

1. Agenda

Documents: [PLAN_20150915_AG.PDF](#)

2. Complete Packet

Documents: [PLAN_20150915_PK.PDF](#)



CITY OF FITCHBURG

Planning Department

5520 Lacy Road
Fitchburg, WI 53711-5318

Phone: (608) 270-4256 ■ Fax: (608) 270-4275

www.fitchburgwi.gov

NOTICE PLAN COMMISSION September 15, 2015

PLEASE TAKE NOTICE that the Plan Commission of the City of Fitchburg, Dane County, Wisconsin will hold a meeting on **Tuesday, September 15, 2015 at 7:00 p.m.** in the Fitchburg City Hall, 5520 Lacy Road, Fitchburg, WI 53711 for the purposes of:

1. Call to order and approval of minutes of 08/18/2015.
2. Public Appearances – non agenda items
3. Agenda Review
4. Public hearing and consideration of Rezone request and Conditional Use Permit request, RZ/CU-2077-15, by Bob Sieger, agent for Crespt LLC, with authorization from Joanne Jensen and Ernest Schupenbach, to rezone from the A-T (Transitional Agriculture) and R-M (Residential – Medium Density) districts to the R-H (Residential- High Density) and P-R (Park & Recreation) district along with a conditional use permit to allow for more than two multi-family buildings per lot, on property along Anderberg Drive, associated with 3046 & 3048 Anderberg Drive.
5. Architectural Design Review request by Bob Sieger, agent for Crespt LLC, with authorization from Joanne Jensen and Ernest Schupenbach, for site and structural development of three multi-family buildings each containing four dwelling units, on property along Anderberg Drive, associated with 3046 and 3048 Anderberg Drive.
6. Public hearing and consideration of Conditional Use Permit request, CU-2078-15, by Bob Feller, agent for Benjamin Properties, to exceed the allowed height limitation of 42 feet for the new proposed 3-story building at 5400 King James Way, Lot 2 CSM 5649.
7. Architectural Design Review request by Bob Feller, agent for Benjamin Properties, for approval of site and structural development of a three-story office/retail building with underground parking at 5400 King James Way, Lot 2 CSM 5649.
8. Pre-application land division request by Roger Cohee on a proposed land division to create a new residential lot on Lot 3 CSM 10695.
9. Resolution R-94-15, A Resolution Granting An Underground Electric Right-of-Way Grant to Madison Gas and Electric Company on Outlots 24, 25, 26 and 28 Third Addition to Nine Springs, City of Fitchburg, Wisconsin.
10. Resolution R-97-15, A Resolution Granting A Private Access Easement On Lot 2 of CSM 445 (McGaw Park) For 5267 Lacy Road, City of Fitchburg, Wisconsin.

(additional items on page 2)

11. Resolution R-100-15, A Resolution Releasing a Platted Public Sanitary Sewer Easement on Lot 21 In First Addition to Fitchburg Technology Campus City of Fitchburg, Wisconsin.
12. Plan Commission Resolution PCR-04-15, Resolution of the Plan Commission Calling for a Public Hearing on Proposed Tax Incremental District No. 10 Creation in the City of Fitchburg.
13. Planning Department Report
14. Announcements
 - a. Next Plan Commission Meeting Scheduled for October 20, 2015 at 7:00 p.m.
 - b. Other
15. Adjournment

Full coverage of this meeting is available through FACTv and Streaming Video, accessible on the city web site at <http://factv.city.fitchburg.wi.us/Cablecast/Public/Main.aspx?ChannelID=3>

Note: It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact City Clerk's office (270-4200), Fitchburg City Hall, 5520 Lacy Rd, Fitchburg, WI 53711



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MINUTES PLAN COMMISSION August 18, 2015

Plan Commission Members Present: Steve Arnold, Tony McGrath, Rachel Lee, Ron Johnson, Ed Kinney, Bill Tishler, Carol Poole

Others Present: Thomas Hovel – City Planner/Zoning Administrator, Susan Badtke – Community Planner

1. Call to order and approval of minutes of 7/21/2015.

Chair Arnold called the meeting to order at 7:10 p.m.

Motion by McGrath, second by Johnson, to approve the minutes of 7/21/2015 was carried unanimously.

2. Public Appearances – non agenda items – None.

3. Agenda Review – No changes.

4. Public hearing and consideration of Conditional Use Permit request, CU-2068-15, by Lucas N. Roe, agent for Realty Income Corporation, to allow for alcoholic beverage sales at AMC Theater, 6091 McKee Road, Lots 10 & 11 Fitchburg Commerce Park.

Chair Arnold opened and closed the public hearing as there were no registrants wishing to speak.

Jeff Butler, 911 Chapel Hill Road Madison, representing AMC Theaters, was available to answer questions.

Frank Lewis, 17825 Elm Grove Road Platte City, MO, representing AMC Theaters, was available to answer questions.

Lucas Roe, 22 E Mifflin Street, Ste 600 Madison, was available to answer questions.

City Planner Tom Hovel provided an overview of the request noting that the theater is installing reclining seats and is looking to serve alcohol to be more competitive with the other theaters. Frank Lewis, representing AMC, explained that beer would be served in plastic cups and no alcohol is served in glass due to safety reasons.

Motion by Poole, second by Kinney, to approve CU-2068-15 with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Applicant shall obtain appropriate liquor license approvals prior to serving any alcohol on the property.

Motion carried unanimously.

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5. Public hearing and consideration of Rezone request, RZ-2071-15, by Adam Helt-Baldwin of Habitat for Humanity, to amend the Planned Development District – Specific Implementation Plan (PDD-SIP) zoning, regarding housing development plans, on property in the First and Second Additions to Renaissance on the Park.

Chair Arnold opened and closed the public hearing as there were no registrants wishing to speak.

Adam Helt-Baldwin, 1014 Fiedler Ln #29 Madison, representing Habitat for Humanity of Dane County, was available to answer questions.

City Planner Tom Hovel provided the staff report noting that Habitat for Humanity purchased the remaining lots in Renaissance and was requesting modifications to accommodate volunteers. The changes include more single-story house plans with exposed lower levels and some minor changes to the ISR.

Carol Poole noted some concerns regarding street parking in the area and questioned whether all of the houses would have single-car garages. Helt-Baldwin noted that all of the plans call for single-car garages but that the setbacks allow for one vehicle space in the driveway. He noted that the single-story homes provide less room for garage space and a two-car garage would push the building outside the building envelope. Alder Arnold also noted that the area is transit rich and a two-car garage would affect affordability. Ed Kinney suggested that Habitat make the garages deep enough to allow things to be stored behind the vehicle.

Motion by Lee, second by Johnson, to recommend approval of RZ-2071-15, with the following conditions:

- (A) PDD-SIP zoning is hereby amended to allow the development parameters for the referenced lots to be modified in the First and Second Additions to Renaissance on the Park in accord with submitted plans and information which accompanied the rezoning application received on July 21, 2015 and supplemental information provided via email on August 4, 2015, which is hereby made a part of this ordinance, and with the following additional requirements:
1. No other permit or approval is waived or deemed satisfied except for the approval provided herein.
 2. All aspects of Ordinance 2005-O-27 remain in place, except for the amendments provided herein to modify specific development parameters as detailed in the submittal materials of July 21, 2015 with additional information provided on August 4, 2015.
 3. An agreement for subdivision improvements will need to be executed prior to the start of work on any public improvements. Public improvements will need to be installed and accepted prior to the release of any building permits.
 4. Project may be completed in two phases with the following conditions:
 - a. Phase II shall be completed within 12 months of completion of Phase I. A letter of credit will need to be submitted for both phases prior to starting Phase I.
 - b. Phase I and Phase II asphalt surface shall be placed between August 15 and September 15 of the year following the public improvements acceptance of Phase II.
 5. MMSD fees need to be paid prior to the start of construction of public improvements.
 6. Water impact fees are due for each lot prior to the release of a building permit. These fees will be included with the building permit fees. The 2015 water impact fee rate is \$1,104 per residential unit; fee may be adjusted annually.
- (B) This ordinance shall take effect following its publication, or the consent of the property owner, whichever occurs last. However, in accord with section 22-596 of the zoning code, owners shall consent within 30 days of approval for the PDD-GIP zoning to take effect.
- (C) Applicant shall pay cost of publication to avoid a two Council meeting approval process.

Motion was carried unanimously.

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6. Public hearing and consideration of Comprehensive Development Plan request, CDP-2072-15, by Chris Ehlers of William Ryan Homes and James Spahr of Lionshare Group, LLC, agent for William Dunn and O'Brien Family LTD Partnership, for a residential and industrial development in the North Stoner Prairie Neighborhood (O'Brien and Dunn Properties) on the east and west sides of Seminole Highway, north of Lacy Road.

Chair Arnold opened the public hearing.

James O'Brien, 5995 Ct. D Oregon, registered in support.

Tom Thoresen, 5874 Persimmon Drive Fitchburg, representing Lacy Heights Neighborhood Association and himself, spoke in support of the proposed CDP for Stoner Prairie noting that there was a lot of input throughout the neighborhood planning process. He stated that he supports the current map of roads as it follows the plans and city ordinances but stated that the development should continue to address safety of the school crossings and the City should consider yield signs at intersections with the path.

Bill Nebel, 5888 Persimmon Drive Fitchburg, representing Lacy Heights, spoke in support of the request with suggestions for setback restrictions. He stated that he is supportive of the plan but requested that the rear setback be taken from the edge of the buffer/drainage area rather than the property.

Charlie O'Brien, 662 Rovalin Drive Verona, spoke in support of the request and noted that he is pleased with the direction that the development is going; the developer has listened and planned accordingly.

Catherine Schneider, 403 Melody Lane Verona, representing O'Brien Family Limited Partnership, spoke in support of the request noting that the conditions have lined up for the family and that it is the right time to take care of the property in terms of not passing it on to another generation.

Brad Mullins, 5866 Persimmon Drive Fitchburg, spoke in support of the request. He stated that he feels the developer has been responsive to neighborhood concerns and that it will be well-received. Two areas of concerns include traffic calming and the stormwater management easements.

Bill Dunn, 6055 Whalen Road Fitchburg, spoke in support of the request and thanked the steering committee for the good work that they did on the North Stoner Prairie Neighborhood Plan.

Chris Ehlers, 2980 Edenberry Street Fitchburg, representing William Ryan Homes, spoke in support of the Comprehensive Development Plan to consist of 146 single-family lots, 30 townhomes and some commercial/industrial land. He noted that the single-family home lots will be different sizes but will be family-sized lots. He expressed concern with taking the rear setback from the buffer area, as was suggested by Nebel, as that restricts the size of the house that can be built on the lot. He noted that some of the lots will be sold to outside builders and they will encourage custom, creative house designs.

Jim Spahr, 6817 Fairhaven Rd #8 Madison, representing Lionshare Group, LLC, spoke in support of the request and was available to answer questions. Spahr touched on the townhouse development noting that they are intended for smaller families. He also commented that there is a strong demand for flex-space, which is a combination of commercial and industrial space.

Ehlers provided an overview of the phasing plan noting that there is a tentative 5-year buildout for the project.

Deb Hatfield, 119 S Main St Cottage Grove, representing William Ryan Homes and Lionshare Group, provided an overview of the stormwater management plan that will meet the normal city requirements and also the extra requirements of the North Stoner Prairie Neighborhood Plan.

Kinney questioned whether Spahr had looked at the condition of the McKenna Barn and whether it could be retained as part of the project. Spahr commented that the stone of the barn is completely crumbled and can't even be used for signage and that the upstairs of the barn is not original and has been replaced. He noted that they have carved out a spot for another barn from Verona to relocate for a bike path shelter to the neighborhood. Kinney commented that at some point a demolition permit for the barn would be submitted and that he would like to see the Landmarks Preservation Commission evaluate the barn.

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Chair Arnold commented that he would also like to see the barn preserved along with the cheese factory barn. If nothing else, he'd like the Landmarks Commission to take photos and document the history. He asked whether Spahr would be agreeable to working with the City and inviting the Landmarks Commission for a visit. Spahr said he was fine with that. Kinney suggested that perhaps John Frieburger would be a good resource to come look at the structures.

Discussion was had on access to the elementary school. Chair Arnold proposed an alternate street layout to which Spahr commented that preliminary discussions with the school showed a lack of interest and a preference towards a drop off where parents could see their children walking to the front door of the school.

Chair Arnold also encouraged that the developer consider incorporating "home zones" into the street network, where roads that serve only local traffic are posted for 18-20 mph. He also expressed his opposition to the proposed cul-de-sac; Ehlers responded that the neighborhood desires the cul-de-sac.

Chair Arnold closed the public hearing.

City Planner Tom Hovel provided the staff report noting that staff recommended approval with conditions. Hovel commented that the R-L zoning district has a 35 foot rear setback which is taken from the property line; the only situation where this has been altered is on major highways such as McKee Road.

Motion by Poole, second by Kinney, to recommend approval of CDP-2072-15 was approved with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Proposed public shared-use path and mid-block crossings shall be located in 20' wide outlots rather than the proposed easements in locations acceptable to the city Transportation Engineer; the preliminary and final plat shall reflect these areas as outlots. Maintenance and responsibility for any private paths shall be delineated, and acceptable to the Public Works Director and City Attorney prior to approval of the preliminary plat.
- 3.) Rezoning are required to be accomplished prior to the final platting.
- 4.) Seminole Highway Interceptor, McKee Interceptor and MMSD fees shall be paid for at the time of platting.
- 5.) Park calculations and fees will be handled at the time of platting.
- 6.) Applicant shall work with Public Works and Parks to provide the required path along the north edge of the Public Park, connecting Street B east to the existing school bike path.
- 7.) A developer agreement will be needed for the public improvements.
- 8.) Wetland determinations and delineations (and related environmental corridors) shall be accomplished prior to submittal of the preliminary plat.
- 9.) Erosion Control and Stormwater Management Permit, meeting the requirements of City Ordinances and the North Stoner Prairie Neighborhood Plan, shall be submitted and approved prior to construction.
- 10.) A stormwater maintenance agreement will be required for the necessary private stormwater management practices approved by the City.
- 11.) Stormwater Management Plan shall comply with the stormwater performance standards (e.g. 100% stay-on infiltration volume, etc.) described in the North Stoner Prairie Neighborhood Plan.

Carol Poole thanked the developer for bringing single-family homes and potentially the parade of homes to Fitchburg.

Motion carried unanimously.

7. Public hearing and consideration of Conditional Use Permit request, CU-2073-15, by Andy Fitz of Mastec Network Solutions, to allow for telecommunications upgrades and new generator at 2827 Commerce Park Drive, Lot 1 CSM 11021.

Chair Arnold opened the public hearing.

Andy Fitz, 1351 E Irving Park Road Itasca IL, representing Mastec/AT&T, was available to answer questions.

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Chair Arnold closed the public hearing as there were no registrants wishing to speak.

City Planner Tom Hovel provided the staff memo noting that AT&T was requesting telecommunication upgrades and a new generator on the water tower site.

Ed Kinney questioned whether the generator could be sized to handle future uses so that the city limits the number of generators on the site. Andy Fitz responded that AT&T has not done a communal generator on facilities where it locates its antennas due to liability. He mentioned there is a class 2 enclosure which should, in addition to the proposed fence, do a good job retaining noise. City Planner Tom Hovel commented that this could be handled through the lease agreement with the City.

Arnold questioned whether AT&T would be open to using a communal generator if it was provided by the City or some other party. Fitz stated he could explore this but wasn't certain whether this is something AT&T would agree to. Kinney commented that he is less concerned about this location but would want a better solution in situations where the site is closer to residential uses.

Tony McGrath commented that the City needs to tread cautiously with respect to not allowing additional generators so that we don't violate Chapter 66 State Statute.

Motion by Poole, second by Lee, to approve CU-2073-15 with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Applicant shall address all Public Works items, specifically those identified in their review #1 comments, prior to the issuance of any permit.
- 3.) Approval is based on submitted plans provided July 22, 2015 and responses to staff comments.

Motion carried unanimously.

8. Architectural Design Review request by AT&T by Andy Fitz of Mastec Network Solutions, to allow for telecommunications upgrades and new generator at 2827 Commerce Park Drive, Lot 1 CSM 11021.

Motion by Poole, second by McGrath, to approve ADR request with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Applicant shall address all Public Works items, specifically those identified in their review #1 comments, prior to the issuance of any permit.
- 3.) Approval is based on submitted plans provided July 22, 2015 and responses to staff comments.

Motion carried unanimously.

9. Public hearing and consideration of Comprehensive Development Plan request, CDP-2074-15, by Kevin Unbehaun, agent for Sub-Zero Wolf Inc, for industrial development in the North Stoner Prairie Neighborhood, lands in Section 7 & 8 City of Fitchburg.

Chair Arnold opened public hearing for items 9 & 11.

Kevin Unbehaun, 6061 Basswood Drive Fitchburg, representing Sub-Zero Group, Inc., spoke in support of the request and was available to answer questions. He provided an overview on the expansion plans.

Ron Klaas, 7530 Westward Way Madison, representing SubZero, spoke in support of the request. Klaas provided an overview of the proposed CSM which would create one large lot for the SubZero expansion and the rezoning to Industrial to allow for the subzero expansion. He also provided an overview of the stormwater management for the development.

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Ed Kinney questioned the plan for the proposed lot 3 of the CSM. Unbehaun stated that SubZero intends on retaining both lots 2 & 3 at this time.

Clinton Collins, W8373 County Road K Arlington, representing Sub-Zero, was available to answer questions.

Chair Arnold expressed concern regarding limited circulation and suggested that SubZero consider extending Spoke Drive south from McKee Road. Unbehaun stated there are currently 10 undeveloped acres but they don't have a plan for development. They would not be interested in putting a road in and bisecting the undeveloped land at this point in time.

Chair Arnold closed the public hearing.

City Planner Tom Hovel provided the staff report noting that there are several items that are still a work in progress for all of the Sub-Zero requests but that staff is working to try to keep Sub-Zero on their timeline by adding conditions to approvals that can be working out with staff.

Motion by Johnson, second by Poole, to recommend approval of CDP-2074-15 with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Applicant shall obtain an Erosion Control and Stormwater Management (ECSWM) Permit approval from Public Works. In addition to the normal performance standards from Chapter 30, Article II of Fitchburg's Municipal Code, stormwater performance requirements M1, M5, M7, M8, M10, M11, M13, M14, and M15 from the North Stoner Prairie Neighborhood Plan (Pages 113-116 of <http://fitchburgwi.gov/468/North-Stoner-Prairie-Neighborhood-Plan>) need to be met.
- 3.) The timing of the street improvements needs to be coordinated with the adjacent land owner to the east to ensure street connectivity to Seminole Highway and Marketplace Drive. Until the streets are constructed on the east side of the Badger State Trail, a temporary road shall be provided and maintained to ensure connectivity between Marketplace Drive and Commerce Park Drive.
- 4.) Applicant shall address all public works comments to the satisfaction of the City Engineer.
- 5.) Applicant shall address all planning comments to the satisfaction of the City Planner.

Motion carried unanimously.

10. Certified Survey Map request, CS-2075-15, by Ronald Klaas, agent for Sub -Zero Wolf Inc., to divide property associated with Lot 1 CSM 9217, Lots 1 & 2, CSM 10031, Lot 2 CSM 11021, vacated/discontinued portion of Marketplace Drive and all of Bud's Drive, into three lots and one outlot, along with new street dedication.

Motion by Poole, second by McGrath, to recommend approval of CS-2075-15 with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) A developer's agreement for all public improvements will need to be executed prior to the City signing of the CSM.
- 3.) Prior to the City signing of the CSM, the applicant shall sign a street tree waiver for street trees to be planted by the City along the public streets.
- 4.) Prior to the City signing of the CSM, applicant shall obtain an Erosion Control and Stormwater Management (ECSWM) Permit approval from Public Works. In addition to the normal performance standards from Chapter 30, Article II of Fitchburg's Municipal Code, stormwater performance requirements M1, M5, M7, M8, M10, M11, M13, M14 and M15 from the North Stoner Prairie Neighborhood Plan (Pages 113-116 of <http://fitchburgwi.gov/468/North-Stoner-Prairie-Neighborhood-Plan>) need to be met.
- 5.) Prior to the City signing of the CSM, applicant shall obtain WisDNR and WisDOT approval for a new street crossing of the Badger State Trail. The final alignment and location will need to be approved and signed off by both agencies.
- 6.) Prior to the City signing of the CSM, applicant shall provide and obtain approval from Public Works of preliminary plan and profile sheets for Street A, Commerce Park Drive and Marketplace Drive

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relocation. If not identified on the CSM, provide easements for existing hydrants and public main connection to the Badger Trail.

- 7.) CSM shall be updated to dedicate a 15' wide strip of right-of-way along McKee Road for future I and expansion and a 30' wide strip of right-of-way at the corner of McKee Road and the Badger State Trail for future connection of the sidewalk to the proposed tunnel under McKee Road.
- 8.) If the Badger Trail crossing and the roads east of the Badger Trail are not completed by the time Commerce Park and what is identified as A Street open, the applicant will be required to provide an easement along the east north-south drive for public access.
- 9.) Applicant shall address all public works comments to the satisfaction of the City Engineer prior to the City signing of the CSM.
- 10.) Applicant shall address all planning comments to the satisfaction of the City Planner prior to the City signing of the CSM.
- 11.) Applicant shall provide, prior to the city signing the CSM, a fully executed agreement between them and Payne and Dolan for stormwater storage and limitations on the Payne and Dolan property at a level to handle the back-to-back 100 year storm events for the contributing storm water area. Or, in lieu of the above, the applicant, Sub-Zero, shall show that the current project (see ADR project application) will not cause the storm water storage elevation to be greater than the 1022.6 on the Payne and Dolan property, and if that is the case, shall provide an agreement that they will not construct on lots 2 and 3 of the CSM until a new storm water area is established and consented to through an agreement with the required property owners.
- 12.) To facilitate building construction, the City may allow an approximate 100' section of future public water main to be installed prior to a developer agreement. In order for the City to consider this section of water main for being part of the future public system, the design and installation shall be in accordance with the City of Fitchburg Specifications. The design of the water main section shall be reviewed and approved prior to construction. The City shall be notified a minimum of 48-hours prior to construction in order to allow for observation of the installation. The developer shall reimburse the City for all costs associated with the review and observation of the installation of the water main. The developer shall post a letter of credit at 115% of the cost of the water main construction and City estimated costs.
- 13.) The water main easements for the existing public mains to remain need to extend 10 feet on all sides of the public water system. The public system includes main, hydrants, and services up to and including the service valves. Revise easements on Bud's Drive and at Marketplace, west of the Badger Trail, to meet this requirement.

Motion carried unanimously.

11. Public hearing and consideration of Rezone request, RZ-2076-15, by Ron Klaas, agent for Sub-Zero Wolf Inc, to rezone property from the Rural Development (R-D) to the Industrial General (I-G) district, Lot 2 CSM 10031.

Note: public hearing was held in conjunction with item 9.

Motion by Poole, second by Lee, to recommend approval of RZ-2076-15 with the following condition:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.

12. Architectural Design Review and early issuance of permit for construction requests by Boyd E. Coleman, III, agent for Sub-Zero Wolf Inc., for a south building addition and associated site improvements to 2866 Bud's Drive.

Kevin Unbehaun of Sub-Zero provided an overview of the building renderings and materials. He stated that they intend on planting trees to provide a buffer space and screen the building.

Ed Kinney questioned if the building could be easily divided in the future if it needs to be repurposed for a different use. Unbehaun stated that they intend to occupy the full building but would suggest splitting along column lines and equally dividing dock space if needed.

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Motion by Poole, second by McGrath, to approve ADR with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Applicant shall address all public works comments to the satisfaction of the City Engineer prior to the issuance of any permit.
- 3.) Applicant shall address all planning comments to the satisfaction of the City Planner prior to the issuance of any permit.
- 4.) Applicant shall obtain an Erosion Control and Stormwater Management Permit prior to the issuance of any permit.
- 5.) Applicant shall provide proper landscaping, acceptable to zoning administrator, to screen the south side of the building and parking lots from the view from Lacy Road and over the storm water storage area.
- 6.) The building and site improvements shall meet all aspects of the zoning code.
- 7.) Rezoning of the property is approved by the Common Council.
- 8.) The current Marketplace Drive crossing of the Badger Trail shall be abandoned within 90 days of the opening of the proposed east-west street (A street on the CSM) connection to Seminole Highway.
- 9.) Approval includes early issuance of permit for construction, prior to recording of the CSM and completion of public improvements. Prior to any issuance of a permit, applicant shall:
 - a. Obtain written approval from the Fire Department that sufficient water service exists, in the opinion of the fire chief, so that proper fire service can be provided;
 - b. Obtain written approval from the Fire Department and Public Works of an access plan that provides and maintains temporary roads that meet at a minimum the requirements of the fire department and are sufficient to permit access by emergency vehicles;
 - c. All required fees have been paid and proper security posted, and barricades provided;
 - d. Applicant shall provide an agreement to be recorded whereby the subdivider agrees to indemnify and hold the city harmless from any and all claims, actions, demands, or judgments for personal injuries or property damages, together with the actual expenses incurred in connection therewith, arising out of or in any way related to the issuance of such building permits, or construction within the subdivision including any such claim, action, demand or judgment premised upon the negligence of the city or any of its officers, agents, servants or employees; and
 - e. The building owner shall agree in a written affidavit that occupancy shall not occur, nor shall occupancy permits be issued, prior to the completion, inspection and acceptance of all required public improvements.
 - f. Public and private watermain on SubZero's site shall meet the approval of the Fire Department and City Utility Engineer prior to the receipt of any permit.

Motion was carried unanimously.

Carol Poole thanked the applicant for keeping the company in Fitchburg.

13. Erosion Control and Stormwater Management Permit request by Debbie Hatfield, agent for Saris, for approval to grade out stockpiles of excess material created as part of the Spoke and Sprocket project at 5253 Verona Road.

City Planner Tom Hovel explained the request to grade out stockpiles that were placed on the Saris property as part of the Spoke and Sprocket construction project.

Jim Spahr, 6817 Fairhaven Road Madison, representing Saris Cycling Group, registered in support and was available to answer questions.

Chair Arnold questioned the impact to the Oak Savannah or mature oak trees; Spahr commented there would be minimal impact on the oak trees.

Motion by Kinney, second by Johnson, to approve Erosion Control Permit request with the following conditions:

DRAFT MINUTES

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Approval is based on submitted materials dated July 21, 2015 and responses to staff comments provided August 4, 2015.

Motion was carried unanimously.

14. Pre-application request by Robert Williams, agent for Aspen Park Apartments, for the use of Planned Development District (PDD) zoning for a multi-family redevelopment of the Sun Valley Apartments, Breckenridge Court.

Robert Williams of TDI Associates, Inc., N8 W22350 Johnson Drive Suite B-4 Waukesha, representing the developer/owner, spoke in support of the request. He provided an overview of the request to upgrade the property to a more urban design and explained that PDD zoning works better for the project. The proposed project includes five 5-story buildings with underground parking along Fish Hatchery Road and six 2-story buildings with attached garages. Depending on the market the project would take approximately 5-8 years.

Chair Arnold pointed out some of the drawbacks to using PDD zoning and suggested that he explore the use of SmartCode.

Ed Kinney commented that this project is a fantastic improvement and thanked him for bringing it forward.

Williams commented that he met with one of the Alders who lived in the apartments and he commented that it is extremely challenging to turn left out of or into the site. Williams suggested that the City look at a controlled intersection.

15. Resolution R-81-15, General Beverage Permit for Parking Within City Property.

Cindy Jaggi, 1972 Oakwood View Drive Verona, representing the Verona Road Business Coalition, registered in support of the Resolution .

William Haus, 148 E Wilson St. Madison, representing General Beverage, registered in support and was available to answer questions.

Mike Zimmerman, 5520 Lacy Road Fitchburg, representing the Fitchburg Economic Development Department, registered in support and was available to answer questions.

Joel Mlnkoff, McKee Road Fitchburg, representing General Beverage spoke in support of the Resolution and was available to answer questions.

City Planner Tom Hovel explained the Resolution would allow private use of the public rail corridor for the purpose of parking; staff had no recommendation as this is a policy decision.

Ron Johnson stated that the Transportation and Transit Commission reviewed the Resolution and voted 4-0 in favor of approving the Resolution with himself abstaining as he wanted to hear the discussion at Plan Commission.

Bill Tishler stated that he has a problem with private use on public land and that it is not a good public policy decision to make this kind of conversion.

Chair Arnold expressed concern with the Resolution noting that it is a not a good public policy decision to convert the land even though practical considerations lead the city in that direction.

Carole Poole questioned what public use the land is being used for at the present. She stated that the Resolution would allow issuance of a permit to General Beverage, not selling or giving the property itself. She also commented that this plan would help provide a fire lane to the building. She said that the business has been in Fitchburg for a long time and she sees it as an acceptable policy exception.

DRAFT MINUTES

Tony McGrath commented that he does not see this as a conversion rather it is a permit. He compared it to a sidewalk café where a restaurant may use the sidewalk for seating area, etc.

Ron Johnson stated that the permit would run with the land and is permanent unless the rail is reactivated. He expressed concern about what happens when someone comes in that hasn't been impinged upon and wants to do something on public property – what are the city's standards? McGrath responded that the City could add a whereas clause specifying that the situation is unique and granting of the permit does not set precedence.

Carol Poole questioned whether General Beverage would be open to allowing the parking lot to be used by bikers on the weekend. Minkoff did not appear open to that idea due to issues of theft.

Rachel Lee questioned whether General Beverage has an agreement finalized with the DOT. Minkoff responded that the DOT is still working on a proposal.

Motion by Kinney, second by McGrath, to recommend approval of Resolution R-81-15, with the following amendments:

- Add a new condition 1 to read: "The existing Military Ridge Path alignment will not be altered or impeded by the addition of parking, drives, or any other allowed private use within the railroad corridor." All other conditions would be re-numbered accordingly.
- Add a new whereas clause to read: "Whereas, the situation presented here represents a unique set of facts unlikely to occur elsewhere and this action is not considered precedential."

Motion carried with Tishler and Arnold opposed.

16. Resolution R-82-15, A Resolution Granting An Underground Electric Right-of-Way Grant to Madison Gas and Electric Company on Outlot 16, Nine Springs, City of Fitchburg, Wisconsin.

City Planner Tom Hovel provided the staff report and explained the Resolution.

Motion by Poole, second by Tishler, to recommend approval of Resolution R-82-15, was carried unanimously.

17. Planning Department Report

No items to report.

18. Announcements

Chair Arnold announced that the next Plan Commission meeting is scheduled for September 15, 2015.

19. Adjournment

Motion by Kinney, second by Lee, to adjourn at 9:57 p.m. was carried unanimously.

Submitted By,
Susan Badtke, Community Planner



MEMORANDUM

CITY OF FITCHBURG
PLANNING DEPARTMENT
5520 LACY ROAD
FITCHBURG, WI 53711
(608) 270-4200
FAX: (608) 270-4275
EMAIL: planning@fitchburgwi.gov

TO: Plan Commission
FROM: Tom Hovel, Zoning Administrator/City Planner
Susan Badtke, Community Planner
DATE: September 10, 2015
SUBJECT: September 15, 2015 Plan Commission Items

4. **Public hearing and consideration of Rezone request and Conditional Use Permit request, RZ/CU-2077-15, by Bob Sieger, agent for Crespt LLC, with authorization from Joanne Jensen and Ernest Schupenbach, to rezone from the A-T (Transitional Agriculture) and R-M (Residential – Medium Density) districts to the R-H (Residential- High Density) and P-R (Park & Recreation) district along with a conditional use permit to allow for more than two multi-family buildings per lot, on property along Anderberg Drive, associated with 3046 & 3048 Anderberg Drive.**

AND

5. **Architectural Design Review request by Bob Sieger, agent for Crespt LLC, with authorization from Joanne Jensen and Ernest Schupenbach, for site and structural development of three multi-family buildings each containing four dwelling units, on property along Anderberg Drive, associated with 3046 and 3048 Anderberg Drive.**

Site Details:

Acres: .92

Existing Use: Vacant

Current Zoning: A-T (Transitional Agriculture) & R-M (Residential – Medium Density)

Background & Application Description:

Applicant is requesting approval to construct three 4-unit multi-family buildings on three existing parcels (parcels A, B & C in plans) and dedicate the southern parcel (parcel D in plans) to the City for parkland. The required approvals include rezoning the property, a conditional use permit to allow for more than two dwelling structures and ADR approval for the site and structural development.



Staff Evaluation:

Rezone:

The property is currently zoned A-T (Transitional Agriculture) and R-M (Residential – Medium Density); applicant is proposing to rezone the northern three parcels to the R-H (Residential – High Density) district and the southern parcel to the P-R (Park & Recreation) district.

The intent of the rezone is to allow the construction of three 4-unit multi-family dwellings, for a total of 12 dwelling units on the property. The R-H district allows residential occupancy of dwelling unit

structures having 3-8 dwelling units, so the proposed use complies with the zoning. A conditional use permit has been submitted concurrent with this rezone request as The R-H district allows not more than two multiple family dwelling units structures per lot unless a greater number is approved by conditional use; three structures are proposed.

The applicant is looking to rezone the southern parcel, parcel D, of 11,000 sq ft, from the A-T (Transitional-Agriculture) to the P-R (Park & Recreation) district, and is looking to dedicate this land to the city for park purposes. The 11,000 sq ft dedication equates to 3.79 dwelling units, leaving a deficiency of 8.21 dwelling units. The fee in-lieu of parkland dedication (2015 \$) is \$4,330 per dwelling unit, which totals \$35,549.30 for fee in-lieu of parkland dedication. A park improvement fee of \$145 (2015\$) per unit is also required, totaling \$1,740. The proposed park provides a view of the open space to the east from County MM. With the park frontage along MM, staff is interpreting the park street frontage requirement to be satisfied.

The Parks Director has inquired as to public parking opportunities near Parcel D for access to the E-way and also the physical make up of Parcel D, and has noted that wetlands will not be credited towards parkland dedication. The applicant has stated that in talking and meeting with the City's environmental staff, Parcel D is not wetlands. The applicant has also noted that he would be in favor of Anderberg Drive being reconfigured to be a nice canoe parking and landing area. This is a future item that would need to be discussed.

Conditional Use:

Parcels A, B & C, which will be treated as one parcel, are proposed to contain three multi-family buildings. The R-H zoning district allows not more than two multi family dwelling unit structures per lot unless a greater number is approved by conditional use.

Section 22-640(c) of the Zoning Ordinance identifies the standards by which the Plan Commission shall review conditional use permits. No conditional use shall be approved by the plan commission unless the commission shall find:

- (1) That the establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.
- (2) That the conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- (3) That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- (4) That adequate utilities, access road, drainage and/or necessary facilities have been or are being provided.
- (5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- (6) That the conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

Staff has not identified any concerns or conflicts with the proposed request and the above standards.

Architectural Design Review:

Applicant is requesting approval for site and structural development of three 4-unit multi-family dwellings on the property. Per the plans, each unit would be two bedrooms with a 2-car garage. The units would be 576 square feet or 672 square feet with the garage.

The proposed buildings and drive areas, per the submitted plans, total 15,989 square feet. The plans provide calculations using the entire site area (including parcel D), but given that parcel D is proposed as parkland dedication it should not be included in the development calculations. The developable parcels (parcels A-C) total 30,406 square feet; the proposed pervious area is 15,989 making the sit's Impervious Surface Ratio (ISR) 52.6%, which is below the City's 65% standard.

As shown on the submitted site plan, the proposed buildings meet the required setbacks for the R-H zoning district.

Each proposed unit comes with a 2-car garage; 8 additional surface parking stalls are provided on the site. The applicant has also provided 5 bicycle parking stalls at the southern end of the development.

The primary material for the buildings, as shown in the submitted elevations, is cement board siding. The buildings are proposed to be 24' 4" maximum, which complies with the R-H height requirements.

Public Works had a number of comments that the applicant will need to address; the revised plans make note of several of these comments but the applicant will need to see that they are fully addressed prior to issuance of any permit. A developer's agreement will also be required to be executed for any public improvements for the development.

Consistency with Comprehensive Plan:

Future Land Use Plan: The FLUP of the Comprehensive Plan was recently amended by the Council to allow this project to move forward with applications. The southern parcel is designated as P&C (Park & Conservancy) with the three northern parcels designated as HDR (High Density Residential).

Staff has not identified any conflicts with the proposal and the Comprehensive Plan.

Staff Recommendation:

Rezoning portion of RZ/CU-2077-15:

Staff recommends approval of rezoning portion of RZ/CU-2077-15 with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Applicant shall record a statement at the Dane County Register of Deeds treating the three multi-family parcels as one parcel.
- 3.) All park fees shall be paid in order for this rezoning to take effect.
- 4.) Applicant shall address all park requirements prior to this rezoning taking effect. Wetlands will not be accepted as park dedication. With this rezoning, the council accepts parcel D as park dedication, provided that no wetlands are on-site.

CUP portion of RZ/CU-2077-15:

Staff recommends approval of conditional use permit portion of RZ/CU-2077-15 with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Council approval of rezoning portion of RZ/CU-2077-15.
- 3.) Applicant shall record a statement at the Dane County Register of Deeds treating the three multi-family parcels as one parcel.
- 4.) Satisfaction of all park fees and requirements.

ADR:

Staff recommends approval of ADR with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Approval is based on submitted plans and materials dated August 18, 2015 and some plan sheets with revised date of August 29, 2015 and responses to staff comments.
- 3.) Applicant shall address all outstanding Public Works comments prior to the issuance of any permit.
- 4.) A street tree waiver will need to be signed by the Owner for the street trees to be planted by the City along Anderberg Drive.

- 5.) Erosion Control & Stormwater Management Permit shall be obtained from Public Works prior to issuance of any permit.
- 6.) Satisfaction of all park fees and requirements.

Attachments:

- Application materials
- Responses to staff comments

6. Public hearing and consideration of Conditional Use Permit request, CU-2078-15, by Bob Feller, agent for Benjamin Properties, to exceed the allowed height limitation of 42 feet for the new proposed 3-story building at 5400 King James Way, Lot 2 CSM 5649.

AND

7. Architectural Design Review request by Bob Feller, agent for Benjamin Properties, for approval of site and structural development of a three-story office/retail building with underground parking at 5400 King James Way, Lot 2 CSM 5649.



Site Details:

Acres: 1.85

Existing Use: Commercial

Current Zoning: B-G (General Business)

Background & Application Description:

Applicant is requesting ADR approval for site and structural development of a new three-story office/retail building with underground parking as well as a conditional use permit to exceed the height limitation.

Applicant received ADR approval in July 2015 for a two-story building with underground parking; since this time the plans have been revised for a three-story building.

Staff Evaluation:

Conditional Use Permit:

The property was recently rezoned to the B-G (General Business) district; the height regulation in B-G is 42 feet of three stories, whichever is less. The proposed building, as shown on the conceptual exterior elevations, is 46' in height at main parapet, with the building extending beyond that for the raised roofs; the applicant has stated that the articulated areas are for interest and variety. The applicant has also noted that the owner desires a 14'0" floor-to-floor elevations, with 10'0" ceilings, which is what is driving the height.

Section 22-640(c) of the Zoning Ordinance identifies the standards by which the Plan Commission shall review conditional use permits. No conditional use shall be approved by the plan commission unless the commission shall find:

- (1) That the establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.
- (2) That the conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- (3) That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- (4) That adequate utilities, access road, drainage and/or necessary facilities have been or are being provided.

- (5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- (6) That the conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

Staff has not identified any concern with the proposed building height or conflicts with the above standards. The site is located at a prime intersection in the City and is located in a commercial/industrial area where taller buildings are more appropriate.

Architectural Design Review:

Applicant is requesting approval for a three-story office/retail building with underground parking, as shown in the submitted plans. The building orientation and underground parking has been slightly reconfigured from the two-story plans but staff has not identified any major concerns. The building is proposed at 54,240 square feet and is 46' at the main parapet.

Building materials remain the same as that with the two-story; the building is comprised primarily of a NICHHA panel, which is a fiber cement product, along with brick masonry veneer and glass. The applicant has indicated that the NICHHA material provides a look and feel similar to metal panels and that the product is being installed as a rain screen, meant to control water intrusion and increase the durability of the wall system.

The proposed building meets the setback requirements for the B-G zoning district. The B-G district requires a minimum 25% open space, the proposed site provides for 28.2% open space.

At a parking rate of 1 stall per 300 sq ft of gross building area for office use, the 54,240 sq ft building requires 181 parking stalls. The site provides for a total of 194 parking stalls (75 surface and 119 underground).

The proposed Impervious Surface Ratio (ISR) for the site is 71.8%, which is higher than the City's standard of 65%. Staff would like the applicant to consider other possible treatments for reducing the ISR, such as permeable pavers, etc. and has proposed condition 6 of ADR to see that the 65% ISR standard is met.

One outstanding item from Public Works is the lack of easement for sidewalk and terrace along King James Way. Public Works has requested an easement for a 5' sidewalk with a 5.5' terrace as there is not sufficient right-of-way to provide these improvements. The applicant has continued to push back on this item but has stated that they will work with staff to find a solution; public works staff has commented that the solution is to provide an easement. Staff has recommended condition 7 of the ADR approval ensure that there is sufficient room for the facilities.

In general staff feels that the 3-story building is a better fit at the corner than the previously approved 2-story building.

Staff Recommendation:

Conditional Use Permit CU-2078-15:

Staff recommends approval of CU-2078-15 with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Approval is based on submitted plans.

Architectural Design Review:

Staff recommends approval of ADR with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Approval is based on submitted plans and materials dated 8/18/15 and some plan sheets with revised date of 9/1/15 and responses to staff comments.

- 3.) Prior to the issuance of any permit, applicant shall obtain an Erosion Control and Stormwater Management permit from the Fitchburg Public Works Department.
- 4.) Prior to the issuance of any permit, applicant shall sign a street tree waiver for street trees to be planted by the City along King James Way.
- 5.) Signage is not approved under this ADR request; signage shall follow Chapter 26 Sign Ordinance and a permit shall be obtained for each requested sign.
- 6.) Applicant shall provide on-site stormwater management to handle the difference between the City's Impervious Surface Ratio (ISR) standard of 65% and the applicant's proposed ISR.
- 7.) Applicant shall provide the necessary sidewalk easement along King James Way to provide for a minimum 5 foot sidewalk and minimum 5.5 foot terrace.

Attachments:

- CUP & ADR Materials
- Responses to staff comments

8. Pre-application land division request by Roger Cohee on a proposed land division to create a new residential lot on Lot 3 CSM 10695.

Site Details:

Acres: ~141

Existing Use: Agriculture

Current Zoning: A-X (Exclusive Agriculture)

Background & Application Description:

Applicant is requesting a pre-application meeting with the Plan Commission to discuss his desire to undertake a land division on his property for a new residential lot. Since this is a pre-application conference, no formal action can be taken, but it allows the applicant to discern next steps based on the discussion at the Plan Commission.

Staff Evaluation:

Mr. Cohee is requesting feedback on his request to proceed with a Certified Survey Map for a residential lot on Lot 3 CSM 10695.

History:

In 2003 Mr. Cohee undertook a Certified Survey Map (CSM 10695) to divide off the existing farmhouse (Lot 1), create a new residential site (Lot 2) and place the ag land on lot 3. Lot 2 was allowed as a replacement site for the farm hand house which was demolished; because it was a replacement site staff's interpretation is that lot 2 did not use an RRDC claim.

In addition to creating the lots, the following note was placed on CSM 10695: "This Certified Survey Map is located outside of any Urban Service Area at the time of its approval. Lot 3 of this CSM is zoned A-T (Agricultural – Transitional) and shall not have any additional land division, housing units or development except structures for agricultural purposes until such time that Lot 3 is within the Urban Service Area and public water and sewer are available". In reviewing the minutes from the 2003 meetings it appears that at that time the Commission was concerned with preserving the remaining agricultural land and therefore placed this deed restriction to not allow any additional development on the property.

The note on the CSM does not allow any new land division; however, the City Attorney has stated that the Council can remove this restriction by a Resolution.

Rural Residential Development Criteria (RRDC):

The Rural Residential Development Criteria (RRDC), Appendix B of the Comprehensive Plan, sets a policy for siting new development, except those replacing existing developments, outside of the urban

service area. The purpose is “to manage rural residential development in a manner that is appropriate in regard to community standards, preservation of agricultural land and limiting sprawl...”.

Landowners outside the Future Urban Development Boundary are permitted to **use up to two of their claims**, as of March 24, 2009 to construct a new house as long as it is sited in accordance with the RRDC and developed in accord with City policies. Landowners that have more than two potential claims would be required to utilize those excess claims through a cluster program.

Landowners inside the Future Urban Development Boundary are permitted to **use one of their claims**, as of March 24, 2009 to construct a new house as long as it is sited in accordance with the rural residential criteria and developed in accord with City policies. Landowners inside the Future Development Boundary that have more than one potential claim would be required to utilize those exceed claims through a cluster program.

Staff has estimated that of private lands outside the Urban Service Area there are approximately 252 available and outstanding claims, of which 127 claims can be used with the Rural Residential Development Criteria and approximately 125 remaining claims that could be used in a cluster. It should be noted that each specific case is reviewed in detail when a request is presented and there may be situations where siting of a claim does not meet the required criteria. Claims can also be retired or extinguished with land divisions, land brought into the urban service area, etc.

Mr. Cohee’s property has four (4) potential development claims; his land is outside the Future Urban Development Boundary therefore he may use a maximum of two of his claims through RRDC and the remaining two claims could potentially be used in a cluster development. If the City removes the restriction described above and approves a land division for a new house site, this site would use one of the RRDC claims.

The RRDC has required criteria as well as criteria that may be waiver; a copy of the RRDC requirements is included in the application submittal. Staff has reviewed the concept plan submittal for compliance with the RRDC.

Required Criteria:

- *Compatibility with Adjacent Farm Operations: Owner shall sign and record, at the Register of Deeds office, a “right to farm” statement indemnifying all neighboring farm operations as either on the deed or as a separately recorded document.*
Applicant has stated that he is agreeable to signing and recording a Right to Farm statement.
- *Environmentally Sensitive Areas: Building site must be outside of the defined wetland, floodplain and drainageway or environmental corridor.*
Staff has not identified any environmentally sensitive areas in or adjacent to the proposed residential site; applicant would need to confirm this with the CSM submittal.
- *Lot Shape: Depth/width ratio up to 2:1.*
The proposed lot, based on the submitted materials, is 337’ deep by 194’ wide, which is a 1.7:1 ratio.
- *Woodland cover: A Forestry Management Plan, approved by the City Forester, is required for improvements placed on wooded or partially wooded sites.*
Based on the 2010 air photo it does not appear that the proposed site is on a wooded or partially wooded site.
- *Heritage Tree Protection: Heritage trees and their critical root radius shall be fully protected and remain undisturbed by establishing a protected root zone.*
Applicant has stated that the proposed site does not include any heritage trees.

Criteria wish may be waived:

- *History of Tillage: Improvement should be located on land with no history of tillage. If an applicant cannot meet the above requirement on their property, a lot with history of tillage may be considered. The proposed improvements on a lot with history of tillage must be at the edge of a field along an existing fence or woodlot, not to disrupt farming practices.*
It is clear that the site has a history of tillage. However, the site is being positioned at the edge of the field along an existing fence line so this item may be waived by the Plan Commission.
- *Residential Infill: House should be located within 300 feet from a residential building.*
The potential building site, as shown on the concept plan, is shown to be located within 300 feet of the house on the west side of CTH MM.
- *Lot Size: Lot should be 1.5 acres or less.*
The proposed lot is approximately 1.5 acres.
- *Erosion Potential: Lot slope is to be 12% or less.*
According to the applicant the site is located on flat land with little or no water runoff.

In reviewing the proposed lot in regard to the RRDC, the only conflict that staff has identified is that the site is located on land with a history of tillage; this is an item that can be waived by the Plan Commission if it so chooses.

Consistency with Comprehensive Plan:
Future Land Use Plan: Ag & OS (Ag & Open Space)

The Comprehensive plan recognizes that land division and rezoning in Ag & OS may occur but shall be consistent with the RRDC.

Staff Recommendation:

In order for Mr. Cohee to proceed with a CSM land division, there are a few actions that would need to be taken:

- 1.) City approval of removing restriction on CSM 10695 regarding no additional land divisions
- 2.) City approval of CSM
- 3.) City approval of rezoning for residential lot

Mr. Cohee is looking to get feedback from the Commission on his proposed plans before undertaking the work and expense associated with the CSM.

Staff would note that the following items would need to be satisfied with any proposed CSM:

- 1.) Park fee requirements would be required to be satisfied before the City signing of the CSM.
- 2.) Right to Farm Statement would need to be recorded at Dane County Register of Deeds prior to the City signing of the CSM.
- 3.) Work with fire department to ensure access onto the property for fire apparatus meets Chapter 44 of city ordinances.
- 4.)

Attachments:

- Pre-application materials

9. Resolution R-94-15, A Resolution Granting An Underground Electric Right-of-Way Grant to Madison Gas and Electric Company on Outlots 24, 25, 26 and 28 Third Addition to Nine Springs, City of Fitchburg, Wisconsin.

Background & Resolution Description:

As the referral states the infrastructure for the Third Addition to Nine Springs was constructed in the fall of 2013. Although the plat created utility easements for electric and phone, the utility companies need additional paths to make connections for streetlights and to connect to adjoining buildings. For some reason MGE installed utility lines not consistent with the original plans, and hence the need for some easements.

Staff Evaluation:

The proposed easement locations are on outlots that are owned by the City; staff has valued these easements at \$434.13 on outlots 24 and 28 and the easements on outlots 25 and 26 are for the benefit of the City to get service to street lights. MGE has agreed to compensate for outlots 24 and 28.

All of the proposed easements are underground electric easements; staff has not identified any concerns with providing these easements.

Staff Recommendation:

Staff recommends that the Plan Commission recommend approval of Resolution R-94-15.

Attachments:

- Resolution R-94-15

10. Resolution R-97-15, A Resolution Granting A Private Access Easement On Lot 2 of CSM 445 (McGaw Park) For 5267 Lacy Road, City of Fitchburg, Wisconsin.

Background & Resolution Description:

As the referral states, in 1975 the City purchased land for McGaw Park. At the time of purchase there was access across the land from the adjoining Lot 1, CSM 445 to Lacy Road. The ownership of Lot 1 has changed and the new owner would like an easement to insure that they will have access to their property.

Staff Evaluation:

This property is the Cooke property, directly to the west of the McGaw Park entrance. Staff has not identified any concerns with the proposed resolution.

Staff Recommendation:

Staff recommends the Plan Commission recommend approval of Resolution R-97-15.

Attachments:

- Resolution R-97-15



11. Resolution R-100-15, A Resolution Releasing A Platted Public Sanitary Sewer Easement on Lot 21 In First Addition to Fitchburg Technology Campus, City of Fitchburg, Wisconsin.

Background & Resolution Description:

Per the referral, sanitary sewer servicing properties along Nobel Drive within the First Addition to FTC plat, was rerouted from Lot 21 First Addition to FTC to Nobel Drive within the TechLands plat. The platted public easement on Lot 21 is no longer necessary so staff is looking to release this easement.

Staff Evaluation:

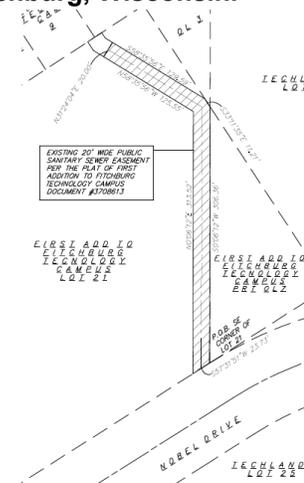
Staff has not identified any concerns with releasing this sanitary sewer easement.

Staff Recommendation:

Staff recommends that the Plan Commission recommend approval of Resolution R-100-15.

Attachments:

- Resolution R-100-15



12. Plan Commission Resolution PCR-04-15, Resolution of the Plan Commission Calling for a Public Hearing on Proposed Tax Incremental District No. 10 Creation in the City of Fitchburg.

Background & Resolution Description:

The City is looking at the possibility of creating a new Tax Incremental District, No. 10, for a rehabilitation district for lands along Fish Hatchery Road; parcels to be included are shown in the . The first step in the process is for the Plan Commission to pass a Resolution calling for a public hearing on the proposed boundaries and project plan for TID 10. If this Resolution is approved, a public hearing will be scheduled for October 20, 2015.

Staff Evaluation:

Developers in the North Fish Hatchery Road area are interested in the creation of a TID to help finance redevelopment of parcels in the corridor. Staff has not reviewed any specific information related to the project plan; however, this Resolution is not taking action on the TID creation, only calling for a public hearing. Staff does not have any concerns with the call for a public hearing.

Staff Recommendation:

Staff recommends the Plan Commission recommend approval of PCR-04-15.

Attachments:

- PCR-04-15
- Proposed TID 10 Parcel Map

	City of Fitchburg Planning/Zoning Department 5520 Lacy Road Fitchburg, WI 53711 (608-270-4200)	<h2>REZONING APPLICATION</h2>
---	--	-------------------------------

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the _____ district to the _____ district the following described property:

1. Location of Property/Street Address: Anderburg Dr.

Legal Description - (Metes & Bounds, or Lot No. And Plat):

See Attached.

***Also submit in electronic format (MS WORD or plain text) by email to: planning@fitchburgwi.gov

2. Proposed Use of Property - Explanation of Request:

12 Unit Apartment Project.

3. Proposed Development Schedule: Fall 2015

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@fitchburgwi.gov. Additional information may be requested.

Type of Residential Development (If Applicable): Affordable/Designer Units.

Total Dwelling Units Proposed: 12 No. Of Parking Stalls: 31

Type of Non-residential Development (If Applicable): _____

Proposed Hours of Operation: _____ No. Of Employees: _____

Floor Area: 14,976 No. Of Parking Stalls: _____

Sewer: Municipal Private Water: Municipal Private

Current Owner of Property: Under Contract w/ Crest LLC.

Address: 73 White oak Ln. Phone No: 608 347 7322

Contact Person: Bob Sieger

Email: siegararchitects@sbcglobal.net

Address: _____ Phone No: _____

Respectfully Submitted By: [Signature] Phone No: _____
 Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: 2/12/15 Publish: _____ and _____

Ordinance Section No. _____ Fee Paid: \$580.00

Permit Request No. RZ-2077-15 R#1-10245

Rec. 10280 - 8/27/15

RB

	City of Fitchburg Planning/Zoning Department 5520 Lacy Road Fitchburg, WI 53711 (608) 270-4200	CONDITIONAL USE PERMIT APPLICATION
---	--	---

The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

1. Location of Property:

Street Address: 3046-48 Anderberg Drive Fitchburg WI

Legal Description - (Metes & Bounds, or Lot No. And Plat): see attached

***Also submit in electronic format (MS WORD or plain text) by email to: **PLANNING@FITCHBURGWI.GOV**

2. Current Use of Property: vacant land

3. Proposed Use of Property: 12 unit Multi family Apartments

4. Proposed Development Schedule: begin November 2015 complete May 2016

5. Zoning District: proposed R-H

6. Future Land Use Plan Classification: rezoning to R-H per Comprehensive Plan

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable): 12 - small affordable unique 2 bedroom apartments w/ 2 car garage

No. of Dwelling Units by Bedroom: 1 BR 2 BR 3 BR 4 or More

No. Of Parking Stalls: 31

Type of Non-residential Development (If Applicable): N.A.

Proposed Hours of Operation: _____ **No. Of Employees:** _____

Floor Area: _____ **No. Of Parking Stalls:** _____

Sewer: Municipal Private **Water:** Municipal Private

Current Owner of Property: Jensen Rev TR Schuepbach Living Tr, Franklin

Address: 2830 S. Syrene Rd Fitchburg WI **Phone No:** _____

Contact Person: Bob Sieger

Email: siegerarchitects@sbcglobal.net

Address: 73 White Oaks Ln Madison, WI **Phone No:** 608 347-7332

Respectfully Submitted By: Bob Sieger *[Signature]*

Owner's or Authorized Agent's Signature

**** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.**

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 8/27/15 **Publish:** _____

Ordinance Section No. _____ **Fee Paid:** \$145 (in addition to \$580 prev. paid)

Permit Request No. R21CU-2077-15



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: BOB SIEGER

Address: 73 White Oaks Madison Phone Number of Contact Person: 608 247-7332

City, State, Zip Code: Madison 53711 Email of Contact Person: sieger@duitsch-sieglobal.net

Project Address: Anderberg D Lot: _____ Subdivision: _____

Project Type: Multi-Family Commercial Industrial Other

New Addition

Impervious Surface Ratio (ISR): 28.3 (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details.
- 10. Lighting plan in footcandles and light fixture cut sheets.

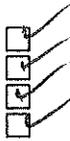
Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures.
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

Landscaping:

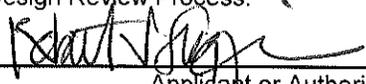


1. Location, species, size of existing trees, shrubs, and plantings.
2. Location, species, size of proposed plantings.
3. Location and size of all paved, seeded/sodded and gravelled areas.
4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed:  Date: 8.18.15
Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: 8/18/2015 Plan Commission Date: _____

Comments:

EXHIBIT A

Commitment No.: 115030060

Parcel A:

Part of the Northwest 1/4 of the Northwest 1/4 of Section 1, Township 6 North, Range 9 East, in the City of Fitchburg, Dane County, Wisconsin, described as follows: Beginning in the centerline of U.S. Highway 13 which is 1599.6 feet Southeasterly from intersection of centerline with North line of section extended; thence North 67°15' East, 17.8 feet to the point of beginning; thence North 23°51' East, 84.2 feet; thence North 68°38' East, 137.9 feet; thence South 16°03' East to a point North 67°15' East, 200 feet from the point of beginning; thence South 67°15' West, 200 feet to the point of beginning.

Parcel B:

Part of the fractional Northwest 1/4 of the Northwest 1/4 of Section 1, Township 6 North, Range 9 East, (Township of Fitchburg), now in the City of Fitchburg, Dane County, Wisconsin, described as follows: Beginning at a point in the center of U.S. Highway 13 which is 1599.65 feet Southeasterly from the point of intersection of said center line of said U.S. Highway 13 with North line of said Section 1 extended; thence South 29°06' East, 97.1 feet along said center line; thence North 67°15' East, 178 feet to the center of an old highway; thence North 16°03' West, 96.8 feet along the center line of said highway; thence South 67°15' West, 200 feet to the place of beginning.

Parcel C:

Part of the West 1/2 of the Northwest 1/4 of Section 1, Township 6 North, Range 9 East, in the City of Fitchburg, Dane County, Wisconsin, and which is more particularly described as follows: Commencing at the intersection of the North line of Section 2, Township of Fitchburg, and the center line of U.S. Highway 14; thence Southeasterly along said center line of highway, 1696.75 feet to the point of beginning of this description; thence North 66°25' East, 178.5 feet to the center line of an old road; thence South 15°16' East along said center line of old road, 120.2 feet; thence Westerly to a point in the center line of U.S. Highways 13 and 14, that is North 29°06' West, 350 feet from the center of the Concrete Bridge spanning Nine Springs Drainage Ditch; thence North 29°06' West along said center line of highway, 98.7 feet to the point of beginning.

Parcel D:

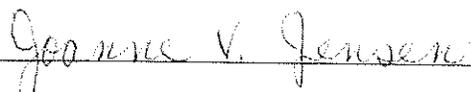
Part of the West 1/2 of the Northwest 1/4 of Section 1, Township 6 North, Range 9 East, (Township of Fitchburg), now in the City of Fitchburg, Dane County, Wisconsin: Commencing at the centerline of highway at a point, which is 2170 feet South from the North line of the Township of Fitchburg; thence North 0°41' East, 202.4 feet along center line of old road; thence North 11°23' West, 147.6 feet along the center line of old road; thence Westerly 150 feet to the center of U.S. Highways 13 and 14; thence Southeasterly 350 feet along the centerline of said U.S. Highways 13 and 14 to the point of beginning.

August 29, 2015

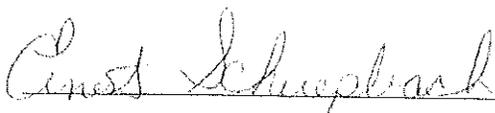
Susan Badtke
City of Fitchburg Planning Department
5520 Lacy Road
Fitchburg, WI 53711-5318

RE: 3046-48 Anderberg Drive RZ-2077-15

We have reviewed Robert Sieger's request for rezoning of 3046-48 Anderberg Drive, Fitchburg, to R-H and P-R as submitted to your department on about August 18, 2015 and referred to the Plan Commission on August 25, 2015. As owners of the property, we support this request for re-zoning.



Joanne Jensen, Trustee for the Jensen Revocable Trust, property owner



Ernest Schuepbach, Personal Representative for Franklin D. Schuepbach, property owner

BUILDING INFORMATION:

DESCRIPTION: (1) 4-UNIT APARTMENT BUILDING "A"
(1) 4-UNIT APARTMENT BUILDING "B"
(1) 4-UNIT APARTMENT BUILDING "C"

SITE AREA: 41,406 sq. ft.

BUILDING "A-B-C" (each unit-2 Bedroom)

UNIT AREA: 1st flr= (w/ garage) 575 SF 2nd flr= 672 sq. ft = 1480

TOTAL ENCLOSED SF Units = 14,976 sq. ft.

OCCUPANCY CLASSIFICATION: Residential, R-2

CLASS OF CONSTRUCTION: Type VB

BUILDING HEIGHT: 22'-9"

FIRE PROTECTION: Building shall have smoke detectors and fire alarms per governing code. Life safety per 2000 NFPA 101 life safety code. SPRINKLERS PER NFPA 13R

SITE INFORMATION

Residential Multifamily

41,406 sq.ft SITE AREA .

(12) 2-BEDROOM- 672 sf
(EXCLUDING GARAGE)
(12) 2 CAR GARAGE - 576 SF

12 UNITS (24 BED ROOMS)
576 SF/UNIT FOOTPRINT-2BEDF

TOTAL: 6,912 sq.ft. = 16.6% SITE COVERAGE

PERVIOUS AREA: 29650 sq.ft. (71.7%)

IMPERVIOUS AREA: 11,756 sq.ft. (28.3%)

IMPERVIOUS AREA:

STAINED CONC = 3330 SF
CONC PARKING = 1334 SF
DUMPSTER PAD = 180 SF
BLDG FOOTPRINT = 6912 SF
TOTAL 11,756 sq ft

PARKING STALLS

GARAGES = 24 STALLS
ON SITE = 7 STALL (1 ADA)

LOT A = 7191 SF
LOT B = 12,147 SF
LOT C = 11,063 SF
LOT D = 11,000 SF (TO BE PARK LAND)

PROJECT

12 UNIT E-WAY VIEW APARTMENTS

ANDERBERG DRIVE
FITCHBURG, WI

DEVELOPER/OWNER
SALiving
P.O Box 45724
Madison, WI 53744

Phone: 608 274-3121
email: siegerarchitects@sbcglobal.net

ARCHITECT

SiegerARCHITECTS

73 Whie Oaks Ln
Madison, WI 53711
Phone: 608.347.7332

email: siegerarchitects@sbcglobal.net
Bob Sieger

PROJECT #
1510

CITY OF FITCHBURG PLANNING COMMISSION REZONING REQUEST

AUGUST 18, 14, 2015

SHEET INDEX

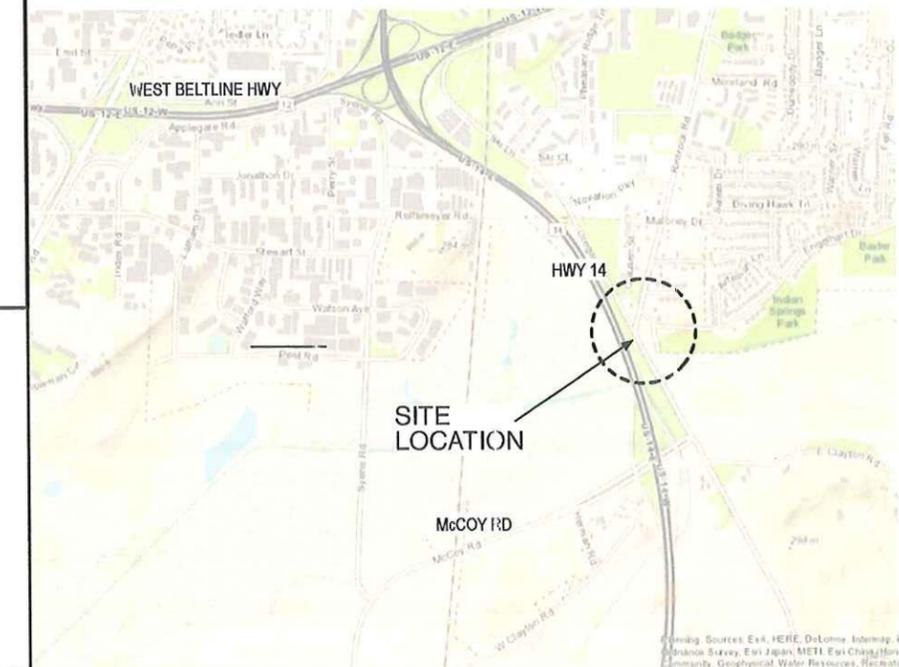
C1.0 Existing Site Survey (JSD Engr.)
C1.0a Existing Site Arial Photo
C1.0b Existing Site Photos
C1.0 Existing Site w/ Multi Family setbacks
C1.1 Proposed Site Plan
C1.4 Grading - Utility Concept -

C1.5 Landscaping Plan
C1.6 Lighting Plan

C2.1 Architectural Site Details
C2.2 Landscape Details

A1.1 Unit Floor Plans
A4.1 Front / Side / Rear Elevations

Attached lighting cut sheets





202379
 202387379
 387
 202395
 395
 202402
 402
 202410
 410

227229 227112 227005 226891 226784 227336

287156

288753

288959

288002 288100

ENGLEHART DR

288208

existing mature trees
 cover average 30'

288306

ANDERBERG DR

205993

288502

200951

OPEN LANDS - EWAY

181002

USH 14

290508

CTH MM Oregon Road

existing mature trees
 protect

295003

EXISTING CREEK

Passive Recreational | Recreation | Elevated | Water
 Passive Recreational | Recreation | Elevated | Water

 SIEGER ARCHITECTS ARCHITECTURE 73 WHITE OAKS L'1 Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@siegelglobal.net	ARCHITECT	ARIAL PHOTO	C1.0a 8.18.15
	PROJECT	Fitchburg 6 Unit Anderberg & Oregon Rd Fitchburg, WI	
	OWNER	SALiving LLC Group P.O. Box 45724 Madison, WI 53744	
	DATE		



VIEW SOUTH FROM ENGLEHART STREET



VIEW SOUTH TO CREEK



VIEW EAST TO PARK AND E-WAY



VIEW NORTH ALONG ANDERBERG

		SITE PHOTO		C1.0b
73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@ebcglobal.net		Project: Fitchburg 6 Unit Anderberg & Oregon Rd Fitchburg, WI		
		Owner: 3ALiving LLC Group P.O. Box 45724 Madison, WI 53744		

JILL ADDITION TO
INDIAN SPRINGS

Note: per Public Works Comments Aug 2015

per #2 - A Construction & Demolition Reuse/Recycling Plan shall be submitted to Public Works
 per #3 - A Street Tree waiver shall be submitted
 per #4 - A Waiver of special assessment for sidewalk construction shall be signed w/ owner and City to allow for future sidewalk construction on Anderberg Dr.
 pre Trans note #2 - provide 1 indoor Bike parking @ each Garage = 12 + 5 exterior
 per Erosion Control note #1 - A new erosion Control & storm Water Management permit application shall be submitted to Public Works
 per Erosion Control note #2 - A new erosion Control & storm Water maintenance agreement shall be submitted to Public Works and recorded @ Daaane Cty Reg of Deeds

SITE INFORMATION

Residential Multifamily

41,406 sq.ft SITE AREA .

(12) 2-BEDROOM- 672 sf
(EXCLUDING GARAGE)
(12) 2 CAR GARAGE - 576 SF

12 UNITS (24 BEDROOMS)
576 SF/UNIT FOOTPRINT-2BEDR

TOTAL: 6,912 sq.ft. = 16.6% SITE COVERAGE

PERVIOUS AREA: 29650 sq.ft. (71.7%)

IMPERVIOUS AREA: 11,756 sq.ft. (28.3%)
15,989 sq.ft. w/drive court (38.6%)

IMPERVIOUS AREA:

STAINED CONC = 3330 SF
CONC PARKING = 1334 SF
DUMPSTER PAD = 180 SF
BLDG FOOTPRINT = 6912 SF

TOTAL 11,756 sq ft

4,233 sq.ft. added w/drive court = 15,989sf

PARKING STALLS

GARAGES = 24 STALLS
ON-SITE = 7 STALL (1 ADA)

LOT A = 7191 SF - REZONE TO R-H
LOT B = 12,147 SF - REZONE TO R-H
LOT C = 11,068 SF - REZONE TO R-H
PARCEL "A", "B", "C" SHALL BECOME 1 LOT
LOT D = 11,000 SF (TO BE PARK LAND)

PARCEL D

30,701 SQUARE FEET

INCLUDING RIGHT-OF-WAY

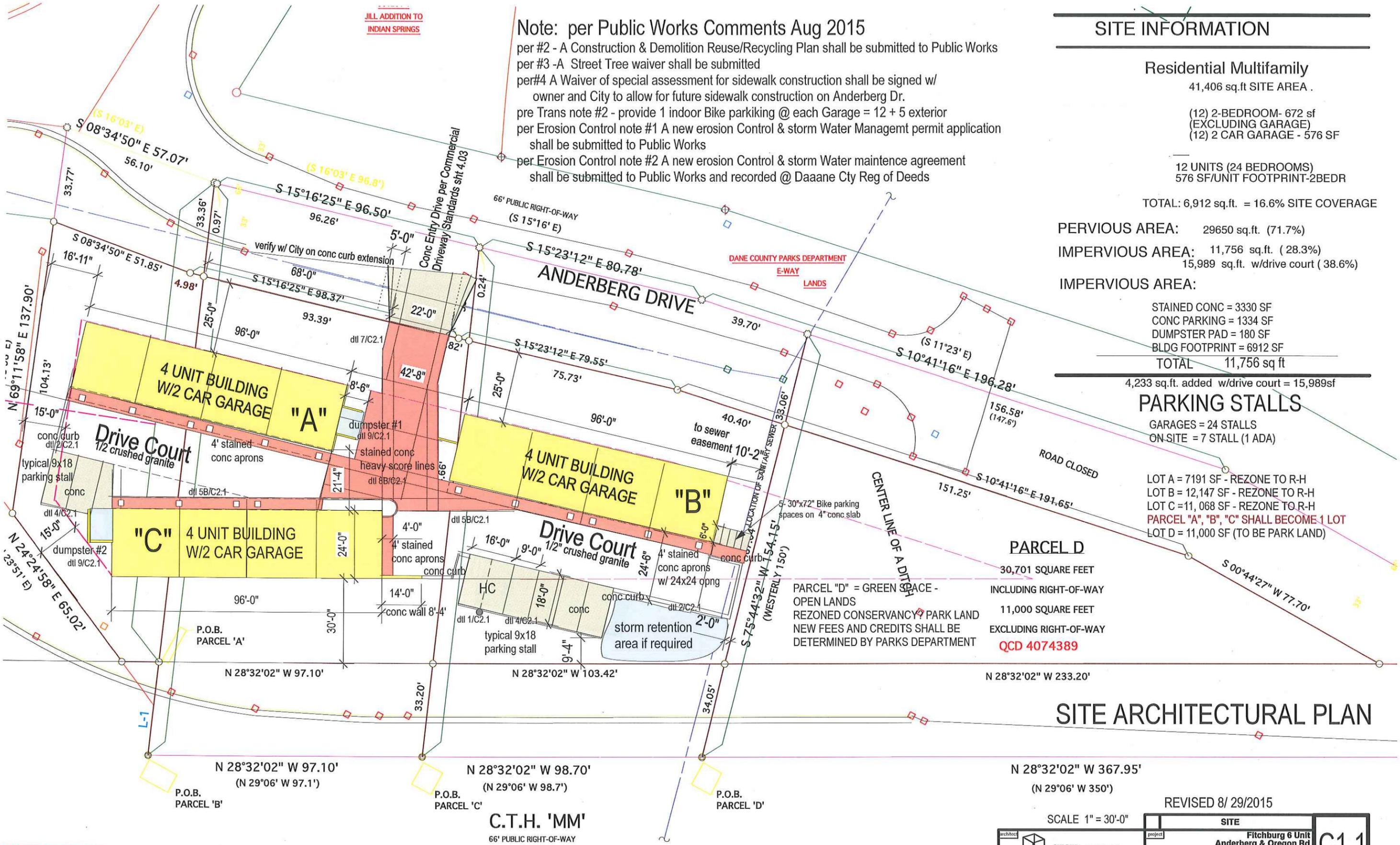
11,000 SQUARE FEET

EXCLUDING RIGHT-OF-WAY

QCD 4074389

PARCEL "D" = GREEN SPACE -
OPEN LANDS
REZONED CONSERVANCY PARK LAND
NEW FEES AND CREDITS SHALL BE
DETERMINED BY PARKS DEPARTMENT

SITE ARCHITECTURAL PLAN



N 28°32'02" W 97.10'
(N 29°06' W 97.1')

P.O.B.
PARCEL 'B'

N 28°32'02" W 98.70'
(N 29°06' W 98.7')

P.O.B.
PARCEL 'C'

C.T.H. 'MM'

66' PUBLIC RIGHT-OF-WAY

U.S.H. '14'

PUBLIC RIGHT-OF-WAY VARIES

N 28°32'02" W 367.95'
(N 29°06' W 350')

REVISED 8/ 29/2015

SCALE 1" = 30'-0"

<p>SIEGER ARCHITECTS ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net</p>	<p>SITE</p> <p>Fitchburg 6 Unit Anderberg & Oregon Rd Fitchburg, WI</p>	<p>C1.1</p>
	<p>owner</p> <p>SALiving LLC Group P.O. Box 45724 Madison WI 53744</p>	

JILL ADDITION TO
INDIAN SPRINGS

Note: per Public Works Comments Aug 2015

per #2 - A Construction & Demolition Reuse/Recycling Plan shall be submitted to Public Works
 per #3 -A Street Tree waiver shall be submitted
 per #4 A Waiver of special assessment for sidewalk construction shall be signed w/
 owner and City to allow for future sidewalk construction on Anderberg Dr.
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 shall be submitted to Public Works and recorded @ Daaane Cty Reg of Deeds

SITE INFORMATION

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 15,989 sq.ft. w/drive court (38.6%)

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 CONC PARKING = 1334 SF
 DUMPSTER PAD = 180 SF
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TOTAL 11,756 sq ft

4,233 sq.ft. added w/drive court = 15,989sf

PARKING STALLS

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LOT A = 7191 SF - REZONE TO R-H
 LOT B = 12,147 SF - REZONE TO R-H
 LOT C = 11,068 SF - REZONE TO R-H
 PARCEL "A", "B", "C" SHALL BECOME 1 LOT
 LOT D = 11,000 SF (TO BE PARK LAND)

PARCEL D

30,701 SQUARE FEET

INCLUDING RIGHT-OF-WAY

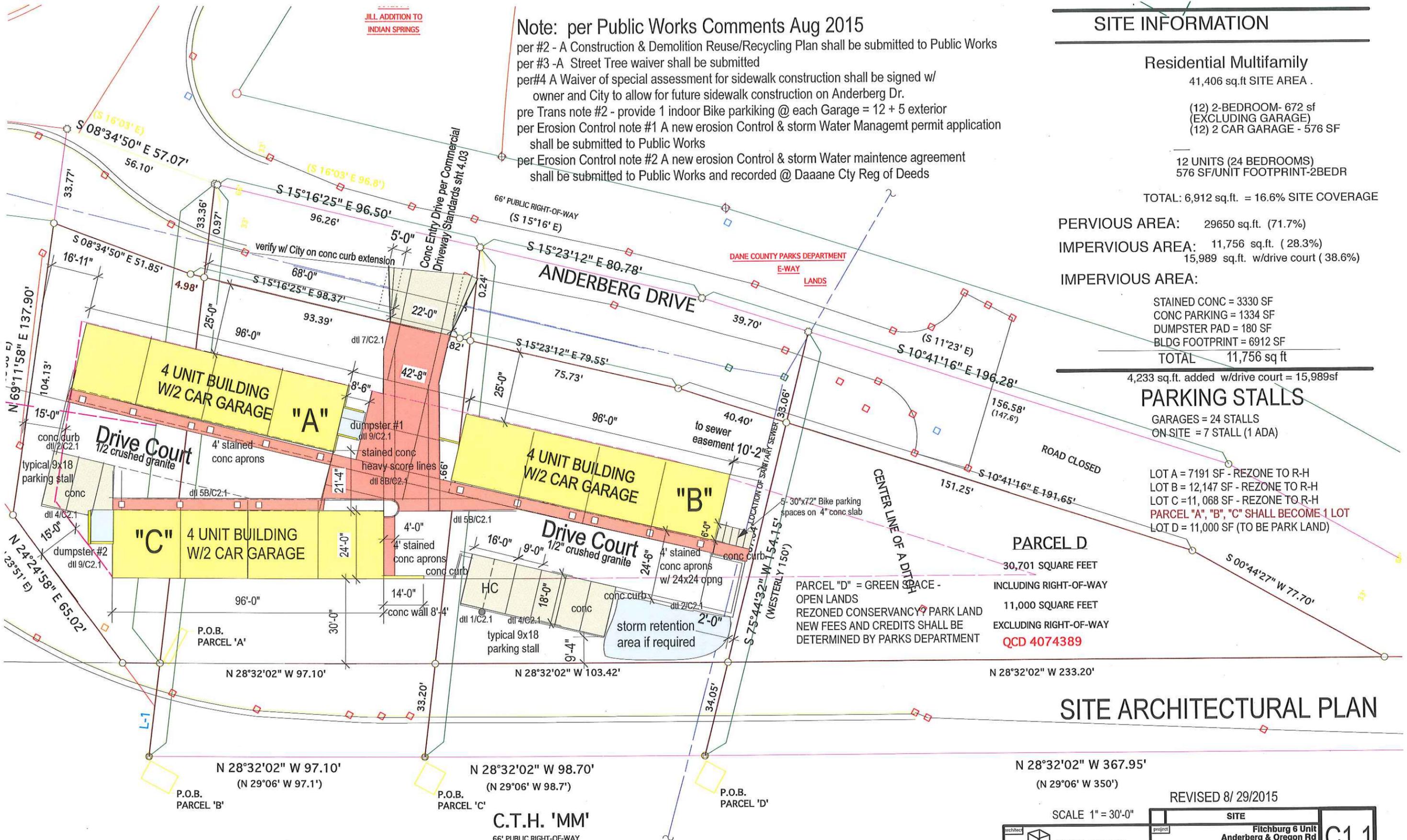
11,000 SQUARE FEET

EXCLUDING RIGHT-OF-WAY

QCD 4074389

PARCEL "D" = GREEN SPACE -
 OPEN LANDS
 REZONED CONSERVANCY PARK LAND
 NEW FEES AND CREDITS SHALL BE
 DETERMINED BY PARKS DEPARTMENT

SITE ARCHITECTURAL PLAN



N 28°32'02" W 97.10'
 (N 29°06' W 97.1')

P.O.B.
PARCEL 'B'

N 28°32'02" W 98.70'
 (N 29°06' W 98.7')

P.O.B.
PARCEL 'C'

C.T.H. 'MM'
 66' PUBLIC RIGHT-OF-WAY

U.S.H. '14'
 PUBLIC RIGHT-OF-WAY VARIES

N 28°32'02" W 367.95'
 (N 29°06' W 350')

SCALE 1" = 30'-0"

REVISED 8/ 29/2015

<p>SIEGER ARCHITECTS ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net</p>	<p>architect</p>	<p>SITE</p>	<p>C1.1</p>
	<p>project</p>	<p>Fitchburg 6 Unit Anderberg & Oregon Rd Fitchburg, WI</p>	
<p>owner</p>	<p>SALiving LLC Group P.O. Box 45724 Madison WI 53744</p>	<p>8.18.15</p>	

JILL ADDITION TO
INDIAN SPRINGS

NEW 8" D.I.P UNDER
STREET TO EXIS HYDRANT @ ENGLEHART AND RIMROCK
EXTEND ALL ANDERBERG PER FITCHBURG UTILITY COMMENT#1
9/2/2015

UTILITY REQUIREMENTS:

2. AN AGREEMENT & LETTER OF CREDIT SHALL BE REQUIRED FOR THE SUBDIVISION IMPROVEMENTS NECESSARY TO DEVELOP THIS LOT
3. WATER IMPACT FEES ARE REQUIRED W/ WATER ACCESS AGREEMENT
4. MMSD FEES SHALL BE PAID AS REQUIRED TO START CONSTRUCTION

SITE INFORMATION

Residential Multifamily

41,406 sq.ft SITE AREA

LOT A = 7191 SF (12) 2-BEDROOM- 672 sf
 LOT B = 12,147 SF (EXCLUDING GARAGE)
 LOT C = 11,068 SF (12) 2 CAR GARAGE - 576 SF
 LOT D = 11,000 SF (TO BE PARK LAND)
 12 UNITS (24 BEDROOMS)
 576 SF/UNIT FOOTPRINT-2BEDR

TOTAL: 6,912 sq.ft. = 16.6% SITE COVERAGE

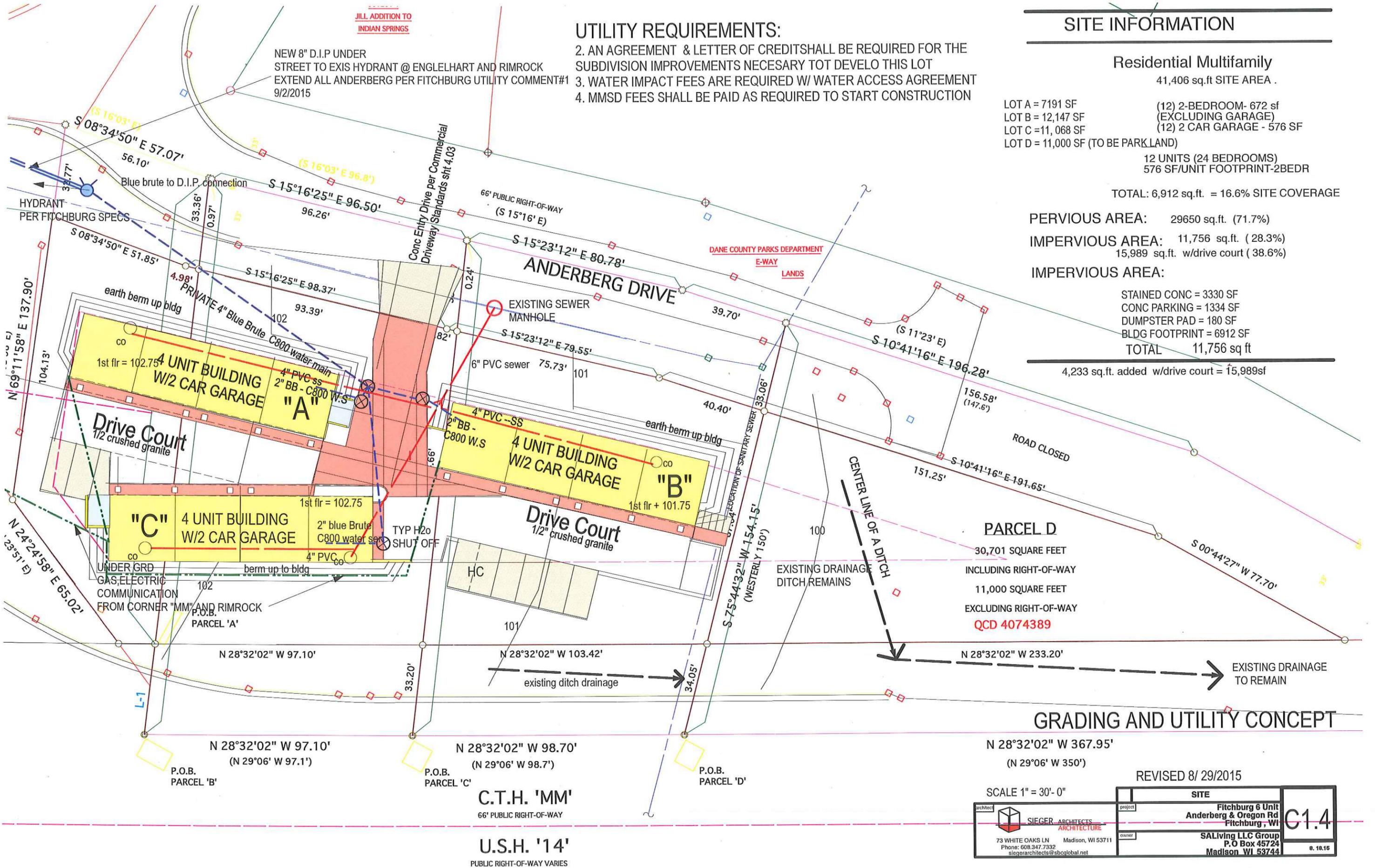
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PARCEL D

30,701 SQUARE FEET
 INCLUDING RIGHT-OF-WAY
 11,000 SQUARE FEET
 EXCLUDING RIGHT-OF-WAY
QCD 4074389

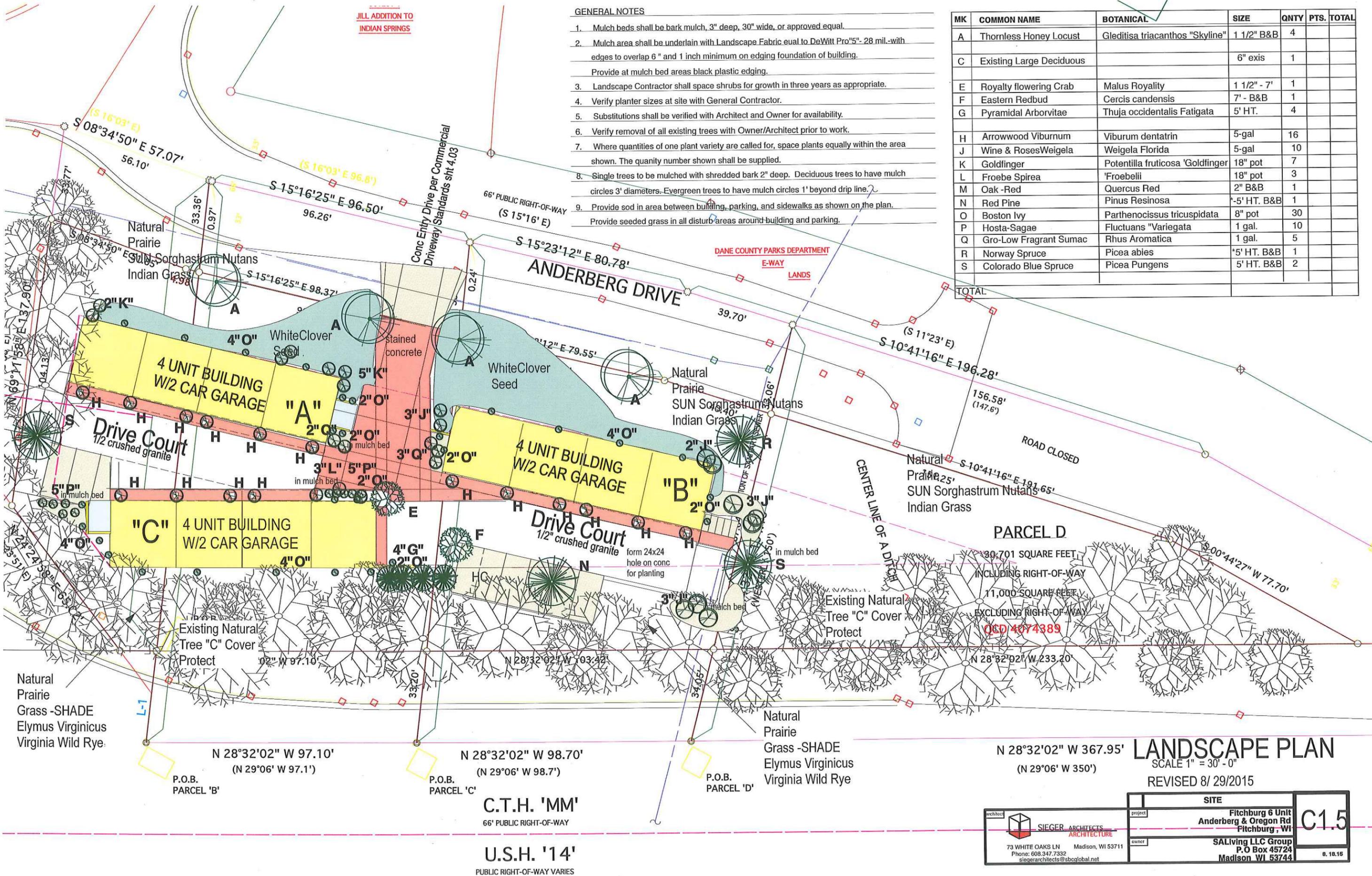
GRADING AND UTILITY CONCEPT

N 28°32'02" W 367.95'
 (N 29°06' W 350')

REVISED 8/ 29/2015

SCALE 1" = 30'- 0"

<p>SIEGER ARCHITECTS ARCHITECTURE 73 WHITE OAKS LN Phone: 608.347.7332 siegerarchitects@sbcglobal.net</p>	<p>SITE</p> <p>Fitchburg 6 Unit Anderberg & Oregon Rd Fitchburg, WI</p>	<p>C1.4</p> <p>8. 18.15</p>
	<p>owner</p> <p>SALiving LLC Group P.O. Box 45724 Madison WI 53744</p>	



- GENERAL NOTES**
- Mulch beds shall be bark mulch, 3" deep, 30" wide, or approved equal.
 - Mulch area shall be underlain with Landscape Fabric equal to DeWitt Pro"5"- 28 mil.-with edges to overlap 6" and 1 inch minimum on edging foundation of building.
Provide at mulch bed areas black plastic edging.
 - Landscape Contractor shall space shrubs for growth in three years as appropriate.
 - Verify planter sizes at site with General Contractor.
 - Substitutions shall be verified with Architect and Owner for availability.
 - Verify removal of all existing trees with Owner/Architect prior to work.
 - Where quantities of one plant variety are called for, space plants equally within the area shown. The quantity number shown shall be supplied.
 - Single trees to be mulched with shredded bark 2" deep. Deciduous trees to have mulch circles 3' diameters. Evergreen trees to have mulch circles 1' beyond drip line.
 - Provide sod in area between building, parking, and sidewalks as shown on the plan.
Provide seeded grass in all disturb areas around building and parking.

MK	COMMON NAME	BOTANICAL	SIZE	QNTY	PTS.	TOTAL
A	Thornless Honey Locust	Gleditisa triacanthos "Skyline"	1 1/2" B&B	4		
C	Existing Large Deciduous		6" exis	1		
E	Royalty flowering Crab	Malus Royalty	1 1/2" - 7'	1		
F	Eastern Redbud	Cercis canadensis	7' - B&B	1		
G	Pyramidal Arborvitae	Thuja occidentalis Fatigata	5' HT.	4		
H	Arrowwood Viburnum	Viburnum dentatrin	5-gal	16		
J	Wine & Roses Weigela	Weigela Florida	5-gal	10		
K	Goldfinger	Potentilla fruticosa 'Goldfinger'	18" pot	7		
L	Froebe Spirea	'Froebelii	18" pot	3		
M	Oak -Red	Quercus Red	2" B&B	1		
N	Red Pine	Pinus Resinosa	5' HT. B&B	1		
O	Boston Ivy	Parthenocissus tricuspidata	8" pot	30		
P	Hosta-Sagae	Fluctuans "Variegata"	1 gal.	10		
Q	Gro-Low Fragrant Sumac	Rhus Aromatica	1 gal.	5		
R	Norway Spruce	Picea abies	5' HT. B&B	1		
S	Colorado Blue Spruce	Picea Pungens	5' HT. B&B	2		
TOTAL						

LANDSCAPE PLAN
SCALE 1" = 30' - 0"
REVISED 8/ 29/2015

architect SIEGER ARCHITECTS ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@ebcglobal.net		project SITE Fitchburg 6 Unit Anderberg & Oregon Rd Fitchburg, WI	C1.5
owner SALiving LLC Group P.O. Box 45724 Madison WI 53744		8.18.15	

N 28°32'02" W 97.10' (N 29°06' W 97.1')
 P.O.B. PARCEL 'B'
 N 28°32'02" W 98.70' (N 29°06' W 98.7')
 P.O.B. PARCEL 'C'
 N 28°32'02" W 367.95' (N 29°06' W 350')
 P.O.B. PARCEL 'D'
C.T.H. 'MM'
 66' PUBLIC RIGHT-OF-WAY
U.S.H. '14'
 PUBLIC RIGHT-OF-WAY VARIES

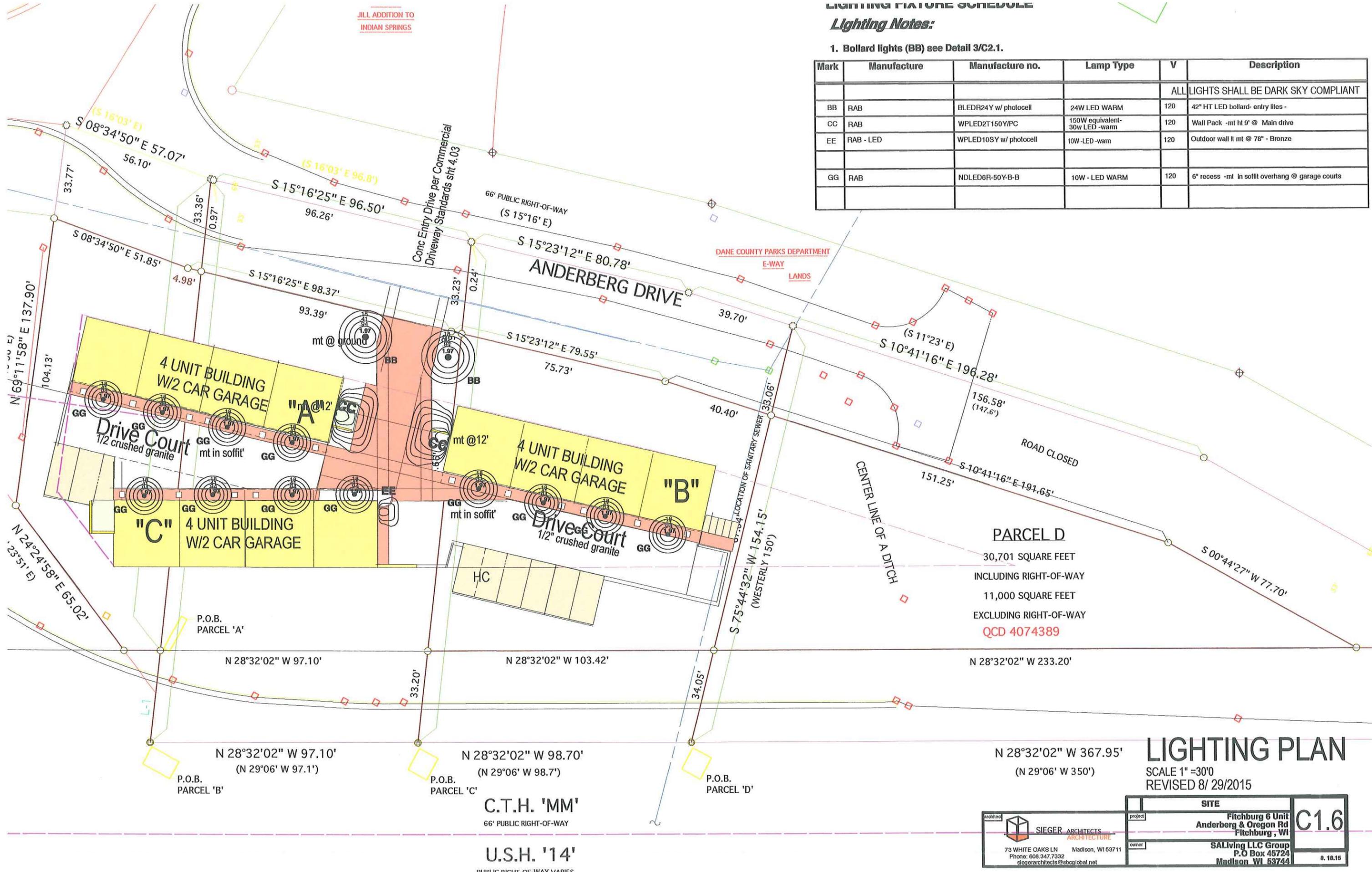
JILL ADDITION TO
INDIAN SPRINGS

LIGHTING FIXTURE SCHEDULE

Lighting Notes:

1. Bollard lights (BB) see Detail 3/C2.1.

Mark	Manufacture	Manufacture no.	Lamp Type	V	Description
				ALL	LIGHTS SHALL BE DARK SKY COMPLIANT
BB	RAB	BLED24Y w/ photocell	24W LED WARM	120	42" HT LED bollard- entry lites -
CC	RAB	WPLED2T150Y/PC	150W equivalent-30w LED -warm	120	Wall Pack -mt ht 9' @ Main drive
EE	RAB - LED	WPLED10SY w/ photocell	10W -LED -warm	120	Outdoor wall ll mt @ 78" - Bronze
GG	RAB	NDLED6R-50Y-B-B	10W - LED WARM	120	6" recess -mt in soffit overhang @ garage courts



PARCEL D
30,701 SQUARE FEET
INCLUDING RIGHT-OF-WAY
11,000 SQUARE FEET
EXCLUDING RIGHT-OF-WAY
QCD 4074389

N 28°32'02" W 97.10'
N 28°32'02" W 98.70'
N 28°32'02" W 98.70'
N 28°32'02" W 367.95'
(N 29°06' W 97.1')
(N 29°06' W 98.7')
(N 29°06' W 350')

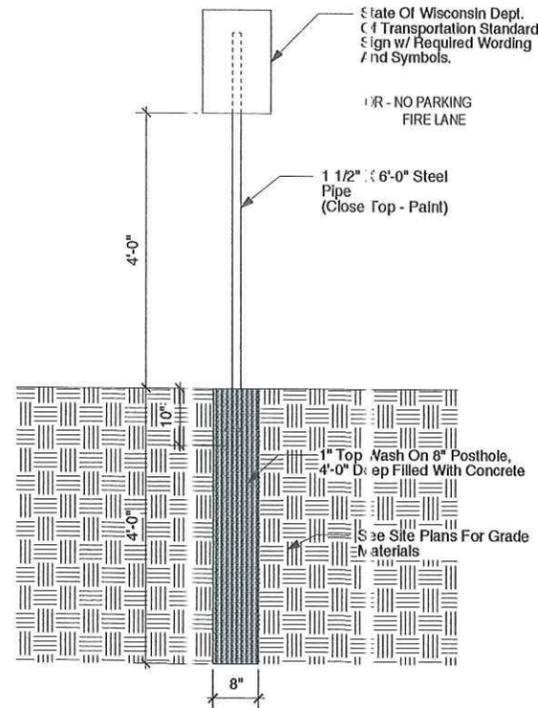
P.O.B. PARCEL 'A'
P.O.B. PARCEL 'B'
P.O.B. PARCEL 'C'
P.O.B. PARCEL 'D'

C.T.H. 'MM'
66' PUBLIC RIGHT-OF-WAY

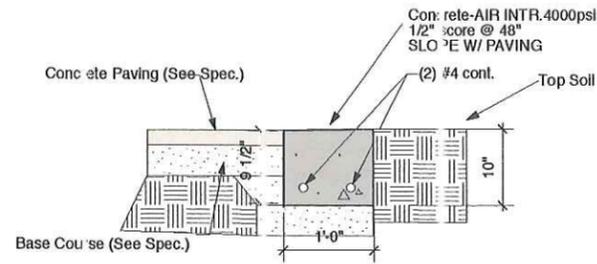
U.S.H. '14'
PUBLIC RIGHT-OF-WAY VARIES

LIGHTING PLAN
SCALE 1" = 30'
REVISED 8/ 29/2015

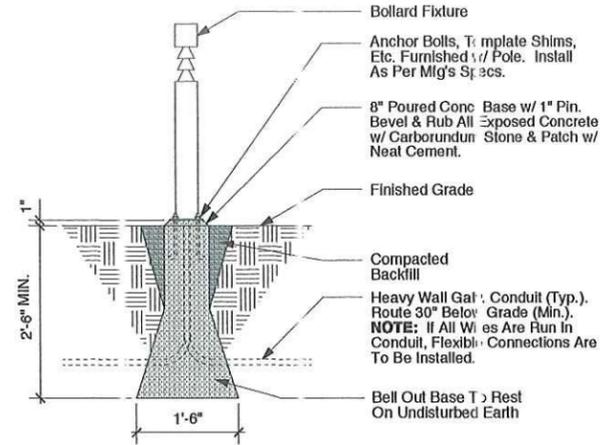
<p>SIEGER ARCHITECTS ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbojglobal.net</p>	<p>SITE Fitchburg 6 Unit Anderberg & Oregon Rd Fitchburg, WI</p>	<p>C1.6 8.18.15</p>
	<p>owner SALiving LLC Group P.O. Box 45724 Madison WI 53744</p>	



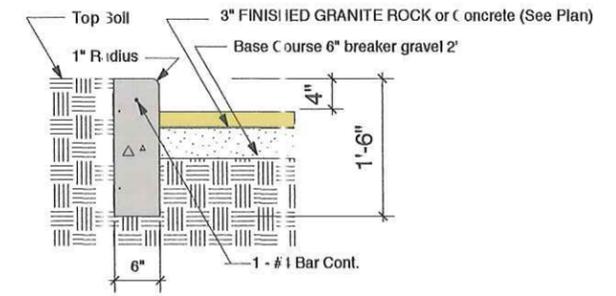
1 HANDICAP PARKING SIGN TYPICAL - "NO PARKING" SIGN
Scale: 1" = 1'-0"



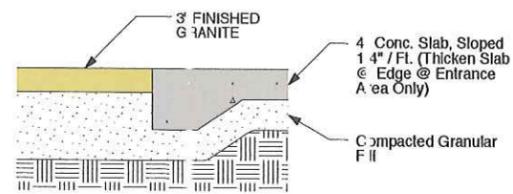
2 CURB DETAIL
Scale: 1" = 1'-0"



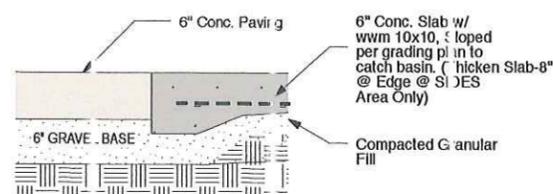
3 BOLLARD BASE
Scale: 1/4" = 1'-0"



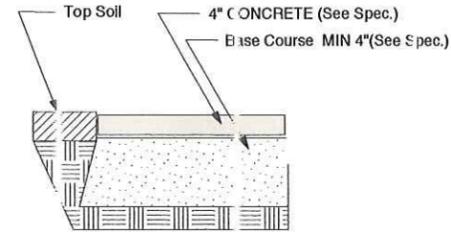
4 CURB
Scale: 1" = 1'-0"



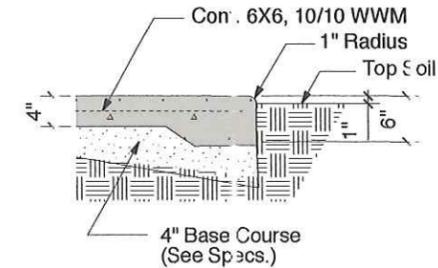
5 CONCRETE WALK EDGE DETAIL
Scale: 1" = 1'-0"



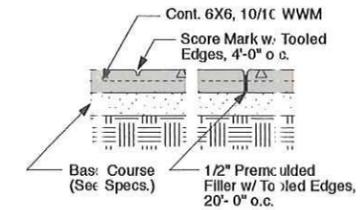
6 CONCRETE EDGE @ DUMPSTER APRON
Scale: 1" = 1'-0"



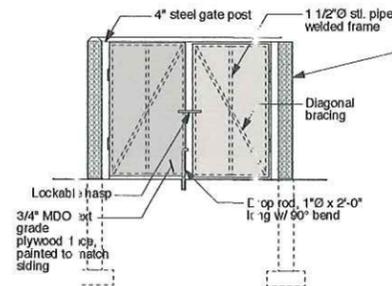
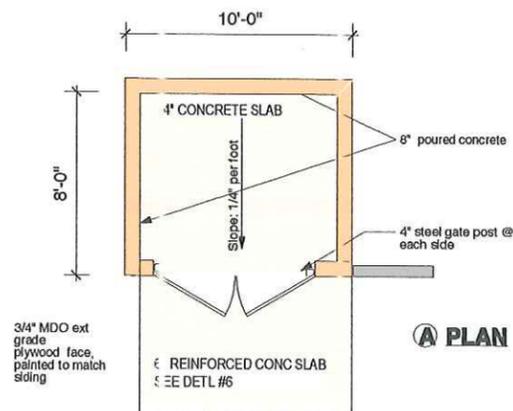
7 PAVEMENT @ GRASS
Scale: 1" = 1'-0"



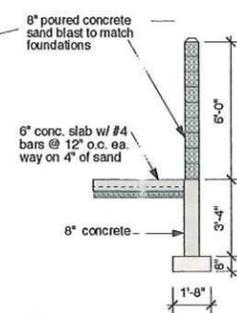
8A WALK & LAWN
Scale: 3/4" = 1'-0"



8B WALK JOINT
Scale: 3/4" = 1'-0"



B ELEVATION



C SECTION

9 TRASH ENCLOSURE
Scale: 1/4" = 1'-0"

architect S EGER ARCHITECTS ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.447.7332 slegerarchitects@sbcglobal.net	project Fitchburg 6 Unit Auerberg & Oregon Rd Fitchburg, WI	C2.1 8.18.15
	owner SALiving LLC Group P.O. Box 4572 Madison WI 53741	

Plant Specifications

General Information

is hereinafter referred to as the Owner and may be represented by an approved representative. Sieger Architecture hereinafter referred to as the Landscape Architect.

The Contractor signing this Agreement, or his duly appointed representative is hereinafter referred to as the Contractor.

Bidding is based on sheets and specifications.

The competency and responsibility of Bidders will be considered in making the award. The Owner reserves the right to reject any or all bids, and to waive informality in bids received.

Responsibilities of Contractor

Laws and Ordinances: The Contractor and all Subcontractors shall bind themselves to comply with all laws, ordinances and requirements of all authorities having jurisdiction over this property, and shall protect the owners from damage arising from violation thereof.

The Contractor shall give his personal supervision to the work, and have a responsible superintendent continuously on the job to act for him.

Terms of payment will be as established by the Owner.

Public liability and property damage insurance will be as determined by the Owner.

Approval and Rejection of Materials

Approval: The selection of all materials and execution of all operations required under these drawings and specifications are subject to approval of the Landscape Architect or Owner.

Rejection: The Landscape Architect or Owner shall have the right to reject all material and all work which in his opinion does not meet the requirements of the drawings and specifications at any stage of the operation. All rejected material shall be removed by the Contractor at his expense.

Lay-out

The Contractor shall layout his work and set necessary markers and stakes, and be responsible for the corrections. The Landscape Architect, or Owner, reserves the right to relocate shrubs and trees from positions on the plans prior to planting. The Contractor shall notify the Landscape Architect, Owner at least three (3) days in advance that the locations are staked and ready for approval prior to planting.

Extra or Omitted Work

When no new or unforeseen items are anticipated, they shall be classed as extra work in they cannot be covered by any of the specifications or drawings. The Contractor shall submit detailed prices for any extras to the Landscape Architect, and shall perform extras upon written acceptance from the Owner or Landscape Architect. In the absence of such written order, he shall not be entitled to pay for such extra work. All bids for extra work shall be submitted monthly.

Changes in the Work

The Landscape Architect shall have authority to order minor changes in the work not involving an adjustment in the contract sum or an extension of the contract documents. Such changes may be ordered by field order or by written order. Such changes shall be binding on the Owner and Contractor.

The Owner without invalidating the contract, may order changes in the work consisting of additions, deletions or other revisions, with the contract time being adjusted accordingly. All changes in the work shall be authorized by change order and shall be executed under the applicable conditions to the contract documents.

Landscape Architect's Status

The Landscape Architect is the agent of the Owner. He has authority to stop work whenever such stoppage may be necessary to insure the proper execution of the Contract.

The Landscape Architect is the interpreter of the conditions of the contract and the judge of its performance; he shall side neither with the Owner nor with the Contractor, but shall use his powers under the Contract to enforce its faithful performance by both.

Drawings and Specifications

Should there be anything shown on the drawings but not described in the specifications, or not shown on the drawings but described in specifications, the same shall be fully executed and carried out as if drawn, shown, or described in both. The Contractor is not to make any alterations or corrections on the drawings or in the specifications. Should any error appear, the same is to be referred to the Landscape Architect before the bids are submitted, or the work is commenced, or as otherwise specified herein.

Landscape contractor to verify all plant quantities prior to bid.

Examination of Site

All contractors submitting proposals for this work shall first examine the site and all conditions at the site. All proposals shall take into consideration such conditions as may affect the work under this contract.

Measurements, Layouts and Levels

All levels and levels necessary for the location and erection of the landscape construction and for the excavation, filling, and grading work shall be established by the Contractor. The Contractor shall take his own measurements of the site, verifying it with the drawings, and shall be responsible for the proper fit of his portion of the completed work.

Extra charges or compensation will not be allowed on the account of differences between actual measurements and the dimensions shown on the drawings, but any such differences that may be found shall be submitted to the Landscape Architect for adjustment before proceeding with the work.

Substitution of Materials

The Contractor, before submitting his bid, shall locate all necessary materials as called for in the plans and specifications, and shall be assured of their availability for use on the job.

The Contractor bids shall be based upon providing the specified materials, processes, products, etc. identified in the specifications, and/or indicated on the drawings.

Substitutes will be permitted only upon admission of proof that specified plants are not obtainable, and with the authorization of the Landscape Architect. Written requests with nearest available size, variety of plant, and price adjustment, are to be submitted to the Landscape Architect.

Supervision

The Landscape Architect will not engage in any way to superintend so as to relieve the Contractor of responsibility for the consequences of neglect or carelessness of him or his subordinates.

Scope

Perform all work required to complete the landscape installation including all labor, material, services, and equipment necessary and described herein and shown on the accompanying drawings.

Applicable Standards

American Standard for Nursery Stock, latest edition.

American Joint Committee on Horticultural Nomenclature, edition of Standardized Plant Names.

General Notes

All plants shall conform to the standards as given in Grades and Standards of Nursery Plants published by the A.A.N.

The Landscape Contractor is responsible for verification of all quantities. Any discrepancies shall be brought to the attention of the Landscape Architect; however, it is the Contractor's responsibility to provide all trees as shown on the plans, and plant beds so that each has the proper quantity of shrubs for the areas designated.

Proposed trees are to be located either completely in or completely out of the planting beds. Bedlines are not to be obstructed.

The Landscape Contractor is responsible for all staking and guying of trees.

Existing Trees & Areas Outside of Grading Limits

Trees and vegetation to be saved shall be protected from damage by a wood fence barricade prior to or during cleaning operations. Trees to be saved will be designated by the Owner. No trees are to be removed from areas outside the limits of grading from specifically designated undisturbed areas within the construction area. If, in the opinion of the Landscape Architect, a contractor damages a tree not to be removed, the Contractor will be fined \$100.00 per caliper inch for each damaged tree. The Contractor will also be responsible for all costs in re-planting the damaged tree from the site.

Water

Water will be available on the site at no expense to the Contractor. Hoses and other watering equipment required for the work shall be furnished by the Contractor at his expense.

Berms

The Contractor is responsible for the construction of all berms shown on the landscape planting plans or berm plans. Berms may be built of excavated soil from bed preparation and/or stockpile materials should follow contour according to plans. If more material is necessary for berm construction, Contractor is responsible for additional material. All grades should be smooth slopes to allow for mowing without scalping lawn areas. Settling and refilling should be accomplished before planting grass, or other plant materials.

Clean-up

During the work, the premises are to be kept neat and orderly at all times. Storage areas for plants and other materials shall be so organized that they are neat and orderly. All trash including debris resulting from removing weeds or plants, or preparing beds, or planting shall be removed from the site daily as the work progresses. All walks and drives shall be kept clean by sweeping and/or hosing. Excavated soil may be distributed on the site as directed by the Owner.

Acceptance

Acceptance for all landscape work shall be given after final inspection by the Owner and/or Landscape Architect, provided the job is in a completed, undamaged condition, and there is grass (substantial coverage) in all grass areas. At this time, the Owner will assume maintenance on the accepted work. Acceptance of partial phases will be considered by the Owner.

Maintenance

The Contractor shall maintain all trees, shrubs, and groundcover under this Contract until acceptance, by watering, mowing, spraying and replacing as necessary to keep plants in a healthy, vigorous condition, and shall rake bed areas as may be required to keep neat.

The Contractor shall maintain all grass areas under this Contract until acceptance by watering, mowing, spraying, etc. Occasional weeding may be required; however, it is anticipated that mowing will be sufficient to control weeds.

Cultivating: Shall consist of scarifying the two inches or lumps of soil are less than 2" diameter, and all weeds are removed.

Weeding: Shall consist of digging out all plants other than the desired shrubs and groundcovers every two weeks. Weeding may be handled by herbicide spraying at the Contractor's expense if it is acceptable to all parties concerned.

Guarantee

All plants shall be guaranteed by the Contractor, for a twelve (12) month period after date of acceptance. The Contractor shall replace all dead materials and all materials not in a vigorous, thriving condition, as soon as weather permits and on notification by the Landscape Architect. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Landscape Architect shall be final.

Plants used for replacement shall be of the same kind and size as those originally planted, and shall be planted as originally specified. Replacements shall carry a twelve (12) month guarantee from date of replacement. Any damage, including runs in lawn and bed areas, incurred in making replacements shall be immediately repaired.

At the direction of the Landscape Architect, plants may be replaced at the start of next year's planting and digging season; but in such cases, dead plants shall be removed from the premises as soon as they are designated to be replaced.

The Owner agrees for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.

To insure that proper maintenance is being performed by the Owner during the guarantee period, the Contractor shall:

1. Make at least one site inspection every month to ascertain any maintenance deficiencies.
2. Inform Owner's maintenance supervisor of any maintenance deficiencies.
3. Prepare written documentation of the site inspection, noting all deficiencies encountered, maintenance personnel who are made aware of deficiencies, suggested remedy methods, and any other pertinent comments on maintenance.
4. Submit this written documentation of the monthly inspection to the Landscape Architect as well as to the Owner.

The Above guarantee shall not apply where plants die after acceptance because of injury by storms, downing from floods, hail, freeze insects, disease, injury by humans, machines or theft. These items are to be negotiated between the Owner and Contractor.

Plants (General)

Plant material shall be delivered to the site only after the beds are prepared and are ready for planting. All shipments of nursery materials shall be thoroughly protected from the sun and from drying winds during transit. All plants that cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Ball of earth on B&B plants shall be kept covered with soil or other acceptable material. All plants remain property of the Contractor until final acceptance.

Plants shall be nursery grown, healthy, vigorous, bushy, well balanced, of normal habit of growth for the species, and shall be free from disease, insect eggs and larvae. They shall have crown and root ball sizes that meet or exceed the standards set forth in "Grades & Standards for Nursery Plants" by the A.A.N. The specified sizes shall be before pruning and plants shall be measured with their branches in normal position. Plants shall not be pruned prior to delivery, except upon special approval. All pruning of new trees and shrubs, as directed by the landscape Architect, shall be executed by the Contractor at no additional cost to the Owner.

Trees shall be healthy, vigorous, full-branched, single leader, well shaped, and shall meet the trunk diameter, height, and spread requirements of the plant list, and meet the standards of "Grades & Standards for Nursery Plants". Balls shall be firm, neat, slightly tapered and well burlapped. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be sized in accordance with the A.A.N. Standards.

All shrubs and groundcovers shall be of "specimen" quality, full and bushy to the ground, and of compact growth.

All plants shall be hardy under climatic conditions similar to those in locality of the project.

Should the Contractor encounter soil condition that is inhospitable to normal planting, it is his responsibility to modify the soil so that the plants will thrive. These modifications may include providing any extra soil as may be required for planting.

Tree & Shrub Planting

Plant deciduous trees in tree-pit 2'-0" greater in diameter than ball and at a height that assures proper drainage and vigorous growth. Plant evergreen trees in tree-pits 2'-0" greater in diameter than ball at a height for proper drainage and vigorous growth. Fill bottom of pit (to depth of root ball) with mixture of soil that shall be one (1) part existing top soil, to one (1) part peat moss, to one (1) part clean sand. After settling the tree, the pit shall be backfilled with soil mix, then carefully settled by watering to prevent air pockets. Form a 4" watering ring for each tree. Fertilize with Osmocote at the rate recommended by the manufacturer.

Plant shrubs in beds 1" larger than the root ball and at a height which assures proper drainage and vigorous growth. Backfill with soil mixture in the same proportions as for tree planting. Osmocote fertilizer shall be applied at the rate recommended by the manufacturer.

All plant beds plus area three feet greater in diameter than the ball around each tree shall be mulched with 3" of clean organic mulch.

Groundcover / Seasonal Color

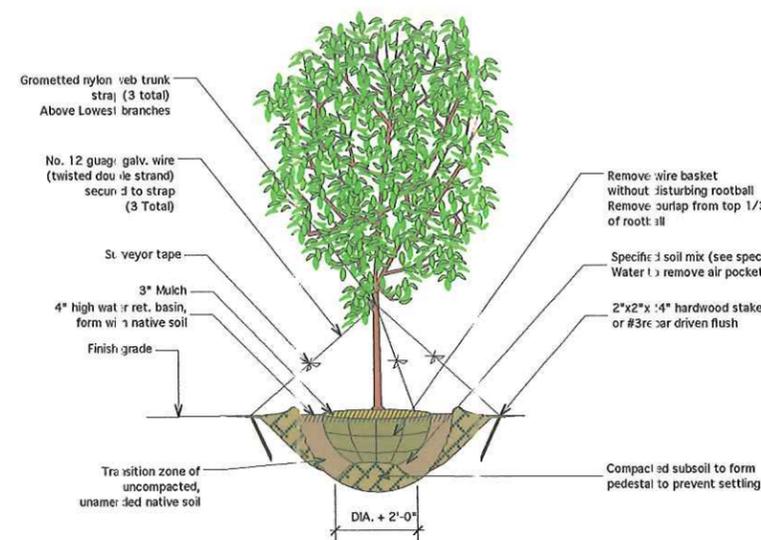
Groundcover beds shall be excavated to a depth of 6". Remove all stones, roots, hardpan, debris, etc. into till excavated bed to a depth of 6". Add sufficient planting soil (1 part organic, 1 part sand, 2 part top soil) to raise entire bed 6" above original grade. Fertilize with Osmocote fertilizer at the rate of four pounds per 100 square feet. Add 1 lb. of bonemeal per 50 sq. are feet, rake in top 2" of planting soil, rake smoothly. Mulch with 3" mini bark chips.

Grass Planting

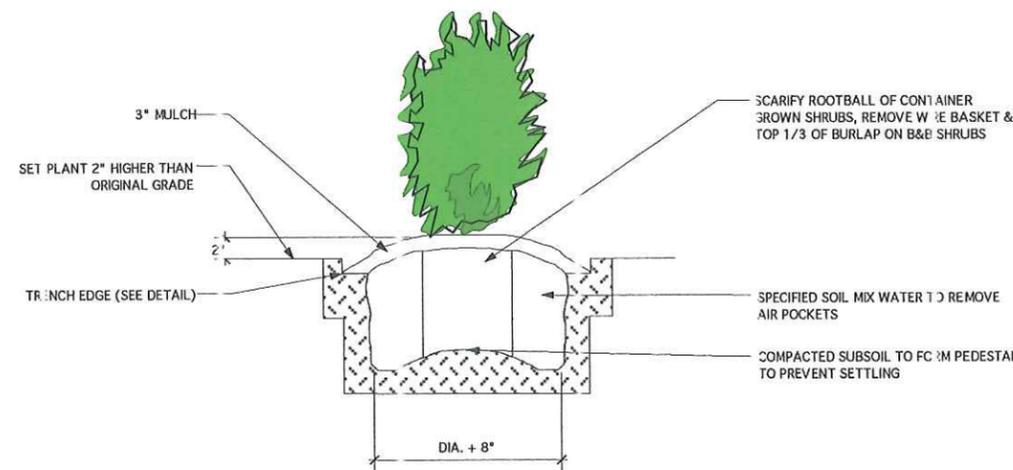
All areas to be sodded shall be raked to a depth of 2" below finished grade of seed or sod beds and raked smoothly. Areas next to sidewalks and curbs shall be graded down one inch below finish grade to allow for thickness of grass build-up. All grass areas shall be fertilized with a commercial fertilizer at the rate as recommended by grass seed supplier.

Sod areas will be planted with sod as indicated on the plans. All sod shall be placed closely so joints are flush between blocks. Sod areas shall be rolled with a 200 pound roller, watered thoroughly and re-rolled.

Notes: Detail shown for 2 1/2" cal. & larger deciduous trees, 7" & larger evergreen trees, & multi-trunk trees. Contractor to remove all tree staking accessories at the end of the first year of maintenance. Plant trees at a depth which will ensure proper drainage and vigorous growth for individual soil conditions.



1 DECIDUOUS/ MULTI-TRUNK TREE PLANTING
ELEVATION NOT TO SCALE



2 SHRUB PLANTING
ELEVATION NOT TO SCALE

1501 Monroe St. Madison, WI 53711
Phone: 608.283.6100 Fax: 608.283.6101

SIEGER LLC
ARCHITECTURE

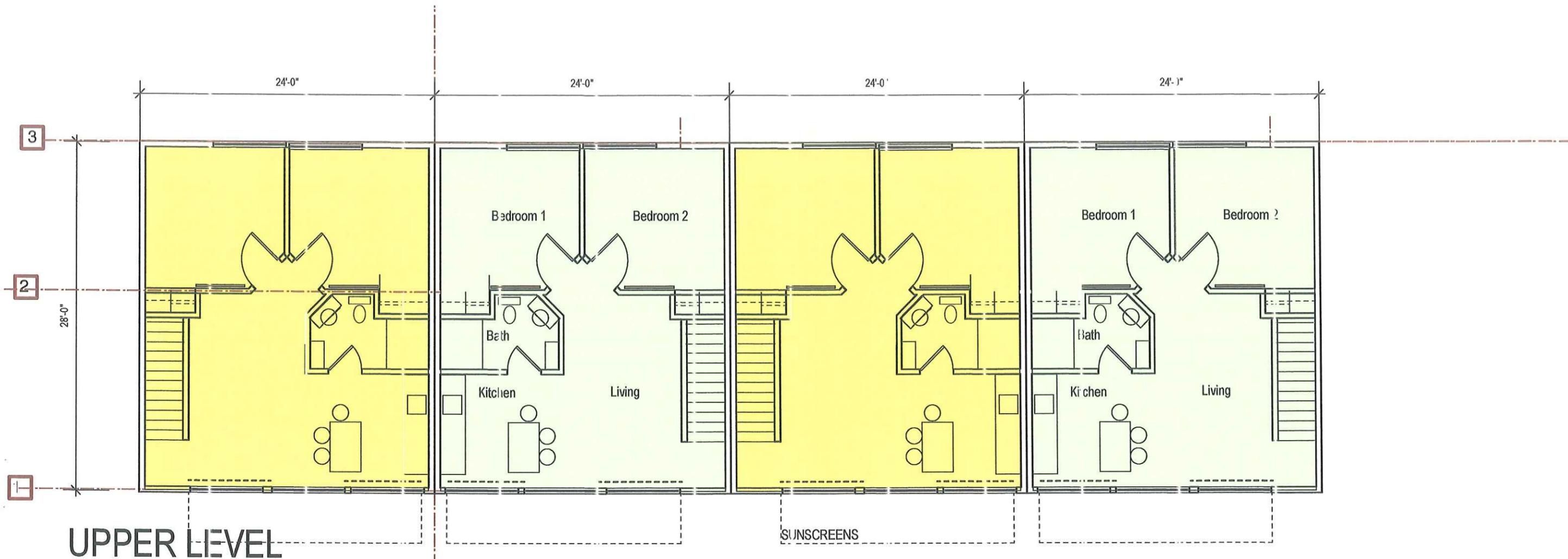
OWNER: **SALVING LLC** Madison, WI 53744

PROJECT: **12 UNIT E-WAY VIEW**
ANDERBERG DRIVE
FITZGERALD, WI

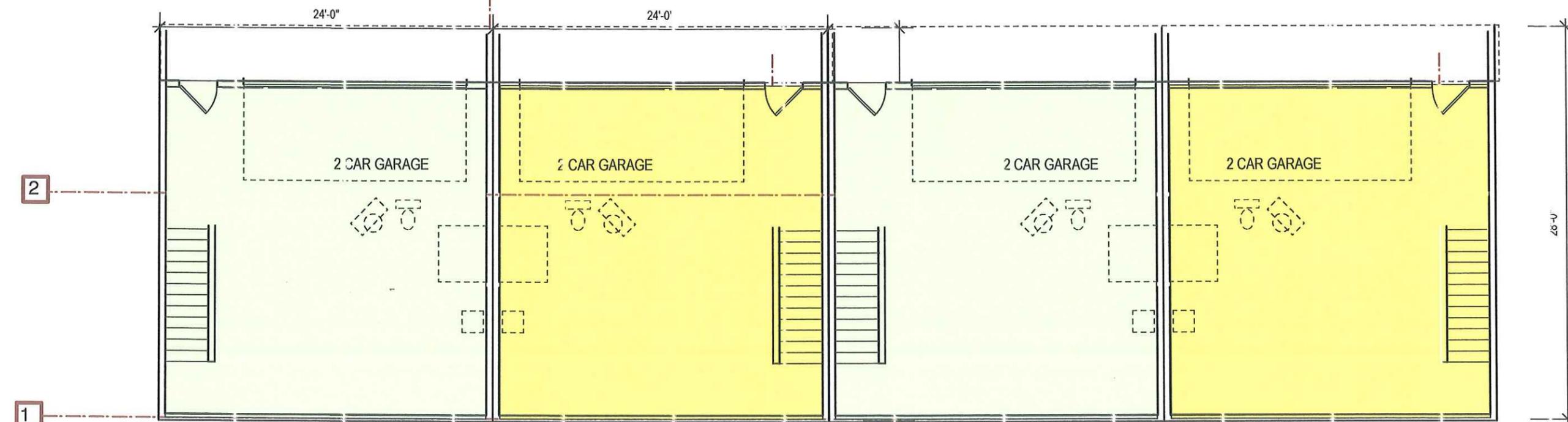
REVISIONS

DATE: **8.18.15** PROJECT#: **1510**

SHEET # **C2.3**



UPPER LEVEL



GROUND FLOOR LEVEL

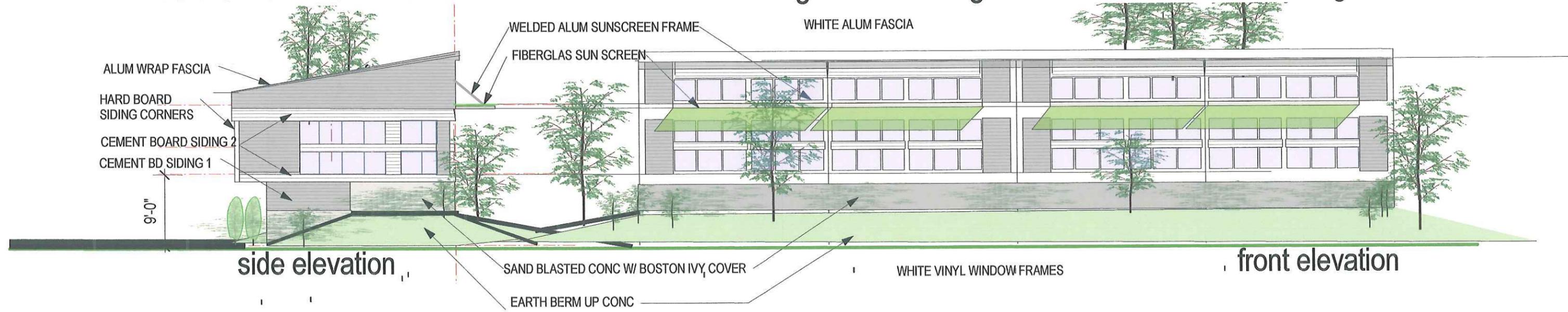
<p>SIEGER ARCHITECTS ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net</p>	<p>project</p> <p>Fitchburg 12 Unit Anderberg & Oregon Rd Fitchburg, WI</p>	<p>A1.1</p> <p>3.1.15</p>
	<p>owner</p> <p>SALiving LLC Group P.O. Box 45724 Madison, WI 53744</p>	

NOTE: Drawings are at 50% scale for 11x 7 print sets.



AFFORDABLE DESIGNER HOUSING - Anderberg Dr. Fitchburg WI

SiegerARCHITECTS



revised 8/28 / 2015 -- bldg hts

 <p>SIEGER ARCHITECTS ARCHITECTURE</p> <p>73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net</p>	<p>project</p> <p>Fitchburg 12 Unit Anderberg & Oregon Rd Fitchburg, WI</p>	<p>A4.1</p> <p>2.1.15</p>
	<p>owner</p> <p>SALiving LLC Group P.O. Box 45724 Madison WI 53744</p>	

*NOTE: Drawings are 50% scale for 11x17 print sets.

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BLEDR24Y

Patent-pending base mount design for super sturdy installation

Durable construction and vandal-resistant polycarbonate lens

3 configurations to provide 360°, 270°, 180° or 90° lighting pattern

Precision-engineered optics deliver maximum downward lighting w/o glare

Four leveling screws provided for easy installation

100,000-hour LED lifespan

Color: Bronze

LED Info

Watts: 24W
Color Temp: 3000K (Warm)
Color Accuracy: 82 CRI
L70 Lifespan: 100,000
LM79 Lumens: 1,161
Efficacy: 38 LPW

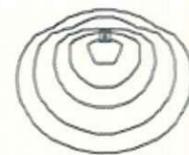
Driver Info

Type:	Constant Current
120V:	0.26A
208V:	0.18A
240V:	0.15A
277V:	0.14A
Input Watts:	30W
Efficiency:	79%

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EZ Layout



Design a custom lighting layout

Technical Specifications

UL Listing:
Suitable for wet locations.

LEDs:
6W multi-chip, long-life LEDs

Lifespan:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

Driver:
Two Drivers, Constant Current, Class 2, 100-277V, 50/60 Hz, 4kV Surge Protection, 100-240VAC 0.3 - 0.15 A, 277VAC 0.03 A.

THD:
10.9% at 120V

Ambient Temperature:
Suitable for use in 40°C (104°F) ambient temperatures

Cold Weather Starting:
Minimum starting temperature is -40°F/-40°C

Thermal Management:
Cast aluminum Thermal Management system for optimal heat sinking. The BLEDR is designed for cool operation, maximum efficiency and long life by minimizing LED junction temperature.

Reflector:
Specular polycarbonate

Gaskets:
High-temperature silicone gaskets seal out moisture

Color Consistency:
3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:
LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:
RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011

Finish:
Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contain no VOC or toxic heavy metals.

Green Technology:
Mercury and UV free, and RoHS compliant. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

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Color: Bronze

WPLED2T78N/PC

High performance LED light engine
 Maintains 70% of initial lumens at 100,000 hours
 Weatherproof high temperature silicone gaskets
 Superior heat sinking with die cast aluminum housing and external fins
 Replaces 400W MH
 100 up to 277 Volts
 5-year warranty

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LED Info

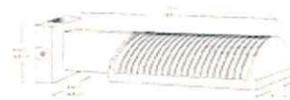
Watts: 78W
 Color Temp: 4000K (Neutral)
 Color Accuracy: 82 CRI
 L70 Lifespan: 100,000
 LM79 Lumens: 6,301
 Efficacy: 80 LPW

Driver Info

Type: Constant Current
 120V: 0.66A
 208V: N/A
 240V: N/A
 277V: N/A
 Input Watts: 79W
 Efficiency: 99%

Dimensions

Weight: 34.8 lbs



EZ Layout



Design a custom lighting layout

Technical Specifications

WPLED2T78 with Photocell:
120V Button Photocell Included. Photocell is only compatible with 120V.

UL Listing:
Suitable for wet locations as a downlight.

Lumen Maintenance:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

IP Rating:
Ingress Protection rating of IP66 for dust and water.

Specification Grade Optics:
The Type II distribution is ideal for wide walkways, on ramps and entrance roadways, bike paths and other long and narrow lighting applications. This type is meant for lighting larger areas and usually is located near the roadside. This type of lighting is commonly found on smaller side streets or jogging paths.

LEDs:
Six (6) multi-chip, 13W, high-output, long-life LEDs.

Driver:
Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%

THD:

Gaskets:
High temperature silicone gaskets.

Finish:
Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Green Technology:
Mercury and UV free.

IESNA LM-79 & IESNA LM-80 Testing:
RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

DLC Listed:
This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

Replacement:
The WPLED78 replaces 400W Metal Halide Wallpacks.

California Title 24:
WPLED2T78/PC complies with 2013 California Title 24 building and electrical codes as a commercial outdoor pole-mounted fixture > 30 Watts mounted at height greater than 24 feet. For mounting heights < 24 feet see WPLED2T78/BL with bi-level operation; additional component requirements will be listed in the Title 24 section under technical

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Color: Bronze

WPLED10SY

High performance LED light engine
 Maintains 70% of initial lumens at 100,000 hours
 Weatherproof high temperature silicone gaskets
 Superior heat sinking with die cast aluminum housing and external fins
 5-year warranty

Need Help?
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 our lighting specialists

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LED Info

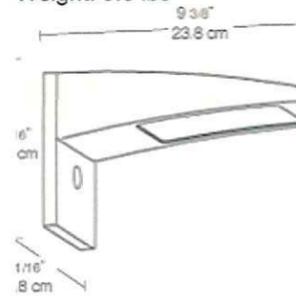
Watts: 10W
 Color Temp: 3000K (Warm)
 Color Accuracy: 45 CRI
 L70 Lifespan: 100,000
 LM79 Lumens: 410
 Efficacy: 31 LPW

Driver Info

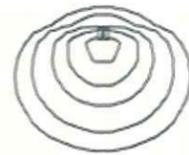
Type: Constant Current
 120V: 0.21A
 208V: 0.14A
 240V: 0.12A
 277V: N/A
 Input Watts: 13W
 Efficiency: 76%

Dimensions

Weight: 3.5 lbs



EZ Layout



Design a custom lighting layout

Technical Specifications

UL Listing:
 Suitable for Wet Locations as a Downlight. Suitable for Damp Locations as an Uplight. Wall Mount only. Suitable for Mounting within 4ft. of ground.

Lifespan:
 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Finish:
 Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Color Consistency:
 3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:
 LED color temperature is warrantied to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:
 RAB's range of CCT (Correlated color temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2008.

Cold Weather Starting:
 The minimum starting temperature is -40°F/-40°C.

Mounting:
 Surface mount.

California Title 24:
 See WPLED10/PC for a 2013 California Title 23 compliant model.

Green Technology:
 RAB LEDs are Mercury, Arsenic and UV free.

Patents:
 The LPACK design is protected under patents in the U.S. Pat. D608,040, Canada Pat. 130,243, China Pat. 200930183252.2, and pending patents in Taiwan and Mexico.

Dark Sky Approved:
 The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

For use on LEED Buildings:
 IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.

IESNA LM-79 & IESNA LM-80 Testing:
 RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Gaskets:

RAB	Indoor	Outdoor	Support	Where to Buy	Learn	Log In	Search
Products	Downlights	New Construction Round	New Construction Round Trim Module	NDLED6R-50Y-B-B			

Spec Sheet Instructions [Buy Now](#)



NDLED6R-50Y-B-B

Butterfly bracket allows mounting with bar stock, "C" channel, 1/2" conduit or nailer bars
 Low-profile design allows for installation in ceilings with limited space
 Absolute White 3-step consistency and black body accurate
 Nanostructure lens eliminates "hot spots" providing smooth and efficient light

Color: Black trim black cone

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 our lighting specialists

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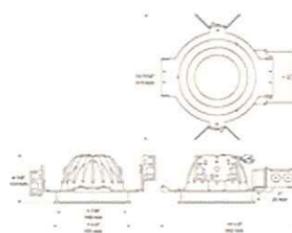
LED Info

Watts: N/A
 Color Temp: 3000K (Warm)
 Color Accuracy: N/A CRI
 L70 Lifespan: 100,000
 LM79 Lumens: N/A
 Efficacy: N/A

Driver Info

Type: Sold Separately
 120V: N/A
 208V: N/A
 240V: N/A
 277V: N/A
 Input Watts: N/A

Dimensions



Technical Specifications

UL Listed:
 Suitable for wet locations covered ceiling.

Photometrics:
 Photometrics are based on prorated reports. Contact the RAB Lighting Design department for the most up-to-date data.
[See photometric data and download IES files here.](#)

Trim Component:
 This component must be ordered with New Construction Round Rough-In in order to make a complete fixture.
[See here for New Construction Round Rough-In.](#)

Housing:
 Professional-grade, die-cast aluminum construction.

Trim Ring:
 Black powder coated die cast trim ring.

Trim Cone:
 Black round trim cone.

Drop Ceiling Installation:
 NDLED can be installed in drop ceiling tiles when using optional c-channel bars and following local construction codes.

Aperture Size:
 6" Trim Module.

Easy Installation:
 The EZ-Connector makes installation easy.

Air Tight:
 Housing certified Air Tight as per ASTM E283

Color Consistency:
 3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

California Title 24:
 NDLED6R complies with 2013 California Title 24 building and electrical codes as a residential indoor fixture and commercial indoor fixture for general spaces.

Warranty:
 RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. [See our full warranty here.](#)

Country of Origin:
 Designed by RAB in New Jersey and assembled in the USA by RAB's IBEW Local 3 workers.

Buy American Act Compliant:
 This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

**12-Unit Apartment Project
3046-3052 Anderberg Drive
Public Works Review #1**

The following comments are based on the plans submitted for a rezone request and Architectural Design Review for Lot 117 of Swan Creek of Nine Springs, dated January 23, 2015. RE, 8-26-15; AB, 8-27-15; CH, 8-27-15. Additional comments beyond these may be required on future reviews.

General Comments

1. Please confirm that refuse and recycling container(s) are located and sized properly.
2. The applicant will need to submit a Construction & Demolition Reuse/Recycling Plan to Public Works.
3. A street tree waiver will need to be signed by the Owner for street trees to be planted by the City along Anderberg Drive.
4. A waiver of special assessment for sidewalk will need to be signed by the Owner, to allow for the potential for future sidewalk construction on Anderberg Drive.

Transportation Comments

1. The driveway should follow the Commercial Driveway Standards of the City of Fitchburg, consisting of a concrete apron and straight tapers to meet the public street. This drawing can be found in the City's Standard Specifications document, available on our website:
<http://www.city.fitchburg.wi.us/departments/cityHall/publicWorks/documents/StandardSpecifications.pdf>
2. Provide outdoor bicycle parking. Outdoor parking should follow the standards of the City's Bicycle and Pedestrian Plan (on the city's website at: <http://www.city.fitchburg.wi.us/departments/cityHall/publicWorks/transportation/BicycleTransportation.php>) with regards to location and style. Indoor bike parking should also be considered to accommodate convenient, safe, and secure bicycle storage for residents.

Water Main and Sanitary Sewer

Utility comments will follow under separate cover.

Erosion Control and Stormwater Management (ECSWM) Comments

1. A new Erosion Control & Storm Water Management permit application will need to be submitted to the Fitchburg Public Works Department for review and approval (The ECSWM application and information on requirements can be found at: <http://www.fitchburgwi.gov/231/ECSWM-Requirements>).
2. A stormwater maintenance agreement (recorded at the Dane County Register of Deeds office) will be required for the necessary private stormwater management practices approved by the City (e.g. private storm sewer, rain gardens, etc.). The owner(s) would be eligible for up to a 50% reduction in stormwater utility rates for the proposed stormwater practices. The following

**12-Unit Apartment Project
3046-3052 Anderberg Drive
Public Works Review #1**

link: <http://www.fitchburgwi.gov/230/Credit-Opportunities> provides the application form and details on this program.

3. The designer may contact Fitchburg's Environmental Engineer at 270-4264 or rick.eilertson@fitchburgwi.gov if he/she has any questions on ECSWM performance standards for this site.

9/2/15
emailed to
Bob Sieger

**12-Unit Apartment Project
3046-3052 Anderberg Drive
Public Works Review #1**

The following utility comments are based on the plans submitted for a rezone request and Architectural Design Review for 3046-3052 Anderberg Drive, dated August 18, 2015. TF, 9-2-15; CH, 9-2-15. Additional comments beyond these may be required on future reviews.

Utility Comments

1. Public water main shall be extended along Anderberg Drive to service this development. The Designer shall meet with the Fitchburg Utility to review layout for public utilities as well as private utilities. Additional comments will follow based on this meeting. Plan and profile drawings for the public water main will need to be submitted to the City and to DNR for review and approval.
2. An agreement for subdivision improvements shall be executed for the public improvements necessary to develop this lot. A letter of credit in the amount of 115% of the public improvement cost is required as part of this agreement.
3. Water impact fees shall be paid and a water access agreement shall be executed prior to the release of a building permit.
4. MMSD Fees shall be paid prior to the start of installation of public improvements or prior to release of a building permit, whichever comes first.



CITY OF FITCHBURG
PLANNING DEPARTMENT
5520 LACY ROAD
FITCHBURG, WI 53711
(608) 270-4200
FAX: (608) 270-4275
EMAIL: planning@city.fitchburg.wi.us

Application: RZ/CU-2077-15
Property Address: TBD
Property Location: Anderberg Drive
Review Date: August 26, 2015
Planning Staff Review #1

Planning staff has reviewed your submitted pre-application request for a land division on Lot 3 CSM 10695, submitted on August 18, 2015. The following comments are based on this review. Please respond to these comments with a detailed narrative response, along with appropriate revised plans, by 4:00 p.m. on Tuesday, September 1, 2015. Further comments or questions may arise as additional review occurs.

1. The proposed buildings do not meet the setbacks required for the R-H zoning district for each individual lot. Given this, the three parcels will need to be treated together as one lot.
2. A Conditional Use Permit (CUP) is needed as there are three proposed buildings on one lot; the R-H Zoning district allows a maximum of two multi-family dwelling unit structures unless a great number is approved by Conditional Use.
3. Sheet C1.1 shows two proposed parking stalls extending onto parcel D, which is the land to be dedicated for parkland. These stalls will need to be a minimum of two feet from the property line. There are two options:
 - a. Adjust the parcel line for parcel D
 - b. Shift the parking stalls to the north
4. Please update the elevation drawing, sheet A4.1, to detail the building height as there is no scale on the drawing.
5. Please provide written authorization from the current property owners authorizing your submittal of these requests.
6. Park fees
 - a. Parkland dedication: 2,900 sq ft per dwelling unit; 2015 fee in-lieu of parkland dedication is \$4,330 per dwelling unit
 - b. Park Improvement fee: \$145 per multi-family residential dwelling unit
 - c. Park Street Frontage (will need to be calculated)
7. Lighting – please confirm that all exterior lighting is full cut-off or dark sky compliant.
8. Please provide a colors & materials board to the Plan Commission meeting.
9. Stormwater is not identified on the plan sheets. Please provide details as to where the stormwater facilities will be located.
10. The turn in between buildings A & C appears to be rather tight. Is this space sufficient to accommodate vehicular turning movements?
11. Please add some permanent shrubs along the building.
12. What are you using for the Natural Prairie Grass seed?



Scott Endl, Director
Parks, Recreation and Forestry
5520 Lacy Road
Fitchburg, WI 53711-5318
Phone: (608)270-4288
Scott.Endl@city.fitchburg.wi.us

Memo

To: Susan Sloper – Community Planner
From: Endl – PRF
Ref.: Comments RZ-2077-15 & ADR – Anderberg Drive
Date: August 26, 2015

Please find below Parks Department comments, per your request, on RZ-2077-15 & ADR – Anderberg Drive.

- Parkland Dedication per Ordinance 24-2(d)(2)(a); Dedication of parks, playgrounds, recreation and open spaces – 2,900 square feet per dwelling unit. Park dedication required for 12 units proposed with is 34,800 sq. ft. (.8 acres).
- Fee in lieu of Parkland Dedication per Ordinance 24-2(d)(2)(e); \$4,330 per dwelling unit. 12 units = \$51,960. It would be my recommendation to take Parcel D as the parkland dedication – unless they are designated to be wetlands.
- Parkland Improvement fee per Ordinance 24-15(e), 22-647(2); \$145 per dwelling unit (2015 price) 12 units = \$1,740
- Fee in lieu of Street Frontage for Parks per Ordinance 24-15(e), 22-647(3).

Additional comments:

- Will there be public parking opportunities near Parcel D for access to the E-way canoe access?
- What is the physical make up of Parcel D – designated wetlands? Wetlands will not be credited towards parkland dedication

Please feel free to contact me with any questions.

Respectfully,
Scott Endl

Susan Badtke

From: Chad Grossen
Sent: Monday, August 24, 2015 9:58 AM
To: Susan Badtke
Subject: RE: Comment Request: RZ-2077-15 & ADR (Anderberg Drive)

Susan, fire apparatus access and fire hydrants shall comply to Fitchburg Ordinance Ch. 44. A meeting may be required to discuss the issues. Chad

From: Susan Badtke
Sent: Thursday, August 20, 2015 11:07 AM
To: Thomas Hovel; Jill Igl; Dell Zwiig; John Crook; Chad Brecklin; Chad Grossen; Scott Endl; Michael Zimmerman; Steve Arnold; Tony Hartmann; Johnson, Jake
Cc: Donald Bates; Cory Horton
Subject: Comment Request: RZ-2077-15 & ADR (Anderberg Drive)

See attached comment request and application materials for RZ-2077-15 & ADR; a copy is also available for review on the third floor light table.

Please review and provide all comments to me by 4:00 p.m. on August 26, 2015.

Thanks,

Susan Badtke

Community Planner
City of Fitchburg, WI | 5520 Lacy Road | Fitchburg, WI 53711
susan.badtke@fitchburgwi.gov
ph: 608.270.4256
fax: 608.270.4275



Rec # 1-16248
T.O. 8-20-15



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711
(608) 270-4200

CONDITIONAL USE PERMIT APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

1. Location of Property:

Street Address: 5400 King James Way

Legal Description - (Metes & Bounds, or Lot No. And Plat): _____

Lot #2 Plat 05649; CSM 05649 CS26/163&164

***Also submit in electronic format (MS WORD or plain text) by email to: **PLANNING@FITCHBURGWI.GOV**

2. Current Use of Property: 1 story retail metal building

3. Proposed Use of Property: New 3 story, 46 feet tall, office and retail building with surface and underground parking

4. Proposed Development Schedule: Construction start in fall of 2015. Completion in late summer of 2016

5. Zoning District: B-G

6. Future Land Use Plan Classification: _____

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable): N/A

No. of Dwelling Units by Bedroom: 1 BR 2 BR 3 BR 4 or More

No. Of Parking Stalls: N/A

Type of Non-residential Development (If Applicable): Office and Retail

Proposed Hours of Operation: Normal Business Hours No. Of Employees: To Be Determined

Floor Area: 54,240 No. Of Parking Stalls: 198

Sewer: Municipal Private Water: Municipal Private

Current Owner of Property: Benjamin Properties

Address: 5396 King James Way, Madison, WI 53719 Phone No: (608) 271-7071

Contact Person: Bob Feller

Email: bob.feller@iconiccreates.com

Address: 901 Deming Way, Madison, WI 53717 Phone No: (608) 664-3591

Respectfully Submitted By: [Signature]

Owner's or Authorized Agent's Signature

**** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.**

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: 8/20/15 Publish: _____

Ordinance Section No. _____ Fee Paid: \$445.00

Permit Request No. CU-2078-15



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Bob Feller

Address: 901 Deming Way

Phone Number of Contact Person: 608-664-3591

City, State, Zip Code: Madison, WI 53717

Email of Contact Person: bob.feller@iconicacreates.com

Project Address: 5400 King James Way

Lot: _____ **Subdivision:** _____

Project Type: _____ **Multi-Family** **Commercial** _____ **Industrial** _____ **Other**
 _____ **New** _____ **Addition**

Impervious Surface Ratio (ISR): 72% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures.
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

Landscaping:

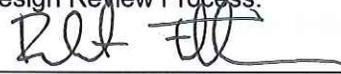
-
-
-
-

1. Location, species, size of existing trees, shrubs, and plantings.
2. Location, species, size of proposed plantings.
3. Location and size of all paved, seeded/sodded and gravelled areas.
4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed:  Date: 8/18/2015
 Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: 8/18/2015 Plan Commission Date: _____

Comments:



August 19, 2015

Susan Badtke
Community Planner
City of Fitchburg
5520 Lacy Road
Fitchburg, WI 53711

Via: Hand Deliver

Re: Architectural and Design Review Re-Application

Dear Ms. Badtke:

Please, find attached our revised Architectural and Design Review Application submission for the proposed development at 5400 King James Way. We are resubmitting based revising the building to 3-stories with underground parking.

One item to note in the application is the ISR proposed for the site. Under current design we are exceeding the percentage by approximately 7%. We are requesting consideration for a variance due to the fact that a portion of the existing site is being turned over to the DOT for the road improvements along Hwy 151. Additionally, the improvements to the site will improve the ISR from the current ratio of 86%.

Another item to note is the building height. The ordinance allows 42' tall buildings, but we are proposing a 46' tall main parapet with a few articulated areas for interest and variety. The desire for 14'-0" floor-to-floor elevations, with 10'-0" ceilings, is what is driving the height. Attached is a Conditional Use Permit Application and fee to allow for the proposed building height modification.

Thank you for your consideration of this request and application. We look forward to Staff comments.

Sincerely,

Bob Feller, AIA
Architectural Director

RGF/rgf

cc: File 4-20130230



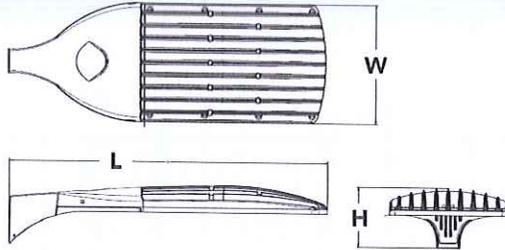
D-Series Size 2 LED Area Luminaire

d²series



Specifications

EPA:	2.0 ft ² (0.19 m ²)
Length:	40" (101.6 cm)
Width:	15" (38.1 cm)
Height:	7-1/4" (18.4 cm)
Weight (max):	36 lbs (16.3 kg)



Catalog
Number

Notes

Type A

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX2 LED 80C 1000 40K T4M MVOLT SPA DDBXD

DSX2 LED

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting
DSX2 LED	Forward optics	530 530 mA	30K 3000 K	T1S Type I Short	MVOLT²	Shipped included
	80C 80 LEDs (four engine)	700 700 mA	40K 4000 K	T2S Type II Short	120 ²	SPA Square pole mounting
	100C 100 LEDs (four engines)	1000 1000 mA (1 A)	50K 5000 K	T2M Type II Medium	208 ²	RPA Round pole mounting
	Rotated optics¹		AMBPC Amber phosphor converted	T3S Type III Short	240 ²	WBA Wall bracket
	90C 90 LEDs			T3M Type III Medium	277 ²	SPUMBA Square pole universal mounting adaptor ³
				T4M Type IV Medium	347	RPUMBA Round pole universal mounting adaptor ³
					480	Shipped separately
						KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁴

Control options

Shipped installed

PER	NEMA twist-lock receptacle only (no controls) ⁵
PER5	Five-wire receptacle only (no controls) ^{5,6}
PER7	Seven-wire receptacle only (no controls) ^{5,6}
DMG	0-10V dimming driver (no controls) ⁷
DCR	Dimmable and controllable via ROAM [®] (no controls) ⁸
DS	Dual switching ^{9,10}
PIRH	Motion sensor, 15-30' mounting height ¹¹

BL30	Bi-level switched dimming, 30% ^{10,12}
BL50	Bi-level switched dimming, 50% ^{10,12}
PNMTDD3	Part night, dim till dawn ¹²
PNMTSD3	Part night, dim 5 hrs ¹²
PNMT6D3	Part night, dim 6 hrs ¹²
PNMT7D3	Part night, dim 7 hrs ¹²

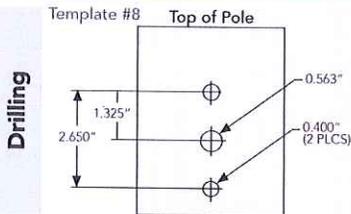
Other options

Shipped installed

HS	House-side shield ¹³
SF	Single fuse (120, 277, 347V) ²
DF	Double fuse (208, 240, 480V) ²
L90	Left rotated optics
R90	Right rotated optics

Finish (required)

DDBXD	Dark bronze
DBLXD	Black
DNAXD	Natural aluminum
DWHXD	White
DDBTXD	Textured dark bronze
DBLTXD	Textured black
DNATXD	Textured natural aluminum
DWHGXD	Textured white



DSX2 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90° *
DM28AS	2 at 180°	DM39AS	3 at 90° *
DM49AS	4 at 90° *	DM32AS	3 at 120° **

Example: SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's **POLES CENTRAL** to see our wide selection of poles, accessories and educational tools.

*Round pole top must be 3.25" O.D. minimum.
**For round pole mounting (RPA) only.

Controls & Shields

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁴
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁴
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁴
SCU	Shorting cap ¹⁴
DSX2HS 80C U	House-side shield for 80 LED unit
DSX2HS 90C U	House-side shield for 90 LED unit
DSX2HS 100C U	House-side shield for 100 LED unit
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish)
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ⁴

For more control options, visit [DTL](#) and [ROAM](#) online.

Tenon Mounting Slipfitter**

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

NOTES

- Rotated optics option (L90, R90) required for 90C.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Available as a separate combination accessory: PUMBA (finish) U. Round pole must have 4" O.D. minimum; 1.5 G vibration load rating per ANCI C136.31.
- Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" O.D. mast arm (not included).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option.
- If ROAM[®] node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR.
- 347 or 480 voltage option with DMG requires 1000 mA.
- Specifies a ROAM[®] enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM[®] deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roomservices.net. Not available with PIRH, DS, BL30, BL50, PER5, PER7, or part night options (PNMTxxx).
- Provides 50/50 luminaire operation via two independent drivers on two separate circuits. Not available with 80C 530, 90C 530, PER, PER5, PER7, DCR, BL30, BL50, or part night options (PNMTxxx).
- Requires an additional switched line.
- Specifies the **SensorSwitch SBGR-6-ODP** control; see **Motion Sensor Guide** for details. Dimming driver standard. Not available with BL30, BL50 or DCR.
- Dimming driver standard. Not available with 347V, 480V, DCR, DS, or PIRH.
- Also available as a separate accessory; see Accessories information.
- Requires luminaire to be specified with PER, PER5 or PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)				40K (4000 K, 70 CRI)				50K (5000 K, 70 CRI)				AMBPC (Amber Phosphor Converted)							
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
80C (80 LEDs)	530 mA	137 W	T1S	14,438	3	0	3	108	15,360	3	0	3	115	15,415	3	0	3	115	10,752	2	0	2	78
			T2S	14,172	3	0	3	106	15,077	3	0	3	113	15,131	3	0	3	113	10,554	2	0	2	77
			T2M	14,196	3	0	3	106	15,102	3	0	3	113	15,156	3	0	3	114	10,571	2	0	2	77
			T3S	14,165	3	0	3	106	15,069	3	0	3	113	15,123	3	0	3	113	10,548	2	0	2	77
			T3M	14,193	3	0	4	106	15,099	3	0	4	113	15,153	3	0	4	114	10,569	2	0	2	77
			T4M	13,736	3	0	4	103	15,067	3	0	4	113	15,121	3	0	4	113	10,547	2	0	2	77
			TF1M	14,424	3	0	4	108	15,345	3	0	4	115	15,400	3	0	4	115	10,741	1	0	2	78
			TSVS	14,980	5	0	1	112	15,936	5	0	1	119	15,993	5	0	1	120	11,155	3	0	0	81
			T5S	14,972	4	0	2	112	15,927	4	0	2	119	15,985	4	0	2	120	11,149	3	0	0	81
			T5M	14,900	5	0	3	112	15,851	5	0	3	119	15,908	5	0	3	119	11,096	3	0	2	81
	T5W	14,713	5	0	3	110	15,652	5	0	3	117	15,709	5	0	3	118	10,957	3	0	2	80		
	T1S	17,944	3	0	3	98	19,089	3	0	3	104	19,158	3	0	3	105	13,362	2	0	2	71		
	T2S	17,613	3	0	3	96	18,738	3	0	3	102	18,805	3	0	3	103	13,116	2	0	2	70		
	T2M	17,643	3	0	3	96	18,769	3	0	3	103	18,836	3	0	3	103	13,138	2	0	2	70		
	T3S	17,604	3	0	3	96	18,728	3	0	3	102	18,795	3	0	3	103	13,110	2	0	2	70		
	T3M	17,639	3	0	4	96	18,764	3	0	4	103	18,832	3	0	4	103	13,135	2	0	3	70		
	T4M	17,071	3	0	4	93	18,725	3	0	4	102	18,792	3	0	4	103	13,108	2	0	2	70		
	TF1M	17,926	3	0	4	98	19,071	3	0	4	104	19,139	3	0	4	105	13,349	2	0	2	71		
	TSVS	18,617	5	0	1	102	19,805	5	0	1	108	19,876	5	0	1	109	13,864	3	0	1	74		
	T5S	18,607	4	0	2	102	19,794	4	0	2	108	19,866	4	0	2	109	13,856	3	0	1	74		
T5M	18,518	5	0	3	101	19,700	5	0	3	108	19,771	5	0	3	108	13,790	3	0	2	73			
T5W	18,286	5	0	3	100	19,453	5	0	3	106	19,523	5	0	3	107	13,617	4	0	2	72			
1000 mA	282 W	T1S	24,339	3	0	3	85	25,892	3	0	3	91	25,985	3	0	3	91	18,125	2	0	2	64	
		T2S	23,891	3	0	3	84	25,416	3	0	3	89	25,507	3	0	3	90	17,791	3	0	3	63	
		T2M	23,931	3	0	3	84	25,458	3	0	4	89	25,550	3	0	4	90	17,821	3	0	3	63	
		T3S	23,879	3	0	3	84	25,403	3	0	3	89	25,494	3	0	3	90	17,782	2	0	2	63	
		T3M	23,925	3	0	4	84	25,452	3	0	4	89	25,544	3	0	4	90	17,817	3	0	3	63	
		T4M	23,155	3	0	4	81	25,399	3	0	4	89	25,490	3	0	4	90	17,779	2	0	3	63	
		TF1M	24,315	3	0	4	85	25,867	3	0	4	91	25,960	3	0	4	91	18,107	2	0	3	64	
		TSVS	25,252	5	0	1	89	26,864	5	0	1	94	26,960	5	0	1	95	18,805	3	0	1	67	
		T5S	25,238	5	0	2	89	26,849	5	0	2	94	26,946	5	0	2	95	18,794	3	0	1	67	
		T5M	25,118	5	0	3	88	26,721	5	0	3	94	26,817	5	0	3	94	18,705	4	0	2	66	
T5W	24,803	5	0	4	87	26,386	5	0	4	93	26,481	5	0	4	93	18,470	4	0	2	65			
100C (100 LEDs)	530 mA	175 W	T1S	17,592	3	0	3	103	18,715	3	0	3	110	18,782	3	0	3	110	13,100	2	0	2	75
			T2S	17,268	3	0	3	101	18,370	3	0	3	108	18,436	3	0	3	108	12,859	2	0	2	73
			T2M	17,297	3	0	3	102	18,401	3	0	3	108	18,467	3	0	3	108	12,881	2	0	2	74
			T3S	17,259	3	0	3	101	18,361	3	0	3	108	18,427	3	0	3	108	12,853	2	0	2	73
			T3M	17,293	3	0	4	101	18,397	3	0	4	108	18,463	3	0	4	108	12,878	2	0	3	74
			T4M	16,736	3	0	4	98	18,358	3	0	4	108	18,424	3	0	4	108	12,851	2	0	2	73
			TF1M	17,575	3	0	4	103	18,697	3	0	4	110	18,764	3	0	4	110	13,088	2	0	2	75
			TSVS	18,252	5	0	1	107	19,417	5	0	1	114	19,487	5	0	1	114	13,592	3	0	1	78
			T5S	18,242	4	0	2	107	19,406	4	0	2	114	19,476	4	0	2	114	13,584	3	0	1	78
			T5M	18,155	5	0	3	107	19,314	5	0	3	113	19,383	5	0	3	114	13,520	3	0	2	77
	T5W	17,927	5	0	3	105	19,071	5	0	3	112	19,140	5	0	3	112	13,350	4	0	2	76		
	700 mA	232 W	T1S	22,078	3	0	3	97	23,487	3	0	3	103	23,571	3	0	3	104	16,441	2	0	2	71
			T2S	21,671	3	0	3	95	23,055	3	0	3	101	23,137	3	0	3	102	16,138	2	0	2	70
			T2M	21,707	3	0	3	96	23,093	3	0	3	102	23,176	3	0	3	102	16,165	2	0	3	70
			T3S	21,660	3	0	3	95	23,043	3	0	3	101	23,126	3	0	3	102	16,130	2	0	2	70
			T3M	21,702	3	0	4	95	23,088	3	0	4	102	23,171	3	0	4	102	16,161	2	0	3	70
			T4M	21,004	3	0	4	92	23,039	3	0	4	101	23,122	3	0	4	102	16,127	2	0	3	70
			TF1M	22,056	3	0	4	97	23,464	3	0	4	103	23,549	3	0	4	104	16,425	2	0	2	71
			TSVS	22,906	5	0	1	101	24,368	5	0	1	107	24,456	5	0	1	108	17,058	3	0	1	74
			T5S	22,894	4	0	2	101	24,355	4	0	2	107	24,442	4	0	2	108	17,048	3	0	1	73
T5M			22,784	5	0	3	100	24,239	5	0	3	107	24,326	5	0	3	107	16,967	4	0	2	73	
T5W	22,498	5	0	3	99	23,935	5	0	3	105	24,021	5	0	3	106	16,754	4	0	2	72			
1000 mA	360 W	T1S	28,465	3	0	3	80	31,708	3	0	3	89	32,074	3	0	3	89	22,196	3	0	3	62	
		T2S	29,257	3	0	3	82	31,125	3	0	3	88	31,237	3	0	3	87	21,787	3	0	3	61	
		T2M	29,306	3	0	3	82	31,177	3	0	3	87	31,289	3	0	3	88	21,824	3	0	3	61	
		T3S	29,243	3	0	3	82	31,109	3	0	3	88	31,221	3	0	3	87	21,776	3	0	3	60	
		T3M	29,299	3	0	4	82	31,170	3	0	4	87	31,282	3	0	4	88	21,819	3	0	3	61	
		T4M	28,356	3	0	4	79	31,104	3	0	4	86	31,216	3	0	4	87	21,773	3	0	3	60	
		TF1M	29,777	3	0	4	83	31,678	3	0	4	88	31,792	3	0	4	89	22,175	3	0	3	62	
		TSVS	30,924	5	0	1	87	32,898	5	0	1	93	33,017	5	0	1	92	23,029	4	0	1	64	
		T5S	30,908	4	0	2	87	32,880	4	0	2	91	32,999	4	0	2	92	23,016	4	0	1	64	
		T5M	30,760	5	0	3	86	32,723	5	0	3	92	32,841	5	0	3	92	22,906	4	0	2	64	
T5W	30,374	5	0	3	85	32,313	5	0	3	91	32,429	5	0	3	91	22,619	4	0	2	63			



Performance Data

L90 and R90 Rotated Optics

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)					
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	
				90C (90 LEDs)																				
530 mA	150 W	T1S	15,409	3	0	3	103	16,392	3	0	3	109	16,451	3	0	3	110	11,475	3	0	3	76		
		T2S	15,373	3	0	3	102	16,354	3	0	3	109	16,413	3	0	3	109	11,448	3	0	3	76		
		T2M	15,399	4	0	4	103	16,381	4	0	4	109	16,440	4	0	4	110	11,467	3	0	3	76		
		T3S	15,365	4	0	4	102	16,346	4	0	4	109	16,405	4	0	4	109	11,442	3	0	3	76		
		T3M	15,395	4	0	4	103	16,378	4	0	4	109	16,437	4	0	4	110	11,464	4	0	4	76		
		T4M	15,363	4	0	4	102	16,343	4	0	4	109	16,402	4	0	4	109	11,440	4	0	4	76		
		TFTM	15,646	4	0	4	104	16,645	4	0	4	111	16,705	4	0	4	111	11,651	4	0	4	78		
		TSVS	16,502	4	0	1	110	17,555	4	0	1	117	17,618	4	0	1	117	12,289	3	0	1	82		
		TSS	16,085	4	0	1	107	17,112	4	0	1	114	17,174	4	0	1	114	11,978	3	0	1	80		
		TSM	16,519	4	0	2	110	17,573	4	0	2	117	17,636	4	0	2	118	12,301	4	0	2	82		
		T5W	16,260	4	0	2	108	17,298	5	0	3	115	17,360	5	0	3	116	12,109	4	0	2	81		
		700 mA	206 W	T1S	19,320	4	0	4	94	20,553	4	0	4	100	20,627	4	0	4	100	14,387	3	0	3	70
				T2S	19,275	4	0	4	94	20,506	4	0	4	100	20,579	4	0	4	100	14,354	3	0	3	70
				T2M	19,307	4	0	4	94	20,540	4	0	4	100	20,614	4	0	4	100	14,378	4	0	4	70
				T3S	19,265	4	0	4	94	20,495	4	0	4	99	20,569	4	0	4	100	14,347	4	0	4	70
T3M	19,303			4	0	4	94	20,535	4	0	4	100	20,609	4	0	4	100	14,374	4	0	4	70		
T4M	19,262			4	0	4	94	20,492	5	0	5	99	20,566	5	0	5	100	14,344	4	0	4	70		
TFTM	19,618			4	0	4	95	20,870	4	0	4	101	20,945	4	0	4	102	14,609	4	0	4	71		
TSVS	20,691			4	0	1	100	22,011	4	0	1	107	22,090	4	0	1	107	15,408	4	0	1	75		
TSS	20,168			4	0	1	98	21,533	4	0	1	105	21,533	4	0	1	105	15,019	4	0	1	73		
TSM	20,712			4	0	2	101	22,034	5	0	3	107	22,113	5	0	3	107	15,424	4	0	2	75		
T5W	20,388			5	0	3	99	21,689	5	0	3	105	21,767	5	0	3	106	15,182	4	0	2	74		
1000 mA	320 W			T1S	25,901	4	0	4	81	27,554	4	0	4	86	27,653	4	0	4	86	19,288	4	0	4	60
				T2S	25,840	4	0	4	81	27,490	4	0	4	86	27,588	4	0	4	86	19,243	4	0	4	60
				T2M	25,883	4	0	4	81	27,536	5	0	5	86	27,635	5	0	5	86	19,275	4	0	4	60
				T3S	25,827	4	0	4	81	27,476	4	0	4	86	27,574	4	0	4	86	19,233	4	0	4	60
		T3M	25,877	5	0	5	81	27,529	5	0	5	86	27,628	5	0	5	86	19,270	4	0	4	60		
		T4M	25,823	5	0	5	81	27,471	5	0	5	86	27,570	5	0	5	86	19,230	4	0	4	60		
		TFTM	26,299	5	0	5	82	27,978	5	0	5	87	28,079	5	0	5	88	19,585	4	0	4	61		
		TSVS	27,738	5	0	1	87	29,508	5	0	1	92	29,614	5	0	1	93	20,656	4	0	1	65		
		TSS	27,038	5	0	2	84	28,764	5	0	2	90	28,867	5	0	2	90	20,135	4	0	1	63		
		TSM	27,766	5	0	3	87	29,538	5	0	3	92	29,645	5	0	3	93	20,677	4	0	2	65		
		T5W	27,332	5	0	4	85	29,076	5	0	4	91	29,181	5	0	4	91	20,354	5	0	3	64		

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.04
10°C / 50°F	1.02
20°C / 68°F	1.01
25°C / 77°F	1.00
30°C / 86°F	0.99
40°C / 104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	DSX2 LED 80C 1000			
	1.0	0.95	0.92	0.86
	DSX2 LED 100C 700			
	1.0	0.98	0.97	0.96
DSX2 LED 100C 1000				
1.0	0.94	0.90	0.84	

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
80	530	137W	1.15	0.66	0.53	0.51	0.39	0.28
	700	188W	1.58	0.92	0.81	0.73	0.55	0.41
	1000	282W	2.37	1.35	1.18	1.04	0.83	0.61
100	530	175W	1.47	0.86	0.76	0.68	0.51	0.38
	700	232W	1.95	1.13	0.99	0.88	0.67	0.49
	1000	360W	3.03	1.72	1.49	1.3	1.05	0.77

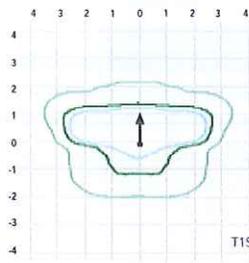


Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 2 homepage](#).

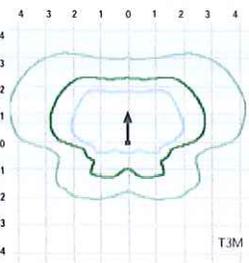
Isofootcandle plots for the DSX2 LED 80C 1000 40K. Distances are in units of mounting height (30').

LEGEND



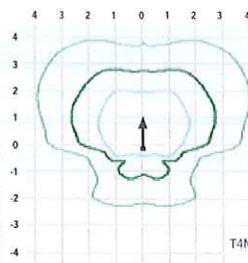
Test No. LT122428P1 tested in accordance with IESNA LM-79-08

T1S



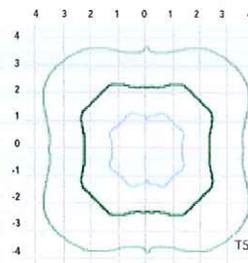
Test No. LT122434P1 tested in accordance with IESNA LM-79-08

T3M



Test No. LT122430P1 tested in accordance with IESNA LM-79-08

T4M



Test No. LT122430P1 tested in accordance with IESNA LM-79-08

T5W

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Area Size 2 reflects the embedded high performance LED technology. It is ideal for applications like car dealerships and large parking lots adjacent to malls, transit stations, grocery stores, home centers, and other big-box retailers.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (2.0 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K, or 5000 K (70 CRI) configurations. The D-Series Size 2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of 80, 90 or 100 high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L96/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 2 to withstand up to a 2.0 G vibration load rating per ANSI C136.31. The D-Series Size 2 utilizes the AERIS™ series pole drilling pattern (Template #8). NEMA photocontrol receptacle is available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D670,857 S. International patent pending.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



FEATURES & SPECIFICATIONS

INTENDED USE — Square straight aluminum general purpose pole for up to 35 foot mounting heights.

CONSTRUCTION — Shaft: Made from extruded 6063-T6 or 6061-T6 aluminum alloy, square tube is uniform in cross-section down length of shaft with no taper.

Hand hole: Reinforced rectangular hand hole is located 18" above base, 4" poles have 2" x 4" hand hole; 5" and 6" poles have 2.5" x 4" hand hole). Hand-hole cover plate made from aluminum alloy.

Hardware: Stainless steel

Top cap: Removable top cap provided with drill-mount poles.

Bolt covers: Nut cover discs provided. Optional cast aluminum base cover available.

FINISH — Must specify finish.

GROUNDING — Provision located inside hand hole rim. Grounding hardware is not included (provided by others).

ANCHOR BOLTS — Fabricated from carbon steel bar with minimum-yield strength of 55,000 psi. Upper portion of anchor bolt is galvanized per ASTM A-153. Each anchor bolt is furnished with two hex nuts and two flat washers.

Catalog Number
Notes
Type A,B,C -POLE



Anchor Base Poles

SSA

SQUARE STRAIGHT ALUMINUM

ORDERING INFORMATION Lead times will vary depending on options selected. Consult with your sales representative.

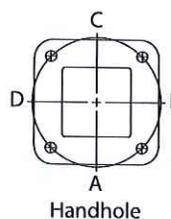
Example: SSA 20 4C DM19 BA

SSA Series	Nominal fixture mounting height	Nominal shaft base size/wall thickness	Mounting ¹	Options	Finish ¹⁰
SSA	8 – 35 feet (See back page.) 20	(See back page.) 4G	Tenon mounting PT Open top T20 2-3/8" O.D. (2" NPS) T25 2-7/8" O.D. (2-1/2" NPS) T30 3-1/2" O.D. (3" NPS) ² T35 4" O.D. (3-1/2" NPS) ² Drill mounting³ DM19 1 at 90° DM28 2 at 180° DM28PL 2 at 180° with one side plugged DM29 2 at 90° DM39 3 at 90° DM49 4 at 90° CSX/DSX/AERIS™/OMERO™ Drill mounting³ DM19AS 1 at 90° DM28AS 2 at 180° DM29AS 2 at 90° DM39AS 3 at 90° DM49AS 4 at 90° AERIS™ Suspend drill mounting^{3,4} DMxxAST_ OMERO™ Suspend drill mounting^{3,4} DMxxMRT_	Shipped installed L/AB Less anchor bolts FBC Full base cover VD Vibration damper TP Tamper proof H1-18Axx Horizontal arm bracket (1 fixture) ^{5,6} FDLxx Festoon outlet less electrical ⁵ CPL12xx 1/2" coupling ⁵ CPL34xx 3/4" coupling ⁵ CPL1xx 1" coupling ⁵ NPL12xx 1/2" threaded nipple ⁵ NPL34xx 3/4" threaded nipple ⁵ NPL1xx 1" threaded nipple ⁵ EHHxx Extra handhole ^{5,7} MAEX Match existing ⁸ USPOM United States point of manufacture ⁹	Standard colors DDB Dark bronze DWH White DBL Black DMB Medium bronze DNA Natural aluminum BA Brushed aluminum Classic colors DSS Sandstone DGC Charcoal gray DTG Tennis green DBR Bright red DSB Steel blue Class 1 architectural anodized ABL Black ADB Dark bronze ANA Natural Architectural colors (powder finish)¹⁰

NOTES

- When ordering tenon mounting and drill mounting for the same pole, follow this example: DM28/T20. The combination includes a required extra handhole.
- 3-1/2" and 4" tenons available on 5" and 6" shafts only.
- The drilling template to be used for a particular luminaire depends on the luminaire that is used. Refer to the Technical Data Section of the Outdoor Binder for Drilling Templates.
- Insert "1" or "2" to designate fixture size; e.g. DM19AST2.
- Specify location and orientation when ordering option. For 1st "x": Specify the height in feet above base of pole. Example: 5ft = 5 and 20ft = 20
For 2nd "x": Specify orientation from handhole (A,B,C,D) Refer to the Handhole Orientation diagram on this page.
- Horizontal arm is 18" x 2-3/8" O.D. tenon standard.
- Combination of tenon-top and drill mount includes extra handhole.
- Must add original order number
- Use when mill certifications are required.
- Finish must be specified. Additional colors available; see www.lithonia.com/archcolors or Architectural Colors brochure (Form No. 794.3).

HANDHOLE ORIENTATION



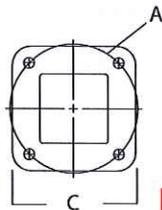
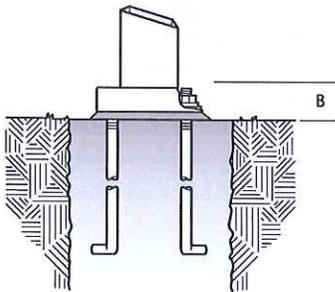
IMPORTANT INSTALLATION NOTES:

- Do not erect poles without having fixtures installed.
- Factory-supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use factory template.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Lithonia Lighting is not responsible for the foundation design.

SSA Square Straight Aluminum Poles

TECHNICAL INFORMATION

Catalog Number	Nominal mount ht. (ft)	Pole Shaft Size (in x ft)	Wall Thick (in)	EPA (ft ²) with 1.3 gust				Bolt Circle (in)	Bolt Size (in. x in. x in.)	Approximate ship (lbs.)
				80 mph	90 mph	100 mph	Max.			
SSA 8 4C	8	4.0 x 8.0	0.125	16.5	12.6	9.9	300	8.5-9.625	3/4 x 18 x 3	32
SSA 10 4C	10	4.0 x 10.0	0.125	11.5	8.6	6.5	230	8.5-9.625	3/4 x 18 x 3	37
SSA 12 4C	12	4.0 x 12.0	0.125	12.4	9.2	6.9	160	8.5-9.625	3/4 x 18 x 3	40
SSA 14 4C	14	4.0 x 14.0	0.125	9.3	6.7	4.8	120	8.5-9.625	3/4 x 18 x 3	50
SSA 15 4C	15	4.0 x 15.0	0.125	8	5.6	3.9	100	8.5-9.625	3/4 x 18 x 3	52
SSA 16 4C	16	4.0 x 16.0	0.125	6.9	4.7	3.1	90	8.5-9.625	3/4 x 18 x 3	54
SSA 16 4G	16	4.0 x 16.0	0.188	11.8	8.5	6.2	130	8.5-9.625	3/4 x 30 x 3	74
SSA 16 5G	16	5.0 x 16.0	0.188	15	11.1	7.5	280	10.5-11.5	3/4 x 30 x 3	83
SSA 18 4C	18	4.0 x 18.0	0.125	4.9	3	1.7	70	8.5-9.625	3/4 x 18 x 3	57
SSA 18 4G	18	4.0 x 18.0	0.188	9.2	6.4	4.4	100	8.5-9.625	3/4 x 30 x 3	80
SSA 18 5G	18	5.0 x 18.0	0.188	16.8	12.2	8.9	230	10.5-11.5	3/4 x 30 x 3	91
SSA 20 4C	20	4.0 x 20.0	0.125	3.3	1.7	0.5	40	8.5-9.625	3/4 x 18 x 3	62
SSA 20 4G	20	4.0 x 20.0	0.188	7	4.6	2.9	80	8.5-9.625	3/4 x 30 x 3	85
SSA 20 5G	20	5.0 x 20.0	0.188	13.6	9.5	6.6	180	10.5-11.5	3/4 x 30 x 3	107
SSA 20 6G	20	6.0 x 20.0	0.188	22	15.9	11.6	230	12-13	1 x 36 x 4	155
SSA 20 6J	20	6.0 x 20.0	0.25	30.4	22.6	17	300	12-13	1 x 36 x 4	202
SSA 25 5G	25	5.0 x 25.0	0.188	7.2	4.2	2	110	10.5-11.5	3/4 x 30 x 3	130
SSA 25 6G	25	6.0 x 25.0	0.188	13.2	8.6	5.4	180	12-13	1 x 36 x 4	180
SSA 25 6J	25	6.0 x 25.0	0.25	19.7	13.8	9.5	250	12-13	1 x 36 x 4	224
SSA 30 6G	30	6.0 x 30.0	0.188	7	3.4	0.8	130	12-13	1 x 36 x 4	210
SSA 30 6J	30	6.0 x 30.0	0.25	12.2	7.5	4.1	170	12-13	1 x 36 x 4	258
SSA 32 6J	32	6.0 x 32.0	0.25	9.7	5.4	2.3	160	12-13	1 x 36 x 4	272
SSA 35 6J	35	6.0 x 35.0	0.25	6.4	2.6	--	200	12-13	1 x 36 x 4	294
SSA 35 7J	35	6.75 x 35.0	0.25	7.6	3.1	--	150	14.625	1 x 36 x 4	290



POLE DATA					
Shaft base size	Bolt circle A	Bolt projection B	Base square C	Template description	Anchor bolt description
4"C	8.5" - 9.625"	3.125"	9.938"	ABTEMPLATE PJ50045	AB18-0
4"G	8.5" - 9.625"	3.125"	9.938"	ABTEMPLATE PJ50045	AB30-0
5"	10.5" - 11.5"	3.25"	11.563"	ABTEMPLATE PJ50046	AB30-0
6"	12" - 13"	4"	12.25"	ABTEMPLATE PJ50044	AB36-0
7"	14.625"	4.125"	15"	ABTEMPLATE PJ50130	AB36-0

IMPORTANT:

• These specifications are intended for general purposes only. Lithonia reserves the right to change material or design, without prior notice, in a continuing effort to upgrade its products.



POLE-SSA



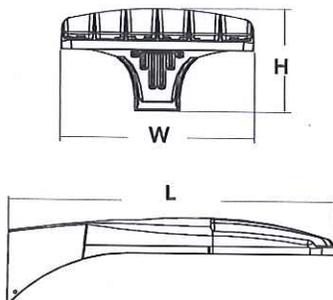
D-Series Size 0 LED Area Luminaire



d^{series}

Specifications

EPA:	0.8 ft ² (.07 m ²)
Length:	26" (66.0 cm)
Width:	13" (33.0 cm)
Height:	7" (17.8 cm)
Weight (max):	16 lbs (7.25 kg)



Catalog Number	
Notes	
Type	B

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED 40C 1000 40K T3M MVOLT SPA DDBXD

DSX0 LED

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting
DSX0 LED	Forward optics	530 530 mA	30K 3000 K (80 CRI min.)	T1S Type I short	MVOLT ⁴ 120 ⁴ 208 ⁴ 240 ⁴ 277 ⁴ 347 ⁵ 480 ⁵	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor ⁶ RPUMBA Round pole universal mounting adaptor ⁶ Shipped separately⁷ KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish)
	20C 20 LEDs (one engine)	700 700 mA	40K 4000 K (70 CRI min.)	T2S Type II short		
	40C 40 LEDs (two engines)	1000 1000 mA (1 A) ²	50K 5000 K (70 CRI)	T2M Type II medium		
	Rotated optics¹		AMBPC Amber phosphor converted ³	T3S Type III short		
	30C 30 LEDs (one engine)			T3M Type III medium		
				T4M Type IV medium		
				T5M Type V medium		
				T5W Type V wide		
				T5VS Type V very short		
				T5S Type V short		
				TFTM Forward throw medium		

Control options	Other options	Finish (required)
Shipped installed	Shipped installed	DDBXD Dark bronze
PER NEMA twist-lock receptacle only (no controls) ⁸	HS House-side shield ¹⁵	DBLXD Black
PER5 Five-wire receptacle only (no controls) ^{8,9}	SF Single fuse (120, 277, 347V) ¹⁷	DNAXD Natural aluminum
PER7 Seven-wire receptacle only (no controls) ^{8,9}	DF Double fuse (208, 240, 480V) ¹⁷	DWHXD White
DMG 0-10V dimming driver (no controls) ¹⁰	L90 Left rotated optics ¹	DDBTXD Textured dark bronze
DCR Dimmable and controllable via ROAM [®] (no controls) ¹¹	R90 Right rotated optics ¹	DBLBXD Textured black
PIR Motion sensor, 8-15' mounting height ¹²	DDL Diffused drop lens ¹⁶	DNATXD Textured natural aluminum
PIRH Motion sensor, 15-30' mounting height ¹²		DWHGXD Textured white
BL30 Bi-level switched dimming, 30% ^{13,14}		
BL50 Bi-level switched dimming, 50% ^{13,14}		
PNMTDD3 Part night, dim till dawn ¹⁵		
PNMT5D3 Part night, dim 5 hrs ¹⁵		
PNMT6D3 Part night, dim 6 hrs ¹⁵		
PNMT7D3 Part night, dim 7 hrs ¹⁵		

Controls & Shields

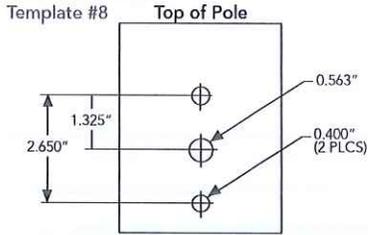
Accessories Ordered and shipped separately.	DLL127F 1.5 JU Photocell - SSL twist-lock (120-277V) ¹⁸
	DLL347F 1.5 CUL JU Photocell - SSL twist-lock (347V) ¹⁸
	DLL480F 1.5 CUL JU Photocell - SSL twist-lock (480V) ¹⁸
	SCU Shorting cap ¹⁴
	DSX0HS 20C U House-side shield for 20 LED unit ¹⁴
	DSX0HS 30C U House-side shield for 30 LED unit ¹⁴
	DSX0HS 40C U House-side shield for 40 LED unit ¹⁴
	DSX0DDL U Diffused drop lens (polycarbonate) ¹⁶
	PUMBA DDBXD U* Square and round pole universal mounting bracket adaptor (specify finish)
	KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁷

NOTES

- 30 LEDs (30C option) and rotated options (L90 or R90) only available together.
- 1000mA not available with AMBPC.
- AMBPC only available with 530mA or 700mA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120V, 208V, 240V or 277V options only when ordering with fusing (SF, DF options).
- Not available with single board, 530mA product (20C 530 or 30C 530). Not available with BL30, BL50 or PNMT options.
- Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories.
- If ROAM[®] node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR.
- DMG option for 347V or 480V requires 1000mA.
- Specifies a ROAM[®] enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM[®] deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net. N/A with PIR, PIRH, PER5, PER7, BL30, BL50 or PNMT options.
- PIR specifies the SensorSwitch SBGR-10-ODP control; PIRH specifies the SensorSwitch SBGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with PER5 or PER7.
- Requires an additional switched circuit.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, PER5, PER7 or PNMT options.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, PER5, PER7, BL30 or BL50.
- Also available as a separate accessory; see Accessories information.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.



Drilling



DSX0 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90° *
DM28AS	2 at 180°	DM39AS	3 at 90° *
DM49AS	4 at 90° *	DM32AS	3 at 120° **

Example: SSA 20 4C DM19AS DOBXD

Visit Lithonia Lighting's [POLES CENTRAL](#) to see our wide selection of poles, accessories and educational tools.

*Round pole top must be 3.25" O.D. minimum.
**For round pole mounting (RPM) only.

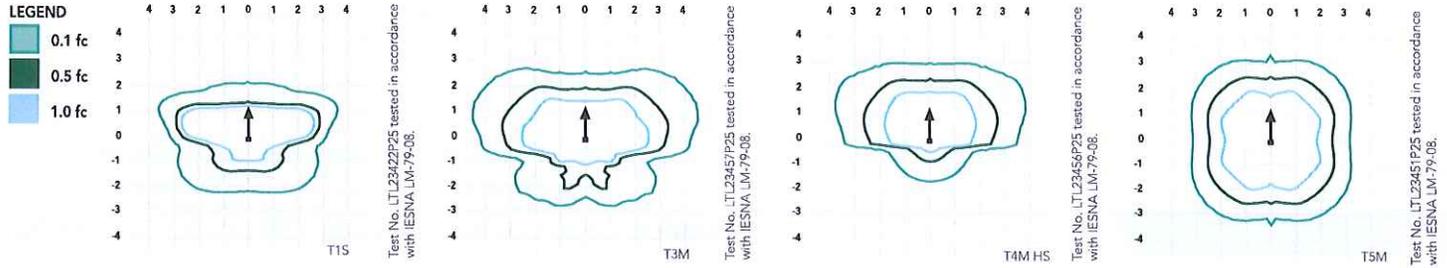
Tenon Mounting Slipfitter**

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area homepage](#).

Isofootcandle plots for the DSX0 LED 40C 1000 40K. Distances are in units of mounting height (20').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.02
10°C / 50°F	1.01
20°C / 68°F	1.00
25°C / 77°F	1.00
30°C / 86°F	1.00
40°C / 104°F	0.99

Electrical Load

Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
20C	530	35	0.34	0.22	0.21	0.20	--	--
	700	45	0.47	0.28	0.24	0.22	0.18	0.14
	1000	72	0.76	0.45	0.39	0.36	0.36	0.26
30C	530	52	0.51	0.31	0.28	0.25	--	--
	700	70	0.72	0.43	0.37	0.34	0.25	0.19
	1000	104	1.11	0.64	0.56	0.49	0.47	0.34
40C	530	68	0.71	0.41	0.36	0.33	0.25	0.19
	700	91	0.94	0.55	0.48	0.42	0.33	0.24
	1000	138	1.45	0.84	0.73	0.64	0.69	0.50

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	DSX0 LED 20C 1000			
	1	0.97	0.94	0.90
	DSX0 LED 40C 1000			
	1	0.94	0.90	0.84
	DSX0 LED 40C 700			
	1	0.99	0.98	0.96

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																							
LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
20C (20 LEDs)	530 mA	35 W	T1S	3,174	1	0	1	91	3,971	1	0	1	113	4,001	1	0	1	114	2,541	1	0	1	73
			T2S	3,234	1	0	1	92	4,045	1	0	1	116	4,075	1	0	1	116	2,589	1	0	1	74
			T2M	3,171	1	0	1	91	3,967	1	0	1	113	3,997	1	0	1	114	2,539	1	0	1	73
			T3S	3,195	1	0	1	91	3,997	1	0	1	114	4,027	1	0	1	115	2,558	1	0	1	73
			T3M	3,226	1	0	1	92	4,036	1	0	1	115	4,066	1	0	1	116	2,583	1	0	1	74
			T4M	3,210	1	0	1	92	4,015	1	0	1	115	4,045	1	0	1	116	2,570	1	0	1	73
			TFIM	3,173	1	0	1	91	3,969	1	0	2	113	3,999	1	0	2	114	2,540	1	0	1	73
			TSVS	3,310	2	0	0	95	4,140	2	0	0	118	4,172	2	0	0	119	2,650	1	0	0	76
			TSS	3,360	2	0	2	96	4,203	2	0	0	120	4,235	2	0	0	121	2,690	1	0	0	77
			TSM	3,320	2	0	1	95	4,153	3	0	1	119	4,184	3	0	1	120	2,658	2	0	0	76
	TSW	3,327	3	0	1	95	4,161	3	0	1	119	4,193	3	0	1	120	2,663	2	0	1	76		
	700 mA	45 W	T1S	3,927	1	0	1	87	4,913	1	0	1	109	4,950	1	0	1	110	3,144	1	0	1	70
			T2S	4,000	1	0	1	89	5,004	1	0	1	111	5,042	1	0	1	112	3,203	1	0	1	71
			T2M	3,924	1	0	1	87	4,908	1	0	1	109	4,945	1	0	1	110	3,141	1	0	1	70
			T3S	3,953	1	0	1	88	4,945	1	0	1	110	4,982	1	0	1	111	3,165	1	0	1	70
			T3M	3,991	1	0	1	89	4,994	1	0	2	111	5,031	1	0	2	112	3,196	1	0	1	71
			T4M	3,971	1	0	1	88	4,967	1	0	2	110	5,005	1	0	2	111	3,179	1	0	1	71
			TFIM	3,925	1	0	2	87	4,910	1	0	2	109	4,947	1	0	2	110	3,143	1	0	1	70
			TSVS	4,095	2	0	0	91	5,122	2	0	0	114	5,161	2	0	0	115	3,278	2	0	0	73
			TSS	4,157	2	0	0	92	5,200	2	0	0	116	5,239	2	0	0	116	3,328	2	0	0	74
TSM			4,107	3	0	1	91	5,138	3	0	1	114	5,177	3	0	1	115	3,288	2	0	1	73	
TSW	4,116	3	0	1	91	5,148	3	0	1	114	5,187	3	0	1	115	3,295	2	0	1	73			
1000 mA	72 W	T1S	5,387	1	0	1	75	6,739	2	0	2	94	6,790	2	0	2	94						
		T2S	5,488	1	0	1	76	6,865	2	0	2	95	6,917	2	0	2	96						
		T2M	5,382	1	0	2	75	6,733	2	0	2	94	6,784	2	0	2	94						
		T3S	5,423	1	0	1	75	6,784	2	0	2	94	6,835	2	0	2	95						
		T3M	5,475	1	0	2	76	6,850	2	0	2	95	6,901	2	0	2	96						
		T4M	5,447	1	0	2	76	6,814	2	0	2	95	6,866	2	0	2	95						
		TFIM	5,385	1	0	2	75	6,736	1	0	2	94	6,787	1	0	2	94						
		TSVS	5,617	2	0	0	78	7,027	3	0	0	98	7,080	3	0	0	98						
		TSS	5,702	2	0	0	79	7,133	2	0	0	99	7,187	2	0	0	100						
		TSM	5,634	3	0	1	78	7,048	3	0	1	98	7,101	3	0	1	99						
TSW	5,646	3	0	1	78	7,063	3	0	2	98	7,116	3	0	2	99								
40C (40 LEDs)	530 mA	68 W	T1S	6,093	2	0	2	90	7,622	2	0	2	112	7,679	2	0	2	113	4,878	1	0	1	72
			T2S	6,207	2	0	2	91	7,764	2	0	2	114	7,823	2	0	2	115	4,969	1	0	1	73
			T2M	6,087	2	0	2	90	7,615	2	0	2	112	7,672	2	0	2	113	4,874	1	0	1	72
			T3S	6,133	1	0	2	90	7,672	2	0	2	113	7,730	2	0	2	114	4,910	1	0	1	72
			T3M	6,193	2	0	2	91	7,747	2	0	2	114	7,805	2	0	2	115	4,958	1	0	2	73
			T4M	6,161	1	0	2	91	7,707	2	0	2	113	7,765	2	0	2	114	4,932	1	0	2	73
			TFIM	6,090	1	0	2	90	7,618	2	0	2	112	7,676	2	0	2	113	4,876	1	0	2	72
			TSVS	6,353	2	0	0	93	7,947	3	0	0	117	8,007	3	0	0	118	5,086	2	0	0	75
			TSS	6,449	2	0	0	95	8,068	3	0	1	119	8,128	3	0	1	120	5,163	2	0	0	76
			TSM	6,372	3	0	1	94	7,971	3	0	2	117	8,031	3	0	2	118	5,102	3	0	1	75
	TSW	6,385	3	0	2	94	7,988	3	0	2	117	8,048	3	0	2	118	5,112	3	0	1	75		
	700 mA	91 W	T1S	7,752	2	0	2	85	9,697	2	0	2	107	9,770	2	0	2	107	6,206	2	0	2	68
			T2S	7,897	2	0	2	87	9,878	2	0	2	109	9,953	2	0	2	109	6,322	2	0	2	69
			T2M	7,745	2	0	2	85	9,688	2	0	2	106	9,761	2	0	2	107	6,201	2	0	2	68
			T3S	7,803	2	0	2	86	9,761	2	0	2	107	9,834	2	0	2	108	6,247	1	0	2	69
			T3M	7,879	2	0	2	87	9,856	2	0	2	108	9,930	2	0	2	109	6,308	2	0	2	69
			T4M	7,838	2	0	2	86	9,805	2	0	2	108	9,879	2	0	2	109	6,275	1	0	2	69
			TFIM	7,748	2	0	2	85	9,693	2	0	3	107	9,765	2	0	3	107	6,203	1	0	2	68
			TSVS	8,083	3	0	0	89	10,111	3	0	1	111	10,187	3	0	1	112	6,569	2	0	0	72
			TSS	8,205	3	0	1	90	10,264	3	0	1	113	10,341	3	0	1	114	6,569	2	0	0	72
TSM			8,107	3	0	2	89	10,142	3	0	2	111	10,218	3	0	2	112	6,491	3	0	1	71	
TSW	8,124	3	0	2	89	10,163	4	0	2	112	10,239	4	0	2	113	6,504	3	0	2	71			
1000 mA	138 W	T1S	10,435	2	0	2	76	13,054	3	0	3	95	13,152	3	0	3	95						
		T2S	10,630	2	0	2	77	13,297	3	0	3	96	13,398	3	0	3	97						
		T2M	10,426	2	0	2	76	13,042	3	0	3	95	13,140	3	0	3	95						
		T3S	10,503	2	0	2	76	13,139	2	0	2	95	13,238	2	0	2	96						
		T3M	10,606	2	0	2	77	13,267	3	0	3	96	13,367	3	0	3	97						
		T4M	10,551	2	0	2	76	13,199	3	0	3	96	13,298	3	0	3	96						
		TFIM	10,430	2	0	3	76	13,047	2	0	3	95	13,146	2	0	3	95						
		TSVS	10,881	3	0	1	79	13,611	3	0	1	99	13,714	4	0	1	99						
		TSS	11,045	3	0	1	80	13,817	3	0	1	100	13,921	3	0	1	101						
		TSM	10,914	4	0	2	79	13,652	4	0	2	99	13,755	4	0	2	100						
TSW	10,936	4	0	2	79	13,680	4	0	2	99	13,783	4	0	2	100								



Performance Data

L90 and R90 Rotated Optics

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
				30C (30 LEDs)	530 mA	52 W	T1S	4,797	2	0	2	92	6,001	2	0	2	115	6,046	2	0	2	116	3,841
T2S	4,887	2	0				2	94	6,113	2	0	2	118	6,159	3	0	3	118	3,912	2	0	2	75
T2M	4,793	2	0				2	92	5,996	3	0	3	115	6,041	3	0	3	116	3,837	2	0	2	74
T3S	4,829	2	0				2	93	6,041	3	0	3	116	6,086	3	0	3	117	3,866	2	0	2	74
T3M	4,876	3	0				3	94	6,099	3	0	3	117	6,145	3	0	3	118	3,904	2	0	2	75
T4M	4,851	3	0				3	93	6,068	3	0	3	117	6,114	3	0	3	118	3,884	2	0	2	75
TFTM	4,795	3	0				3	92	5,998	3	0	3	115	6,043	3	0	3	116	3,839	2	0	2	74
TSVS	5,002	2	0				0	96	6,258	2	0	0	120	6,305	2	0	0	121	4,005	2	0	0	77
TSS	5,078	2	0				0	98	6,352	2	0	0	122	6,400	2	0	0	123	4,065	2	0	0	78
TSM	5,017	3	0				1	96	6,276	3	0	1	122	6,324	3	0	1	122	4,017	2	0	1	77
TSW	5,028	3	0				1	97	6,289	3	0	1	121	6,337	3	0	1	122	4,025	3	0	1	77
T1S	5,975	2	0				2	85	7,474	3	0	3	107	7,530	3	0	3	108	4,783	2	0	2	68
T2S	6,086	2	0		2	87	7,614	3	0	3	109	7,671	3	0	3	110	4,873	2	0	2	70		
T2M	5,969	3	0		3	85	7,467	3	0	3	107	7,524	3	0	3	107	4,779	2	0	2	68		
T3S	6,014	3	0		3	86	7,523	3	0	3	107	7,580	3	0	3	108	4,815	2	0	2	69		
T3M	6,072	3	0		3	87	7,596	3	0	3	109	7,654	3	0	3	109	4,862	3	0	3	69		
T4M	6,041	3	0		3	86	7,557	3	0	3	108	7,614	3	0	3	109	4,837	3	0	3	69		
TFTM	5,972	3	0		3	85	7,471	3	0	3	107	7,527	3	0	3	108	4,781	3	0	3	68		
TSVS	6,230	2	0		0	89	7,793	3	0	0	111	7,852	3	0	0	112	4,988	2	0	0	71		
TSS	6,324	2	0		0	90	7,911	3	0	1	113	7,971	3	0	1	114	5,063	2	0	0	72		
TSM	6,249	3	0		1	89	7,817	3	0	2	112	7,876	3	0	2	113	5,003	3	0	1	71		
TSM	6,262	3	0		2	89	7,833	3	0	2	112	7,892	3	0	2	113	5,013	3	0	1	72		
T1S	7,956	3	0		3	76	9,952	3	0	3	96	10,027	3	0	3	96							
T2S	8,104	3	0		3	78	10,138	3	0	3	97	10,214	3	0	3	98							
T2M	7,949	3	0		3	76	9,943	3	0	3	96	10,018	3	0	3	96							
T3S	8,008	3	0		3	77	10,018	3	0	3	96	10,093	3	0	3	97							
T3M	8,086	3	0		3	78	10,115	4	0	4	97	10,191	4	0	4	98							
T4M	8,044	3	0		3	77	10,063	3	0	3	97	10,139	3	0	3	97							
TFTM	7,952	3	0		3	76	9,948	3	0	3	96	10,022	4	0	4	96							
TSVS	8,296	3	0		0	80	10,377	3	0	1	100	10,455	3	0	1	101							
TSS	8,421	3	0		1	81	10,534	3	0	1	101	10,613	3	0	1	102							
TSM	8,321	3	0		2	80	10,409	4	0	2	100	10,487	4	0	2	101							
TSM	8,338	4	0		2	80	10,430	4	0	2	100	10,509	4	0	2	101							

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (0.8 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 4000 K (70 minimum CRI) or optional 3000 K (80 minimum CRI) or 5000 K (70 CRI) configurations. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L96/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of

100,000 hours with <1% failure rate. Easily serviceable 10kV or 6kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 0 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 0 utilizes the AERIS™ series pole drilling pattern. Optional terminal block, tool-less entry, and NEMA photocontrol receptacle are also available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five-year limited warranty. Full warranty terms located at: www.acuitybrands.com/CustomResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





D-Series Size 2 LED Area Luminaire

d²series



Catalog Number

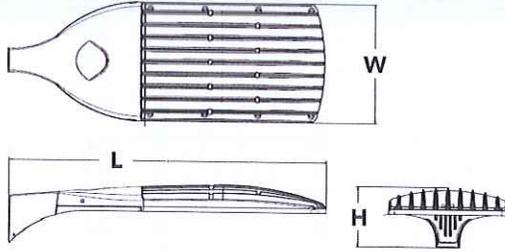
Notes

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Specifications

EPA:	2.0 ft ² (0.19 m ²)
Length:	40" (101.6 cm)
Width:	15" (38.1 cm)
Height:	7-1/4" (18.4 cm)
Weight (max):	36 lbs (16.3 kg)



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX2 LED 80C 1000 40K T4M MVOLT SPA DDBXD

DSX2 LED

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting
DSX2 LED	Forward optics 80C 80 LEDs (four engine)	530 530 mA	30K 3000 K	T1S Type I Short	TFTM Forward Throw Medium	MVOLT² 120 ² 208 ² 240 ² 277 ² 347 480 Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁴
		700 700 mA	40K 4000 K	T2S Type II Short	TSVS Type V Very Short	
	1000 1000 mA (1 A)	50K 5000 K	T2M Type II Medium	TSS Type V Short		
	100C 100 LEDs (four engines) Rotated optics ¹ 90C 90 LEDs	AMBPC Amber phosphor converted	T3S Type III Short	TSM Type V Medium		
				T3M Type III Medium	TSW Type V Wide	
				T4M Type IV Medium		

Control options

Shipped installed

PER	NEMA twist-lock receptacle only (no controls) ⁵
PER5	Five-wire receptacle only (no controls) ^{5,6}
PER7	Seven-wire receptacle only (no controls) ^{5,6}
DMG	0-10V dimming driver (no controls) ⁷
DCR	Dimmable and controllable via ROAM [®] (no controls) ⁸
DS	Dual switching ^{9,10}
PIRH	Motion sensor, 15-30' mounting height ¹¹

BL30	Bi-level switched dimming, 30% ^{10,12}
BL50	Bi-level switched dimming, 50% ^{10,12}
PNMTDD3	Part night, dim till dawn ¹²
PNMTSD3	Part night, dim 5 hrs ¹²
PNMT6D3	Part night, dim 6 hrs ¹²
PNMT7D3	Part night, dim 7 hrs ¹²

Other options

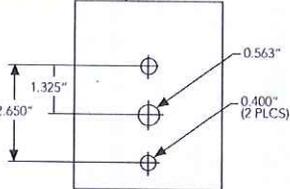
Shipped installed

HS	House-side shield ¹³
SF	Single fuse (120, 277, 347V) ²
DF	Double fuse (208, 240, 480V) ²
L90	Left rotated optics
R90	Right rotated optics

Finish (required)

DDBXD	Dark bronze
DBLXD	Black
DNAXD	Natural aluminum
DWHXD	White
DDBTXD	Textured dark bronze
DBLTXD	Textured black
DNATXD	Textured natural aluminum
DWHGXD	Textured white

Drilling



DSX2 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90° *
DM28AS	2 at 180°	DM39AS	3 at 90° *
DM49AS	4 at 90° *	DM32AS	3 at 120° **

Example: SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's POLES CENTRAL to see our wide selection of poles, accessories and educational tools.

*Round pole top must be 3.25" O.D. minimum.
**For round pole mounting (RPA) only.

Controls & Shields

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁴
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁴
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁴
SC U	Shorting cap ¹⁴
DSX2HS 80C U	House-side shield for 80 LED unit
DSX2HS 90C U	House-side shield for 90 LED unit
DSX2HS 100C U	House-side shield for 100 LED unit
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish)
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ⁴

For more control options, visit DTL and ROAM online.

Tenon Mounting Slipfitter **

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

NOTES

- Rotated optics option(L90, R90) required for 90C.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Available as a separate combination accessory: PUMBA (finish) U. Round pole must have 4" O.D. minimum; 1.5 G vibration load rating per ANCI C136.31.
- Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" O.D. mast arm (not included).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option.
- If ROAM[®] node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR.
- 347 or 480 voltage option with DMG requires 1000 mA.
- Specifies a ROAM[®] enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM[®] deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roomservices.net. Not available with PIRH, DS, BL30, BL50, PER5, PER7, or part night options (PNMTxxx).
- Provides 50/50 luminaire operation via two independent drivers on two separate circuits. Not available with 80C 530, 90C 530, PER, PER5, PER7, DCR, BL30, BL50, or part night options (PNMTxxx).
- Requires an additional switched line.
- Specifies the SensorSwitch SBGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with BL30, BL50 or DCR.
- Dimming driver standard. Not available with 347V, 480V, DCR, DS, or PIRH.
- Also available as a separate accessory; see Accessories information.
- Requires luminaire to be specified with PER, PER5 or PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)				40K (4000 K, 70 CRI)				50K (5000 K, 70 CRI)				AMBPC (Amber Phosphor Converted)							
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
80C (80 LEDs)	530 mA	137 W	T1S	14,438	3	0	3	108	15,360	3	0	3	115	15,415	3	0	3	115	10,752	2	0	2	78
			T2S	14,172	3	0	3	106	15,077	3	0	3	113	15,131	3	0	3	113	10,554	2	0	2	77
			T2M	14,196	3	0	3	106	15,102	3	0	3	113	15,156	3	0	3	114	10,571	2	0	2	77
			T3S	14,165	3	0	3	106	15,069	3	0	3	113	15,123	3	0	3	113	10,548	2	0	2	77
			T3M	14,193	3	0	4	106	15,099	3	0	4	113	15,153	3	0	4	114	10,569	2	0	2	77
			T4M	13,736	3	0	4	103	15,067	3	0	4	113	15,121	3	0	4	113	10,547	2	0	2	77
			FTM	14,424	3	0	4	108	15,345	3	0	4	115	15,400	3	0	4	115	10,741	1	0	2	78
			TSVS	14,980	5	0	1	112	15,936	5	0	1	119	15,993	5	0	1	120	11,155	3	0	0	81
			T5S	14,972	4	0	2	112	15,927	4	0	2	119	15,985	4	0	2	120	11,149	3	0	0	81
			T5M	14,900	5	0	3	112	15,851	5	0	3	119	15,908	5	0	3	119	11,096	3	0	2	81
			T5W	14,713	5	0	3	110	15,652	5	0	3	117	15,709	5	0	3	118	10,957	3	0	2	80
			T1S	17,944	3	0	3	98	19,089	3	0	3	104	19,158	3	0	3	105	13,362	2	0	2	71
	T2S	17,613	3	0	3	96	18,738	3	0	3	102	18,805	3	0	3	103	13,116	2	0	2	70		
	T2M	17,643	3	0	3	96	18,769	3	0	3	103	18,836	3	0	3	103	13,138	2	0	2	70		
	T3S	17,604	3	0	3	96	18,728	3	0	3	102	18,795	3	0	3	103	13,110	2	0	2	70		
	T3M	17,639	3	0	4	96	18,764	3	0	4	103	18,832	3	0	4	103	13,135	2	0	3	70		
	T4M	17,071	3	0	4	93	18,725	3	0	4	102	18,792	3	0	4	103	13,108	2	0	2	70		
	FTM	17,926	3	0	4	98	19,071	3	0	4	104	19,139	3	0	4	105	13,349	2	0	2	71		
	TSVS	18,617	5	0	1	102	19,805	5	0	1	108	19,876	5	0	1	109	13,864	3	0	1	74		
	T5S	18,607	4	0	2	102	19,794	4	0	2	108	19,866	4	0	2	109	13,856	3	0	1	74		
	T5M	18,518	5	0	3	101	19,700	5	0	3	108	19,771	5	0	3	108	13,790	3	0	2	73		
	T5W	18,286	5	0	3	100	19,453	5	0	3	106	19,523	5	0	3	107	13,617	4	0	2	72		
	T1S	24,339	3	0	3	85	25,892	3	0	3	91	25,985	3	0	3	91	18,125	2	0	2	64		
	T2S	23,891	3	0	3	84	25,416	3	0	3	89	25,507	3	0	3	90	17,791	3	0	3	63		
	T2M	23,931	3	0	3	84	25,458	3	0	4	89	25,550	3	0	4	90	17,821	3	0	3	63		
	T3S	23,879	3	0	3	84	25,403	3	0	3	89	25,494	3	0	3	90	17,782	2	0	2	63		
	T3M	23,925	3	0	4	84	25,452	3	0	4	89	25,544	3	0	4	90	17,817	3	0	3	63		
	T4M	23,155	3	0	4	81	25,399	3	0	4	89	25,490	3	0	4	90	17,779	2	0	3	63		
	FTM	24,315	3	0	4	85	25,867	3	0	4	91	25,960	3	0	4	91	18,107	2	0	3	64		
	TSVS	25,252	5	0	1	89	26,864	5	0	1	94	26,960	5	0	1	95	18,805	3	0	1	67		
	T5S	25,238	5	0	2	89	26,849	5	0	2	94	26,946	5	0	2	95	18,794	3	0	1	67		
	T5M	25,118	5	0	3	88	26,721	5	0	3	94	26,817	5	0	3	94	18,705	4	0	2	66		
	T5W	24,803	5	0	4	87	26,386	5	0	4	93	26,481	5	0	4	93	18,470	4	0	2	65		
	T1S	17,592	3	0	3	103	18,715	3	0	3	110	18,782	3	0	3	110	13,100	2	0	2	75		
	T2S	17,268	3	0	3	101	18,370	3	0	3	108	18,436	3	0	3	108	12,859	2	0	2	73		
	T2M	17,297	3	0	3	102	18,401	3	0	3	108	18,467	3	0	3	108	12,881	2	0	2	74		
	T3S	17,259	3	0	3	101	18,361	3	0	3	108	18,427	3	0	3	108	12,853	2	0	2	73		
	T3M	17,293	3	0	4	101	18,397	3	0	4	108	18,463	3	0	4	108	12,878	2	0	3	74		
	T4M	16,736	3	0	4	98	18,358	3	0	4	108	18,424	3	0	4	108	12,851	2	0	2	73		
	FTM	17,575	3	0	4	103	18,697	3	0	4	110	18,764	3	0	4	110	13,088	2	0	2	75		
	TSVS	18,252	5	0	1	107	19,417	5	0	1	114	19,487	5	0	1	114	13,592	3	0	1	78		
	T5S	18,242	4	0	2	107	19,406	4	0	2	114	19,476	4	0	2	114	13,584	3	0	1	78		
	T5M	18,155	5	0	3	107	19,314	5	0	3	113	19,383	5	0	3	114	13,520	3	0	2	77		
	T5W	17,927	5	0	3	105	19,071	5	0	3	112	19,140	5	0	3	112	13,350	4	0	2	76		
	T1S	22,078	3	0	3	97	23,487	3	0	3	103	23,571	3	0	3	104	16,441	2	0	2	71		
	T2S	21,671	3	0	3	95	23,055	3	0	3	101	23,137	3	0	3	102	16,138	2	0	2	70		
	T2M	21,707	3	0	3	96	23,093	3	0	3	102	23,176	3	0	3	102	16,165	2	0	3	70		
	T3S	21,660	3	0	3	95	23,043	3	0	3	101	23,126	3	0	3	102	16,130	2	0	2	70		
T3M	21,702	3	0	4	95	23,088	3	0	4	102	23,171	3	0	4	102	16,161	2	0	3	70			
T4M	21,004	3	0	4	92	23,039	3	0	4	101	23,122	3	0	4	102	16,127	2	0	3	70			
FTM	22,056	3	0	4	97	23,464	3	0	4	103	23,549	3	0	4	104	16,425	2	0	2	71			
TSVS	22,906	5	0	1	101	24,368	5	0	1	107	24,456	5	0	1	108	17,058	3	0	1	74			
T5S	22,894	4	0	2	101	24,355	4	0	2	107	24,442	4	0	2	108	17,048	3	0	1	73			
T5M	22,784	5	0	3	100	24,239	5	0	3	107	24,326	5	0	3	107	16,967	4	0	2	73			
T5W	22,498	5	0	3	99	23,935	5	0	3	105	24,021	5	0	3	106	16,754	4	0	2	72			
T1S	28,465	3	0	3	80	31,708	3	0	3	89	32,074	3	0	3	89	22,196	3	0	3	62			
T2S	29,257	3	0	3	82	31,125	3	0	3	88	31,237	3	0	3	87	21,787	3	0	3	61			
T2M	29,306	3	0	3	82	31,177	3	0	3	87	31,289	3	0	3	88	21,824	3	0	3	61			
T3S	29,243	3	0	3	82	31,109	3	0	3	88	31,221	3	0	3	87	21,776	3	0	3	60			
T3M	29,299	3	0	4	82	31,170	3	0	4	87	31,282	3	0	4	88	21,819	3	0	3	61			
T4M	28,356	3	0	4	79	31,104	3	0	4	86	31,216	3	0	4	87	21,773	3	0	3	60			
FTM	29,777	3	0	4	83	31,678	3	0	4	88	31,792	3	0	4	89	22,175	3	0	3	62			
TSVS	30,924	5	0	1	87	32,898	5	0	1	93	33,017	5	0	1	92	23,029	4	0	1	64			
T5S	30,908	4	0	2	87	32,880	4	0	2	91	32,999	4	0	2	92	23,016	4	0	1	64			
T5M	30,760	5	0	3	86	32,723	5	0	3	92	32,841	5	0	3	92	22,906	4	0	2	64			
T5W	30,374	5	0	3	85	32,313	5	0	3	91	32,429	5	0	3	91	22,619	4	0	2	63			



Performance Data

L90 and R90 Rotated Optics

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
90C (90 LEDs)	530 mA	150 W	T1S	15,409	3	0	3	103	16,392	3	0	3	109	16,451	3	0	3	110	11,475	3	0	3	76
			T2S	15,373	3	0	3	102	16,354	3	0	3	109	16,413	3	0	3	109	11,448	3	0	3	76
			T2M	15,399	4	0	4	103	16,381	4	0	4	109	16,440	4	0	4	110	11,467	3	0	3	76
			T3S	15,365	4	0	4	102	16,346	4	0	4	109	16,405	4	0	4	109	11,442	3	0	3	76
			T3M	15,395	4	0	4	103	16,378	4	0	4	109	16,437	4	0	4	110	11,464	4	0	4	76
			T4M	15,363	4	0	4	102	16,343	4	0	4	109	16,402	4	0	4	109	11,440	4	0	4	76
			TFTM	15,646	4	0	4	104	16,645	4	0	4	111	16,705	4	0	4	111	11,651	4	0	4	78
			TSVS	16,502	4	0	1	110	17,555	4	0	1	117	17,618	4	0	1	117	12,289	3	0	1	82
			TSS	16,085	4	0	1	107	17,112	4	0	1	114	17,174	4	0	1	114	11,978	3	0	1	80
			TSM	16,519	4	0	2	110	17,573	4	0	2	117	17,636	4	0	2	118	12,301	4	0	2	82
			T5W	16,260	4	0	2	108	17,298	5	0	3	115	17,360	5	0	3	116	12,109	4	0	2	81
			T1S	19,320	4	0	4	94	20,553	4	0	4	100	20,627	4	0	4	100	14,387	3	0	3	70
	T2S	19,275	4	0	4	94	20,506	4	0	4	100	20,579	4	0	4	100	14,354	3	0	3	70		
	T2M	19,307	4	0	4	94	20,540	4	0	4	100	20,614	4	0	4	100	14,378	4	0	4	70		
	T3S	19,265	4	0	4	94	20,495	4	0	4	99	20,569	4	0	4	100	14,347	4	0	4	70		
	T3M	19,303	4	0	4	94	20,535	4	0	4	100	20,609	4	0	4	100	14,374	4	0	4	70		
	T4M	19,262	4	0	4	94	20,492	5	0	5	99	20,566	5	0	5	100	14,344	4	0	4	70		
	TFTM	19,618	4	0	4	95	20,870	4	0	4	101	20,945	4	0	4	102	14,609	4	0	4	71		
	TSVS	20,691	4	0	1	100	22,011	4	0	1	107	22,090	4	0	1	107	15,408	4	0	1	75		
	TSS	20,168	4	0	1	98	21,533	4	0	1	105	21,533	4	0	1	105	15,019	4	0	1	73		
	TSM	20,712	4	0	2	101	22,034	5	0	3	107	22,113	5	0	3	107	15,424	4	0	2	75		
	T5W	20,388	5	0	3	99	21,689	5	0	3	105	21,767	5	0	3	106	15,182	4	0	2	74		
	T1S	25,901	4	0	4	81	27,554	4	0	4	86	27,653	4	0	4	86	19,288	4	0	4	60		
	T2S	25,840	4	0	4	81	27,490	4	0	4	86	27,588	4	0	4	86	19,243	4	0	4	60		
	T2M	25,883	4	0	4	81	27,536	5	0	5	86	27,635	5	0	5	86	19,275	4	0	4	60		
	T3S	25,827	4	0	4	81	27,476	4	0	4	86	27,574	4	0	4	86	19,233	4	0	4	60		
	T3M	25,877	5	0	5	81	27,529	5	0	5	86	27,628	5	0	5	86	19,270	4	0	4	60		
	T4M	25,823	5	0	5	81	27,471	5	0	5	86	27,570	5	0	5	86	19,230	4	0	4	60		
	TFTM	26,299	5	0	5	82	27,978	5	0	5	87	28,079	5	0	5	88	19,585	4	0	4	61		
	TSVS	27,738	5	0	1	87	29,508	5	0	1	92	29,614	5	0	1	93	20,656	4	0	1	65		
	TSS	27,038	5	0	2	84	28,764	5	0	2	90	28,867	5	0	2	90	20,135	4	0	1	63		
	TSM	27,766	5	0	3	87	29,538	5	0	3	92	29,645	5	0	3	93	20,677	4	0	2	65		
	T5W	27,332	5	0	4	85	29,076	5	0	4	91	29,181	5	0	4	91	20,354	5	0	3	64		

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.04
10°C / 50°F	1.02
20°C / 68°F	1.01
25°C / 77°F	1.00
30°C / 86°F	0.99
40°C / 104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

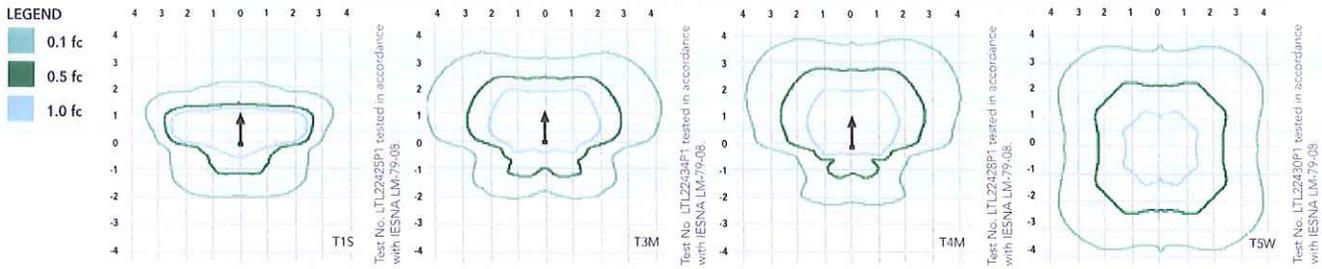
Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.92	0.86
	1.0	0.98	0.97	0.96
	1.0	0.94	0.90	0.84

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
80	530	137W	1.15	0.66	0.53	0.51	0.39	0.28
	700	188W	1.58	0.92	0.81	0.73	0.55	0.41
	1000	282W	2.37	1.35	1.18	1.04	0.83	0.61
100	530	175W	1.47	0.86	0.76	0.68	0.51	0.38
	700	232W	1.95	1.13	0.99	0.88	0.67	0.49
	1000	360W	3.03	1.72	1.49	1.3	1.05	0.77



Isofootcandle plots for the DSX2 LED 80C 1000 40K. Distances are in units of mounting height (30').



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Area Size 2 reflects the embedded high performance LED technology. It is ideal for applications like car dealerships and large parking lots adjacent to malls, transit stations, grocery stores, home centers, and other big-box retailers.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (2.0 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K, or 5000 K (70 CRI) configurations. The D-Series Size 2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of 80, 90 or 100 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L96/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 2 to withstand up to a 2.0 G vibration load rating per ANSI C136.31. The D-Series Size 2 utilizes the AERIS™ series pole drilling pattern (Template #8). NEMA photocontrol receptacle is available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D670,857 S. International patent pending.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



12, 18 and 26 Watt SLIM wallpacks are ultra efficient and deliver impressive light distribution with a compact low-profile design that's super easy to install as a downlight or uplight.

Color: Bronze

Weight: 4.5 lbs

Project:
BENJAMIN

Type:
D

Prepared By:

Date:

Driver Info

Type: Constant Current
120V: 0.12A
208V: 0.08A
240V: 0.07A
277V: 0.06A
Input Watts: 14W
Efficiency: 86%

LED Info

Watts: 12W
Color Temp: 4000K (Neutral)
Color Accuracy: 82 CRI
L70 Lifespan: 100,000
Lumens: 1,372
Efficacy: 99 LPW

Technical Specifications

Listings

UL Listing:

Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

ADA Compliant:

SLIM™ is ADA Compliant.

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label.

Construction

IP Rating:

Ingress Protection rating of IP66 for dust and water.

Cold Weather Starting:

The minimum starting temperature is -40°F/-40°C.

Ambient Temperature:

Suitable for use in 40°C (104°F) ambient temperatures.

Thermal Management:

Superior heat sinking with internal Air-Flow fins.

Housing:

Precision die-cast aluminum housing.

Mounting:

Heavy-duty mounting bracket with hinged housing for easy installation.

Recommended Mounting Height:

Up to 8 ft.

Lens:

Tempered glass lens.

Reflector:

Specular thermoplastic.

Gaskets:

High-temperature silicone.

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Green Technology:

Mercury and UV free, and RoHS compliant.

LED Characteristics

LED:

Multi-chip, long-life LED.

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:

LED color temperature is warrantied to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines for the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011.

Electrical

Driver:

Constant Current, Class 2, 100-277V, 50/60 Hz., 4KV surge protection, 350mA, 100-240VAC 0.3-0.15 Amps, 277VAC 0.15Amps, Power Factor 99%.

THD:

10.1% at 120V

Other

HID Replacement Range:

The SLIM12 can be used to replace 70W MH based on delivered lumens.

California Title 24:

SLIM12 complies with 2013 California Title 24 building and electrical codes as a residential outdoor fixture. See SLIM12/PC for a model that complies as a commercial outdoor non-pole-mounted fixture ≤ 30 Watts.

Technical Specifications (continued)

Other

Patents:

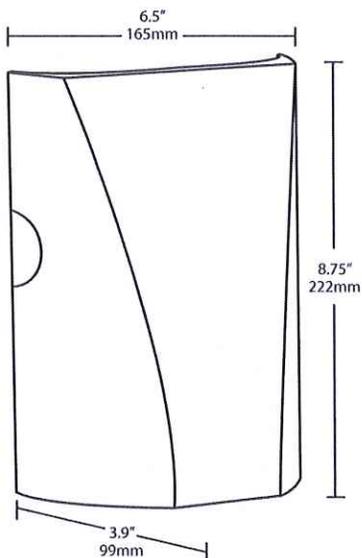
The design of the SLIM™ is protected by patents in U.S. Pat D681,864, and pending patents in Canada, China, Taiwan and Mexico.

Optical

BUG Rating:

B1 U0 G0

Dimensions



Features

- Full cutoff, fully shielded LED wallpack
- Can be used as a downlight or uplight
- Contractor friendly features for easy installation
- 100,000-hour LED Life
- 5-Year Warranty

Ordering Matrix

Family	Watts	Color Temp	Finish	Photocell	Dimming
SLIM	26 = 26W 18 = 18W 12 = 12W	Blank = Cool Y = Warm N = Neutral	Custom Color Natural Aluminum Blank = Bronze W = White	Blank = No Photocell /PC = 120V Button /PC2 = 277V Button	Blank = No Dimming /D10 = Dimmable



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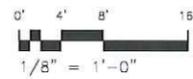


WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL KEY	
HATCH	NICHA PANEL
[Hatched pattern]	GLAZING WITH CLEAR ANODIZED STOREFRONT FRAMING
[Brick pattern]	BRICK MASONRY VENEER WITH MASONRY SILLS AND LINTELS



EAST ELEVATION
SCALE: 1/8" = 1'-0"



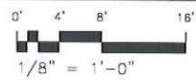


⊙ SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL KEY	
	NICHE PANEL
	GLAZING WITH CLEAR ANODIZED STOREFRONT FRAMING
	BRICK MASONRY VENEER WITH MASONRY SILLS AND LINTELS

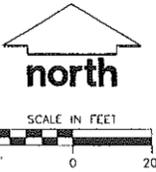
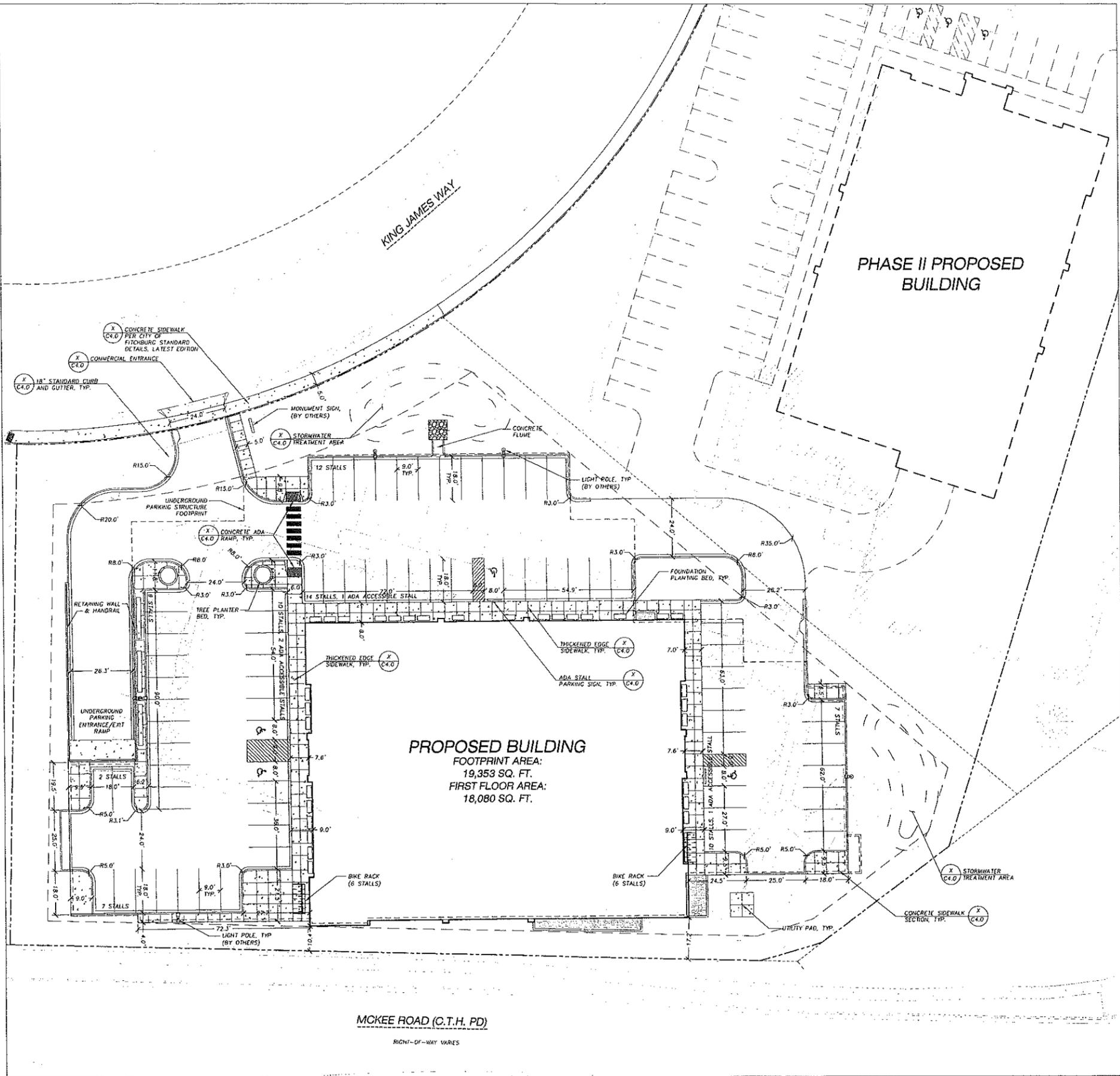


⊙ NORTH ELEVATION
SCALE: 1/8" = 1'-0"



CONCEPTUAL EXTERIOR ELEVATIONS





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 iconica@iconica.com

LEGEND

---	PROPERTY LINE
- - - -	EASEMENT LINE
---	PROPOSED BUILDING ADDITION
---	PROPOSED UNDERGROUND PARKING FOOTPRINT
---	EDGE OF PAVEMENT
---	18" STANDARD CURB AND GUTTER
---	PROPOSED CONCRETE
---	PROPOSED CONCRETE PAVEMENT

- GENERAL NOTES**
- REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND
 - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND SHALL BE PERFORMED BY A LICENSED CONTRACTOR
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED S&T FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE BILL BLOCK.

- SITE PLAN NOTES**
- ALL DIMENSIONS TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
 - ALL RADII TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
 - ALL PRIVATE CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE TOWN OF FITCHBURG
 - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER
 - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-28UV CONCRETE SEALANT.
 - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY
 - 2" x 4" TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS

SITE INFORMATION BLOCK	
Site Address	5400 King James Way, Fitchburg, WI
Site Acreage (Total)	1.765
Existing Building Square Footage	25,345 SF
Existing Impervious Surface Area	38,702 SF
Existing Open Space Area	12,828 SF
Proposed Surface Parking Stalls	
Large Stall	71
Accessible	4
Total Surface Parking Stalls	75
Proposed Underground Parking Stalls	
Large Stall (@ 3/1000 sq. ft.)	119
Total Site Parking Stall Count	194
Proposed Number of Building Stories (above grade)	3
Total Proposed Building Footprint	19,353 SF
Proposed Open Space Surface Area	55,200 S.F.
Proposed Impervious Surface Area*	21,675 S.F.
Proposed Impervious Surface Area Ratio	0.718
Proposed Open Space Surface Area Ratio	0.287
*Note: Impervious Surface Area includes Building Footprint Area.	

ISSUE DATES:
 PLAN COMMISSION: 08-18-15
 RESUBMISSION: 09-01-15

RF/ISSUE DATE:

Schematic Design Phase:
 This drawing indicates the scale and relationship of the project components. This drawing is not for construction.

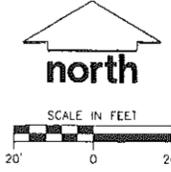
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PROJECT #:
SHEET NUMBER
C-1.0

MCKEE ROAD (C.T.H. PD)
 RIGHT-OF-WAY VARIES

SITE PLAN

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LEGEND

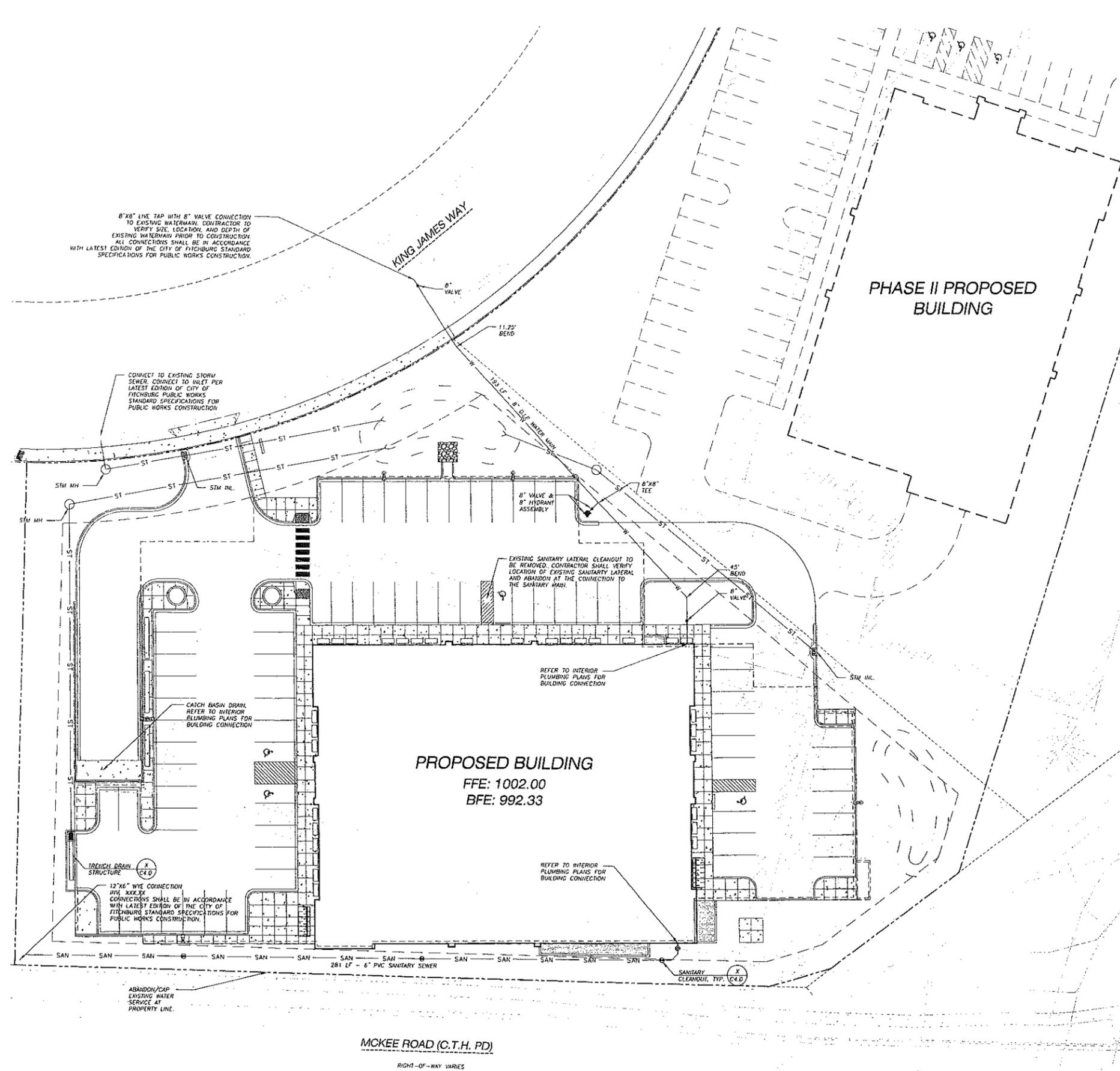
---	PROPERTY LINE
---	EASEMENT LINE
---	PROPOSED BUILDING ADDITION
---	PROPOSED UNDERGROUND PARKING FOOTPRINT
---	EDGE OF PAVEMENT
---	18" STANDARD CURB AND GUTTER
---	PROPOSED CONCRETE SIDEWALK
---	PROPOSED CONCRETE PAVEMENT
---	ST - STORM SEWER
---	SAN - SANITARY SEWER
---	WM - WATER MAIN

GENERAL NOTES

- REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND SHALL BE PERFORMED BY A LICENSED CONTRACTOR.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED Silt Fence LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

UTILITY NOTES

- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF FITCHBURG AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WDSPS, AND WDMR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY INCLUDING BUT NOT LIMITED TO EXISTING SERVICE ABANDONMENT.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30, TABLE 384.30-6.
- WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE. REPORT DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
- ALL PRIVATE SANITARY SEWER BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30, TABLE 384.30-6.
- COORDINATE AND OBTAIN ALL PERMITS FOR EXISTING PRIVATE SERVICES TO BE ABANDONED WITH THE CITY OF FITCHBURG.
- DEWATERING SHALL BE CONDUCTED PER WDMR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061. CONTRACTOR SHALL COORDINATE WITH THE DEPARTMENT OF PUBLIC WORKS TO PROTECT STREAM BANKS DURING CONSTRUCTION DEWATERING.
- CONTRACTOR SHALL COMPLY WITH WISDOT AND CITY OF FITCHBURG PERMITS FOR WORK IN ROW.
- ALL EXISTING WATER SERVICES SHALL BE ABANDONED AT THE EXISTING CURB STOP LOCATION.
- CONTRACTOR SHALL COORDINATE WITH UTILITY FOR TRANSFORMER PAD REQUIREMENTS AND SPECIFICATIONS.
- WATER MAIN FROM THE POINT OF CONNECTION UP TO AND INCLUDING PRIVATE FIRE HYDRANTS AND CONNECTION OF THE NEW SANITARY SEWER SERVICE TO THE CITY'S SEWER SYSTEM SHALL BE INSTALLED PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- CONTRACTOR SHALL CONTACT FITCHBURG PUBLIC WORKS 48 HOURS PRIOR TO CONNECTING SANITARY LATERAL AND WATER SERVICE FOR INSPECTION AT 270-4260.
- A STREET OPENING PERMIT IS REQUIRED FOR ALL WORK WITHIN THE RIGHT-OF-WAY.
- PER CITY ORDINANCE CONTRACTORS ARE PROHIBITED FROM OPERATING CITY VALVES. CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 270-4270 FOR OPERATION OF VALVES.
- WATER SERVICES MAY NOT BE OPENED TO THE SYSTEM UNLESS FITCHBURG UTILITY IS IN RECEIPT OF SAFE WATER SAMPLES AND PASSING PRESSURE TEST RESULTS.
- EXISTING SEWER AND WATER LATERALS THAT WILL NOT BE REUSED SHALL BE ABANDONED AT THE MAIN AS DIRECTED BY THE CITY.



MCKEE ROAD (C.T.H. PD)
 RIGHT-OF-WAY VARIES

BENJAMIN KING JAMES WAY
 5400 KING JAMES WAY
 FITCHBURG, WI
BENJAMIN INVESTMENTS
 5400 KING JAMES WAY
 MADISON, WI 53719

ISSUE DATES:
 PLAN COMMISSION: 08-18-15
 DESIGN: 09-01-15

REVISION DATE:

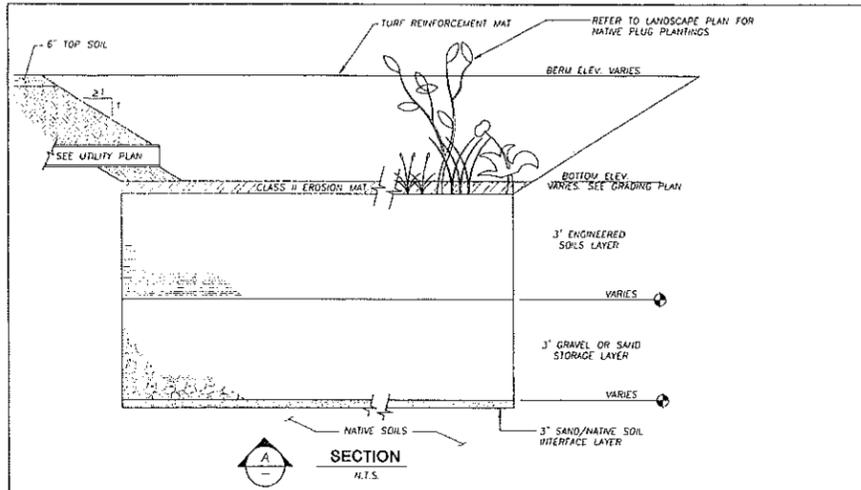
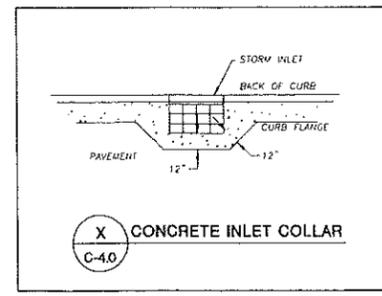
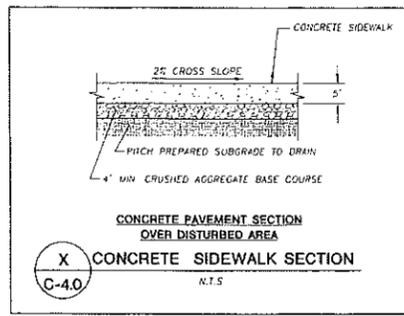
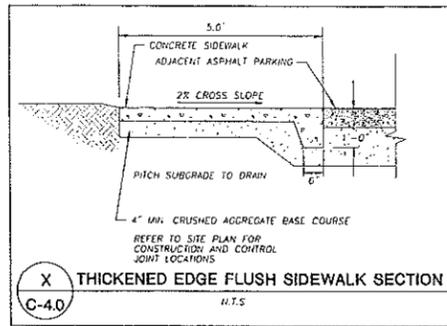
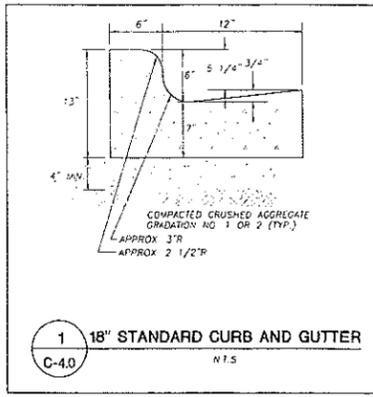
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C-3.0

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UTILITY PLAN

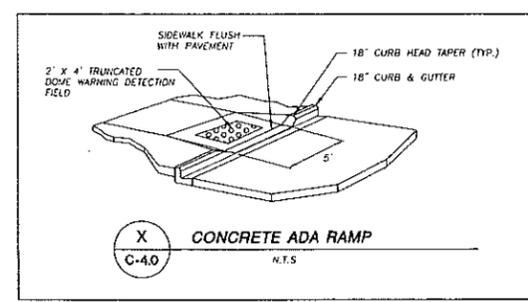
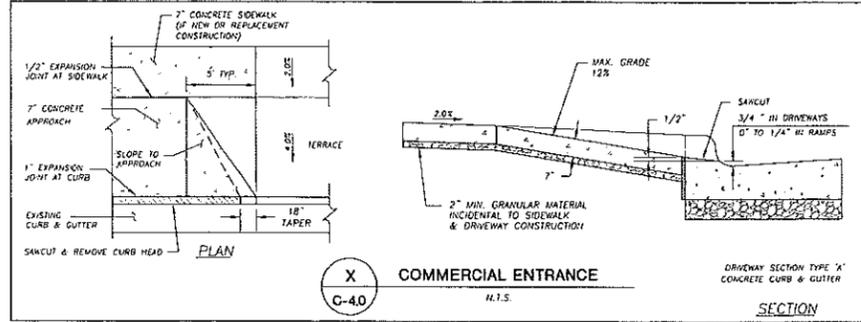
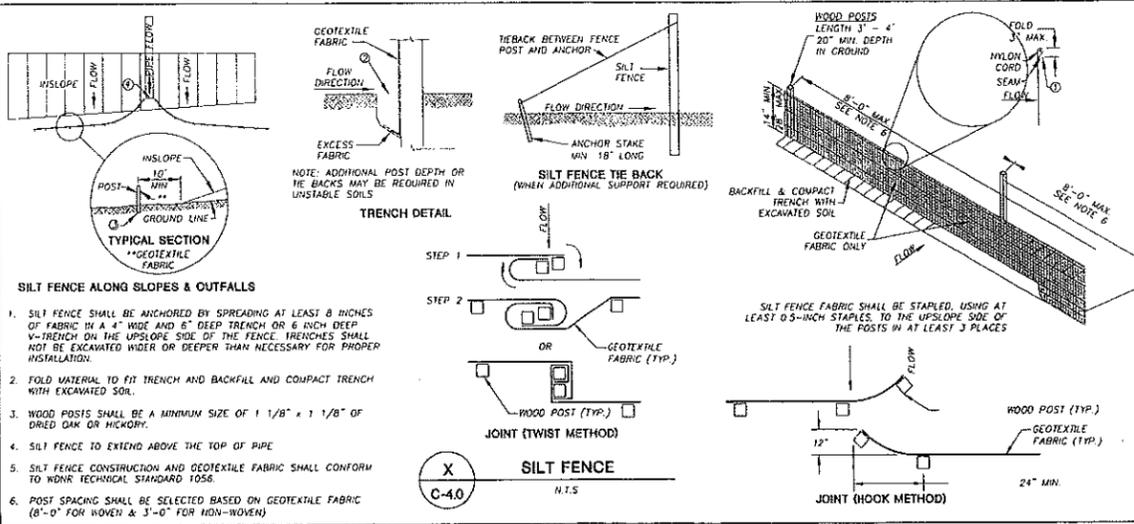
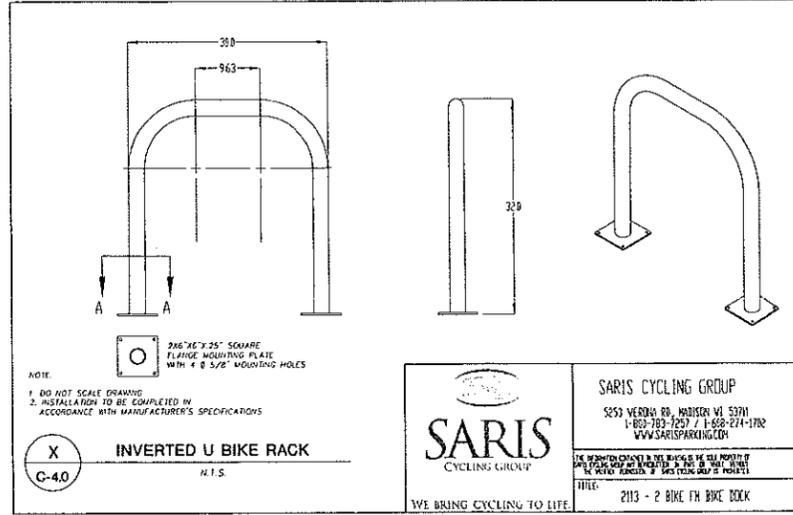
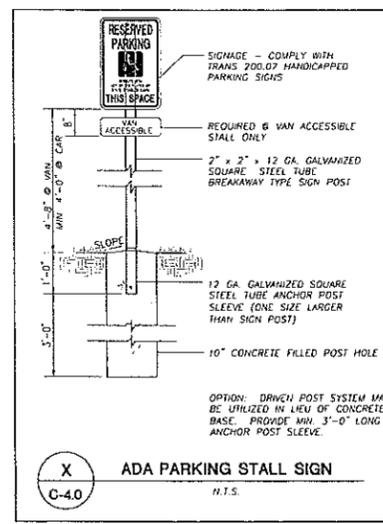
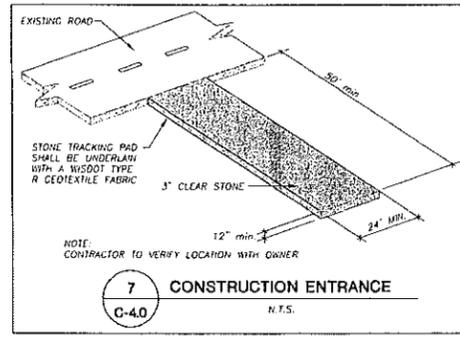


GENERAL NOTES:

- ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE WDNR TECHNICAL STANDARD 1004 - BIORETENTION FOR INFILTRATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE BIORETENTION DEVICE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
- CONTRACTOR SHALL INSTALL 36" OF ENGINEERED SOIL CONSISTING OF: 70% ASTM C33 SAND, 30% CERTIFIED COMPOST (SEE GENERAL NOTE 3).
- CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
- SAND/NATIVE SOIL INFILTRATION LAYER SHALL BE FORMED BY A LAYER OF SAND 3 INCHES DEEP, WHICH IS VERTICALLY MIXED WITH THE NATIVE SOIL TO A DEPTH OF 2-4 INCHES.
- ANNUAL RYE GRASS SHALL BE SEED AT 40 LB/ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING THE BASIN, ON SIDE SLOPES, AND OVER ANY LAND THAT DISCHARGES INTO THE BASIN FOR EROSION CONTROL. WHEN BASIN IS BROUGHT ON-LINE, ROOTSTOCK AND PLUGS ARE REQUIRED TO ESTABLISH VEGETATION AT THE INVERT OF THE BASIN.
- RUNOFF MUST INFILTRATE WITHIN 48-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
- ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
- OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANTING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.

INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (E.G. RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.



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FITZBURGH, WI

BENJAMIN INVESTMENTS
5400 KING JAMES WAY
MADISON, WI 53719

ISSUE DATES:
PLAN COMMISSION: 08-18-15
REVISIONS: 09-01-15

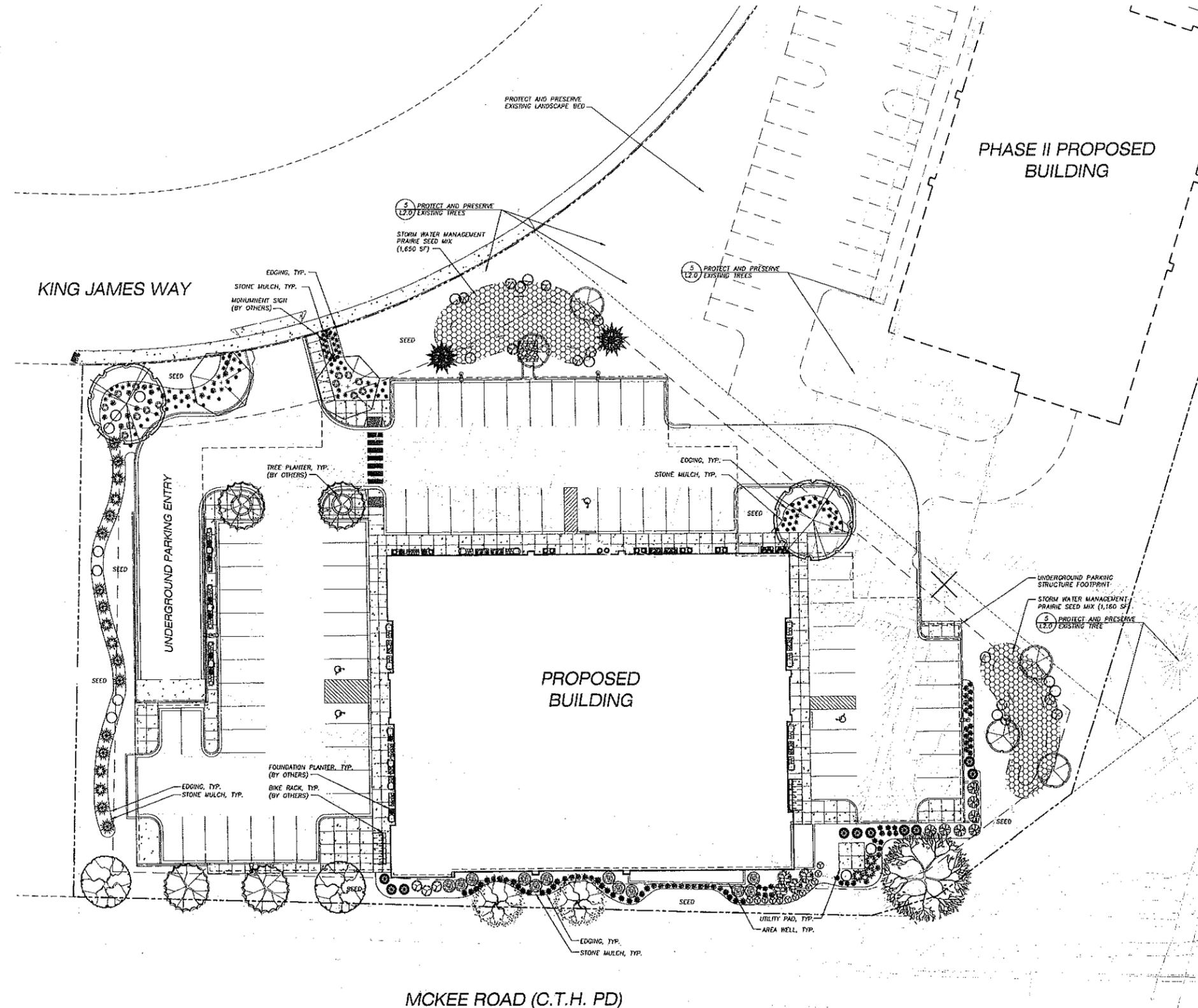
RFU/SI DATE:

Schematic Design Phase:
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PROJECT #:

SHEET NUMBER
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- GENERAL NOTES:**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
 - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR

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- LEGEND**
- PROPERTY LINE
 - RIGHT-OF-WAY
 - EASEMENT LINE
 - EDGE OF PAVEMENT
 - STANDARD CURB AND GUTTER
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED PRAIRIE SEED MIX (SEE NOTES ON SHEET L-2.0)
 - POLYETHYLENE EDGING
 - TREE REMOVAL
 - LIGHT POST (BY OTHERS)

- LEGEND (PROPOSED)**
- OVERSTORY DECIDUOUS TREES**
- Prairie Pride Common Hackberry
 - Swamp White Oak
 - Crimson King Maple
 - Sienna Glen Maple
- TALL EVERGREEN TREES**
- Black Hills Spruce
- MEDIUM DECIDUOUS TREES**
- Thornless Cockspur Hawthorn
 - Chanticleer Coffey Pear
- LOW DECIDUOUS TREES**
- Fox Valley Dwarf River Birch
- UPRIGHT EVERGREEN SHRUBS**
- Low Juniper
 - Techy Arborvitae
 - Emerald Arborvitae
- TALL DECIDUOUS SHRUBS**
- Pink Delight Butterfly Bush
 - Redstart Dogwood
- MEDIUM DECIDUOUS SHRUBS**
- Spring Red Compact Cranberrybush Myrtanum
 - Annabelle Hydrangea
 - Isanti Dogwood
 - Variegated Red Twig Dogwood
- MEDIUM EVERGREEN SHRUBS**
- Tauntan Yew
 - Green Mountain Japanese Boxwood
- LOW DECIDUOUS SHRUBS**
- Goldmound Spiraea
 - Gold Star Potentilla
- LOW EVERGREEN SHRUBS**
- Blue Star Juniper
- PERENNIALS AND ORNAMENTAL GRASSES**
- Korean Feather Reed Grass
 - Bridal Veil Astilbe
 - Pardon Me Daylily
 - Prairie Dropseed
 - Flame Grass
 - Solomon's Seal
 - Carol Bells Palace Purple
 - Golden Creeping Jenny
 - Golden Sward Yucca
 - Cheddar Pink
 - Pennsylvania Sedge

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BENJAMIN INVESTMENTS
 5400 KING JAMES WAY
 MADISON, WI 53719

ISSUE DATES:

PLAN COMMISSION: 08-19-15

PERMISSIONS: 09-01-15

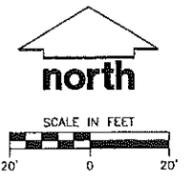
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Schematic Design Phase:

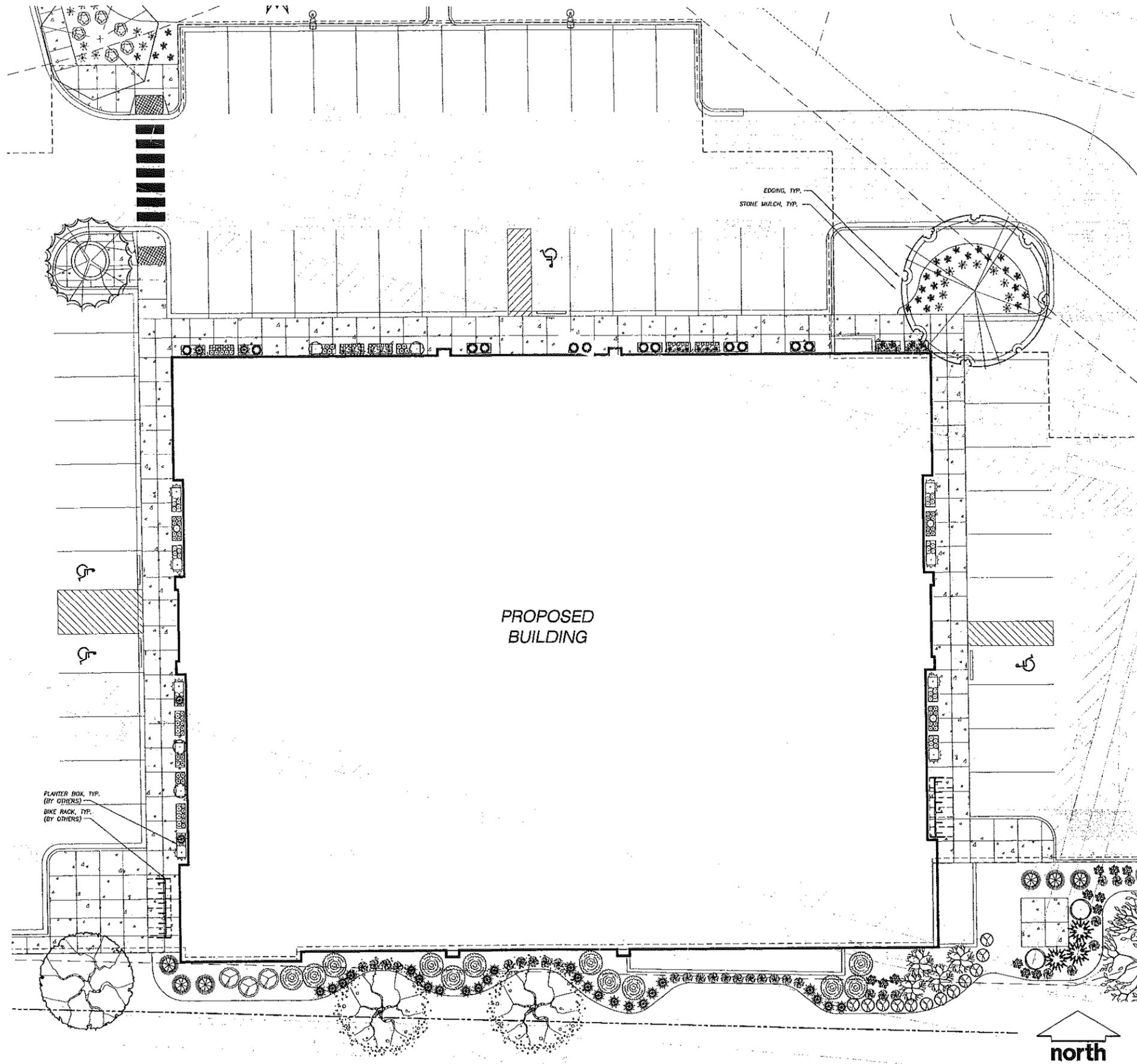
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PROJECT #:
 SHEET NUMBER
L-1.0



OVERALL LANDSCAPE PLAN



GENERAL NOTES:

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.

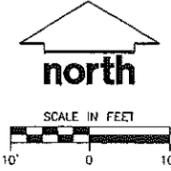
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LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- ===== EDGE OF PAVEMENT
- ===== STANDARD CURB AND GUTTER
- ===== PROPOSED CONCRETE
- ===== PROPOSED ASPHALT PAVEMENT
- ===== PROPOSED PRAIRIE SEED MIX (SEE NOTES)
- POLYETHYLENE EDGING
- ✕ TREE REMOVAL

LEGEND (PROPOSED)

- CLIMAX DECIDUOUS TREES**
- Prairie Pride Common Hockberry
 - Swamp White Oak
 - Grimson King Maple
 - Sienna Glen Maple
- TALL EVERGREEN TREES**
- Black Hills Spruce
- MEDIUM DECIDUOUS TREES**
- Thornless Cockspur Hawthorn
 - Chaotic Clear Gallery Pear
- TALL DECIDUOUS SHRUBS**
- Pink Delight Butterfly Bush
 - Redstart Dogwood
- MEDIUM DECIDUOUS SHRUBS**
- Spring Red Compact Cranberrybush Viburnum
 - Annabelle Hydrangea
 - Isanti Dogwood
 - Variegated Dogwood
- MEDIUM EVERGREEN SHRUBS**
- Taunton Yew
 - Green Mountain Boxwood
- LOW DECIDUOUS SHRUBS**
- Goldmound Spiraea
 - Gold Star Potentilla
- LOW EVERGREEN SHRUBS**
- Blue Star Juniper
- PERENNIALS AND ORNAMENTAL GRASSES**
- Korean Feather Reed Grass
 - Bridal Veil Astilbe
 - Pardon Me Dogby
 - Prairie Dropseed
 - Flame Grass
 - Solomon's Seal
 - Coral Bells Palace Purple
 - Creeping Jenny
 - Golden Sword Yucca
 - Cheddar Pink
- LOW DECIDUOUS TREES**
- Fox Valley Dwarf River Birch
- UPRIGHT EVERGREEN SHRUBS**
- Isao Juniper
 - Tachy Arborvitae
 - Emerald Arborvitae



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ISSUE DATES:

CITY SUB. 05-23-15
CITY SUB. 07-09-15
CITY SUB. 08-18-15
Submission: 07-01-15

RF/IS DATE:

Schematic Design Phase:

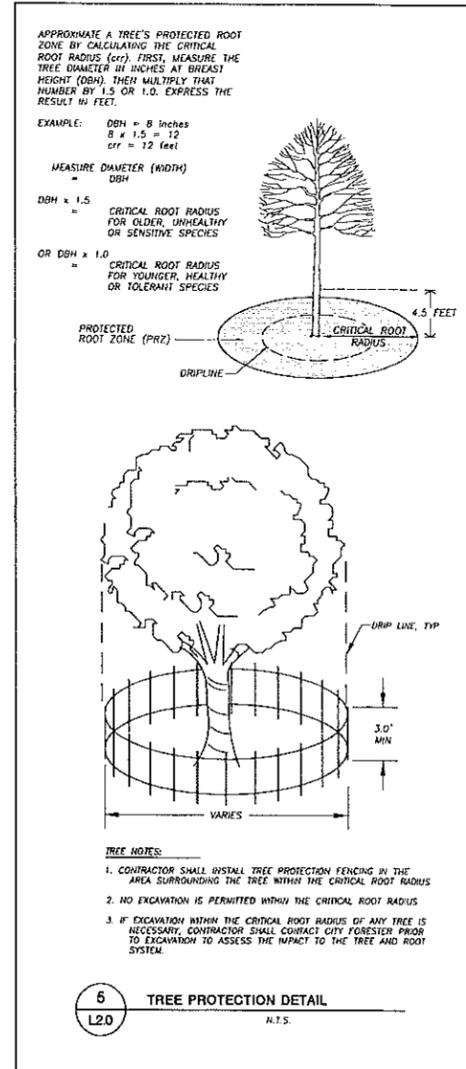
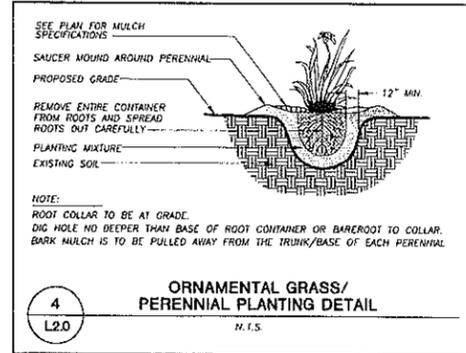
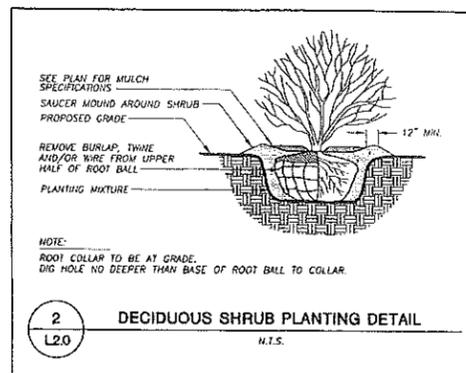
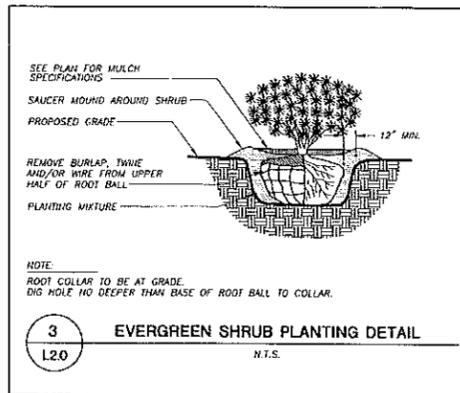
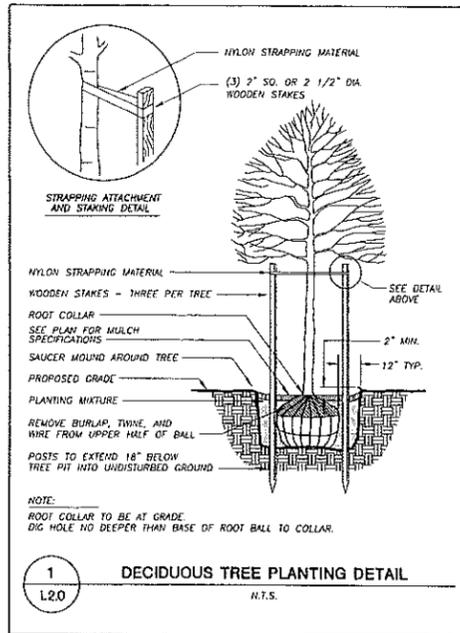
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PROJECT #:

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L-1.1



LANDSCAPE NOTES AND SPECIFICATIONS

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-362-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS, OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPAIR DAMAGE TO OTHER PLANTS OR PLANTING AREAS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY, PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- MATERIALS - SOIL: PLANTING SOIL SHALL MEET THESE REQUIREMENTS:
 - PLANTING AREAS
 - TREE PITS - SEE DETAILS
- PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MOIST TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
- MATERIALS - FERTILIZER AND MULCH: ALL FOUNDATION AND PARKING INTERIOR PLANTING BED AREAS SHALL RECEIVE 1" HIGH DECORATIVE WASHED STONE SPREAD TO A DEPTH OF THREE INCHES. OWNER SHALL APPROVE COLOR, TEXTURE AND SIZE EXAMPLE PRIOR TO INSTALLATION. AN APPROVED PROFESSIONAL GRADE WOVEN FABRIC WEED BARRIER SHALL BE INSTALLED PRIOR TO MULCH INSTALLATION. NO PLASTIC (IMPERVIOUS BARRIERS ACCEPTED) EX. BLACK VSQUELEN. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDING LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5' DIAMETER SHREDDED HARDWOOD MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 4 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - WEED BARRIER FABRIC: ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VSQUELEN.
- MATERIALS - EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS - PRAIRIE SEED MIX: AREAS SPECIFIED ON PLAN TO BE HAND SEEDDED WITH "DIVERSE PRAIRIE FOR MEDIUM SOILS" SEED MIX, AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESLEY, WISCONSIN, 53584. TEL: 608-296-3879 (OR APPROVED EQUIVALENT). INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION.
- MATERIALS - SEED, DISTURBED LAWN AREAS LABELED ON PLAN SHALL BE HAND SEEDDED WITH EARTH CARPETS "MADISON PARKS" (OR APPROVED EQUIVALENT) AS APPROVED BY THE OWNER'S REPRESENTATIVE. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH ANA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE HINNED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDING AREAS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 60 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHARPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

LANDSCAPE PLANT LIST

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
OVERSTORY DECIDUOUS TREES				
2	Prairie Pride Common Hackberry	CELTIS occidentalis 'Prairie Pride'	2" Cal	B&B
2	Crimson King Maple	ACER platanoides 'Crimson King'	2" Cal	B&B
1	Swamp White Oak	QUERCUS bicolor	2" Cal	B&B
2	Sinlea Glen Maple	ACER s freemantii 'Sinlea' (PP11332)	2" Cal	B&B
TALL EVERGREEN TREES				
2	Black Hills Spruce	PICEA glauca var. densata	3-4" Ht	B&B
MEDIUM DECIDUOUS TREES				
4	Thornless Cockspur Hawthorn	CRATAEGUS crus-galli var. inermis	1 1/2" Cal	B&B
2	Chanticleer Callery Pear	PYRUS Calleryana 'Chanticleer'	1 1/2" Cal	B&B
LOW DECIDUOUS TREES				
5	Fox Vesey Dwarf River Birch	BETULA nigra 'Little King'	4" Min. Ht	B&B
UPRIGHT EVERGREEN SHRUBS				
9	Isola Juniper	JUNIPERUS chinensis 'Isola'	3-4" Ht	B&B
12	Techny Arborvitae	THUJA occidentalis 'Techny'	3-4" Ht	B&B
8	Emerald Arborvitae	THUJA occidentalis 'Emerald'	1-2" Ht	B&B
TALL DECIDUOUS SHRUBS				
12	Pink Delight Butterfly Bush	BUDDLEIA davidii 'Pink Delight'	18-24" Min. Ht.	F-3 Cont.
3	Redstart Dogwood	CORNUS sericea	18-24" Min. Ht.	F-3 Cont.
MEDIUM DECIDUOUS SHRUBS				
12	Spring Red Compact Crenberrybush Vib.	VIBURNUM trilobum 'Spring Red'	15-18" Min. Ht.	F-3 Cont.
7	Annabelle Hydrangea	HYDRANGEA arborescens 'Annabelle'	15-18" Min. Ht.	F-3 Cont.
19	Isent Dogwood	CORNUS sericea 'Isent'	15-18" Min. Ht.	F-3 Cont.
7	Variegated Red Twig Dogwood	CORNUS alba 'Elegantissima'	10-12" Min. Ht.	F-2 Cont.
MEDIUM EVERGREEN SHRUBS				
10	Taunton Yew	TAXUS x media 'Taunton'	15-18" Min. Ht.	F-3 Cont.
12	Green Mountain Japanese Boxwood	BUXUS microphylla 'Green Mountain'	15-18" Min. Ht.	F-2 Cont.
LOW DECIDUOUS SHRUBS				
14	Goldmound Spirea	SPIREA japonica 'Goldmound'	15-18" Min. Ht.	F-3 Cont.
11	Gold Star Potentilla	POTENTILLA fruticosa 'Gold Star'	15-18" Min. Ht.	F-3 Cont.
LOW EVERGREEN SHRUBS				
35	Blue Star Juniper	JUNIPERUS squamata 'Blue Star'	15" Min. Ht.	F-3 Cont.
PERENNIALS AND ORNAMENTAL GRASSES				
56	Korean Feather Reed Grass	CALAMAGROSTIS brachytricha	10-12" Ht.	F-1 Cont.
6	Bridal Veil Astilbe	ASTILBE japonica 'Bridal Veil'	10-12" Ht.	F-1 Cont.
66	Perdon Me Daylily	HEMEROCALLIS 'Perdon Me'	10-12" Ht.	F-1 Cont.
56	Prairie Dropseed	SPOROBOLUS heterophyllus	10-12" Ht.	F-1 Cont.
22	Fleam Grass	MISCANTHUS purpurascens	10-12" Ht.	F-1 Cont.
39	Coral Bells Pelece Purple	HEUCHERA micrantha var. diversiloba 'Pelece Purple'	10-12" Ht.	F-1 Cont.
6	Golden Creeping Jenny	LYSIACHIA nummularia 'Aurea'	1-2" Ht.	F-1 Cont.
9	Golden Sword Yucca	YUCCA filamentosa 'Golden Sword'	10-12" Ht.	F-1 Cont.
31	Pennsylvania Sedge	CAREX pensylvanica	32-cell flat	PLUG
28	Soleman's Seal	POLYGONATUM biflorum	10-12" Ht.	F-1 Cont.
48	Cheddar Pink	DIANTHUS graefeanopolitanus 'Festive'	10-12" Ht.	F-1 Cont.

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ISSUE DATES:
 PLAN COMMISSION: 08-18-18
 09-01-19

RFWS DATE:

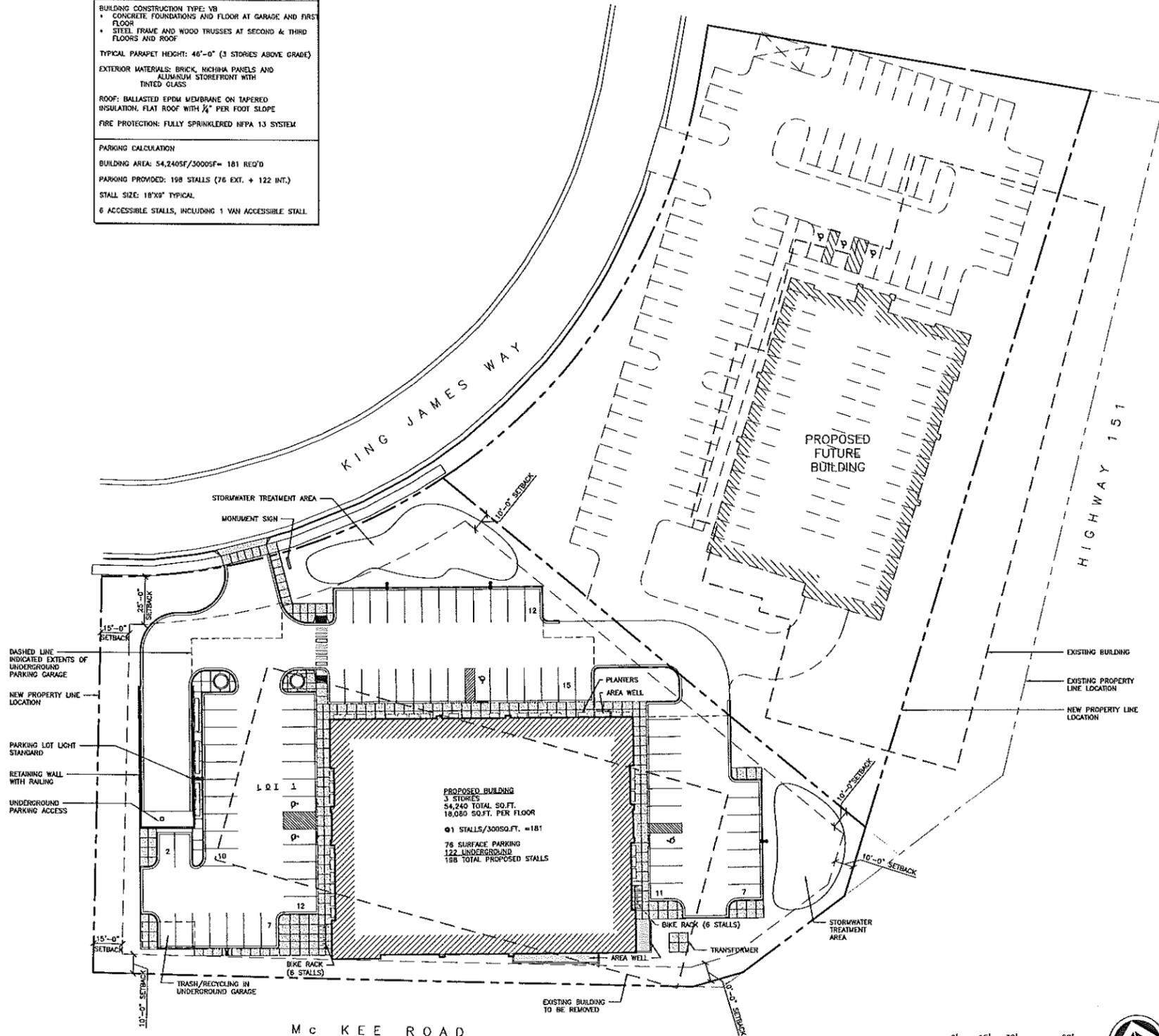
Schematic Design Phase:
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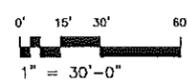
PROJECT #:
 SHEET NUMBER
L-2.0

PLOT DATE: 08/01/2015

LOT 1 DATA	
ZONED:	B-C
LOT AREA:	1.765 ACRES
BUILDING FOOTPRINT:	18,080sq.ft.
IMPERVIOUS AREA:	21,675sq.ft.
OPEN SPACE:	55,200 sq.ft.
ISR:	.718 *REQUESTING VARIANCE
BUILDING CONSTRUCTION TYPE: VB	
* CONCRETE FOUNDATIONS AND FLOOR AT GARAGE AND FIRST FLOOR	
* STEEL FRAME AND WOOD TRUSSES AT SECOND & THIRD FLOORS AND ROOF	
TYPICAL PARAPET HEIGHT: 46'-0" (3 STORIES ABOVE GRADE)	
EXTERIOR MATERIALS: BRICK, NICHE PANELS AND ALUMINUM STOREFRONT WITH TINTED GLASS	
ROOF: BALLASTED EPDM MEMBRANE ON TAPERED INSULATION. FLAT ROOF WITH 1/4" PER FOOT SLOPE	
FIRE PROTECTION: FULLY SPRINKLERED NFPA 13 SYSTEM	
PARKING CALCULATION	
BUILDING AREA:	54,240SF/3000SF= 181 REQ'D
PARKING PROVIDED:	198 STALLS (76 EXT. + 122 INT.)
STALL SIZE:	18'X9" TYPICAL
6 ACCESSIBLE STALLS, INCLUDING 1 VAN ACCESSIBLE STALL	



1 SITE PLAN
A100 SCALE: 1" = 30'-0"



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MADISON, WI 53719

ISSUE DATES:
PLAN COMMISSION: 08-18-15
RESUBMITTAL: 09-01-15

RFUSI DATE:

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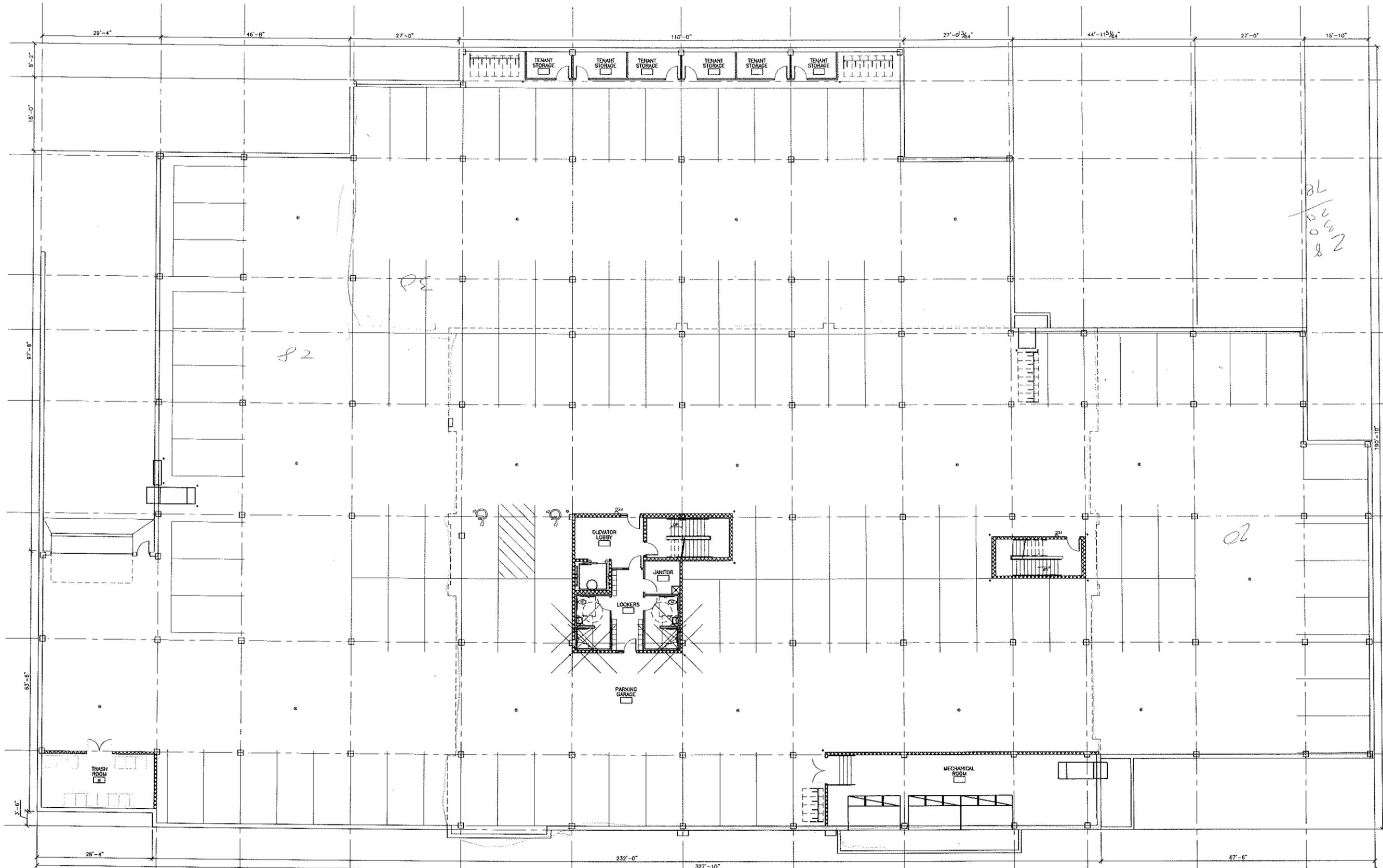
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9/1/2015

PLANTING & TREES



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ISSUE DATES:
 PLAN COMMISSION: 8-18-15

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Schematic Design Phase:
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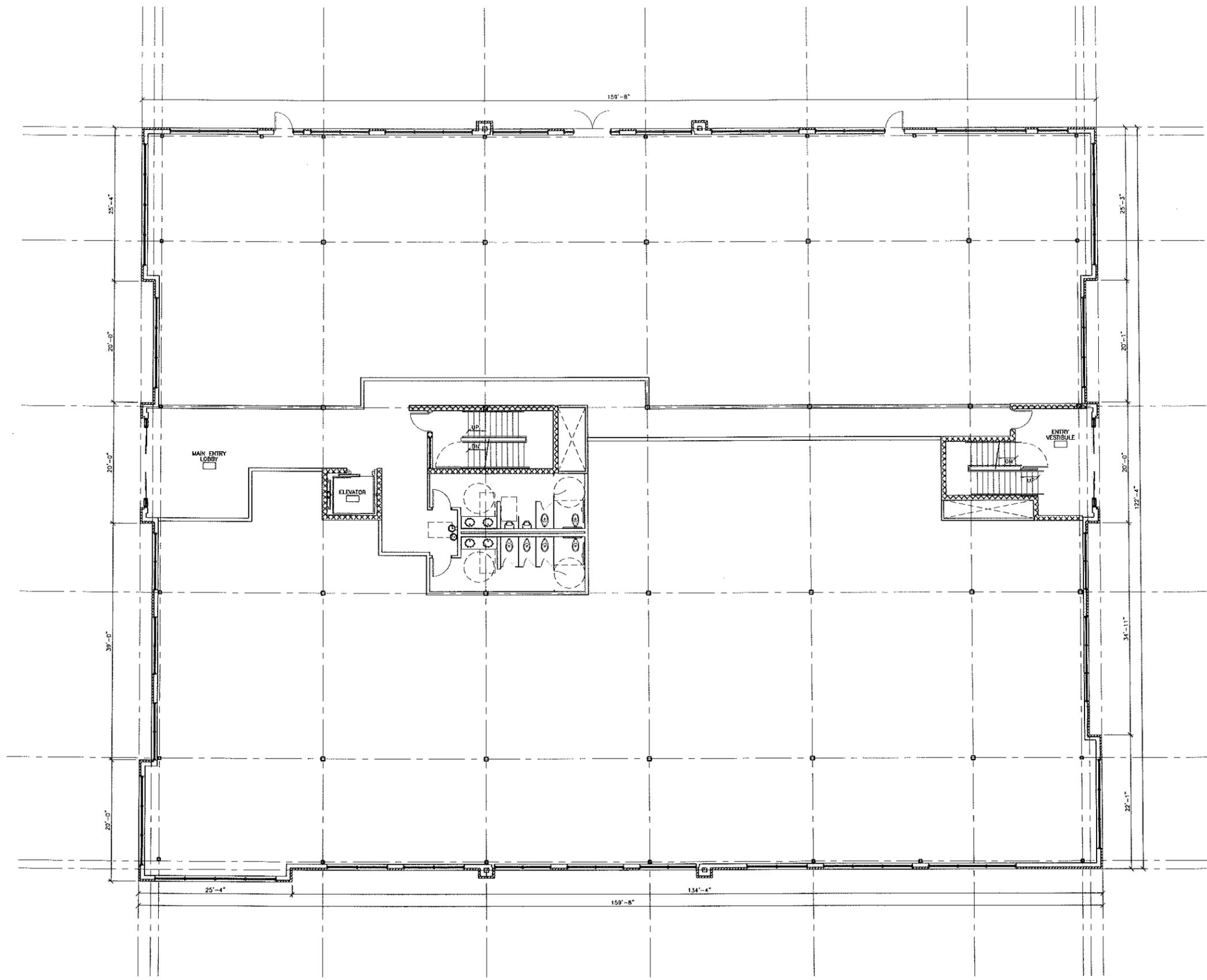
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A200

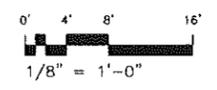
1 BASEMENT FLOOR PLAN
 A200 SCALE: 3/32" = 1'-0"



FIRST FLOOR PLAN



1 FIRST FLOOR PLAN
 A201 SCALE: 1/8" = 1'-0"



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 iconica@iconica.com

BENJAMIN KING JAMES WAY
 5400 KING JAMES WAY
 FITCHBURG, WI

BENJAMIN INVESTMENTS
 5400 KING JAMES WAY
 MADISON, WI 53719

ISSUE DATES:
 PLAN COMMISSION: 8-18-15

RFISI DATE:

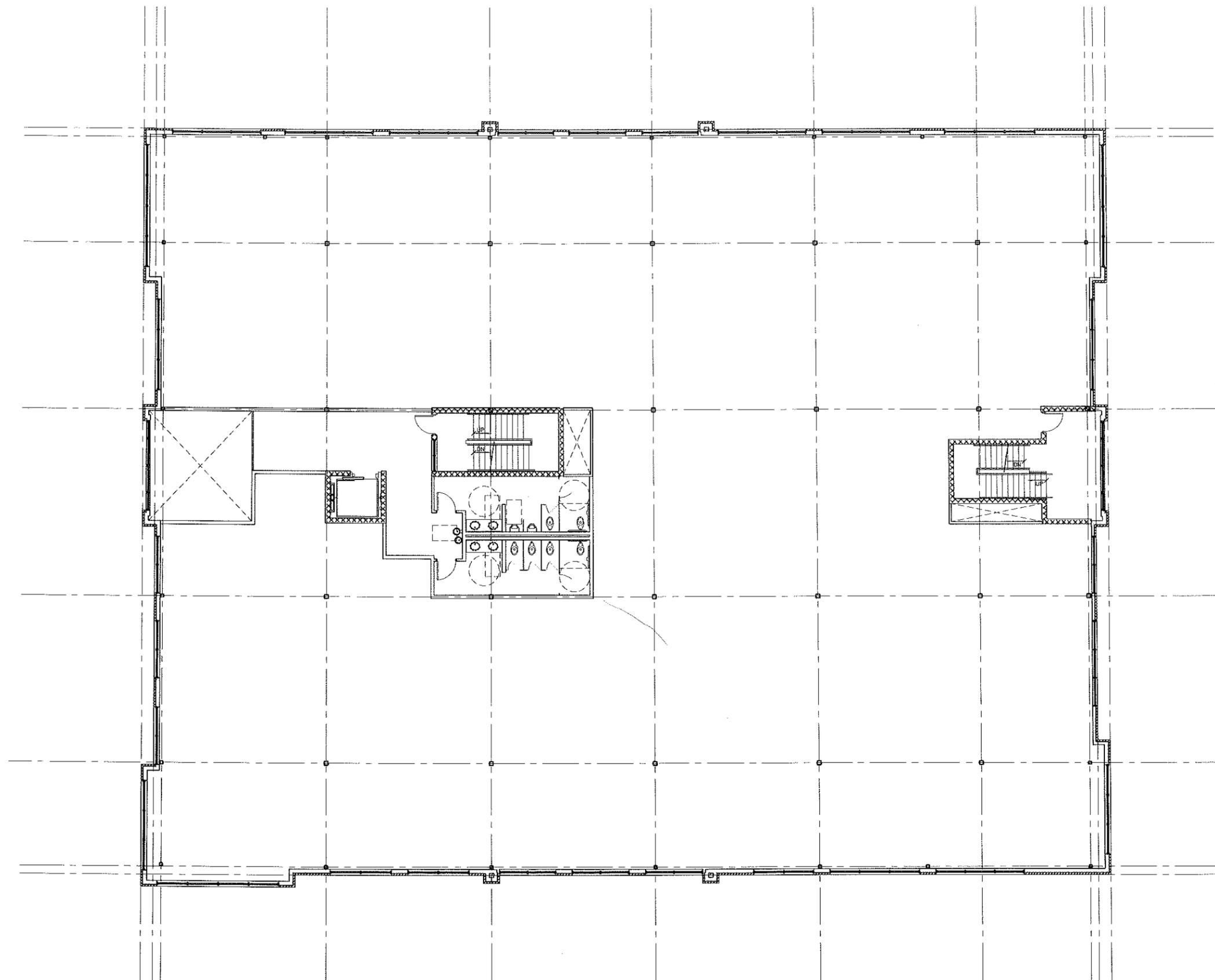
Schematic Design Phase:
 This drawing indicates the scale and relationship of the project components.
 This drawing is not for construction.

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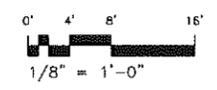
PROJECT #: 20130230
 SHEET NUMBER

A201

11/13/15 11:17 AM



1 SECOND FLOOR PLAN
A202 SCALE: 1/8" = 1'-0"



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BENJAMIN KING JAMES WAY
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ISSUE DATES:
PLAN COMMISSION: 8-18-15

RFI/SI DATE:

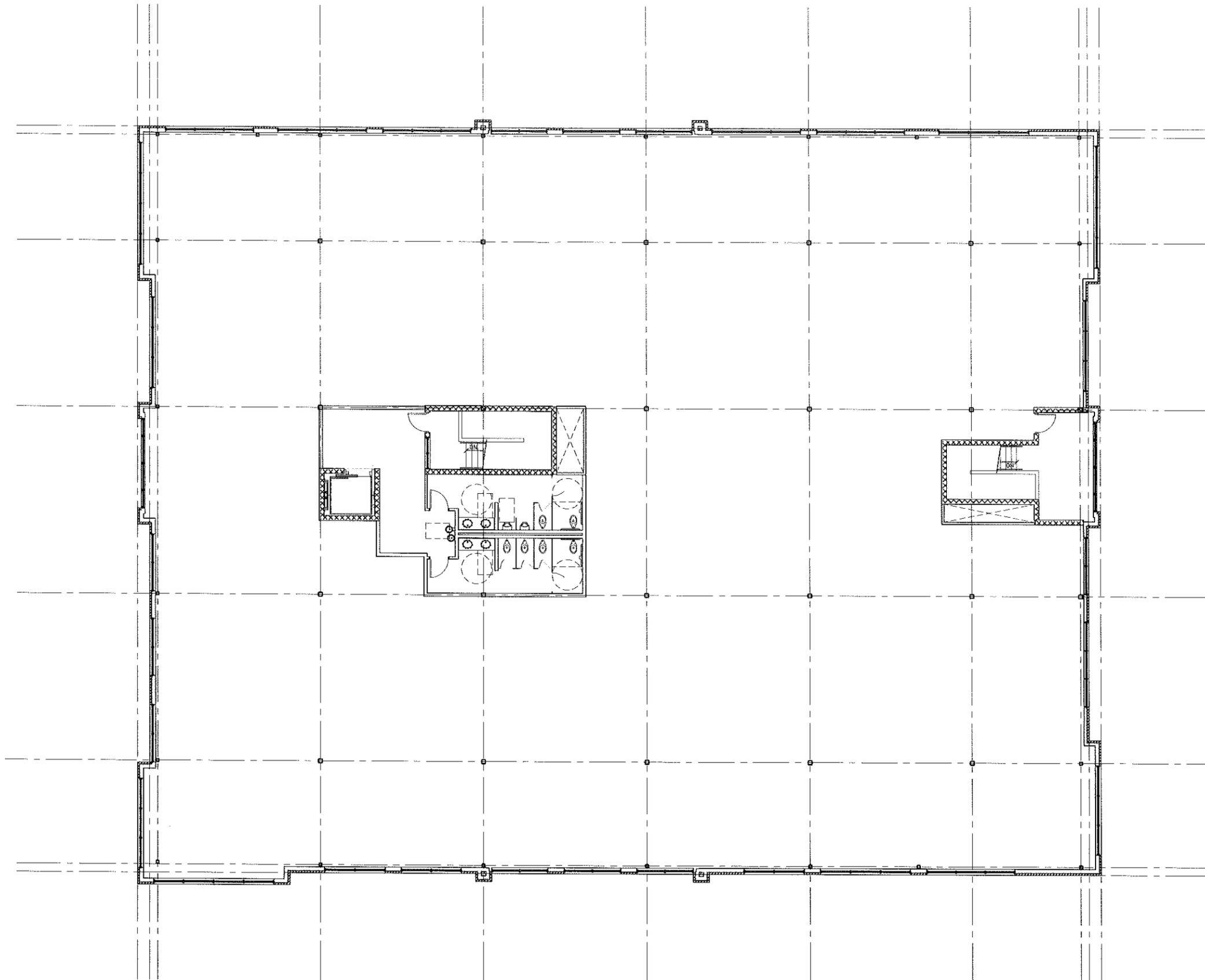
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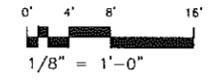
PROJECT #: 20130230
SHEET NUMBER

A202

11/15/15 10:30 AM



1 THIRD FLOOR PLAN
 A203 SCALE: 1/8" = 1'-0"



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ISSUE DATES:
 PLAN COMMISSION: 8-18-15

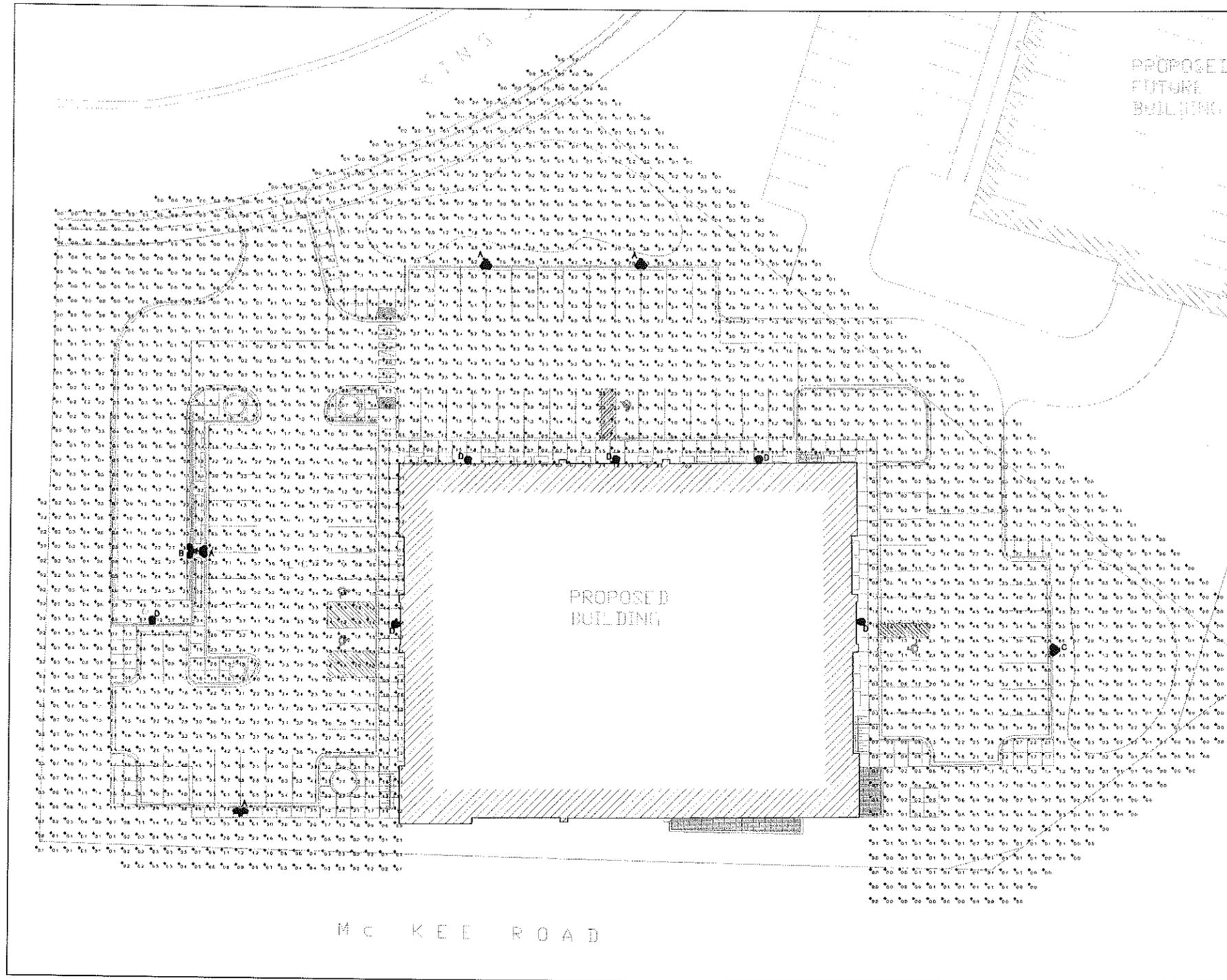
RF/ISI DATE:

Schematic Design Phase:
 This drawing indicates the scale and relationship of the project components.
 This drawing is not for construction.

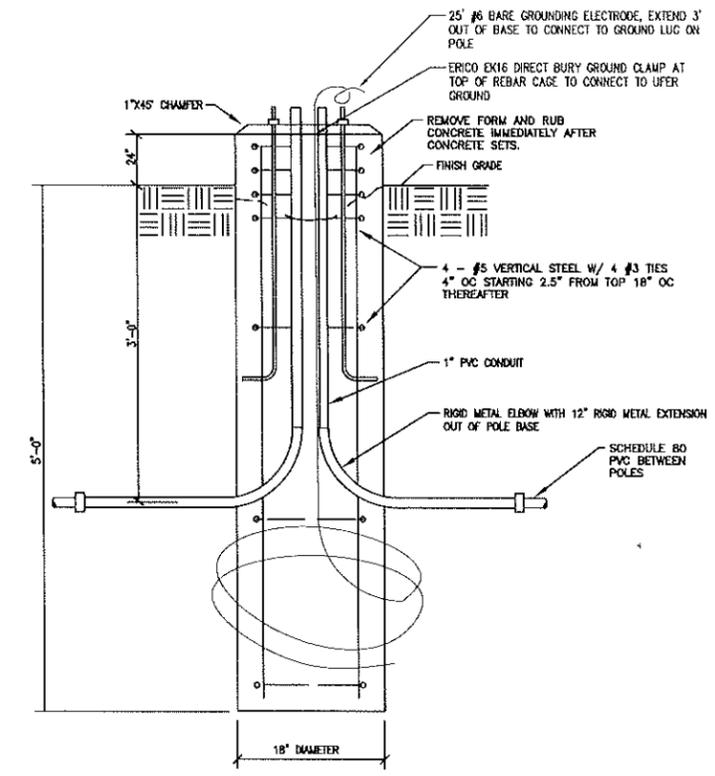
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PROJECT #: 20130230
 SHEET NUMBER

A203



1 SITE LIGHTING PHOTOMETRICS
E100 SCALE: 1" = 20'-0"



2 POLE BASE DETAIL
E100 SCALE: NOT TO SCALE

EXTERIOR LIGHTING POWER CALCULATION												
BUILDING TYPE: OFFICE ZONE: 3												
Description	Code	Area (SF)	Length (LF)	Allowable (W)	Light Fixtures							
					ID	# Fixtures	Watts /Fixture	Total Watts	ID	# Fixtures	Watts /Fixture	Total Watts
PARKING LOT & DRIVES	0.1000	W/SF	35,828	3583	A	4	227	908	B	1	35	35
MAIN ENTRY	6	W/LF	6	36	C	1	227	227	D	5	12	60
OTHER DOORS	12	W/LF	45	540		0	0	0		0	0	0
SIDEWALK	0.8	W/LF	568	454								
PLAZA	0.16	W/SF	385	62								
TOTALS		LIGHTING ALLOWANCE		4675				1230				
		4675	>	1230				EXTERIOR COMPLIES WITH THE ENERGY CODE				

LIGHT FIXTURE SCHEDULE								
ID	Description	Size	Manufacturer	Model #	Voltage	Lamps	Mounting	Remarks
A	LED POST MOUNTED AREA LIGHT ON CONCRETE BASE	40"x15"	LITHONIA	DSX2 LED 80C 700 40K 1FTM MVOLT SPA HS DRAND	120	LED, 4000K, 227W, 19,071L	20" SQUARE ALUMINUM POLE, LITHONIA SSA 2040 DM19S REC DM	FIXTURE & POLE COLOR: NATURAL ALUMINUM
B	LED POST MOUNTED AREA LIGHT ON CONCRETE BASE	40"x15"	LITHONIA	DSX0 LED 20C 530 40K 13S MVOLT DRAND	120	LED, 4000K, 35W, 8,604L	20" SQUARE ALUMINUM POLE, LITHONIA SSA 2040 DM19S REC DM	FIXTURE & POLE COLOR: NATURAL ALUMINUM
C	LED POST MOUNTED AREA LIGHT ON CONCRETE BASE	40"x15"	LITHONIA	DSX2 LED 100C 700 40K 1FTM MVOLT HS DRAND	120	LED, 4000K, 227W, 23068L	20" SQUARE ALUMINUM POLE, LITHONIA SSA 2040 DM19S REC DM	FIXTURE & POLE COLOR: NATURAL ALUMINUM
D	LED WALL MOUNTED AREA LIGHT	35"x6.5"x8.75"	RAB	SUM12	120	LED, 4000K, 12W, 1,372L	WALL, SEE BUILDING ELEVATIONS	CUSTOM COLOR: NATURAL ALUMINUM

BENJAMIN KING JAMES WAY
5400 KING JAMES WAY
FITCHBURG, WI
BENJAMIN INVESTMENTS
5400 KING JAMES WAY
MADISON, WI 53719

ISSUE DATES:
PLAN COMMISSION: 8-18-15

RFI/SI DATE:

RECEIVED
9/1/2015



CITY OF FITCHBURG
PLANNING DEPARTMENT
5520 LACY ROAD
FITCHBURG, WI 53711
(608) 270-4200
FAX: (608) 270-4275
EMAIL: planning@city.fitchburg.wi.us

Application: RZ-2078-15 & ADR
Property Address: 5400 King James Way
Property Location: Lot 2 CSM 5649
Review Date: August 26, 2015
Planning Staff Review #1

Planning staff has reviewed your submitted pre-application request for a Conditional Use Permit and Architectural Design Review for a three-story building at 5400 Kings James Way, submitted on August 18, 2015. The following comments are based on this review. Please respond to these comments with a detailed narrative response, along with appropriate revised plans, by 4:00 p.m. on Tuesday, September 1, 2015. Further comments or questions may arise as additional review occurs.

1. The proposed Impervious Surface Ratio (ISR) exceeds the city's 65% standard; will the bio-retention facilities properly offset the difference? **The bio retention facilities is sized to reduce total suspended solids for the impervious area currently shown.**
2. All signage shall comply with the City's Sign Ordinance, Chapter 26. **All signage will be submitted by tenants at the appropriate time. It is understood that signage will need to comply with the City's signage Ordinance.**
3. Parking: Per the submittal, the site is proposing to provide 198 parking stalls. Based on 54,240 sq ft, and a parking ratio of 1 stall per 300 sq ft, only 181 stalls are required. Please also be aware that the City's Plan Commission can approve fewer stalls than required through design review.
 - a. Sheet A100 notes the wrong parking standard of 3 stalls per 1,000. Please update to reflect correct standard. **It is understood that the parking proposed exceeds the required ratios, but the desire is to provide adequate parking for the intended uses based on historic data and anticipated user numbers. Sheet A100 will be revised to reflect the correct parking standard of 1 stall per 300 sf.**
4. Is it feasible to install and integrate tree islands into the surface parking? **Surface parking has been designed to be located over the underground parking level, making tree islands cost prohibitive. It is understood that plantings help soften the hardscape, so we have proposed the addition of above ground planters adjacent to the building and (2) tree planters in the parking area.**

5400 King James Way Public Works Review #4

The following comments are based on the plans submitted for an Architectural Design Review (ADR) for 5400 King James Way, updated 9-2-2015. RE, 9-3-15; GV, 9-3-15; CH 9-4-15. Additional comments beyond these may be required on future reviews.

General Comments

1. The applicant will need to submit a Construction & Demolition Reuse/Recycling Plan to Public Works.
Applicant Response to PW #1 Comment: A Construction and Demolition Reuse/Recycling Plan will be submitted prior to Construction Permitting.
2. PW #2 Comment: Please confirm that refuse and recycling container(s) are located and sized properly.
Applicant Response to PW #2 Comment: Refuse and recycling containers will be stored in the basement level. Trash trucks will access the containers via the automobile ramp.
3. PW #2 Comment: A street tree waiver will need to be signed by the Owner for street trees to be planted by the City along King James Way.
Applicant Response PW #2 Comment: The Owner understands that a tree waiver will need to be signed.

Transportation Comments

1. The applicant will need to submit a driveway permit to the Public Works department. The driveway should follow the Commercial Driveway Standards of the City of Fitchburg, consisting of a concrete apron and straight tapers to meet the public street. This drawing can be found in the City's Standard Specifications document, available on our website:
<http://www.city.fitchburg.wi.us/departments/cityHall/publicWorks/documents/StandardSpecifications.pdf>
Applicant Response to PW #1 Comment: At the time of Construction Permitting, an application for driveway permit will be submitted to Public Works. The Civil engineer will design driveway access to City of Fitchburg Standards.
2. PW #2 Comment: Show proposed sidewalk along King James Way for the entire length of the parcel. Sidewalk thickness shall be 5-inches with 4-inches CABC, 7-inches through the driveways.
Applicant Response to PW #2 Comment: The requested sidewalk has been added to the revised plans and is delineated in the ROW along King James Way and extends through the driveway.
PW #3 Comment: The sidewalk needs to be shown connecting to the existing PDQ sidewalk without leaving a gap. The minimum terrace width should be 5.5', but more is preferred to allow proper street tree growth and snow storage. A sidewalk easement will be required. **The drawings have been modified to extend the sidewalk to the existing PDQ walk. The drawing has also been modified to show the walk as 5'-0" wide and 6" off of the property line. With this design, the terrace will be smaller than requested. Options**

5400 King James Way Public Works Review #4

would be to provide a narrower walk to widen the terrace. We will work with staff to find a solution acceptable to all.

PW#4 Comment: The rights-of-way shown on the plan are less than 66-feet and do not appear to be drawn correctly. The minimum sidewalk width is 5-feet and the minimum terrace width is 5.5-feet. An easement shall be provided to install the sidewalk with a minimum 5.5 foot terrace and a 5-foot wide sidewalk width.

Water Main and Sanitary Sewer

1. PW #2 Comment: Water impact fees will need to be paid prior to release of any building permits. These fees will be included with the permit fee. The total number of employee hours per week at these facilities along with a detailed description of what these facilities will be used for shall be submitted.
Applicant Response to PW #2 Comment: The Owner understands that water impact fees will need to be paid prior to receiving any permits. Calculations for employee hours and detailed description of the facility use will be submitted.
2. PW #2 Comment: Any outstanding MMSD fees will need to be paid prior to the release of building permits.
Applicant Response to PW #2 Comment: The Owner understands that outstanding MMSD fees will need to be paid prior to receiving any permits.
3. PW #2 Comment: Water service for 5400 King James Way shall extend from the water main on King James Way, not from McKee nor the water main to the west. Water main adjacent to the west end of the parcel will be abandoned as part of the Verona Road project.
Applicant Response to PW #2 Comment: The utility plan has been revised to show water connection for the building occurring on the King James Way side of the site.
PW#3 Comment: Label water connection as an 8"x8" Live Tap w/ 8" Valve. Note another alternative may be to connect to the existing main on the west side of this lot and abandon the line to the south. This option will depend on the timing of this project with the timing of abandonment of the line along McKee as part of the 18/151 project. City anticipates the water main in McKee will be abandoned in early 2017. Drawings have been modified to add the requested valve.
4. PW #2 Comment: Verify with the Fire Department whether or not private hydrants are required. Note there will not be any public hydrants within the terrace adjacent to this site on the east/west/south sides of the building after the Verona Road project is complete. If private hydrants are required, 8" water main is required between the City's water system up to and including the private hydrant.
Applicant Response to PW #2 Comment: A private hydrant will need to be provided on site for the Phase I building development. The exact hydrant location has not yet been specified for interior plumbing/location of fire department water hook up has not yet been determined.

5400 King James Way Public Works Review #4

PW #3 Comment: The water main between the City's main and the private hydrant, including the lead, is required to be 8" DI. Please label correctly on the plans. Please finalize location with Fire Department. **The drawings have been modified to add the requested note. A coordination meeting will be held with the fire department to set final locations and address apparatus access prior to submitting for building permit.**

5. PW #2 Comment: Show existing services to be abandoned and label accordingly.

Applicant Response to PW #2 Comment: JSD will provide abandonment call outs within a future demolition plan.

PW #3 Comment: Existing sanitary sewer service is not shown on the plans. Please show location on plans. Label services to be abandoned at the main. **Exact location of existing sanitary sewer service is unknown. An existing sanitary cleanout has been located. A plan note indicates that existing cleanout shall be removed and contractor shall verify the location and connection point of the existing sanitary lateral to the public sanitary main. All abandonments of existing laterals shall be made at the public main.**

6. PW #2 Comment: Note the following on the plans:

- Water main from the point of connection up to and including private fire hydrants and connection of the new sanitary sewer service to the City's sewer system shall be installed per the latest edition of the City of Fitchburg Standard Specifications for Public Works Construction.
- Contractor shall contact Fitchburg Public Works 48 hours prior to connecting sanitary lateral and water service for inspection at 270-4260.
- A street opening permit is required for all work within the right-of-way.
- Per City Ordinance contractors are prohibited from operating City valves. Contractor shall call the Fitchburg Utility at 270-4270 for operation of valves.
- Water services may not be opened to the system until Fitchburg Utility is in receipt of safe water samples and passing pressure test results.
- Existing sewer and water laterals that will not be reused shall be abandoned at the main as directed by the City.

Applicant Response to PW #2 Comment: The items listed above are understood and will be address prior to construction.

PW #3 Comments: The notes above need to be added to the plans. The notes above will be added to the final CD's submitted for permitting

Erosion Control and Stormwater Management (ECSWM) Comments

1. A new Erosion Control & Storm Water Management permit application will need to be submitted to the Fitchburg Public Works Department for review and approval (The ECSWM application and information on requirements can be found at: <http://www.fitchburgwi.gov/231/ECSWM-Requirements>).

Applicant Response #1: A new Erosion Control and Stormwater Management permit application will be submitted at the proper time. This will be created by the Civil engineer.

5400 King James Way Public Works Review #4

2. A stormwater maintenance agreement (recorded at the Dane County Register of Deeds office) will be required for the necessary private stormwater management practices approved by the City (e.g. private storm sewer, rain gardens, etc.). The owner(s) would be eligible for up to a 50% reduction in stormwater utility rates for the proposed stormwater practices. The following link: <http://www.fitchburgwi.gov/230/Credit-Opportunities> provides the application form and details on this program.
Applicant Response #1: We will work with our Civil engineer and City staff to assist with the creation of a stormwater maintenance agreement at the appropriate time.
3. PW #2 Comment: Confirm proposed stormwater facilities are outside of the proposed/future sidewalk locations.
Applicant Response to PW #2 Comment: Stormwater facilities will not affect the sidewalk proposed 1' off of existing R-O-W.
PW #3 Comment: See sidewalk notes above in Transportation comments and update plans to show that the proposed stormwater facilities are outside of proposed sidewalk location. Drawings have been modified to reflect Transportation comments. The new sidewalk locations fall outside of the proposed stormwater facilities.
4. PW #2 Comment: Where is the trench drain discharging into? This will not be allowed into the sanitary sewer system.
Applicant Response to PW #2 Comment: Trench drain runoff will discharge into proposed building plumbing. Architect will coordinate with plumber the proper utility connections needed.
PW #3 Comment: Coordination with the Stormwater Design Engineer is also needed prior to any approvals. Trench Drain runoff will also be coordinated with the Stormwater Design Engineer prior to permitting approvals.

To: Fitchburg Zoning and Planning Department

From: Roger and Jean Cohee

2682 County Road MM

Fitchburg, WI 53575

August 17, 2015

At this time we are requesting the approval for the creation of a residential land parcel under Fitchburg's "Rural Residential Development Criteria". This parcel is currently zoned A-X (Exclusive Agriculture).

Required Criteria

Lot Size: 1 ½ acres or less

This proposed lot is located at the southwest corner of the farm (CSM-Lot3 NO. 10695) is 1 ½ acres.

History of tillage: Along fence line, disrupt farming practices.

Its southern lot line borders a permanent fence row with a planned driveway entrance onto County Rd MM.

The location supports a crop rotation of corn and soybeans, but does not inhibit any of the surrounding farm operations.

Erosion potential: Slope 12% or less

This site is located on flat land with little or no water runoff.

Lot size: Depth/ width ratio 2:1

The dimensions are 197' wide (north and south) and 337' deep (east and west), which gives it a depth/width ratio of 1.77 to 1.

Residential infill: 300' from residential dwelling.

A suggested building location would be 300' from the closest residential dwelling.

In addition to these required criteria this parcel does not include any Heritage Trees, disturb any environmentally sensitive areas or require a forestry management plan.

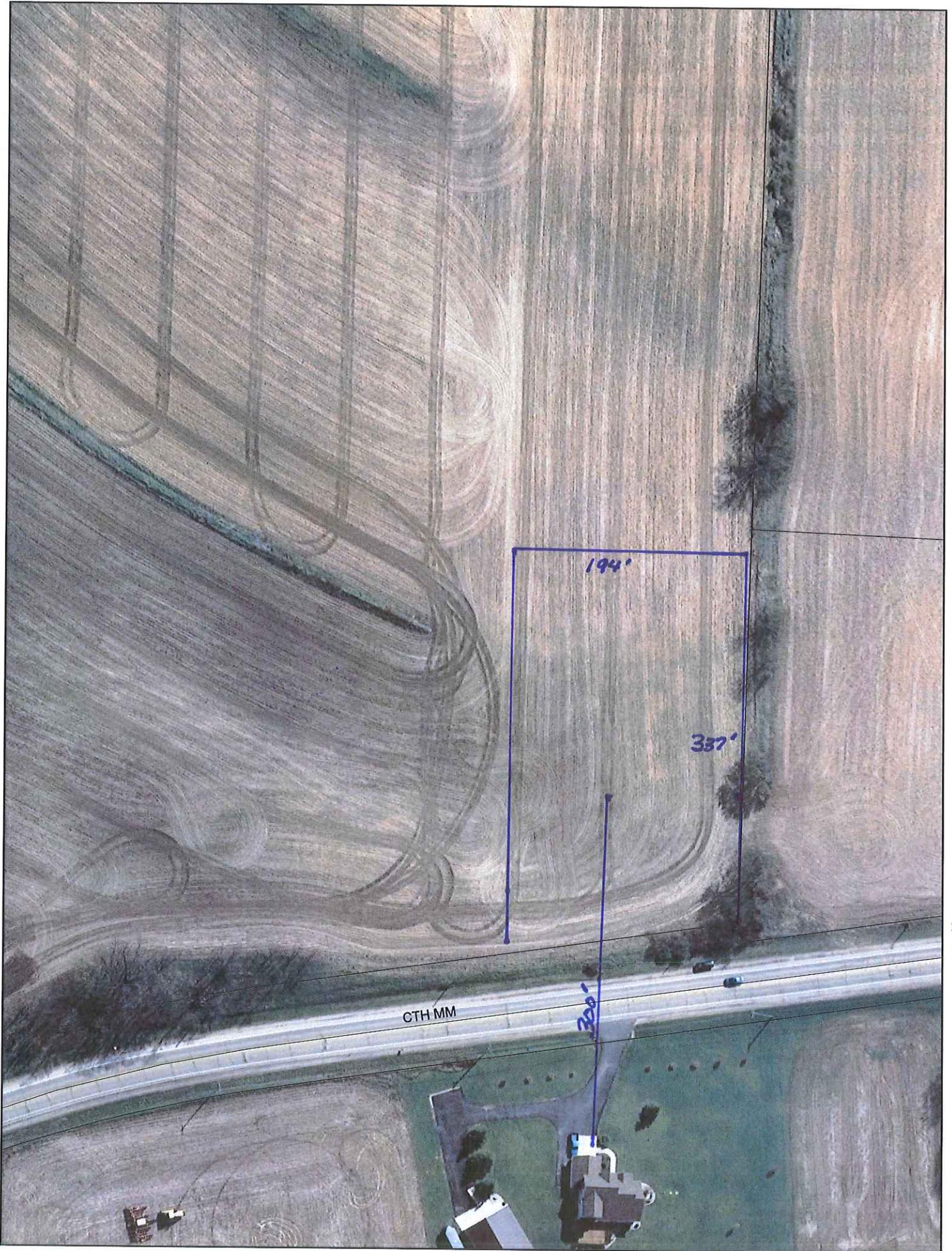
A certified survey map (Lot # 3-#10695) was completed in March of 2003. At that time, a city Restricted Deed was placed on this entire lot. This restriction currently does not allow for a housing unit to be built at this location until such time that it is included in the Urban Service Area with public water and sewer.

We are requesting that this restriction be removed in order that a housing unit can be built on this proposed parcel.

There will be ample room for a septic system and water well to be installed on this 1½ acre lot.

In summary, it appears that this requested land parcel approval would fall well within Fitchburg's "Rural Residential Development Criteria", once the "Restricted Deed" issue is resolved.

We would appreciate your approval of this 1½ acre development request.



North

EAST

Google

42°59'37.97" N 89°22'03.99" W elev 929 ft eye alt

© 2015 Google

South

CTH # MM

2000

WEST







Appendix B:
Rural Residential Development Criteria



Appendix B: RRDC

Introduction

The Rural Residential Development Criteria sets a policy standard for siting new developments, except those replacing existing developments, located outside of the urban service area. The purpose of the criteria is to manage rural residential development in a manner that is appropriate in regard to community standards, preservation of agricultural land and limiting sprawl which are policy guidelines within the Comprehensive Plan. A landowner has a potential development claim for every contiguous 35 acres under control of common ownership whether or not separated by streets, highways, or railroad rights-of-way, utilizing 1979 as the base year. A Lot currently described by CSM recorded before 1979 may be rounded to the nearest whole number to determine potential development claim(s). To utilize the number of potential claims, landowners outside the Future Urban Development Boundary (Figure 4-7) are permitted to use up to two of their claims, as of March 24, 2009 to construct a new house as long as it is sited in accordance with the rural residential criteria and developed in accord with City policies. Landowners that have more than two potential claims would be required to utilize those excess claims through a cluster program.

Landowners inside the Future Urban Development Boundary are permitted to use one of their claims, as of March 24, 2009 to construct a new house as long as it is sited in accordance with the rural residential criteria and developed in accord with City policies. Landowners inside the Future Urban Development Boundary that have more than one potential claim would be required to utilize those excess claims through a cluster program. The land shall be deed restricted to not allow for more than one dwelling use or non-farm use for every 35 acres.

Existing developments (still standing or torn down less than one year from the demolition permit) in the rural area may be replaced by a new development and are not subjected to the use of a potential claim. The new developments are to be located in the same footprint or adjacent, not to affect woodland cover, heritage trees and existing farming practices. The existing development is to be torn down after a specified length of time per the occupancy permit. Existing zoning standards and other provisions need to be followed.

Retiring of Claims

There are a number of ways that potential claims could become retired:

1. For each new rural residence lot that is created for a development under the Rural Residential Development Criteria, one claim is retired.
2. Land divisions may split a 35 acre potential claim, resulting in the loss of a potential claim.
 - a. Example: 120 acres = 3 potential claims;
 - b. Property is split between two owners 60 acres each
 - c. Each owner gets 1 potential claim for 60 acres each. The original third potential claim is retired.
3. Land that is brought into the urban service area will be subtracted from landowner's total acres. This reduction in acres may result in a loss of potential claims.



CITY OF FITCHBURG RURAL RESIDENTIAL DEVELOPMENT CRITERIA

Applicant: _____

Property ID: _____

Required Criteria

Applicants must meet the five required criteria.

A. Compatibility with Adjacent Farm Operations

Owner shall sign and record, at the Register of Deeds office, a “right to farm” statement indemnifying all neighboring farm operations as either on the deed or as a separately recorded document.

B. Environmentally Sensitive Areas

Building site must be outside of the defined wetland, floodplain and drainageway or environmental corridor.

C. Lot Shape

Depth/width ratio up to 2:1.

- Lot dimensions are defined as the average measurements from front to rear and side to side lot lines. Where the lot is irregular, several measurements are averaged including the measurement of each lot line and a measurement down the centerline between the lot lines.

D. Woodland Cover

A Forestry Management Plan, approved by the City Forester, is required for improvements placed on wooded or partially wooded sites.

- Improvements are sited to have a minimal disruption to significant tree(s), and/or the critical root radius of significant tree(s).

E. Heritage Tree Protection

Heritage trees and their critical root radius shall be fully protected and remain undisturbed by establishing a protected root zone.

Appendix B: RRDC

City reserves the right to use its zoning and land division authority in a manner it deems most appropriate.

Additional Criteria which may be Waived

Applicants are required to comply with these four criteria, with the Plan Commission being the final arbitrator to waive said criteria with additional requirements.

A. History of Tillage

Improvements should be located on land with no history of tillage.

- Locating a house on a lot with no history of tillage and meeting the required criteria is the first priority.
- If an applicant cannot meet the above requirement on their property, a lot with history of tillage may be considered. The proposed improvements on a lot with history of tillage must be at the edge of a field along an existing fence line or woodlot, not to disrupt farming practices.

B. Residential Infill

House should be located within 300 feet from a residential building.

C. Lot Size

Lot should be 1.5 acres or less.

- If the lot size of 1.5 acres or less is to be waived, complete site plans of all proposed building footprints are to be submitted. The house site of up to 1.5 acres must be sited such that remaining land can be reasonably farmed.

D. Erosion Potential

Lot slope is to be 12% or less.

- Earth houses or other houses using a slope over 12% as an energy resource may be granted by the Plan Commission. Complete site plans of the proposed house must be submitted.

Definitions

Improvements

Defined as house, structures, and/or site improvements.

Critical Root Radius (CRR)

The area of undisturbed soil around a tree, especially forest grown or columnar trees, that includes 90-95% of the tree's roots and is more accurate than the dripline method for determining the Protected Root Zone. The formula for determining the CRR is 1.5 feet of radius for each inch of DBH. For example: a 10 inch tree has a CRR of 15 feet (10 X 1.5 = 15).

Forest Management Plan

The practical application of scientific, economic, and social principles to the administration and working of a forest for specified objectives. For sites on which there shall be construction activities, the Forest Management Plan shall include Tree Protection Plan component.

Heritage Tree

Trees that, because of their age, size, type, historical association or horticultural value, are of special importance to the City. Each candidate tree is assessed by a certified arborist and evaluated by a review committee. Upon recommendation of the Parks, Recreation, and Forestry Commission, the City Council may designate a tree as a Heritage Tree provided the tree's health, aerial space, and open ground area for the root system have been certified as sufficient.

Partially Wooded

Sites that have greater than 50% tree canopy coverage are considered woodland or forest. Anything less than 50% tree canopy coverage would be considered partially wooded or oak savanna if the site consists primarily of oaks.

The site would be considered prairie if the understory herbaceous plants are undisturbed or restored native prairie plants and the oak canopy tree coverage is 10% or less.

These upper and lower limits are only approximate.

Protected Root Zone

An area surrounding a tree which should be isolated with a fence to restrict access and to avoid damage during construction activities. It includes the Critical Root Radius in which 90-95% of a tree's root system is found.

Significant Tree

Any living tree that displays superior quality and characteristics when compared to trees of the same species or other trees in the vicinity of the woodlot. For the purpose of this ordinance, a significant tree can be dominant, co-dominant, or overtopped in the tree canopy, have a DBH of greater than or equal to 6 inches, and display good form and characteristics.

Site assessment

A preliminary survey of the woodlot to determine its condition by taking sample inventories, determining the species, DBH and location, and overall general health; determining the level of pervasiveness of invasives and the presence of native animal species.

Site Disturbance

Grading, placement of structures, or site improvements which alter the existing or natural state of the land prior to the placement or work on such improvements. The disturbed area is that which is graded, disrupted, mined, or see site, structure or building improvements. A discrete event, either natural or human-induced, that causes a change in the existing condition of an ecological system.

Tree Protection Plan

A Forestry Management plan conducted by a certified forester or arborist that identifies trees that are to be protected or removed during construction. It is based on a tree survey or inventory that includes a list of significant species, their diameters at breast height, location and relative health.

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **September 8, 2015** Ordinance Number:
Date to Report Back: **September 22, 2015**

Resolution Number: R-94-15

Sponsored by: Mayor

Drafted by: Public Works

TITLE: A RESOLUTION GRANTING AN UNDERGROUND ELECTRIC RIGHT-OF-WAY GRANT TO MADISON GAS AND ELECTRIC COMPANY ON OUTLOTS 24, 25, 26 AND 28 THIRD ADDITION TO NINE SPRINGS, CITY OF FITCHBURG, WISCONSIN

Background:

In the fall of 2013 the infrastructure for the Third Addition to Nine Springs was constructed. Although the plat created utility easements for electric and telephone cables and other facilities, the utility companies need additional paths to make connections for street lights and to connect to adjoining buildings. Staff has valued the easements on Outlots 24 and 28 at \$434.13 and the easements Outlots 25 and 26 are for the benefit of the City to get service for street lights. MGE has agreed to the compensation for Outlots 24 and 28.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Board of Public Works	Horton	September 14, 2015	
2	Planning Commission	Hovel	September 15, 2015	
3				
4				

Amendments:

Stephen L. Arnold
Introduced by

Public Works
Drafted by

Public Works and Planning
Committee

September 8, 2015
Date

RESOLUTION R-94-15

A RESOLUTION GRANTING AN UNDERGROUND ELECTRIC RIGHT-OF-WAY GRANT TO MADISON GAS AND ELECTRIC COMPANY ON OUTLOTS 24, 25, 26 AND 28 THIRD ADDITION TO NINE SPRINGS, CITY OF FITCHBURG, WISCONSIN

WHEREAS, an underground electric right-of-way grant on Outlots 24, 25, 26 and 28 in the Third Addition to Nine Springs is necessary in order for Madison Gas and Electric Company to extend electric service; and

WHEREAS, MGE agrees to pay \$434.13 for compensation for easements on Outlots 24 and 28; and

WHEREAS, Outlots 25 and 26 provide the City the benefit of electric service to street lights.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Common Council of the City of Fitchburg that it approves granting an underground electric right-of-way grant to Madison Gas and Electric Company on Outlots 24, 25, 26 and 28 in the Third Addition to Nine Springs.

BE IT FURTHER RESOLVED, that the Mayor and City Clerk are hereby authorized to sign the necessary documents for the recording of the right-of-way grant.

Adopted by the Common Council of the City of Fitchburg this ____day of September, 2015.

Approved By: _____
Stephen L. Arnold, Mayor

Attested By: _____
Patti Anderson, City Clerk

Third Addition to Nine Springs

Summary of charges for easements:

OL 24 Area = $109 \times 5 = 545$ SF @ $\$0.29/\text{SF} = \158.05

OL 25 Area = $84.73 \times 6 + 20 \times 6 = 182$ SF - No charge since this line is only to serve street light

OL 26 Area = $10 \times 117 = 1,170$ SF - No charge since this line is only to serve street light

OL 28 Area = $8 \times 119.01 = 952$ Sf @ $\$0.29/\text{SF} = \276.08 if this is a trunk line. If this is only to serve the street light then charge does not apply

Note: The value of the easement at $\$0.29/\text{SF}$ calculated by taking 25% the land value since the easement only removes a portion of value from the existing land. The existing land value of $\$1.16$ per SF was obtained from recent purchase land in the area and this number has been used in our annual reporting of land and asset values to meet GASB 34 compliance.

Document No.

**RIGHT-OF-WAY GRANT
UNDERGROUND ELECTRIC**

The undersigned, herein called Grantor, in consideration of One Dollar (\$1.00) and other valuable considerations, paid to Grantor by MADISON GAS AND ELECTRIC COMPANY, a Wisconsin corporation, Grantee, receipt of which is hereby acknowledged, does hereby grant, convey, and warrant unto said Grantee, its successors, and assigns, the perpetual right and easement to construct, maintain, and operate, conduits, cables, and other appurtenances necessary for the transmission and distribution of electrical current and Grantee's communication signals, under, across, and through the following described land located in Dane County, Wisconsin:

Four strips of land, one five (5) feet in width, one six (6) feet in width, one eight (8) feet in width, and one ten (10) feet in width, located in Outlots 24, 25, 26 and 28, Third Addition to Nine Springs, lying in part of the NE¼ and SE¼ of Section 11, T6N-R9E, City of Fitchburg, Dane County, Wisconsin, said strips being more particularly described as follows:

The right-of-ways shall be located approximately as set forth in the drawings attached hereto as Exhibit "A," "B," "C," and "D."

This easement also to grant, convey, and warrant the subordinate and junior right of AT&T Wisconsin, a Wisconsin corporation, and Charter Communications, Inc., to install, remove, replace, access and maintain underground communication cables, television cables, and appurtenances, under, across, and through the right-of-way herein conveyed. In the event AT&T or Charter Communications defaults on their obligations hereby accepted, MGE shall not be liable and shall retain all rights herein granted.

Grantee's or assign's facilities installed within the right-of-way herein conveyed, to be constructed underground only.

Grantee and assigns acknowledge the senior rights of the City of Fitchburg within the right-of-way herein conveyed, as established by the "Third Addition to Nine Springs" plat, recorded as Document No. 5011988.

TOGETHER with the right to enter upon said land for the above purposes, including repairing or removing the same, and the right to trim or remove such trees and brush as may now or hereafter interfere with or endanger said facilities. The Grantee shall not have the right to erect any fence or other structures unless otherwise specifically provided for herein. The Grantor shall have the right to use and enjoy the surface of the right-of-way conveyed hereby, but shall not interfere with the use of same by Grantee for purposes hereinabove granted. The Grantor shall not build, create, or construct any buildings or other structures, plant trees, inundate, or change the grade of said right-of-way, nor permit others to do so without the express written consent of the Grantee. It is agreed that the complete exercise of the rights herein conveyed may be gradual and not fully exercised until sometime in the future and that none of the rights herein granted shall be lost by non-use.

This Agreement is binding upon heirs, administrators, executors, and assigns of Grantor.

The undersigned warrants and represents that the undersigned has the proper power and authority to grant this Right-of-Way Grant.

WITNESS, the hand and seal of the Grantor(s) this _____ day of _____ 20____.

CITY OF FITCHBURG

_____(SEAL) _____(SEAL)
_____(SEAL) _____(SEAL)

STATE OF WISCONSIN)ss
COUNTY OF _____)

ACKNOWLEDGMENT

Personally came before me this _____ day of _____ 20____ the above-named _____

to me known (or satisfactorily proven) to be the person(s) who executed the foregoing instrument and acknowledged the same.

This instrument drafted by
Madison Gas and Electric Company
Drafter: Lawrence D. Foreman

Notary Public
State of Wisconsin
My commission expires _____

THIS SPACE RESERVED FOR RECORDING DATA

Return To:
Rights-of-Way Department
Madison Gas and Electric Co.
P.O. Box 1231
Madison, WI 53701-1231

PIN _____
MGE Easement No. _____

EXHIBIT "A"

LOT 30

LOT 29

NO OAKS RIDGE

9' 6"

O.L. 25

NEW 6 FT. WIDE MGE
UNDERGROUND
ELECTRIC EASEMENT

O.L. 25

LOT 28

EXISTING 6 FT. WIDE
PLATTED UTILITY
EASEMENT

LOT 27

LOT 26



SCALE: 1 IN. = 30 FT.

EXHIBIT "B"

LOT 24

LOT 23

EXISTING 6 FT. WIDE
PLATTED UTILITY
EASEMENT

LOT 22

**NEW 5 FT. WIDE MGE
UNDERGROUND
ELECTRIC EASEMENT**

O.L. 24

O.L. 23

LOT 21

LOT 20

LOT 19



SCALE: 1 IN. = 30 FT.



NO OAKS RIDGE

EXHIBIT "C"



SCALE: 1 IN. = 40 FT.

EXISTING 6 FT. WIDE
PLATTED UTILITY
EASEMENT

NEW 10 FT. WIDE MGE
UNDERGROUND
ELECTRIC EASEMENT

O.L. 26

10'

LOT 34

LOT 35

LOT 36

LOT 37

LOT 38

NO OAKS RIDGE

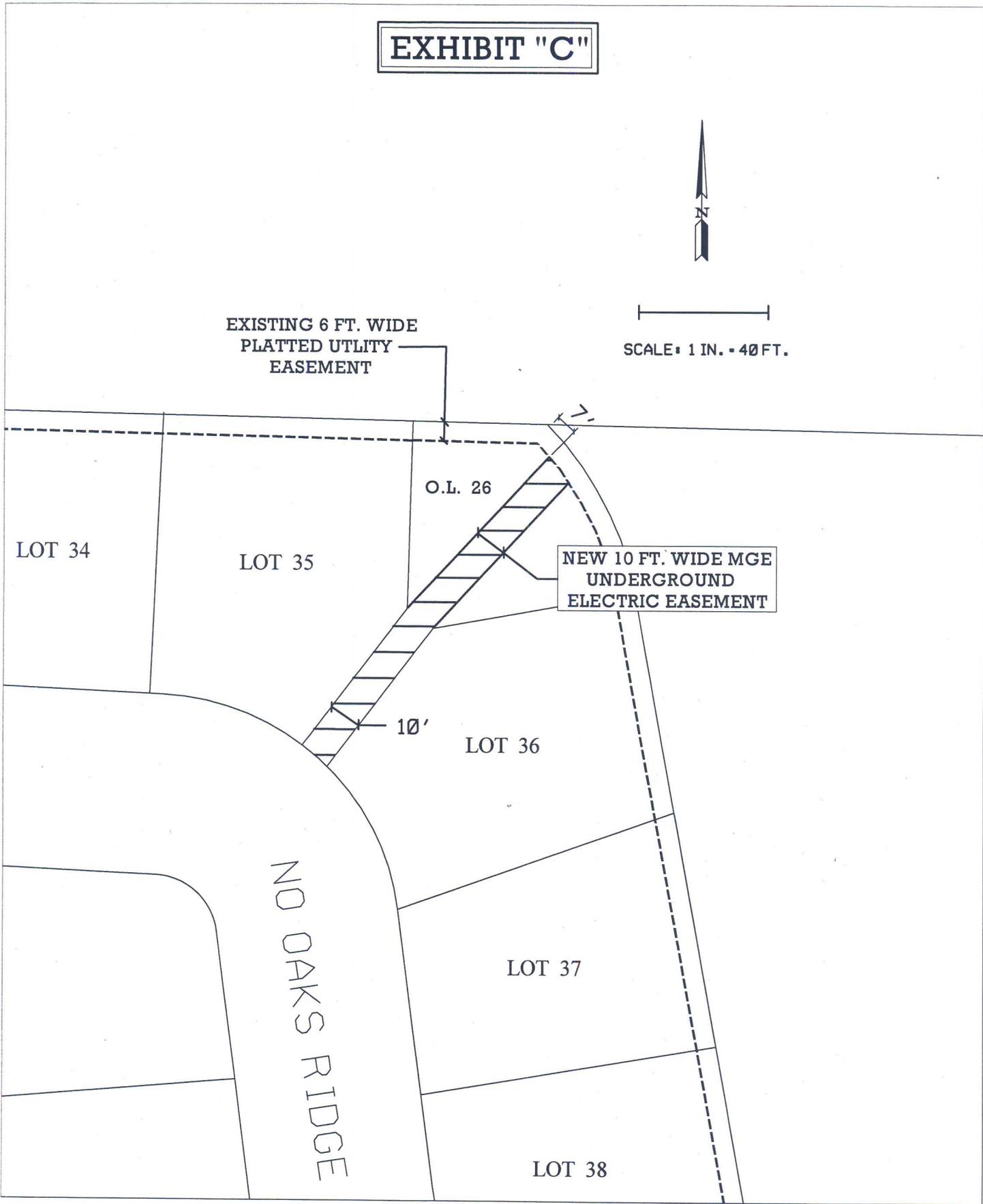


EXHIBIT "D"

LOT 47



SCALE: 1 IN. = 30 FT.



LOT 48

**NEW 8 FT. WIDE MGE
UNDERGROUND
ELECTRIC EASEMENT**

O.L. 28

NO OAKS RIDGE

LOT 49

**EXISTING 6 FT. WIDE
PLATTED UTILITY
EASEMENT**

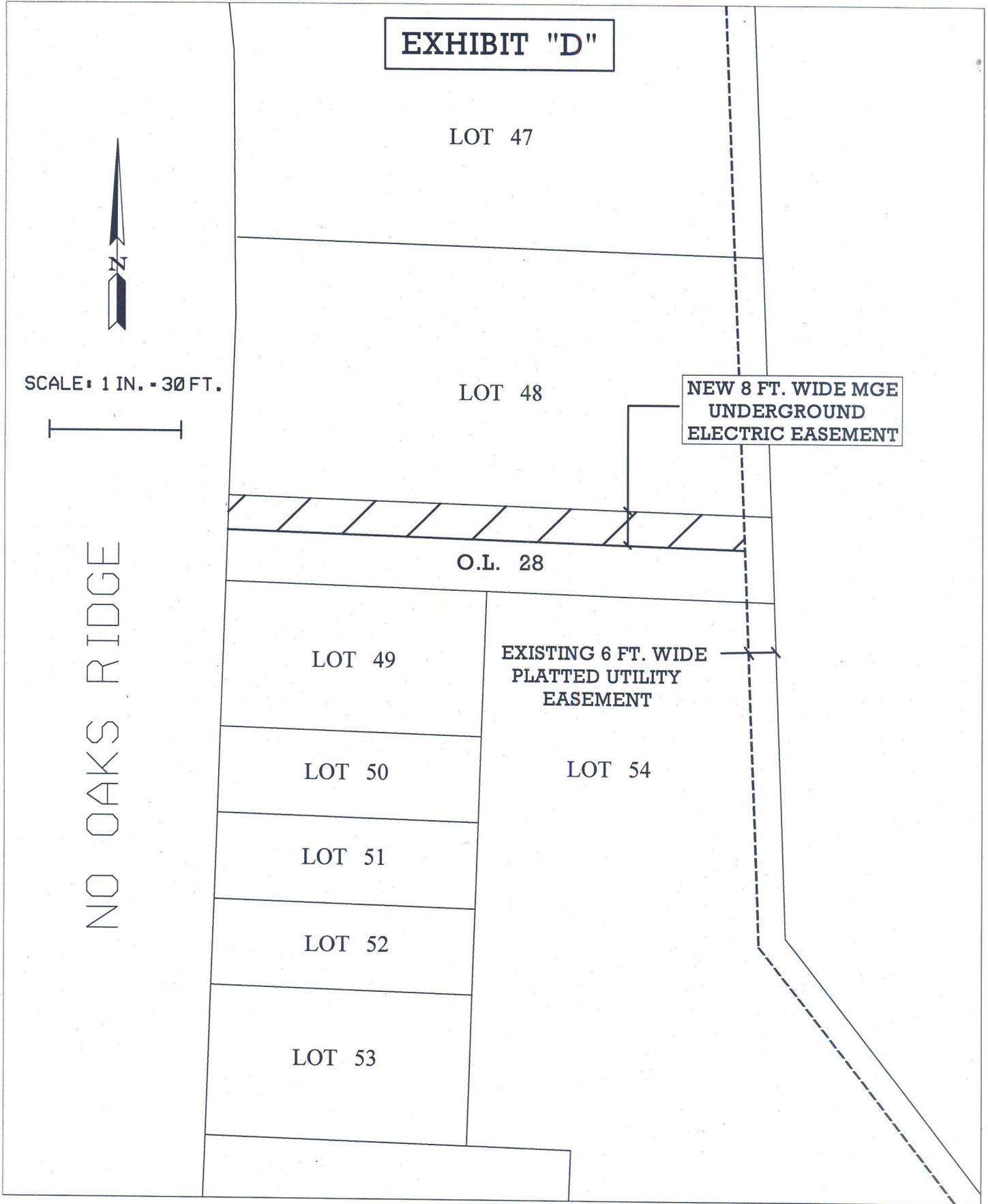
LOT 50

LOT 54

LOT 51

LOT 52

LOT 53



City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **September 8, 2015** Ordinance Number:

Date to Report Back: **September 22, 2015**

Resolution Number: R-97-15

Sponsored by: Mayor

Drafted by: Public Works

TITLE: A RESOLUTION GRANTING A PRIVATE ACCESS EASEMENT ON LOT 2 OF CSM 445 (MCGAW PARK) FOR 5267 LACY ROAD, CITY OF FITCHBURG, WISCONSIN

Background:

In 1975 the City purchased land for McGaw Park. At that time there was access across the land from the adjoining Lot 1, CSM 445 to Lacy Road. The ownership of Lot 1 has changed and the new owner would like an easement to insure that they will have access to their property.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Planning Commission	Hovel	September 15, 2015	
2				
3				
4				

Amendments:

Stephen L. Arnold
Introduced by

Public Works
Drafted by

Planning
Committee

September 8, 2015
Date

RESOLUTION R-97-15

A RESOLUTION GRANTING A PRIVATE ACCESS EASEMENT ON LOT 2 OF CSM 445 (MCGAW PARK) FOR 5267 LACY ROAD, CITY OF FITCHBURG, WISCONSIN

WHEREAS, the owner of Lot 1 of CSM 445 has had access through Lot 2 since before the City purchased the property in 1975; and

WHEREAS, the DNR has indicated that they are in support of granting such easement as written; and

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Common Council of the City of Fitchburg that it approves granting a private access easement on Lot 2 of CSM 445 (McGaw Park) for 5267 Lacy Road.

BE IT FURTHER RESOLVED, that the Mayor and City Clerk are hereby authorized to sign the necessary documents for the recording of the easement.

Adopted by the Common Council of the City of Fitchburg this ___day of September, 2015.

Approved By: _____
Stephen L. Arnold Mayor

Attested By: _____
Patti Anderson, City Clerk

ACCESS EASEMENT FOR INGRESS AND EGRESS

CITY OF FITCHBURG grants to the **owner of Lot 1 CSM 445**, access easement for ingress and egress.

RECITALS:

- A. **CITY OF FITCHBURG** is the fee holder of certain real property in the City of Fitchburg, County of Dane, State of Wisconsin, and more particularly described in recital B below and depicted on Exhibit A attached hereto and made a part hereof (the "Property").

- B. The owner of Lot 1, CSM 445 has requested that **CITY OF FITCHBURG** grant access over the portion of the Property owned by the City as depicted on Exhibit A and more fully described as follows (the "Access Easement Area"):

Access Easement Area Description:

Part of Lot 2, CSM 445 located the Northwest ¼ of the Northwest ¼ of Section 14, T6N, R9E, City of Fitchburg, Dane County, Wisconsin.

Commencing at the southeast corner of Lot 1, CSM 445;

Thence N00°12'34"E, 30.00' along the east line of said Lot 1 to the point of beginning;

Thence N00°12'34"E, 60.00' along the east line of said Lot 1;

Thence S88°34'50"E, 60.00';

Thence N00°12'34"E, 154.94' to the southerly Right of Way of Lacy Road;

Thence S88°34'50"E, 60.00' along the southerly Right of Way of Lacy Road;

Thence S00°12'34"W, 214.94';

Thence N88°34'50"W, 120.00' to the point of beginning

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the City hereby agrees as follows:

1. Grant of Access. Access for ingress and egress, including for such purpose the right to operate the necessary equipment thereon and the right of ingress and egress.

2. Reversion. If this access easement ceases to be used and maintained for the purposes and intent under this easement for a period of 3 years, then the City, its successors or assigns, reserves the right to all title and interest of the grantee in the above-described part of Lot 2, and said easement shall cease and revert immediately to the City, its successors or assigns.

3. Consistent Uses Allowed. The City reserves the right to use the Property for existing and future outdoor recreational purposes that will not interfere with the Grantee's full enjoyment of the easement rights granted in this Agreement.

4. Covenants Run with Land. All of the terms and conditions in this agreement, including the benefits and burdens, shall run with the land and shall be binding upon, inure to the benefit of,

Return to:

City Clerk
City of Fitchburg
5520 Lacy Road
Fitchburg, WI 53711

Parcel Number:

225/0609-142-8591-2

and be enforceable by the City and the Grantee and their respective successors and assigns. The party named as "City" in this Agreement and any successor or assign to the City as fee simple owner of the Property shall cease to have any liability under this Agreement with respect to facts or circumstances arising after the party has transferred its fee simple interest in the Property.

- 5. Governing Law. This Agreement shall be construed and enforced in accordance with the laws of the State of Wisconsin.
- 6. Entire Agreement. This Agreement sets forth the entire understanding of the parties and may not be changed except by a written document executed and acknowledged by all parties to this Agreement and duly recorded in the office of the Register of Deeds of Dane County, Wisconsin.
- 7. Invalidity. If any term or condition of this Agreement, or the application of this Agreement to any person or circumstance, shall be deemed invalid or unenforceable, the remainder of this Agreement, or the application of the term or condition to persons or circumstances other than those to which it is held invalid or unenforceable, shall not be affected and each term and condition shall be valid and enforceable to the fullest extent permitted by law.

Dated this ____ day of _____, 2015.

By:_____

STATE OF WISCONSIN

COUNTY OF DANE

The forgoing instrument was acknowledged before me on this ____ day of _____, 2015, by the above-named _____ to me known to be the person who executed and acknowledged the foregoing instrument, being duly authorized to do so.

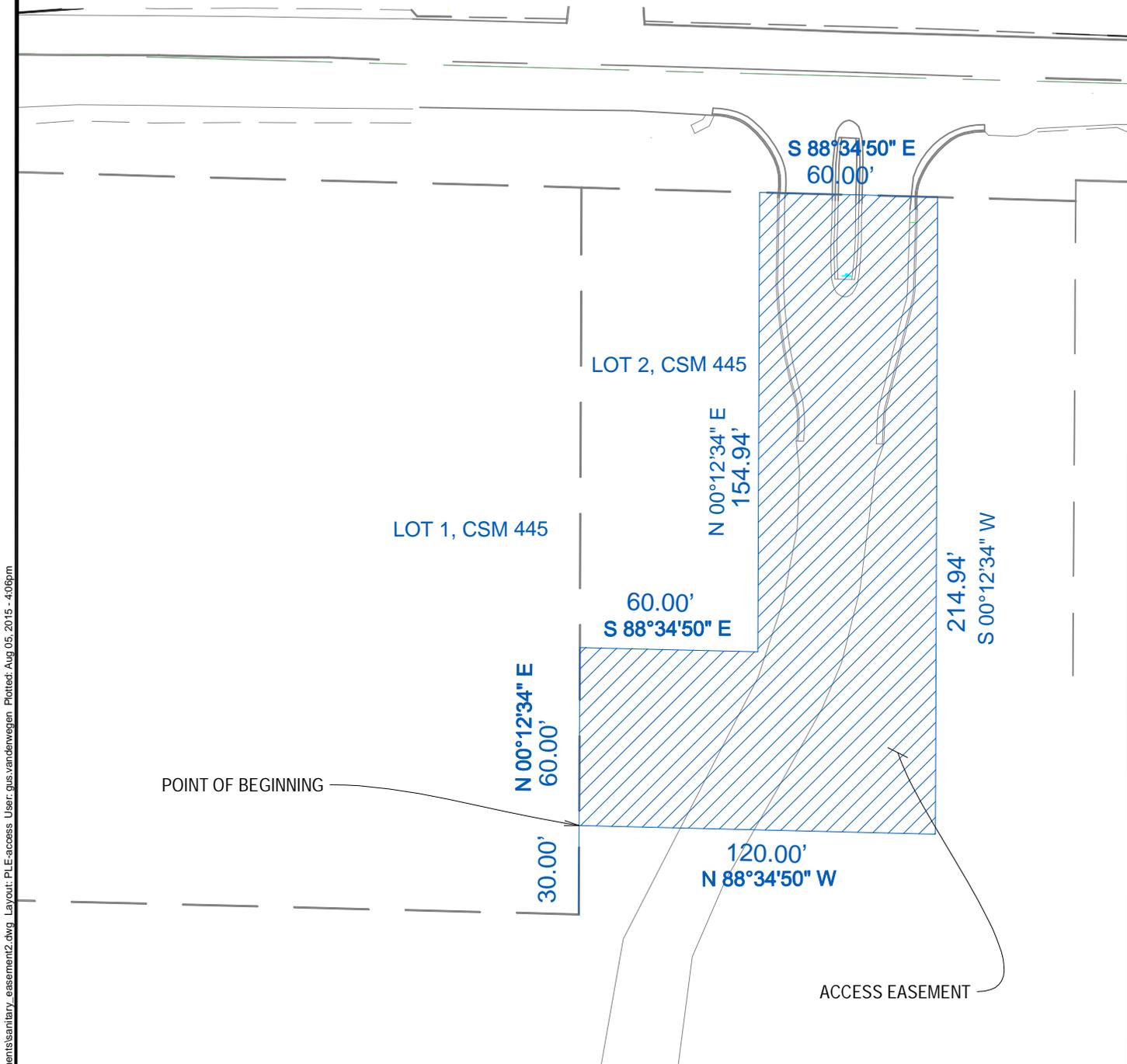
Printed name of Notary Public, State of Wisconsin

Signature of Notary Public, State of Wisconsin
My Commission Expires:_____ .

This document is authorized by Resolution R-__-15 adopted on _____, 2015.
This document was drafted by Department of Public Works, City of Fitchburg.

EXHIBIT A ACCESS EASEMENT

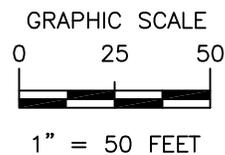
PART OF LOT 2, CSM 445 IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14,
TOWNSHIP 6 NORTH, RANGE 9 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



File: \\MAGIS\DATA\Plats_CSMs\Easements\sanitary_easement2.dwg Layout: PLE-access User: gus.vanderwegen Plotted: Aug 05, 2015 - 4:06pm



DRAWN BY: G VanderWegen REVIEWED BY: T. FOSS



City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
 Direct Referral Approved by:

Date Referred: **September 8, 2015**
 Date to Report Back: **September 22, 2015**

Ordinance Number:
 Resolution Number: **R-100-15**

Sponsored by: Mayor

Drafted by: Public Works

TITLE: A RESOLUTION RELEASING A PLATTED PUBLIC SANITARY SEWER EASEMENT ON LOT 21 IN FIRST ADDITION TO FITCHBURG TECHNOLOGY CAMPUS CITY OF FITCHBURG, WISCONSIN

Background:

As part of the TechLands plat improvements sanitary sewer servicing properties along Nobel Drive within the First Addition to Fitchburg Technology Campus plat, east of Research Park, was rerouted from Lot 21 in the First Addition to Fitchburg Technology Campus plat to Nobel Drive within the TechLands plat. The platted public easement on Lot 21 in First Addition to Fitchburg Technology Campus is no longer necessary.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Planning Commission	Hovel	9/15/15	
2	Board of Public Works	Horton	9/21/15	
3				
4				

Amendments:

Stephen L. Arnold
Introduced by

Public Works
Drafted by

Board of Public Works & Planning
Committee

September 8, 2015
Date

RESOLUTION R-100-15

**A RESOLUTION RELEASING A PLATTED PUBLIC SANITARY SEWER EASEMENT ON
LOT 21 IN FIRST ADDITION TO FITCHBURG TECHNOLOGY CAMPUS
CITY OF FITCHBURG, WISCONSIN**

WHEREAS, the developer of the TechLands plat has put together a comprehensive development for this plat; and

WHEREAS, as part of the TechLands plat improvements sanitary sewer servicing properties along Nobel Drive within the First Addition to Fitchburg Technology Campus plat, east of Research Park, was rerouted from Lot 21 in the First Addition to Fitchburg Technology Campus plat to Nobel Drive within the TechLands plat; and

WHEREAS, the public sanitary sewer easement on Lot 21 in the First Addition to Fitchburg Technology Campus is no longer necessary; and

WHEREAS, the developer of TechLands has agreed to convey the sanitary sewer through their plat and the owner of Lot 21 in First Addition to Fitchburg Technology Campus has agreed to the abandonment of the sanitary sewer on their lot.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Common Council of the City of Fitchburg that it approves the release of platted public sanitary sewer easement on Lot 21 in the First Addition to Fitchburg Technology Campus plat.

BE IT FURTHER RESOLVED, that the Mayor and City Clerk are hereby authorized to sign the necessary documents for the recording of the easement release.

Adopted by the Common Council of the City of Fitchburg this ____day of September, 2015.

Approved By: _____
Stephen L. Arnold, Mayor

Attested By: _____
Patti Anderson, City Clerk

**RELEASE OF PLATTED PUBLIC SANITARY SEWER
EASEMENT**

Recording Area

Return to:

City Clerk
City of Fitchburg
5520 Lacy Road
Fitchburg, WI 53711

Parcel Number:

225/0609-152-4302-2

1. The undersigned, hereby releases all right, title and interest which it may have in a certain public utility easement, depicted on the Easement Exhibit and more particularly described as follows:

A 20 foot wide sanitary sewer easement located in Lot 21, First Addition to Fitchburg Technology Campus, Recorded in Volume 58-025A, Plats, Pages 135-139, Document Number 3708613 in the Dane County Register of Deeds Office. Located in Section 15, Township 6 North, Range 9 East, City of Fitchburg, Dane County, Wisconsin, bound by the following described line:

Commencing at the Southeast Corner of Lot 21, First Addition to Fitchburg Technology Campus, said point being the Point of Beginning of this release of a 20 foot wide sanitary sewer easement description; thence S57°31'51"W, 23.73 feet along the south line of said Lot 21; Thence N0°06'12"E, 313.52 feet, parallel to the east line of said Lot 21; Thence N58°35'56"W, 125.55 feet; Thence N31°24'04"E, 20.00 feet; Thence S58°35'56"E, 129.59 feet, to the easterly line of said Lot 21; Thence S33°11'35"E, 11.21 feet, along the easterly line of said Lot 21; Thence S0°06'12"W, 306.36 feet, along the easterly line of said Lot 21 to the Point of Beginning;

Said release of a 20 foot wide sanitary sewer easement containing 0.20 acres, more or less.

2. Attached hereto as Easement Exhibit is a map showing the portion of the public utility easement to which the undersigned is relinquishing its rights.

Dated this ____ day of _____, 2015

Stephen L. Arnold, Mayor

Patti Anderson, City Clerk

STATE OF WISCONSIN

COUNTY OF DANE

The forgoing instrument was acknowledged before me on this ____ day of _____, 2015, by the above-named _____ to me known to be the person who executed and acknowledged the foregoing instrument, being duly authorized to do so.

Notary Public, State of Wisconsin

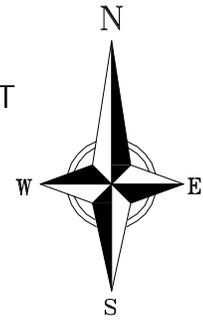
Printed Name of Notary Public

My commission expires:_____.

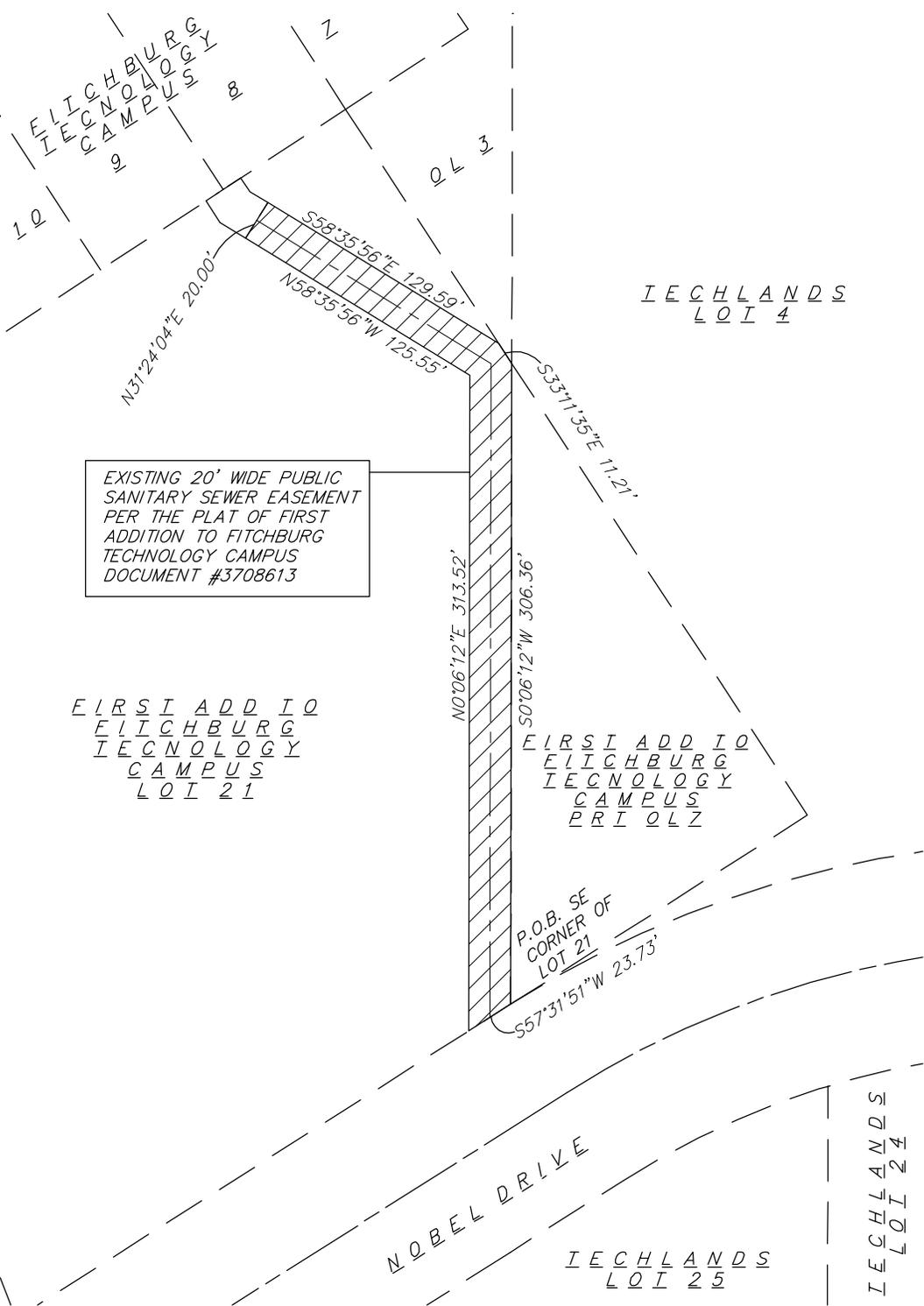
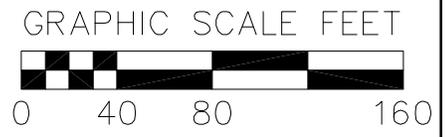
This documents is authorized by Resolution R-__-15 adopted on _____,2015.
This document was drafted by Department of Public Works, City of Fitchburg.

EXHIBIT A

RELEASE OF PLATTED PUBLIC SANITARY SEWER EASEMENT



BEARINGS ARE BASED UPON THE
 WISCONSIN COUNTY COORDINATE
 SYSTEM, DANE COUNTY, THE EAST
 LINE OF LOT 21, MEASURED AS
 BEARING S00°06'12"W



22 Dec 2014 - 10:03a M:\Ruedebusch\33107490_FTC Phase II\AutoCAD\Sanitary Release Exhibit_7490.dwg by: mmar

vierbicher
 planners | engineers | advisors

REEDSBURG - MADISON - PRAIRIE DU CHIEN
 999 Fourier Drive, Suite 201 Madison, Wisconsin 53717
 Phone: (608) 826-0532 Fax: (608) 826-0530

EXHIBIT A

SCALE 1"=80'	SHEET
CHECKED MMAR	3 OF 3
DRAFTER WBUL	
DATE 2014-12-22	
JOB NO. 33107490	

Plan Commission Resolution No. PCR-04-15

**RESOLUTION OF THE PLAN COMMISSION CALLING FOR A PUBLIC HEARING
ON PROPOSED TAX INCREMENTAL DISTRICT NO. 10 CREATION IN THE CITY
OF FITCHBURG**

WHEREAS, Wisconsin Statutes, Section 66.1105, provides a procedure for the creation of tax incremental districts;

WHEREAS, the Plan Commission is required to conduct a public hearing in accordance with Wisconsin Statutes, Section 66.1105(4), after written notice has been mailed to the chief executive officer of all local government entities having the power to levy taxes on property located within a proposed tax incremental district and to the school board of any school district which includes property located within a proposed tax incremental district and published as a Class 2 notice under Wisconsin Statutes, Chapter 985, prior to recommending the creation of a district and prior to adoption of a project plan; and

The District is expected to be a rehabilitation or conservation district based on the identification and classification of the property included within the district.

NOW, THEREFORE, BE IT RESOLVED that the City Clerk give proper notice of a public hearing on October 20, 2015 at 7:00 p.m., at the Fitchburg City Hall, for the purpose of creating the above described District in and for the City and for the purpose of consideration of proposed Project Plan for said District.

Passed and adopted this ____ day of _____, 2015

Plan Commission Chair

Secretary of the Plan Commission



FITCHBURG TID #10 -

TAX PARCELS



 TID #10 Tax Parcels

Note - Numbers identified in map refer to Map Key in data table.

CREATED BY: PLANNING & ZONING DEPARTMENT 09/2015
 SOURCE: PLANNING & ZONING DEPARTMENT AND DANE COUNTY LIO