOW DR	OREGON WI 53575
HAMMERSLEY, KEITH E	6291 LACY RD	FITCHBURG WI 53593
JOHN H ELLINGER	2720 FITCHRONA RD	FITCHBURG WI 53719
JOHNSON REV LIVING TR, MARTIN H	6355 PHEASANT LN	VERONA WI 53593
KENNETH E KAEGI & TERESA J KAEGI	6344 GOOSE LAKE DR	VERONA WI 53593
KENNETH O KOBERLE & JUDITH KOBERLE	2669 FITCHRONA RD	MADISON WI 53719
KEVIN N WUNDER & LORIANN S WUNDER	6353 GOOSE LAKE DR	VERONA WI 53593
LARRY J STARCZYNSKI & SHERRY L STARCZYNSKI	2701 FITCHRONA RD	MADISON WI 53719
MADISON METROPOLITAN SEWERAGE DISTRICT	1610 MOORLAND RD	MADISON WI 53713
MAURER TR	2657 FITCHRONA RD	VERONA WI 53593
NATHAN HAMMERSLEY	6310 LACY RD	FITCHBURG WI 53593
NSNK LLC	6291 LACY RD	VERONA WI 53593
PAYNE & DOLAN INC	PO BOX 781	WAUKESHA WI 53187
PRINGLE LIVING TR	2700 FITCHRONA RD	FITCHBURG WI 53719
ROBERT D KOHLENBERG & NORMA K KOHLENBERG	2653 FITCHRONA RD	VERONA WI 53593
SCOTT C LITTLE & SHEILA A LITTLE	6350 PHEASANT LN	VERONA WI 53593
TODD E MEURER & HOLLY M DOWLING	6352 GOOSE LAKE DR	VERONA WI 53593
VIVIAN G KILLERLAIN	6341 PHEASANT LN	VERONA WI 53593
Amanda Arnold, Town of Verona	335 N. Nine Mound Road	Verona, WI 53593-1035



Fiduciary
Real Estate Development, Inc.

October 3, 2014

RE: Proposed 152-unit Apartment Home Project
Hamm Fam Land, LLC lands
Outlot 9 of the plat of Quarry Vista
NW ¼ of the NW ¼ of Section 18

Dear Neighbor,

This letter is in regards to our proposed Apartment Home development located in the City of Fitchburg, near your property at the intersection of Lacy and Fitchrona Roads. Please find the following:

- Location map depicting our property and the surrounding neighborhood
- 11"x17" color rendered Concept Plan of our project which was reviewed by the City Plan Commission at their meeting on September 16, 2014.

We will be submitting our full General Implementation Plan (GIP) for the project by the City's Tuesday October 21, 2014 deadline in order to be on the City Plan Commission meeting agenda on Tuesday, November 18, 2014.

In order to solicit your input on the proposed design, we would like to invite you to an Open House:

Tuesday, October 14, 2014 from 5:30 to 6:30 PM

The open house will be held at the Hammersley Stone Offices, 6291 Lacy Road, Fitchburg, WI 53593

Again, we would appreciate any input you have on our plans and please do not hesitate to contact me (information below) if you have any questions or need additional information.

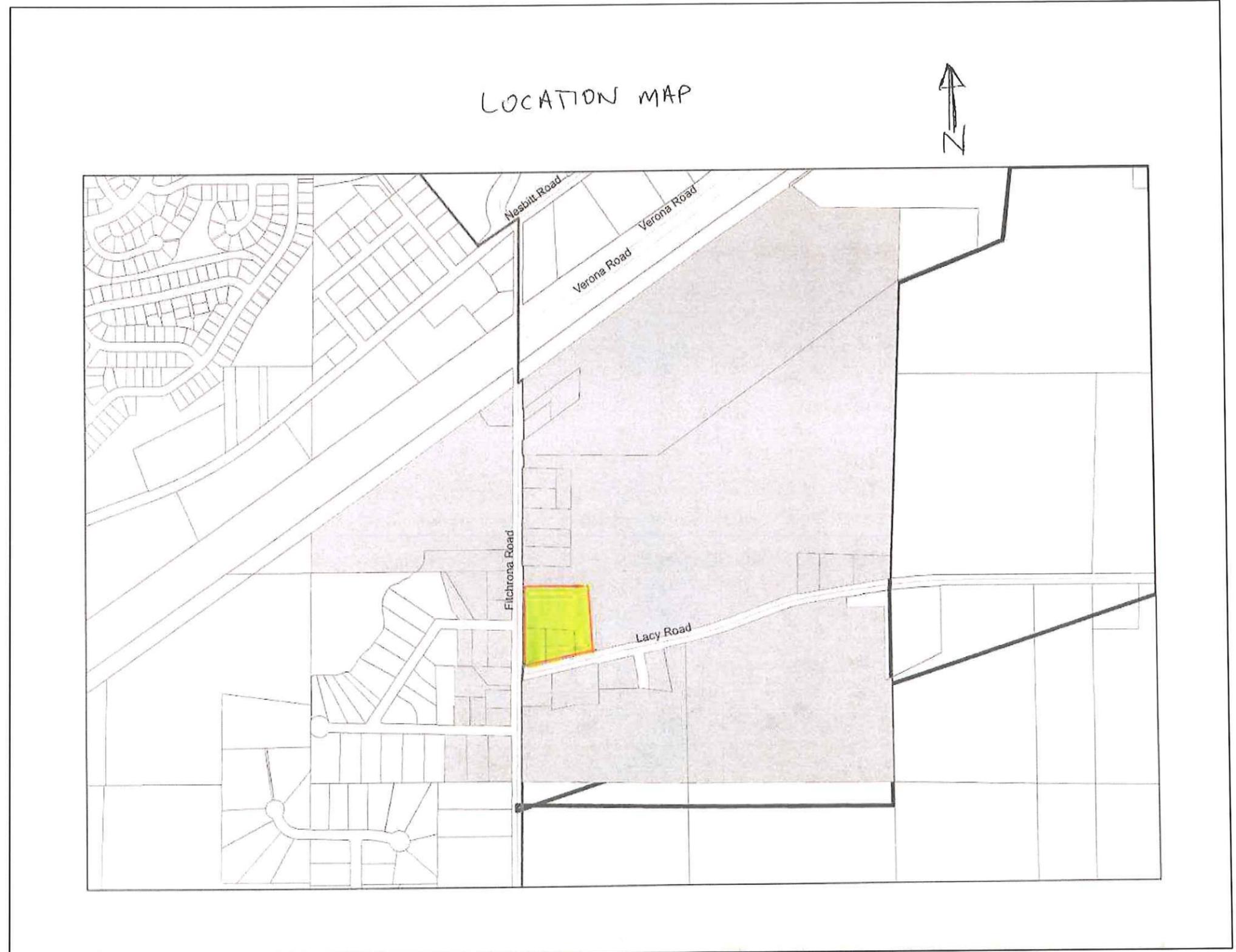
Sincerely,

Fiduciary Real Estate Development, Inc.

William F. Ohm
Project Manager
Direct line 414-274-8212
Email bohnm@fred-inc.com

789 North Water Street • Milwaukee, Wisconsin 53202 • (414) 226-4535 • Facsimile: (414) 226-4549 • www.fred-inc.com

Sample Attachment to Neighborhood Meeting Invitation



Sample Attachment to Neighborhood Meeting Invitation



JLA

Fiduciary
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

QUARRY VISTA MULTI-FAMILY

CONCEPTUAL MASTERPLAN

ASP-100

Neighborhood Meeting Sign-In Sheet



HAMMERSLEY
STONE
CO. INC.



6291 Lacy Rd.
Fitchburg, WI 53593
Phone: (608) 845-7804
Fax: (608) 845-5532

Grading and Utility Construction
Crushed Stone Supplies

October 14, 2014

*Meeting with Neighborhood
Fiduciary Real Estate*

<p><i>Gene Kruse</i></p> <p><i>Gary Aebly</i></p> <p><i>Robert K. Koenigsberg</i></p> <p><i>Ellen Maurer</i></p> <p><i>Ken Pfeiffer</i></p> <p><i>Diane Remick</i></p> <p><i>Tom Ripstein</i></p> <p><i>Todd Meier</i></p> <p><i>Dennis Mounsey</i> <i>(Payne and Dolan)</i></p>	<p><i>Tonto Trail</i></p> <p><i>Tonto Trail</i></p> <p><i>Fitchrena Rd</i></p> <p><i>Fitchrena Rd</i></p> <p><i>Fitchrena Rd</i></p> <p><i>Lacy Rd</i></p> <p><i>Town Plan Comm.</i></p> <p><i>Goose Lake Dr.</i></p> <p><i>6295 Lacy Rd</i></p>
--	--

RECEIVED
5/6/2015



CITY OF FITCHBURG
PLANNING DEPARTMENT
5520 LACY ROAD
FITCHBURG, WI 53711
(608) 270-4200
FAX: (608) 270-4275
EMAIL: planning@city.fitchburg.wi.us

Application: RZ-2057-15 & ADR
Property Location: Proposed Lot 15 Quarry Vista
Review Date: April 27, 2015
Planning Staff Review #1

Planning staff has reviewed your submitted PDD-SIP zoning and ADR requests for proposed Lot 15 Quarry Vista, submitted on 4/21/2015. The following comments are based on this review. Please respond to these comments with a detailed written response along with appropriate revised plans by Noon on Wednesday, May 6, 2015. Further comments or questions may arise as additional review occurs.

- 1.) Has there been any neighborhood contact/input since October 2014? **No.** Have the neighbors seen the building elevations? **Yes, at the meeting in October 2014 when we had the first unveiling of the colored renderings of the building elevations.** You should be aware that there is a public hearing as part of the PDD-SIP rezoning approval process and property owners within 300 feet of the subject property will be directly notified of the request. **This is understood.**
- 2.) Per Ordinance 2014-O-37, approving PDD-GIP zoning for the site, approval and recording of a land division (i.e. final plat) is required prior to SIP issuance. You should be aware that a subdivision improvement agreement is required to be executed prior to the final plat being signed by the city and subsequently recorded. It is my understanding that the developer has been working on this agreement with Public Works.
- 3.) Subdivision Improvement Agreement is required prior to SIP issuance.
- 4.) Necessary public improvements shall be installed and accepted prior to any building construction, unless approvals are granted to allow early start under section 24-14(b)-(e). (An operable public water supply is one necessary condition under section 24.14 of the City's land division ordinance).
- 5.) Is all exterior lighting dark sky or full cut-off? **Full cut-off.**
- 6.) What is the timing of each building? **Please see page 15 of the Implementation Plan.**
- 7.) The plat approval requires that 80 dwelling units on lots within the first final plat of Quarry Vista shall be occupied within six months of the first unit being occupied. When do you anticipate meeting the 80 units occupied? **Fiduciary's absorption at The Vue apartments in Fitchburg has average 30 units per month. We do not expect this to continue, however we feel very confident that 15 units will be absorbed per month (so we will reach 80 in month 6). We anticipate the first delivery of building B1 on May 2016 to be followed by B2 in July 2016.**
- 8.) Is there lighting at the pool? What is the type of lighting? **Exterior lighting for the pool is not anticipated based on the planned hours of usage.**
- 9.) What is the type of composite siding? **Painted LP SmartSide Horizontal and Stucco Panel.**
- 10.) What is the type of split face block? **Block veneer, specified as County Materials Splitface in "Buff".**

- 11.) Please bring a materials color and sample board to the Plan Commission meeting. We plan to bring a material sample board as well as a board with 3D imagery.
- 12.) What is the composition of the infiltration mix? 70%-85% sand and 15%-30% compost, per the DNR standards.
- 13.) What is the anticipated total population at build-out? 225 people.

Emailed Craig
Raddatz 5/12/15

**Elan Apartments - Lot 15 of Quarry Vista Plat
6305? Quarry Vista Drive
Public Works Review #4**

The following comments are based on the Architectural Design Review (ADR 2015) and rezoning request submitted by Craig Raddatz dated April 20, 2015, amended plans dated May 6, 2015 and Applicant Responses dated for Lot 15 in the Quarry Vista Plat. EJE 5-11-15; TF 5-11-15; AB 5-11-15; CH 5-12-15. Additional comments beyond these may be required on future reviews.

General Comments

1. Please confirm the sizing and location of the refuse and recycling containers.
Applicant Response: There is an interior Refuse Room located on the lower level of each building adjacent to the overhead door. The exact type and size of the containers hasn't been determined, but they will be appropriately sized for each multi-family building.
Additional PW Review #4 Comment: Please confirm that both refuse and recycling containers are sized and located properly, not just refuse.
2. The applicant will need to submit a Construction & Demolition Reuse/Recycling (CDRR) Plan to Public Works. CDRR Plans are required both for new construction and for demolition.
Applicant Response: A plan will be prepared and submitted for review.

Transportation Comments

1. The driveway configuration out to Stone Gate Drive/Turnstone Lane still has an impact on the Private Drive access. Please share this concept with Montgomery & Associates and coordinate the driveway design at that location. The curb from the site overlaps the public sidewalk. This access point needs further coordination.
Applicant Response: This item will be reviewed and additional information provided.
2. Consider bike/ped connections from the site to the paths on Lacy Road and Fitchrona Road. A nice connection could be made to the Lacy Road path between buildings A-1 and B-2. Similarly, a connection could be incorporated to the Fitchrona Road path north of Building B-2.
Applicant Response: This item will be reviewed and additional information provided.
3. **Additional PW Review #4 Comment:** The plan sheets show curb and gutter along Lacy Road and Fitchrona Road. At this time, both roads will remain with a rural cross-section. The roads may be improved with curb and gutter in the future but not with the Quarry Vista development.

Water Main and Sanitary Sewer

1. Coordinate final water and sewer lateral locations with the final approved plans for public works construction in Quarry Vista. Final service locations and sizes need to be shown on the plans. The attached plan shows the location of existing sewer laterals to be used to service two of the three proposed buildings.
Applicant Response: See the submitted plan dated May 5, 2015.

**Elan Apartments - Lot 15 of Quarry Vista Plat
6305? Quarry Vista Drive
Public Works Review #4**

2. All water services between the public main up to a private fire hydrant are required to be a minimum of 8" and be installed per the Latest Edition of the City of Fitchburg Standard Specifications for Public Works Construction. Please label and note accordingly.
Applicant Response: See the submitted plan dated May 5, 2015.
3. The following notes need to be included on the site utility plan:
Applicant Response: See the submitted plan dated May 5, 2015.
 - o Safe sample results need to be provided to the Fitchburg Utility prior to pressure testing the private water mains.
 - o It is the contractor's responsibility to verify that the existing valves will hold the pressure test prior to connection. The City is not responsible for any costs incurred due to the contractor not verifying that the existing valve will hold the pressure test prior to connection. If a new valve is required, the applicant will be required to install one at their expense at the point of connection.
4. Public water for the development and the sewer service off Turnstone Lane will not be available for use until public improvements are accepted for the Quarry Vista plat. Building permits may not be issued until public water is available.
Applicant Response: This is understood.
5. Existing sanitary laterals, that will not be reused, will need to be abandoned at the sewer main per the latest edition of the City of Fitchburg Standard Specifications for Public Works Construction. Public Works will need to witness these abandonments. The attached plan shows the location of the existing laterals to be abandoned. Please show and label accordingly.
Applicant Response: The noted plan was not attached to the email we received from Susan, please forward us this plan and we will address the lateral abandonments.
Additional PW Review #4 Comment. The sanitary lateral to be abandoned on Fitchrona Road at the north end of Lot 15 and the 6" sanitary lateral to be abandoned on Lacy Road need to be abandoned at the manhole, not the main. Please correct.
6. All private wells on this site need to be abandoned per DNR requirements. A DNR well abandonment form needs to be submitted to Public Works for each abandoned well.
Applicant Response: Well abandonment forms will be provided as required.
7. Water impact fees will need to be paid prior to release of any building permits. These fees will be included with the permit fee. The 2015 impact fee rate is \$729/Unit.
Applicant Response: This is understood.
8. MMSD fees need to be paid for this lot prior to the release of an early start permit.
Applicant Response: This is understood.

**Elan Apartments - Lot 15 of Quarry Vista Plat
6305? Quarry Vista Drive
Public Works Review #4**

9. The Quarry Vista plat conditions require 80 units to be occupied within six months of occupancy of the first unit/single family home within the Quarry Vista plat.
Applicant Response: This is understood.
10. Early start permits may not be issued for this site until award of the Fitchrona Road Water Main Bid is approved by Fitchburg Council.

Erosion Control and Stormwater Management (ECSWM) Comments

1. A new Erosion Control & Storm Water Management permit application will need to be submitted to the Fitchburg Public Works Department for review and approval (The ECSWM application and information on requirements can be found at: <http://www.fitchburgwi.gov/231/ECSWM-Requirements>.
Applicant Response: The permit application will be submitted the week of May 11, 2015.
2. A stormwater maintenance agreement (recorded at the Dane County Register of Deeds office) will be required for the necessary private stormwater management practices approved by the City (e.g. private storm sewer, rain gardens, etc.). The owner(s) would be eligible for up to a 50% reduction in stormwater utility rates for the proposed stormwater practices. The following link: <http://www.fitchburgwi.gov/230/Credit-Opportunities> provides the application form and details on this program.
Applicant Response: A stormwater maintenance agreement will be submitted following the City's approval of the stormwater management plan.
3. This site is within the Quarry Vista Plat which has stormwater performance standards (e.g. 90% stay-on infiltration volume, peak rate control, water quality, etc.) that need to be met within Lot 15. The designer may contact Fitchburg's Environmental Engineer at 270-4264 or rick.eilertson@fitchburgwi.gov if he/she has any questions on ECSWM performance standards for this site.
Applicant Response: This is understood.
4. Sheet C200 is missing information on the existing storm sewer pipe under Fitchrona Road. There are also several street terrace infiltration areas proposed along Quarry Vista Drive and Turnstone Lane that are missing. A meeting with Montgomery Associates-Resource Solutions and Rick Eilertson would be recommended to help ensure proper coordination of stormwater facility design and construction.
Applicant Response: This item is being coordinated.

DRAFT 5-14-2015
**Issuing Planned Development District
Specific Implementation Plan
Zoning for part of Lot 1, 2 and 3 CSM 11159**

Legal Description:

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 152-154 as Document Number 3959694, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin to-wit: Commencing at the Northwest corner of said Section 18; thence S89°50'48"E, 70.73 feet along the North line of said NW1/4; thence S02°09'12"W, 34.25 feet to a point of curve also being the point of beginning; thence Easterly along a curve to the right which has a radius of 30.00 feet and a chord which bears N81°49'03"E, 10.77 feet; thence S87°50'32"E, 257.45 feet to a point of curve; thence Easterly along a curve to the left which has a radius of 478.00 feet and a chord which bears N85°53'55.5"E, 104.23 feet to a point of curve; thence Southeasterly along a curve to the right which has a radius of 15.00 feet and a chord which bears S53°05'23"E, 22.04 feet; thence S05°49'08"E, 447.90 feet; thence S77°20'54"W, 140.54 feet; thence S77°15'15"W, 205.69 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 356.24 feet and a chord which bears S83°37'38"W, 79.08 feet; thence N90°00'00"W, 27.59 feet; thence N00°56'55"E, 544.54 feet to the point of beginning. Containing 210,871 square feet (4.841 acres).

Return to: Fitchburg City Clerk
5520 Lacy Road
Fitchburg, WI 53711

Parcel No's: 060918286002

Plan Commission
Initiated By

Susan B. Badtke
Drafted By

5/19/2015
Date

ORDINANCE NO. 2015-O-XX
ZONING ORDINANCE AMENDMENT
ISSUING SPECIFIC IMPLEMENTATION PLAN ZONING
FOR PART OF LOT 1, 2 AND 3 CSM 11159

WHEREAS, pursuant to Fitchburg Ordinance No. 87-0-06, Section 3, Zoning District Maps were adopted within the corporate limits of the City of Fitchburg until expressly altered by the City Council, and

WHEREAS, Planned Development District General Implementation Plan (PDD-GIP) zoning was granted by Ordinance No. 2014-O-37 (rezoning request rz-2043-14) recorded as document #8795328, to allow for 152 dwelling units, and

WHEREAS, Craig Raddatz of Fiduciary Real Estate Development, with authorization from Hamm Fam Land LLC, has submitted an application (RZ-2057-15) to grant Planned Development District Specific Implementation Plan (PDD-SIP) zoning to allow for 152 dwelling units on part of Lots 1, 2 and 3 CSM 11159, property to be platted as Lot 15 Quarry Vista, and

WHEREAS, the Plan Commission considered the request to grant PDD-SIP zoning on May 19, 2015 and has reviewed the application according to the standards outlined in the ordinance, and has determined that the request, in conjunction with the proposed conditions, meets said criteria, and the Plan Commission has recommended approval, with conditions.

NOW THEREFORE the City Council of the City of Fitchburg, Dane County, Wisconsin does ordain as follows:

- (A) PDD-SIP zoning is hereby granted in accord with submitted plans and responses dated May 6, 2015, which are hereby part of this ordinance, to allow the following:
 - 1. No other permit or approval is waived or deemed satisfied except for the approval herein provided.
 - 2. All Public Works items shall be addressed prior to issuance of any permit.
 - 3. No early start permit shall be issued for this site until aware of the Fitchrona Road Water Main bid is approved by the Fitchburg Common Council.
 - 4. Necessary public improvements shall be installed and accepted prior to any building construction, unless approvals are granted to allow early start under section 24-14(b) – (e). (An operable public water supply is one necessary condition under section 24.14.)
 - 5. Project is approved for 152 dwelling units in 3 structures per the submitted plans.
 - 6. Zoning standards shall follow those outlined in the report titled “Quarry Vista Apartment Homes Specific Implementation Plan – Amended May 6, 2015”.
 - 7. All park requirements and fees shall be satisfied prior to or with the execution of the Quarry Vista plat and subdivider agreement.

- (B) This ordinance shall take effect following its publication, or the consent of the property owner, whichever occurs last. However, in accord with section 22-596 of the zoning code, owners shall consent within 30 days of approval for the PDD-SIP zoning to take effect.

- (C) Recording and effective date of this SIP Ordinance shall not occur or take effect until after the recording of the Quarry Vista final plat.

- (D) Applicant shall pay cost of publication to avoid a two Council meeting approval process.

The above and foregoing ordinance was duly adopted by the City Council of the City of Fitchburg, at a regular meeting held on the _____ day of _____, 2015.

Patti Anderson, City Clerk

Approved: _____

Steve Arnold, Mayor

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this ____ day of _____, 2015, the above named Patti Anderson, and Steve Arnold to me known to be the City Clerk and Mayor (respectively) of the City of Fitchburg, and the persons who executed the foregoing instrument and acknowledged the same.

Notary Public, State of Wisconsin

Printed Name of Notary Public _____
My Commission Expires: _____

Consent of the Property Owner

_____ Date: _____

Personally came before me this ____ day of _____, 2015, the above named _____ to me known to be _____, of _____ and the person who executed the foregoing instrument and acknowledged the same.

Notary Public, State of Wisconsin

Printed Name of Notary Public _____
My Commission Expires: _____

Consent of Mortgage Holder:

_____ Date: _____

Mortgage Holder

Personally came before me this ____ day of _____, 2015, the above named _____ to me known to be the _____

of _____ and the person who executed the foregoing instrument
and acknowledged the same.

Notary Public, State of Wisconsin

Printed Name of Notary Public _____

My Commission Expires: _____



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Dan Bertler Supreme Structures Inc

Address: 2906 Marketplace Drive **Phone Number of Contact Person:** 608-442-6420

City, State, Zip Code: Fitchburg WI **Email of Contact Person:** dan@supremestructures.com

Project Address: 5264 Verona Road **Lot:** _____ **Subdivision:** _____

Project Type: _____ **Multi-Family** **Commercial** _____ **Industrial** _____ **Other**
 _____ **New** _____ **Addition**

Impervious Surface Ratio (ISR): _____ (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures.
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

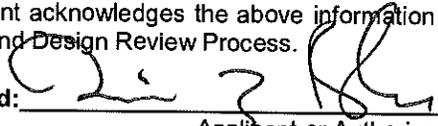
Landscaping:

- 1. Location, species, size of existing trees, shrubs, and plantings.
- 2. Location, species, size of proposed plantings.
- 3. Location and size of all paved, seeded/sodded and gravelled areas.
- 4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed:  Date: 4-21-15
Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: 4/21/2015 Plan Commission Date: _____

Comments:



City of Fitchburg
Planning and Zoning Department
5520 Lacy Road
Fitchburg, WI 53711

RE: Architectural Design and Review Application
5264 Verona Road

To Whom It May Concern,

Supreme Structures was hired to renovate the existing property and turn it into a massage, fitness studio, and nail salon. After reviewing the exterior existing conditions it was evident that the two arches are structurally unsafe. These arches need to come down and a structural beam and column need to be installed verses what was done prior with masonry. Our intent is to replace the structure and cover with EIFS while keeping the arch theme the building once had.

The rear window internal framing on the South side is completely rotted out. Again, our intent is to remove the framing, install the framing correctly, and replace the window along with new EIFS all in the same plain so water is not an issue in the future.

We are not touching the existing parking lot, besides crack fill and seal. The existing landscaping needs maintenance and general clean up.

The only exterior renovations we are doing are the two arches, replacement of the south window, and a new roof. Please contact me with any questions whatsoever and thank you!

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Bertler', is written over a white background.

Daniel J Bertler
President
Supreme Structures Inc



EXISTING MASONRY

NEW E.F.I.S.

MadPower Training



EXISTING MASONRY

NEW E.F.I.S.

EXISTING MASONRY

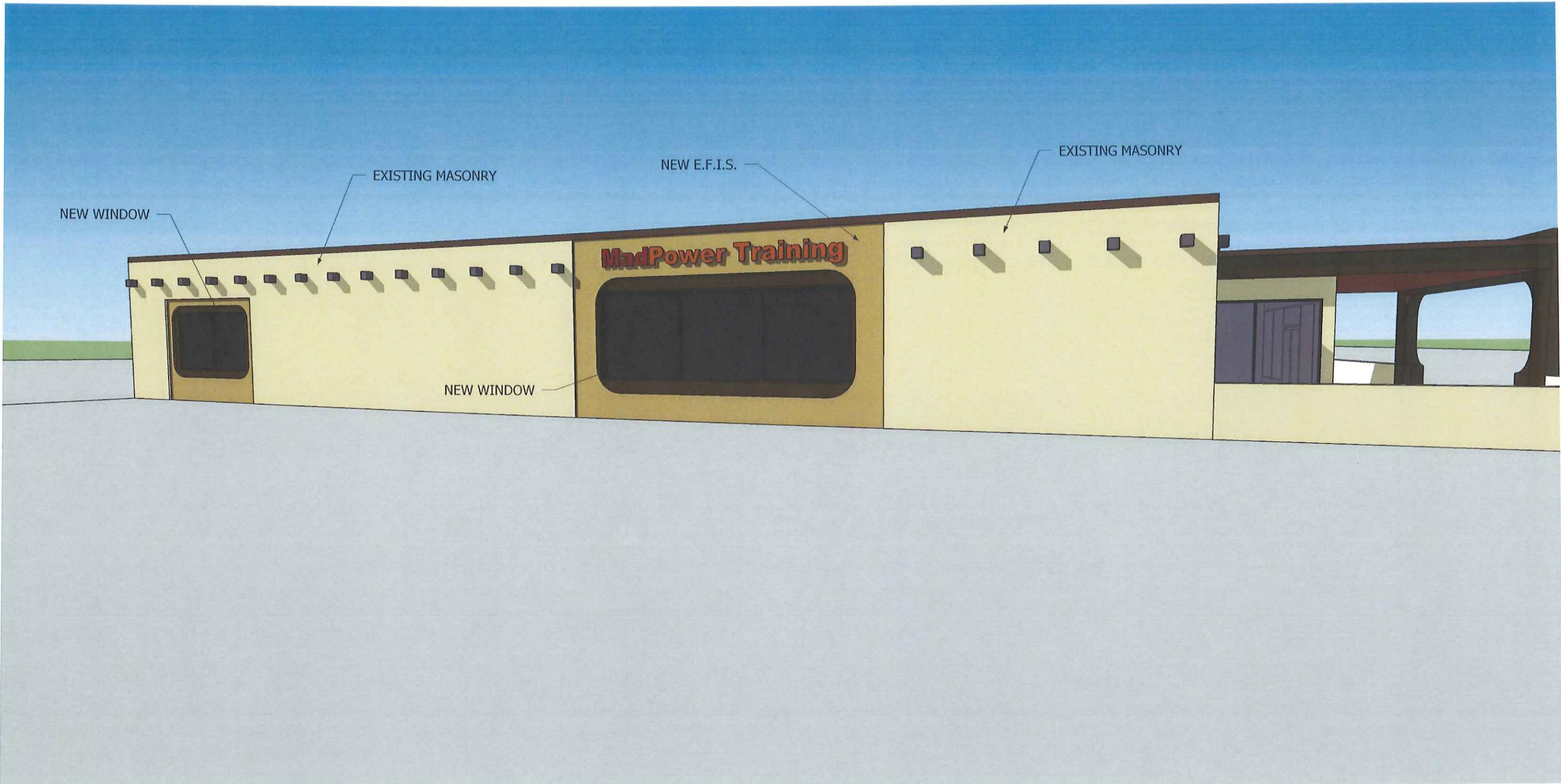
NEW E.F.I.S.

EXISTING MASONRY

NEW WINDOW

NEW WINDOW

MadPower Training



NEW WINDOW

EXISTING MASONRY

NEW E.F.I.S.

EXISTING MASONRY

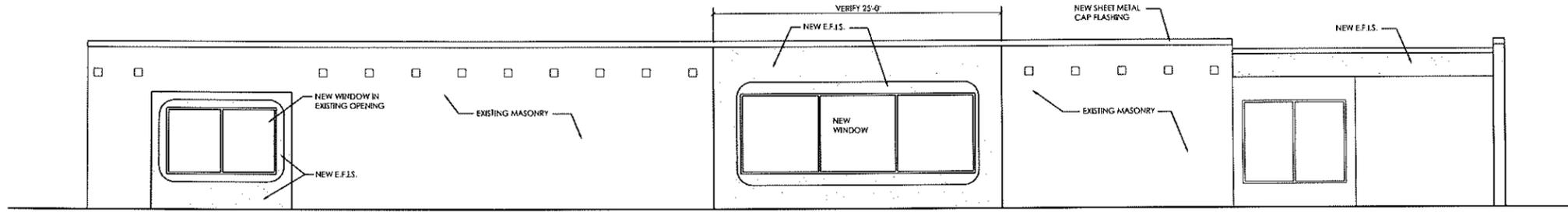
MadPower Training

NEW WINDOW

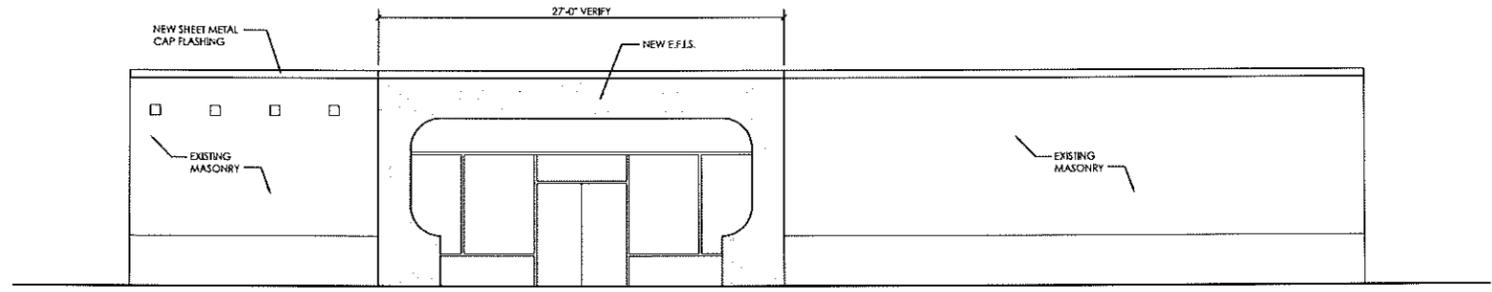
Dry Bean, 5264 Verona Rd (608) 274-2326

3.3 5 reviews

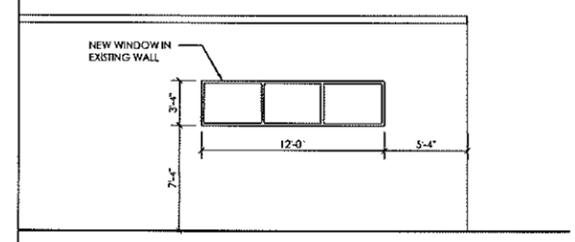




1 SOUTH ELEVATION
A.4 3/16" = 1'-0"



2 EAST ELEVATION
A.4 3/16" = 1'-0"



3 PARTIAL NORTH ELEVATION
A.4 3/16" = 1'-0"

preliminary not for construction

dm architecture
119 north main street
aregan wi 53575
tel. 608.239.6535
info@dm-architecture.com

dm architecture

madpower training
5264 verana road
fitchburg, wi 53719

exterior elevations

project #
1504
drawn: d.a.m.
14 april 2015

a.4