

1. Agenda

Documents: [PLAN_20151117_AG.PDF](#)

2. Complete Packet

Documents: [PLAN_20151117_PK.PDF](#)



CITY OF FITCHBURG

Planning Department

5520 Lacy Road
Fitchburg, WI 53711-5318

Phone: (608) 270-4256 ■ Fax: (608) 270-4275

www.fitchburgwi.gov

NOTICE PLAN COMMISSION November 17, 2015

PLEASE TAKE NOTICE that the Plan Commission of the City of Fitchburg, Dane County, Wisconsin will hold a meeting on **Tuesday, November 17, 2015 at 7:00 p.m.** in the Fitchburg City Hall, 5520 Lacy Road, Fitchburg, WI 53711 for the purposes of:

1. Call to order.
2. Approval of minutes of 10/20/2015.
3. Public Appearances – non agenda items
4. Agenda Review
5. Public hearing on Rezone request, RZ-2080-15, by Ronald Klaas, agent for Fahey Land LLC, to rezone lands associated with the proposed Fahey Fields Plat from the A-T (Transitional Agriculture) to the A-S (Small Lot Agriculture), P-R (Parks & Recreation), R-H (Residential – High Density) and R-LM (Residential – Low to Medium Density), property described as Lot 2 CSM 9896.
6. Public hearing and consideration of Conditional Use Permit request, CU-2084-15, by Jacob Nauta, agent for Nauta Properties LLC, to allow for landscape sales and services on a portion of property associated with 1839 CTH MM, portion of Lot 1 CSM 12929 and consideration of relief to parking standards.
7. Public hearing and consideration of Comprehensive Development Plan amendment request, CDP(A)-2085-15, by Jim Spahr of Lionshare Group, agent for William Dunn, for amendment one to the Stoner Prairie Comprehensive Development Plan to modify from 9 single-family residential units to 21 townhouse units.
8. Public hearing and consideration of Conditional Use Permit request, CU-2086-15, by Matt Hoefler, HAF Group, to allow for an expanded restaurant use at 2784 S Fish Hatchery Road, Lot 1 CSM 12119.
9. Architectural Design Review request by Matt Hoefler, HAF Group, to allow for a building expansion and site modifications along with request for a parking reduction at 2784 S Fish Hatchery Road, Lot 1 CSM 12119.
10. Public hearing and consideration of Conditional Use Permit request, CU-2087-15, by Chuck Chvala, agent for Ronald & Gertrude Hermsmeier, to allow for a Church use on property associated with 1911 Pike Drive, Lot 3 Hasz Subdivision.
11. Public hearing and consideration of Conditional Use Permit request, CU-2088-15, by Chuck Chvala, agent for Fitchburg Christian Fellowship, to allow for a hotel, restaurant and conference center use on property associated with 2924 Fish Hatchery Road.

(additional items on page 2)

12. Public hearing and consideration of Conditional Use Permit request, CU-2089-15, by Rob Roos of Cardno, agent for American Transmission Company, for a Transmission Line Rebuild of the “6943: Fitchburg to Nine Springs Transmission Line”.
13. Public hearing and consideration of Rezone request, RZ-2090-15, by Bill Schiel, agent for 5509, LLC, to amend the PDD-SIP (Planned Development District – Specific Implementation Plan) zoning relative to site plan and building modifications, for 11 Glenbrook Way, Lot 1 CSM 12952.
14. Architectural Design Review request by Bill Schiel, agent for 5509, LLC, for site and structural development of a 3-story multi-family residential building at 11 Glenbrook Way, Lot 1 CSM 12952.
15. Consideration of rezone request, RZ-2082-15, by Thomas Sanford, agent for Homeville Fitchburg/Bill Clemens, to rezone Lot 1 CSM 12135 from PDD-GIP (Planned Development District – General Implementation Plan) zoning to PDD-SIP (Planned Development District – Specific Implementation Plan) to allow for commercial development.
16. Certified Survey Map request, CS-2083-15, by Thomas Sanford, agent for Homeville Fitchburg/Bill Clemens, to divide Lot 1 CSM 12135 into two lots.
17. Architectural Design Review request by Thomas Sanford, agent for Homeville Fitchburg/Bill Clemens, to allow for site and structural development of a commercial development consisting of two, 2-story buildings on Lot 1 CSM 12135.
18. Final Plat request, FP-2090-15, by Michael Marty of Vierbicher, agent for Goldleaf Fitchburg, LLC, for the Final Plat for the First Addition to North Park.
19. Resolution R-121-15, Approving Grant of Highway Easement to Wisconsin Department of Transportation (WisDOT) Over the Military Ridge Path Corridor at County PD/McKee Road.
20. Resolution R-122-15, Accepting Temporary Access Easement From Sub-Zero Group.
21. Resolution R-124-15, Approving the Future Vacation of Excess Right-of-Way on Anton Drive.
22. Planning Department Report
23. Announcements
 - a. Next Plan Commission Meeting Scheduled for December 15, 2015 at 7:00 p.m.
 - b. SmartCode Workshop – November 30, 2015 (5:30 – 7:30 p.m.)
December 1, 2015 (8:30 a.m. – 5:15 p.m.)
 - c. Other
24. Adjournment

Full coverage of this meeting is available through FACTv and Streaming Video, accessible on the city web site at <http://factv.city.fitchburg.wi.us/Cablecast/Public/Main.aspx?ChannelID=3>

Note: It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact City Clerk's office (270-4200), Fitchburg City Hall, 5520 Lacy Rd, Fitchburg, WI 53711



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MINUTES

PLAN COMMISSION

October 20, 2015

Plan Commission Members Present: Steve Arnold, Ed Kinney, Carol Poole, Tony McGrath, Rachel Lee, Bill Tishler, Ron Johnson

Others Present: Thomas Hovel – City Planner/Zoning Administrator, Susan Badtke – Community Planner

1. Call to order and approval of minutes of 9/15/2015.

Chair Arnold called the meeting to order at 7:00 p.m.

Motion by Johnson, second by Tishler, to approve the minutes of 9/15/2015 was carried unanimously.

2. Public Appearances – non agenda items – None.

3. Agenda Review – No changes.

4. Public hearing and consideration of Ordinance 2015-O-27, An Ordinance Amending Chapter 22, Section 22-345(5) to allow Landscape Sales in the R-D (Rural Development) District.

Chair Arnold opened and closed the public hearing as there were no registrants.

Motion by Poole, second by McGrath, to recommend approval of Ordinance 2015-O-27.

City Planner Tom Hovel provided the staff memo noting that the amendment follows the comp plan amendment for Fitchburg Farms and would add landscape sales as a conditional use in the R-D zoning district.

Motion carried unanimously.

5. Public hearing and consideration of rezone request RZ-2079-15 by Craig Raddatz, agent for Fiduciary Real Estate Development, Inc., to amend the PDD-SIP (Planned Development District – Specific Implementation Plan) zoning to allow for the addition of two picnic areas with grills, a single-story maintenance shop building addition as well as other minor exterior modifications on Lot 15 Quarry Vista.

Chair Arnold opened the public hearing.

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Craig Raddatz, 789 N Water Street Milwaukee, representing Fiduciary Real Estate, was available to answer questions.

Chair Arnold closed the public hearing.

Motion by Poole, second by Lee, to recommend approval of RZ-2079-15 with the following conditions:

- (A) PDD-SIP zoning is hereby amended to allow for modifications to the plans for Lot 15 Quarry Vista in accord with submitted plans and information which accompanied the rezoning application received on September 22, 2015, which is hereby made a part of this ordinance, and with the following additional requirements:
1. No other permit or approval is waived or deemed satisfied except for the approval provided herein.
 2. All aspects of Ordinance 2015-O-14 remain in place, except for the amendments provided herein to modify specific development aspects as detailed in the submittal materials of September 22, 2015.
- (B) This ordinance shall take effect following its publication, or the consent of the property owner, whichever occurs last. However, in accord with section 22-596 of the zoning code, owners shall consent within 30 days of approval for the PDD-SIP zoning to take effect.
- (C) Applicant shall pay cost of publication to avoid a two Council meeting approval process.

Chair Arnold noted concerns with the physical look of the maintenance shop and suggested that the applicant undertake lots of landscaping to screen the building from the street.

City Planner Tom Hovel provided the staff report noting that the proposed improvements did not increase the ISR significantly.

Motion carried unanimously.

6. Architectural Design Review request by Craig Raddatz, agent for Fiduciary Real Estate, Inc., to allow for the addition of two picnic areas with grills, a single-story maintenance shop building addition as well as other minor exterior modifications on Lot 15 Quarry Vista.

Motion by McGrath, second by Kinney, to approve ADR with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Applicant shall confirm whether the net impervious area is increasing from the approved Erosion Control and Stormwater Management (ECSWM) permit. If so, the applicant will need to submit either a new ECSWM permit application or request an amendment to the current permit prior to issuance of any permit.

Motion carried unanimously.

7. Public hearing on rezone request, RZ-2082-15, by Thomas Sanford, agent for Homeville Fitchburg/Bill Clemens, to rezone Lot 1 CSM 12135 from PDD-GIP (Planned Development District – General Implementation Plan) zoning to PDD-SIP (Planned Development District – Specific Implementation Plan) to allow for commercial development.

Chair Arnold opened the public hearing.

Konrad Opitz, 502 N Eau Claire Ave Madison, agent for UW Credit Union, registered in support of the request.

Dan O'Callaghan, 1 S Pinckney St Suite 700 Madison, representing Bowman Farms, Inc, spoke in opposition to the request. He noted concerns with the proposed development, primarily as it relates to the configuration

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of the Pike Drive extension. He stated that Bowman Farms had previously expressed that any extension of Pike Drive through their property would render the property unusable and had outlined these concerns in a letter to the City in June 2015. The letter had also requested that Bowman's be engaged in the process before development proceeds. O'Callahan provided exhibit documents, including a copy of the June 2015 letter. He also commented that the site plan proposed for this specific property relies on the use of the Bowman property for the road extension and there has not been conversations regarding location, acquisition, cost, etc. He also expressed concerns with the location of the proposed building, sitting very close to the south property line.

Chair Arnold closed the public hearing and noted that no action would be taken on the item as it was deferred to a future meeting.

Chair Arnold reopened the public hearing after identifying an additional speaker.

Bill Clemens, N 5085 Hemlock St Dekorra, representing Homeville Fitchburg LLC, spoke in support of the request and was available to answer questions. He stated that they had received prior approval and now are looking for the next approvals. He showed the proposed building elevations and site plan.

Rachel Lee questioned whether Clemens had any comment regarding the setbacks. Clemens responded that the setbacks were established by the engineering firm but that he didn't see any issues with what is proposed. Lee then questioned whether some of the assumptions made on land outside of the applicant's property line came from, such as the location of the Pike Drive extension. Clemens stated that there were 3 road alternatives prepared and that they looked at the development proposed for the west side of Fish Hatchery Road and came up with an option that worked best for both sides of the street.

Bill Tishler commented that the materials on the building appear to lack harmony. Chair Arnold stated that materials will be evaluated in the future with the ADR process.

Chair Arnold questioned whether there are separate entries from the street for spaces in the coffee shop building. He also commented that the building does not appear to address the street. Clemens commented that there are pedestrian entrances from the street into each space and that the patio is not a private patio specific to one user.

Chair Arnold stated he would like to see how the project fits into the final location of Pike Drive and stated that the applicant should be prepared to answer all of the identified questions when the applications are reviewed, likely next month.

Ed Kinney stated he hopes to better understand the location of the Pike Drive extension and relationship to the Bowman property at the next meeting.

Rachel Lee questioned why the Commission was not hearing about the Pike Drive extension alternatives at the same time as this development proposal. City Planner Tom Hovel explained that public works is still working on the alignment and is trying to balance concerns and competing interests. He noted that developers are pushing the envelope by making submittals without any decision on the road right-of-way.

Chair Arnold commented that it would seem appropriate for the applicant to engage Bowman to see if a joint plan could be developed and that the property owners should work together.

Chair Arnold closed the reopened public hearing.

8. Public Hearing regarding the proposed project plan, boundaries and creation of Tax Incremental District No. 10 (See the Public Hearing Notice which was published on October 6, 2015 & October 13, 2015).

Chair Arnold opened the public hearing.

Chuck Chvala, 10 E Doty St Madison, representing Crowne Point Development, spoke in support of the TID Resolution and provided some information on his proposed project on the west side of Fish Hatchery Road,

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which would be a project located in the TID boundary. The proposed project consists of a restaurant, hotel and conference center along with a relocation of the existing church to a new building on the other side of the Pike Drive extension. Chvala provided some history and information as to the various road design alternatives noting that there are issues with the location and elevation of the road. Chvala stated that without TID, this development will not happen. He also commented that given challenges identified with the road elevation there is heavy excavation that will need to be done and so the development is requesting an additional \$100,000 from the TID to help cover earthwork expenses.

Alder Carol Poole thanks Chvala for bringing the project forward.

Mike Harrigan of Ehler's Associates, the City's TIF consultant, provided an overview of the TID boundary and project plan noting that it would be a developer funded TID. He commented that the Council could amend the project plan to include the additional request of \$100,000 for earthwork.

Discussion was had on the financing mechanisms. He stated he prefers to see as pay as you go to minimize risk.

Chair Arnold closed the public hearing.

City Planner Tom Hovel provided a brief staff report noting that page 11 needed to be updated to include the appropriate numbers.

Chair Arnold reopened the public hearing after noticing one more speaker registration.

Dan O'Callaghan, 1 S Pinckney St Suite 700 Madison, representing Bowman Farms, Inc, spoke in opposition to the TID noting that it is not ready for prime time yet. He stated that the City should have all the facts before making a decision. He also noted that his client would like to be part of the conversation and perhaps the TID should consider a wider boundary to include properties on the east side of Fish Hatchery Road.

Chair Arnold closed the reopened public hearing.

9. Consideration of Plan Commission Resolution PCR-05-15, "Resolution Designating Proposed Boundaries and Approving a Project Plan for Tax Incremental District No. 10, City of Fitchburg, Wisconsin".

Chair Arnold questioned whether the updated site plan provided by Mr. Chvala should be included in the project plan. Mike Harrigan of Ehlers stated that the project plan should reflect the most current thinking at the time of adoption and recommended incorporating the updated site plan.

Ed Kinney questioned the need to extend Pike Drive to the east from Fish Hatchery Road. Chair Arnold commented that several studies envisioned the need for smaller blocks for more intense development and better land access. The area to the east of Fish Hatchery Road is greenfield and likely wouldn't be eligible for TID. Carol Poole commented that by approving the TID we would be creating more demand for the property on the east by providing more quality development at this intersection. She also noted that the task is to determine whether this is a good project for the west side of the road and agree with the boundaries; the east side is a future discussion to be had at a different time.

Tony McGrath stated that moving forward on the west side of Fish Hatchery Road is a no brainer but noted that the east side road location needs to get figured out.

Mike Harrigan commented that the opportunity exists for the City to amend the boundary of the TID in the future to add additional territory; the City can amend the boundary up to four times throughout the life of the district.

Motion by Lee, second by Tishler, to approve PCR-05-15 with the following amendments:

1. Insert site areas into conservation rehabilitation acreages on page 11
2. Potential \$100,000 for additional earthwork

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3. Replace site plan on page 18 with updated site plan provided by applicant at 10/21/2015 Plan Commission meeting.

Motion carried unanimously.

10. Architectural Design Review request by Jim Spahr for approval of a site and structural development of a building expansion for Saris at 5253 Verona Road.

Jim Spahr, 6817 Fairhaven Madison, representing Lionshare and Saris, provided an overview of the building addition noting that they had added some windows for light and ventilation. He noted they are trying to save as many oaks as possible.

City Planner Tom Hovel provided the staff memo.

Motion by Poole, Second by Kinney, to approve ADR request with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Erosion Control & Stormwater Management Permit (ECSWM) shall be provided to Public Works for review and approval prior to the issuance of any permit.

Ed Kinney questioned whether the retaining wall was back-drained. Hovel commented that the applicant has indicated it will be back-drained.

Bill Tishler questioned what precautions will be taken to minimize disturbance of the Oak trees. Spahr responded that there is a 30 foot slope and will stay back as much as possible but will also build a rock retaining wall to give area around the trunk of the tree.

Motion was carried unanimously.

11. Architectural Design Review request by Tim Nietzel, agent for Orchard Pointe Fitchburg LLC, for site and structural development of a 8,950 square foot Pet Supply Plus store on Lot 8 Orchard Pointe.

Jerry Bourquin, 6515 Grand Teton Plaza Madison, representing Dimension IV Madison as the project architect, was available to answer questions. He provided an overview of the project noting that the site was prepped for this addition so the parking and lighting are already there. He noted that they will bring in a screen wall on the back side of the parapet to screen the mechanicals.

David Martinez, 6515 Grand Teton Plaza Madison, representing Dimension IV Madison, spoke in support of the request and presented the materials and colors that are proposed for the building.

City Planner Tom Hovel provided the staff report.

Chair Arnold questioned whether they are aware of the City's sign ordinance regulations. Bourquin responded that the business would prefer to have a larger sign but was sure they could work something out.

Motion by Johnson, second by Poole, to approve ADR request with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) All signage shall comply with Chapter 26 Fitchburg Sign Ordinance.
- 3.) Shall provide a landscaping plan for review and approval by Planning staff prior to issuance of any permit.
- 4.) If any additional exterior lighting is proposed, applicant shall provide an exterior lighting plan and lighting fixture cut sheets for review and approval by Planning staff prior to the issuance of any permit.

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- 5.) Applicant shall provide mechanical screening for the south and west sides of the roof top equipment; screening plan shall be provided to planning staff for review and approval prior to issuance of any permit.
- 6.) Applicant shall address any outstanding Public Works items prior to the issuance of any permit.
- 7.) MMSD fees, if due, shall be paid prior to the release of a building permit.
- 8.) Applicant shall obtain an Erosion Control & Stormwater Management (ECSWM) permit from Public Works prior to the issuance of any permit.

Motion was carried unanimously.

12. Request for minor modification to PDD-SIP (Planned Development District – Specific Implementation Plan) zoning, by Adam Helt-Baldwin, agent for Habitat for Humanity, to allow a porch encroachment on Lot 73 Second Addition to Renaissance on the Park.

Adam Helt Baldwin, 1014 Fiedler Ln Madison, representing Habitat for Humanity of Dane Co, was available to answer questions.

City Planner Tom Hovel provided the staff memo noting that Habitat had built a porch onto a house that was not shown on the site plan; the porch encroaches into the setback area. The porch also goes into the stormwater easement but Public Works did not have concerns with this encroachment.

Motion by Kinney, second McGrath, to approve minor modification was carried unanimously.

13. Ordinance 2015-O-28, An Ordinance Amending Chapter 27 Streets and Public Ways – Section 27-402(b) Relative to Curb Opening Width For Commercial or Industrial Driveways.

City Planner Tom Hovel provided a brief overview of Ordinance 2015-O-28 noting that there has been an increase in requests for larger drive widths for commercial and industrial properties.

Motion by Tishler, second by Johnson, to recommend approval of Ordinance 2015-O-28, was carried unanimously.

14. Planning Department Report

City Planner Tom Hovel informed the Commission of the upcoming Neighborhood Center meeting on October 21 and the Ag Plan workshop on October 22. He also noted that the City would be holding a SmartCode workshop on November 30 and December 1 and invited the Commission to attend whatever portions they can.

15. Announcements

- a. Next Plan Commission Meeting Scheduled for November 17, 2015 at 7:00 p.m.
- b. SmartCode Workshop – November 30, 2015 (5:30 – 7:30 p.m.)
December 1, 2015 (8:30 a.m. – 5:15 p.m.)

16. Adjournment

Motion by Tishler, second by Lee, to adjourn at 9:08 p.m. was carried unanimously.

Submitted By,
Susan Badtke, Community Planner



MEMORANDUM

CITY OF FITCHBURG
PLANNING DEPARTMENT
5520 LACY ROAD
FITCHBURG, WI 53711
(608) 270-4200
FAX: (608) 270-4275
EMAIL: planning@fitchburgwi.gov

TO: Plan Commission
FROM: Tom Hovel, Zoning Administrator/City Planner
Susan Badtke, Community Planner
DATE: November 12, 2015
SUBJECT: November 17, 2015 Plan Commission Items

4. **Public hearing on Rezone request, RZ-2080-15, by Ronald Klaas, agent for Fahey Land LLC, to rezone lands associated with the proposed Fahey Fields Plat from the A-T (Transitional Agriculture) to the A-S (Small Lot Agriculture), P-R (Parks & Recreation), R-H (Residential – High Density) and R-LM (Residential – Low to Medium Density), property described as Lot 2 CSM 9896.**

Site Details:

Acres: ~79.5

Existing Use: Agriculture

Current Zoning: (Transitional Agriculture)

Background & Application Description:

Applicant is requesting approval to rezone lands for the proposed Fahey Fields development.

Staff Evaluation:

The proposed rezoning request includes rezoning the land to various zoning districts to accomplish the different development. The single-family lots are proposed to be rezoned to R-LM (Residential – Low to Medium density) with the multi-family lots to be a combination of R-H (Residential High Density) and A-S (Small Lot Agriculture); the A-S zoning will be used as a holding district until such time as the applicant is ready to proceed with development. At this time, and as noted in the CDP, the applicant has indicated that they will likely pursue PDD zoning for the multi-family lots that are being rezoned to A-S.



The proposed rezoning also includes rezoning the proposed Parkland dedication areas to P-R (Parks and Recreation).

The applicant is in the process of addressing outstanding items with the rezone and proposed final plat for Fahey Fields, primarily related to stormwater, and has requested to postpone action on the rezone (as well as the final plat which does not include a public hearing) to a future meeting; the applicant has indicated they would like to be on the December Plan Commission meeting.

Given that the public hearing has been noticed for the rezone request, we are proceeding with the public hearing with discussion/action of this item to be on a future agenda. After the hearing is closed there is not discussion or action until a future agenda.

Attachments:

- RZ-2080-15 & FP-2081-15 Application Materials

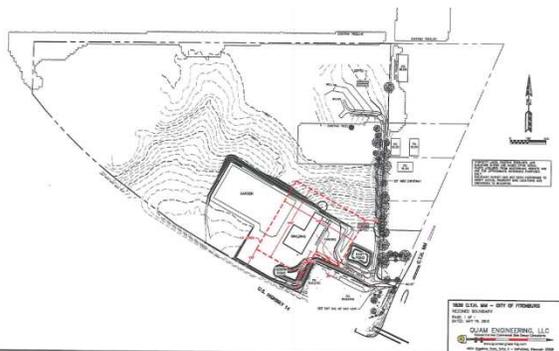
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Site Details:

Acres: 46.23 (4 acres specific to this CUP request)

Existing Use: Greenhouse

Current Zoning: R-D (Rural Development)



Background & Application Description:

Fitchburg Farms is requesting approval to allow for landscape sales at their current location at 1839 CTH MM. The site was approved in 2013 for a wholesale greenhouse but the business is a full scale retail garden center.

The Commission approved a Comprehensive Plan amendment for the property along with an ordinance amendment to allow landscape sales as a conditional use in the R-D (Rural Development) zoning district. The applicant is now requesting approval for a Conditional Use Permit to allow for the full garden center.

Staff Evaluation:

Staff has continued to voice concerns regarding a retail operation in the rural area. This property is located within the Future Urban Growth Area Neighborhood, specifically the Southeast neighborhood. While it will likely be several years before the City does neighborhood planning for this area, it is important to recognize that today's planning decisions do impact future planning and land uses; planning is long-term thinking, not for short-term gain. Past practice has shown that scattered business uses do have an impact on future neighborhoods and development; Action Fence is a prime example of this. The scattered businesses along CTH MM are another example as are the businesses along Syene Road next to Uptown. These types of uses impact future growth. Mr. Nauta often points to other greenhouses such as Kopke's and America's Best Flowers as being located in rural areas; these were established prior to today's planning principles. When the City created its first land use plan in the 1970's, it developed the urban service area concept to place these types of businesses inside the urban service area. This would avoid the conflicts that become present with growth next to pre-established uses.

Despite staff's concerns, the policymakers have chosen to proceed with the direction of allowing the garden center use to continue at this location.

The 20,000 sq ft area represented on the application requires 67 parking stalls per the city's parking standard of 1 stall per 300 sq ft of building area. The submitted site plan provides 30 parking stalls. Having been a retail operation essentially since the operation opened, the applicant must find that the currently level of parking is sufficient for its operation. Currently the parking area is gravel; staff is recommending that the parking area be paved and striped by November 1, 2016 to ensure that the site provides the 30 stalls, and to reduce dust.

Consistency with Comprehensive Plan:

Future Land Use Plan: R-D (Rural Development) for the represented 4 acres of the property.

Staff has not identified any inconsistencies with this request and the Comprehensive Plan as an amendment was made in the 2015 amendment process for this property.

Staff Recommendation:

If the Commission is in support of this use, staff would recommend the following conditions be placed on approval:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Applicant is responsible for ensuring compliance with Fire Department and Building Inspection regulations for retail occupancy.
- 3.) Retail operation shall not exceed 20,000 square feet of area.
- 4.) Parking lot shall be paved and striped by November 1, 2016.
- 5.) Retail operation shall not operate before 7:00 a.m. and shall close before 9:00 p.m.
- 6.) Parking relief to allow a reduction in parking stalls to allow for 30 stalls is included with this approval.

Attachments:

- CU-2084-15 Application Materials

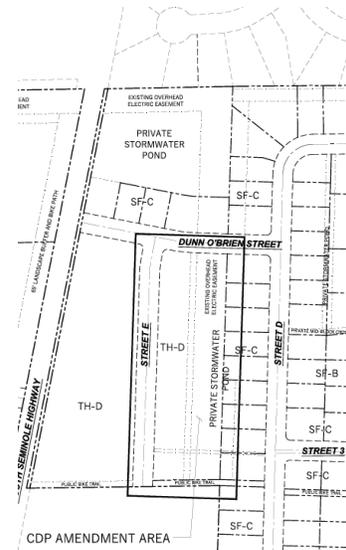
6. Public hearing and consideration of Comprehensive Development Plan amendment request, CDP(A)-2085-15, by Jim Spahr of Lionshare Group, agent for William Dunn, for amendment one to the Stoner Prairie Comprehensive Development Plan to modify from 9 single-family residential units to 21 townhouse units.

Site Details:

Acres: 3.5 acres
Existing Use: Agriculture
Current Zoning: A-X (Exclusive Agriculture)

Background & Application Description:

As the Commission is aware, the City approved the CDP for the Stoner Prairie Neighborhood a short time ago. The approved CDP calls for 146 single-family units, 30 townhouse units along with 13.2 acres of industrial-commercial development. One of the developers in Stoner Prairie is now requesting to modify this plan by eliminating 9 of the single-family lots and replacing with 21 townhouse units on the east side of proposed Street E (a net increase of 12 du), the area shown in the outlined box in the map.



Staff Evaluation:

From a land use design standpoint it is best to have similar frontages on the same side of the street. Having townhomes face each other on Street E, with the transition to single-family being at the rear yard is better than having townhomes directly across from single-family homes. Staff suggested this during consideration of the original CDP but the applicant did not pursue at this time but has since revisited and is now requesting this change.

The applicant has represented that the densities, even with this proposed modification, continue to meet the levels set forth in the North Stoner Prairie Neighborhood Plan.

Consistency with Comprehensive Plan:

Future Land Use Plan: This area is within the North Stoner Prairie Neighborhood Plan and is within the portion of land designated for Medium Density Residential, which sets the maximum density of 5-6 du per acre.

One of the policies in the Plan calls for promoting a mix of housing styles and sizes that offer a diversity of households that option to find a home with the North Stoner Prairie Neighborhood. The

additional townhouse units would provide a greater mixture of housing styles and sizes in the neighborhood.

Staff Recommendation:

Staff recommends approval of CDP(A)-2085-15 with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Conditions of Resolution R-87-15 remain in place.

Attachments:

- CDP(A)-2085-15 Application Materials

7. Public hearing and consideration of Conditional Use Permit request, CU-2086-15, by Matt Hoefler, HAF Group, to allow for an expanded restaurant use at 2784 S Fish Hatchery Road, Lot 1 CSM 12119.

AND

8. Architectural Design Review request by Matt Hoefler, HAF Group, to allow for a building expansion and site modifications along with request for a parking reduction at 2784 S Fish Hatchery Road, Lot 1 CSM 12119.

Site Details:

Acres: ~1 acre

Existing Use: Former restaurant use

Current Zoning: B-P (Professional Office)

Background & Application Description:

Applicant is requesting approval for a restaurant use and Architectural Design Review for a building expansion and site modification. A restaurant previously occupied the building; however, the proposed user is looking to expand the building and therefore requires a new conditional use permit.



Staff Evaluation:

Conditional Use Permit CU-2086-15:

Applicant is requesting approval to expand the restaurant use at 2784 S Fish Hatchery Road. The site has been used as a restaurant use in the past, but the new restaurant user is looking to demolish a portion of the building and rebuilt with a larger footprint.

The existing building is 4,043 sq ft; applicant is looking to keep the front of the building (Fish Hatchery Road side) of 1,553 sq ft, demolish the back half (east) of 2,490 sq ft and add on to the back. The total area with the existing and new addition construction will be 6,456 sq ft.

Staff has detailed the parking calculations in the ADR review, but the site is requesting reduced parking with a shared-parking arrangement with the dental clinic. Staff is supportive of this parking reduction.

Section 22-640 of the Zoning Ordinance identified the standards by which the Commission shall review Conditional Use Permits. No conditional use shall be approved by the plan commission unless the commission shall find:

- (1) That the establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

- (2) That the conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair the property values within the neighborhood.
- (3) That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- (4) That adequate utilities, access road, drainage and/or necessary facilities have been or are being provided.
- (5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- (6) That the conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

Staff has not identified any conflicts with the proposed application and these standards.

The applicant will need to obtain a liquor license approval from the City and is aware of this requirement.

Architectural Design Review:

As mentioned above, the applicant is proposing to demo a portion of the existing building and rebuild with a larger building footprint. Plan sheet A2 shows the materials proposed for the front building elevation. The materials are primarily comprised of stone veneer and reclaimed wood siding.

Based on the City's parking standards, the proposed restaurant would require 39 (based on 6 stalls per 1,000 sq ft building area) to 77 stalls (based on every 3 patron seats). The site is providing for 28 parking stalls and the applicant is requesting a reduction in the parking requirement with the ADR approval. The applicant has provided copies of a shared-parking agreement with the dental clinic; staff is requesting in a condition that they record this agreement so that it is binding with the property. The agreement does not limit the number of stalls that can be used by the restaurant; rather the applicant has indicated that the agreement is for the use of the parking stalls of the two adjacent parking lots. Staff is supportive of this shared parking arrangement as the peak times for the clinic and restaurant will likely be different.

The applicant has provided a landscaping plan, which includes preserving much of the landscaping on the north side of the building.

The applicant has confirmed that the exterior parking lights are full cut-off. The exterior building lights are decorative gas lanterns and use more for decoration than for lighting.

Consistency with Comprehensive Plan:

Future Land Use Plan: BUS (Business)

Staff has not identified any inconsistencies with the proposed use and the Comprehensive Plan.

Staff Recommendation:

Conditional Use Permit CU-2086-15:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Applicant shall obtain liquor license prior to any sale or consumption of liquor on-site.

Architectural Design Review:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Parking is allowed at 28 on-site stalls provided that the applicant records the shared-parking agreements and provides recorded copies to staff.
- 3.) Signage shall comply with Chapter 26 Sign Ordinance.

Attachments:

- CU-2086-15 & ADR materials

9. Public hearing and consideration of Conditional Use Permit request, CU-2087-15, by Chuck Chvala, agent for Ronald & Gertrude Hermsmeier, to allow for a Church use on property associated with 1911 Pike Drive, Lot 3 Hasz Subdivision.

AND

10. Public hearing and consideration of Conditional Use Permit request, CU-2088-15, by Chuck Chvala, agent for Fitchburg Christian Fellowship, to allow for a hotel, restaurant and conference center use on property associated with 2924 Fish Hatchery Road.

Site Details:

Acres: ~4.7

Existing Use: 1911 Pike Drive – Multi-Family Residential

2924 Fish Hatchery Road – Church & Parsonage

Current Zoning: 1911 Pike Drive – R-HA (Residential High Density)

2924 Pike Drive - B-G (General Business)

Background & Application Description:

Applicant is requesting approval for two conditional use permits; one to allow for a church use on one site, and the other to allow for a conference center, restaurant and hotel on the south site.



Staff Evaluation:

Applicant is proposing redevelopment of property along Fish Hatchery Road and Pike Drive. The proposed development includes a new church on property addressed as 1911 Pike Drive and a hotel/conference center and restaurant on the property where the church is currently located at 2924 Fish Hatchery Road.

A proposed site plan was included with the submittal which identified the areas of each proposed use. The church is proposed to be 8,240 sq ft and be comprised of a sanctuary, fellowship/entry area and a space for classes/offices. Much of the building is identified as being single-story with the office area to be 2-stories. The proposed restaurant is 7,000 sq ft with an upper skydeck, conference center and the 4-story hotel of 120 rooms.

Section 22-640 of the Zoning Ordinance identified the standards by which the Commission shall review Conditional Use Permits. No conditional use shall be approved by the plan commission unless the commission shall find:

- (1) That the establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.
- (2) That the conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair the property values within the neighborhood.
- (3) That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- (4) That adequate utilities, access road, drainage and/or necessary facilities have been or are being provided.
- (5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- (6) That the conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

Staff has not identified any conflicts with these standards.

The applicant is aware that the proposed street side setback for the church site as represented on the submitted site plan does not comply with the zoning district requirements. The applicant would need to bring this setback into compliance or obtain a variance from the Zoning Board of Appeals; this setback is not approved as part of this CUP approval.

The applicant is also aware that the Pike Drive extension alignment is tentative and is subject to change.

Consistency with Comprehensive Plan:

Future Land Use Plan: 1911 Pike Drive – HDR (High Density Residential)
2924 Fish Hatchery Road – M-U (Mixed Use)

Staff has not identified any inconsistencies with the proposed uses and the Comprehensive Plan.

Staff Recommendation:

POSSIBLE MOTION FOR CHURCH SITE, CU-2087-15:

Staff recommends approval of CU-2087-15 with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Maximum Church worship space capacity of 120 persons and maximum building gross sq ft on all levels not to exceed 9,000 sq ft.
- 3.) The identified Pike Drive extension is tentative and may be subject to change. Right-of-way location is also subject to agreement by other impacted properties.
- 4.) Applicant's responsibility to obtain variance to side street setback prior to ADR. The issuance of the conditional use shall in no way bind or direct action of Board of Appeals. No approval of any variance is expressed or approved as part of this approval.

POSSIBLE MOTION FOR HOTEL/RESTAURANT/CONFERENCE, CU-2088-15:

Staff recommends approval of CU-2088-15 with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Building height shall not exceed 70' to roof line and 77' to top of mechanical units as measured from average finished grade along Fish Hatchery Road.
- 3.) The increase in impervious surface above 65% shall be offset by on-site infiltration or recharge.
- 4.) The capacity of the hotel shall not exceed 120 guest rooms.
- 5.) The restaurant and bar shall not exceed a capacity of 215 persons, not including staff or seating on a rooftop patio, or a maximum of 7,000 sq ft, not including the rooftop patio.
- 6.) The conference facility shall not exceed a capacity of 90 persons, or 4,000 sq ft.
- 7.) The identified Pike Drive extension is tentative and may be subject to change. Right-of-way location is also subject to agreement by other impacted properties.
- 8.) Applicant shall provide lot size and ISR data that complies with the City's requirements.

Attachments:

- CU-2087-15 & CU-2088-15 materials

11. Public hearing and consideration of Conditional Use Permit request, CU-2089-15, by Rob Roos of Cardno, agent for American Transmission Company, for a Transmission Line Rebuild of the "6943: Fitchburg to Nine Springs Transmission Line".

Background & Application Description:

ATC is requesting approval to rebuild the 69kv Transmission Line (line 6943) which runs through the northern portion of Fitchburg from Fish Hatchery Road to the east. The rebuild includes the replacement of select, existing wood monopole structures with like-



type steel monopole structures along with the existing overhead transmission line alignment.

Staff Evaluation:

Staff has not identified any concerns regarding this project. As the plans show, the project primarily entails the replacement of poles in the general area of the existing poles. As the application states, replacement of the wood monopoles with steel monopoles allows for structure to stay approximately the same size (~5 feet taller) and will provide the increased structural integrity.

The laydown yard for the site will be at the MG&E substation site off of Syene Road.

The rating remains 69 Kv, but the line, due to heavy use, runs hot and needs new conductors which cause the poles to be stronger and taller. The poles are taller to meet clearance due to increased sag. The current wood poles are 55-65 feet; the new steel poles are 60-70 feet in height.

Section 22-640 of the Zoning Ordinance identified the standards by which the Commission shall review Conditional Use Permits. No conditional use shall be approved by the plan commission unless the commission shall find:

- (1) That the establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.
- (2) That the conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair the property values within the neighborhood.
- (3) That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- (4) That adequate utilities, access road, drainage and/or necessary facilities have been or are being provided.
- (5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- (6) That the conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

Staff has not identified any conflicts with these standards.

Staff Recommendation:

Staff recommends approval of CU-2089-15 with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Applicant shall work with public works to ensure that there is no conflict with the proposed work and the existing sanitary easements.
- 3.) Applicant shall obtain any required erosion control permit prior to beginning any work.

Attachments:

- CU-2089-15 materials

12. Public hearing and consideration of Rezone request, RZ-2090-15, by Bill Schiel, agent for 5509, LLC, to amend the PDD-SIP (Planned Development District – Specific Implementation Plan) zoning relative to site plan and building modifications, for 11 Glenbrook Way, Lot 1 CSM 12952.

AND

13. Architectural Design Review request by Bill Schiel, agent for 5509, LLC, for site and structural development of a 3-story multi-family residential building at 11 Glenbrook Way, Lot 1 CSM 12952.

Site Details:

Acres: 1.694

Existing Use: Single-family residence

Current Zoning: PDD-SIP (Planned Development District – Specific Implementation Plan)

Background & Application Description:

The original GIP/SIP was approved in 2005 for the Glenwood Heights Condominiums project. Applicant is requesting approval for modifications to the PDD-SIP (Planned Development District – Specific Implementation Plan) zoning and ADR for Building 1 (the third building to be constructed) of Glenwood Heights Condominiums. The first two buildings have been completed.



Staff Evaluation:

Applicant is requesting modifications to the previously approved plans for Building 1 of the Glenwood Heights Condominiums. The proposed changes include the elimination of the surface parking lot and providing additional underground parking along with some other building modifications.

The proposed modifications are detailed in the submitted plans. The primary changes include:

- Removal of 13 surface stalls with the addition of 15 underground parking stalls (32 to 47 underground stalls)
- Increase in building footprint with reduction in pavement
- Increased pervious area and decreased ISR (32.28% to 31.61%)
- Modification of unit types: Building 1 is proposed as all two-bedroom units

The dwelling units and density levels are not changing.

An existing resident in the condominiums voices concern regarding the parking. The applicant is providing just over 2 stalls per unit for the entire condo project. Additionally, sheet A1 of the plans provides the dimensions of the underground parking stalls; the applicant has indicated that the most narrow stall width is 8 feet.

The applicant is also proposing some modifications to the buildings materials. Additional masonry has been added to key areas of the building; window placement on the 2nd and 3rd floors has been modified as well as the addition of some wood shakes. In general the building appears to be compatible with the other condominium buildings.

Consistency with Comprehensive Plan:

Future Land Use Plan: HDR (High Density Residential)

Staff has not identified any inconsistencies with the proposed SIP amendment; the number of dwelling units is not changing.

Staff Recommendation:

Rezone RZ-2090-15:

Staff recommends approval of RZ-2090-15 with the conditions identified in the draft PDD-SIP zoning ordinance.

Architectural Design Review:

Staff recommends approval of ADR subject to the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Council approval of RZ-2090-15.
- 3.) Applicant shall obtain an Erosion Control & Stormwater Management (ECSWM) permit prior to the issuance of a building permit.

Attachments:

- RZ-2090-15 & ADR materials
- Draft SIP Ordinance

14. Consideration of rezone request, RZ-2082-15, by Thomas Sanford, agent for Homeville Fitchburg/Bill Clemens, to rezone Lot 1 CSM 12135 from PDD-GIP (Planned Development District – General Implementation Plan) zoning to PDD-SIP (Planned Development District – Specific Implementation Plan) to allow for commercial development.

AND

15. Certified Survey Map request, CS-2083-15, by Thomas Sanford, agent for Homeville Fitchburg/Bill Clemens, to divide Lot 1 CSM 12135 into two lots.

AND

16. Architectural Design Review request by Thomas Sanford, agent for Homeville Fitchburg/Bill Clemens, to allow for site and structural development of a commercial development consisting of two, 2-story buildings on Lot 1 CSM 12135.

Site Details:

Acres: 1.4

Existing Use: surface parking & open space

Current Zoning: PDD-GIP (Planned Development District – General Implementation Plan)

Background & Application Description:

Applicant received approval to amend the PDD-GIP zoning in June 2015. This amendment allowed for a few different development options.

Applicant is requesting approval for three specific approvals:

- 1.) PDD-SIP (Planned Development District – Specific Implementation Plan) zoning
- 2.) Certified Survey Map to divide the property into two lots
- 3.) Architectural Design Review for the buildings and associated development

Staff Evaluation:

Rezone:

Applicant is requesting approval for Planned Development District – Specific Implementation Plan (PDD-SIP) zoning to allow for the commercial development consisting of two commercial buildings. The Commission held the public hearing on this item at the last Plan Commission meeting; the main item of discussion with this project related to the potential future Pike Drive extension on the east side of Fish Hatchery Road.

Staff has concerns with the buildings, including that the south building does not satisfy the required second story area that was set forth in the GIP. The draft SIP ordinance requires compliance with the GIP regulations.



Certified Survey Map:

Applicant is requesting approval to divide the property into two lots. Proposed Lot 1 consists of .65 acres and would contain a two-story commercial building. Proposed Lot 2 consists of .73 acres and would contain a two-story financial institution.

Public Works had some concerns regarding the watermain; conditions are proposed to address these outstanding items. In addition there is a need to identify an electric easement not identified on the CSM last submitted on 11/10.

Architectural Design Review:

Applicant is requesting ADR approval for site and building design for the north building only. The south building will need to obtain ADR approval in the future.

Building elevations are included in the application materials. The Applicant noted at the last plan Commission meeting that the north building will have a patio that will be open and that each tenant space will have direct pedestrian entrance from Fish Hatchery Road.

Public Works has commented that the applicant will need a new Erosion Control & Stormwater Management permit and that they have not received anything that shows the applicant will be able to meet the stormwater performance standards (e.g. no detention facilities are shown, no infiltration facilities are shown). Staff has recommended a condition be placed on approval that this be obtained prior to the City signing of the CSM and/or issuance of any permit. If the stormwater standards cannot be met under the approved plan, the applicant may need to come back for new ADR approval as well as an amendment to the SIP.

Consistency with Comprehensive Plan:

Future Land Use Plan: M-U (Mixed Use)

Staff has not identified any inconsistencies with the Comprehensive Plan.

Staff Recommendation:

There are some outstanding comments/items that have not been addressed or answered by the applicant. Staff has asked for responses but as of the writing of this memo, 11/10/2015, the requested information has not been provided. Should the Commission wish to act on the requests staff has recommended conditions.

Rezone: Staff recommends the conditions outlined in the draft SIP zoning ordinance. Conditions are as follows:

- (A) PDD-SIP zoning is hereby issued in accord with submitted plans and information which accompanied the rezoning application and plans submitted on September 22, 2015, revised on October 20, 2015 and certain sheets (CSM, site plan, grading, utility and landscaping plan) revised on November 10, 2015, which are hereby made a part of this ordinance, and with the following additional requirements:
1. No other permit or approval is waived or deemed satisfied except for the approval provided herein.
 2. The submitted proposal increases the Impervious Surface Ratio (ISR) of the site from 63% that was allowed in the 2007 approval, up to 85% (as detailed in the submission). At this time no specific calculations have been submitted to indicate sufficiency of the storm water system to handle the increase in impervious surface. Verification of storm water sufficiency, including any calculations as may be required by the City Engineer, shall be submitted prior to the PDD-SIP zoning taking effect. Depending upon the results of the storm water analysis, site plan changes may be required.
 3. Applicant shall obtain, prior to the issuance of any permit, an Erosion Control and Storm Water Management Permit.
 4. This approval allows 30 parking stalls for the south building site, in lieu-of- the 33 identified in the GIP.

5. This approval allows for: (a) South building as a financial institution or office space with up to four drive-through lanes for the financial institution. Per the PDD-GIP approved alternate 1 plan, submitted by applicant and dated 1 June 2013, the south building (financial institution) shall have a second floor space totaling at least 2,250 sq ft, but not to exceed 4,500 sq ft. (b) For the North building the only food, restaurant or beverage use specifically approved is 1940 sq ft for a coffee shop, not including the mezzanine space, with one drive-through lane. Additional square footage may be occupied by retail or office.
6. Maintain provision of potential access to a future Pike Drive extension.
7. Prior to any City execution of the PDD-SIP zoning request or CSM, the following executed documents, which are to have been approved as to content by the Public Works Department, shall have been recorded: (a) Private water main easement; (b) a water access agreement for municipal or utility employees to operate valves for each building on the property. The City Attorney and City Engineer are hereby authorized to approve and have the appropriate officials execute such agreement; and (c) waiver for street trees.
8. Water impact fees shall be required to be paid prior to receipt of any building permit.
9. Building height shall not exceed 45 feet. Proper screening of mechanical equipment shall be provided on the PDD-SIP rezoning submission.
10. Satisfaction of Public Works (Review #4) comments.
11. Signage shall follow Chapter 26 as existing or amended.
12. Provide an executed alternate electric easement and agreement to relocate utilities due to the conflict with the proposed drive-thru canopy associated with the south building.

Certified Survey Map: Staff recommends the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) CSM shall be updated with the following information prior to the City signing of the CSM:
 - a. Label the 10' MG&E easement and include the document number.
 - b. North water main easement shall be dimensioned at the east and west end and be labeled "Private Water Main Easement" as the dimensions are different.
 - c. Language on CSM that currently reads "Easement to be vacated when the Pike Drive extension is constructed" shall be modified to read "Easement to be vacated after new access is constructed in the 24' ingress/egress easement whose center line is on the shared property line of Lots 1 and 2."
- 3.) Applicant shall obtain an Erosion Control & Stormwater Management Permit (ECSWM) prior to the City signing of the Certified Survey Map.
- 4.) Council approval of rezone request RZ-2082-15.

Architectural Design Review: Staff recommends the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) Subject to approval by Council of RZ-2082-15 & CS-2083-15.
- 3.) Applicant shall obtain an Erosion Control & Stormwater Management Permit (ECSWM) prior to the issuance of any building permit.
- 4.) If the driveway is reconstructed to the north, as shown on the plans, the new driveway will operate as a right-in/right-out only access until such time as a change is made to the Fish Hatchery Road median north of the Pike Drive extension.
- 5.) Applicant shall have a recorded water access agreement that gives the Fitchburg Utility rights to operate service valves to each building on the property. This agreement shall be provided prior to the issuance of any permit.
- 6.) Council approval of Rezone request RZ-2082-15 and CS-2083-15.

Attachments:

- Application materials
- Draft SIP Ordinance

17. Final Plat request, FP-2090-15, by Michael Marty of Vierbicher, agent for Goldleaf Fitchburg, LLC, for the Final Plat for the First Addition to North Park.

Site Details:

Acres: ~23.4
Existing Use: Agriculture/Open Space
Current Zoning: SC-NC (SmartCode – New Community)

Background & Application Description:

Applicant is requesting approval for a final plat of the First Addition to North Park. North Park is located at the Southwest corner of Lacy Road and Syene Road.

Staff Evaluation:

The proposed plat creates one building lot of just over 2 acres along with an outlet for an alley to serve the T5 multi-family lot. An approximately 1 acre outlet is being dedicated for Civic Space/Park purposes with the remaining outlets reserved for future development.



Staff met with the applicant and pointed out some potential issues with pursuing one large lot as proposed but the applicant has chosen to proceed. While the proposed lot meets the dimensional standards set forth under the SmartCode, specifically lot width, the Code only allows one principal building to be placed on the lot. The applicant is aware of these requirements and will need to comply with Chapter 23 SmartCode in regards to building and site design.

Consistency with Comprehensive Plan:

Future Land Use Plan: TOD (Transit Oriented Development)
Sector Plan: G3 – Intended Growth Sector

Staff has not identified any inconsistencies with the proposed land division and the Comprehensive Plan. The plat is also consistent with the previously approved preliminary plat.

Staff Recommendation:

Staff recommends approval of FP-2090-15 with the following conditions:

- 1.) No other permit or approval is waived or deemed satisfied except for the approval provided herein.
- 2.) A Subdivision Improvement Agreement shall be executed prior to the City signing of the final plat.
- 3.) Park Improvement fees for dwelling units on proposed Lot 6 shall be paid prior to the issuance of any permit for construction.
- 4.) Applicant shall obtain an Erosion Control and Stormwater Management Permit (ECSWM) prior to the issuance of any permit.
- 5.) Applicant shall provide concurrence from utilities (gas, electric, cable, phone) and provide gas/electric/telephone/cable preliminary plans for review of utility easements to Public Works for review and approval prior to issuance of any permit.
- 6.) Applicant shall comply with all requirements of Chapter 23 SmartCode.

Attachments:

- FP-2090-15 application materials

18. Resolution R-121-15, Approving Grant of Highway Easement to Wisconsin Department of Transportation (WisDOT) Over the Military Ridge Path Corridor at County PD/McKee Road.

Background & Resolution Description:

As the referral states, this resolution grants a Highway and Temporary Limited Easement across the Military Ridge Path corridor to WisDOT for the reconstruction work that they are doing on McKee Road as part of the Verona Road – Stage 2 improvements. The McKee Road improvements include the road expansion and sidewalks. The City appreciates WIDOT efforts to accommodate bicycles and pedestrians in the corridor.

Staff Evaluation:

The supporting document included in the packet materials provides a map exhibit showing the areas for the Highway Easement and Temporary Limited Easement for the path corridor. Also included is a copy of the easement agreement information.

Staff has not identified any concerns with granting this easement.

Staff Recommendation:

Staff recommends that the Plan Commission recommend approval of R-121-15.

Attachments:

- Resolution R-121-15

19. Resolution R-122-15, Accepting Temporary Access Easement From Sub-Zero Group.

Background & Resolution Description:

As the Commission is aware, the City vacated a portion of Marketplace Drive and Buds Drive to allow for SubZero's building addition. To ensure sufficient connectivity and access the City required, as part of the vacation release, that SubZero provide a temporary road easement. SubZero's desire is to locate the road on the east side of the Badger Trail but no such formal arrangement has been made to make this happen. To ensure that connectivity is provided once the streets west of the Badger Trail are in place and used, and in case no connecting streets east of the Badger Trail have been opened, SubZero has agreed to provide this temporary road easement. Exhibit B of the easement agreement shows the location of the easement.

Staff Evaluation:

Staff has worked with SubZero to draft the easement agreement and does not have any outstanding concerns.

Staff Recommendation:

Staff recommends the Plan Commission recommend approval of R-122-15.

Attachments:

- Resolution R-122-15

20. Resolution R-124-15, Approving the Future Vacation of Excess Right-of-Way on Anton Drive.

Background & Resolution Description:

The referral sheet for this Resolution provides a full background on the situation. To summarize, this resolution is being pursued due to Verona Road Stage 2 improvements, which includes shifting Anton Drive south to line up with the Fitchrona Road alignment. This shift will impact the existing driveway and parking lot at 5206 Anton Drive (Here We Grow Day Care Center). WisDOT is proposing the construction of a new driveway and parking within the excess right-of-way on Anton Drive that is generated with the southern shift of the road. The property owner would like some certainty of this

ROW vacation, so this Resolution, while not an official vacation, is meant to provide direction as to city intent. City staff has reviewed the driveway reconstruction plans and does not dispute the inclusion of a second-driveway for access to the site.

This Resolution is not to start the vacation process; the formal vacation process will come in the future with the Stage 2 WisDOT project.

Staff Evaluation:

Staff has not identified any concerns. Exhibit A, provided as part of the Resolution, shows the areas to be vacated in the future; a portion is to be vacated to 5206 Anton Drive with another portion to be vacated to 5200 Anton Drive.

Staff Recommendation:

Staff recommends that the Commission recommend approval of R-124-15.

Attachments:

- Resolution R-124-15



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

Rec. 10363 9/23/15
REZONING APPLICATION *RB*

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the A-T district to the R-LM, R-H, A-T district the following described property:

1. Location of Property/Street Address: West of McGaw Park, South of Waterford Glen and East of Fitch. Tech Camp

Legal Description - (Metes & Bounds, or Lot No. And Plat):

See attached

***Also submit in electronic format (MS WORD or plain text) by email to: planning@fitchburgwi.gov

2. Proposed Use of Property - Explanation of Request:

Property will be used as a single and multi-family use subdivision with areas set aside for park and stormwater management.

3. Proposed Development Schedule: 2016-2019

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@fitchburgwi.gov. Additional information may be requested.

Type of Residential Development (If Applicable): Single and Multi-Family

Total Dwelling Units Proposed: 115 **No. Of Parking Stalls:** _____

Type of Non-residential Development (If Applicable): _____

Proposed Hours of Operation: NA **No. Of Employees:** NA

Floor Area: NA **No. Of Parking Stalls:** NA

Sewer: Municipal Private **Water:** Municipal Private

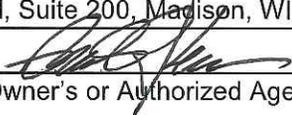
Current Owner of Property: Fahey Land, LLC

Address: 702 N. High Point Road, Suite 200, Madison, WI 53717 **Phone No:** 608 235-9220

Contact Person: Tony Heinrichs

Email: tonyheinrichs@aol.com

Address: 702 N. High Point Road, Suite 200, Madison, WI 53717 **Phone No:** 608 235-9220

Respectfully Submitted By:  RONALD R. KLAAS
 Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 9/22/2015 **Publish:** _____ and _____
Ordinance Section No. _____ **Fee Paid:** \$580.00
Permit Request No. RZ-2080-15

HENRIETTA NOTTIE AND ASSOCIATES, INC.
 2540 Wisconsin Ave., Madison, WI 53717
 Phone: (608) 261-7580 • Fax: (608) 261-1089
 WWW.MACTAL.MEASURE.COM LAND DEVELOPMENT

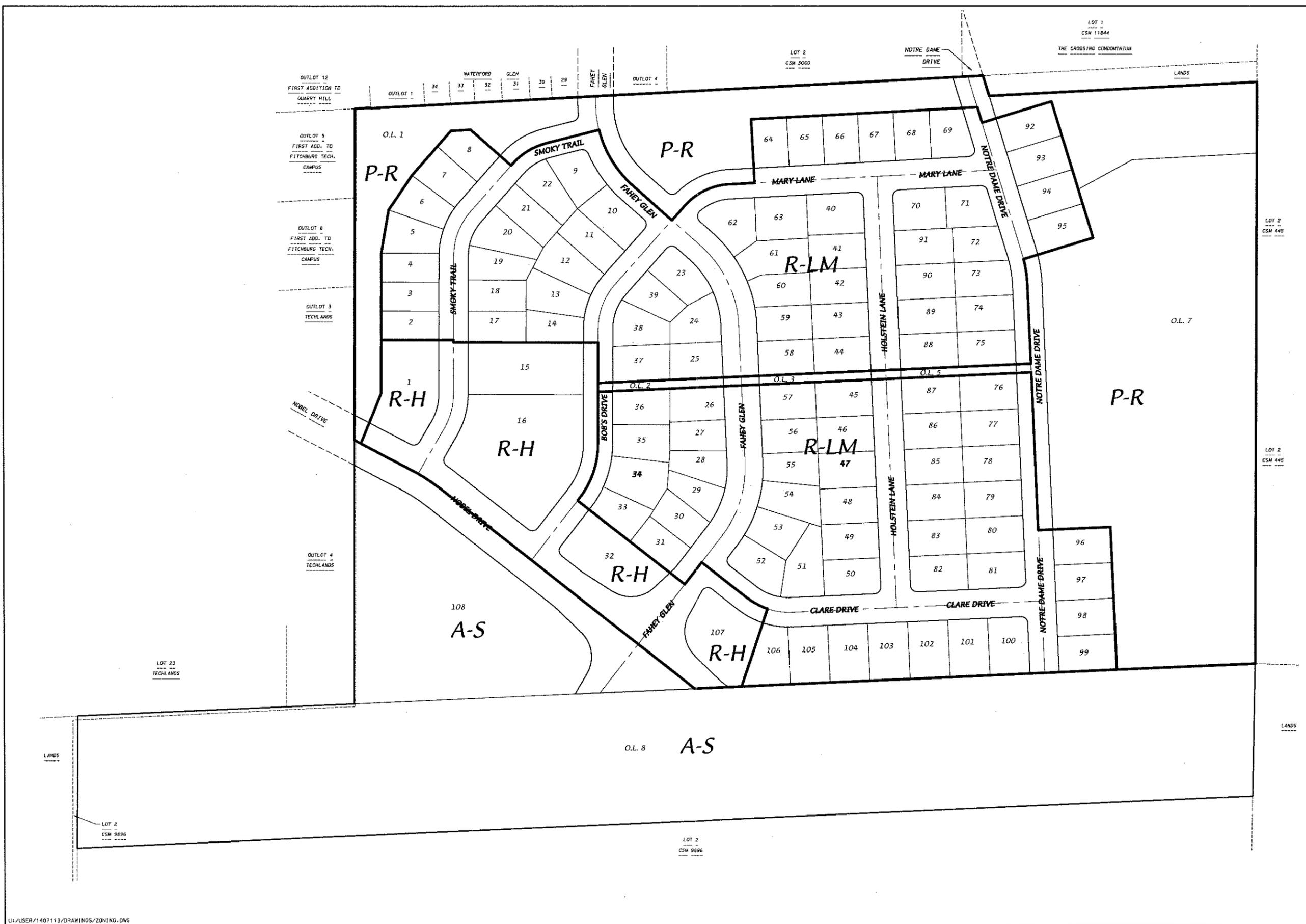
ZONING MAP
FAHEY FIELDS
 CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



SCALE: 1" = 100'
 22" x 34"

DATE: 10-27-15
 REVISED:

FN: 14-07-113
 Sheet Number:
 1 of 1



FAHEY FIELDS - ZONING DESCRIPTIONS

LANDS TO BE ZONED A-S (SMALL LOT AGRICULTURE)

Part of Lot 2, Certified Survey Map No. 9896, recorded in Volume 57 of Certified Survey Maps on pages 237-238 as Document Number 3271318 and lands located in the NE1/4 and the NW1/4 of the SE1/4 and in the SW1/4 and the SE1/4 of the NE1/4 of Section 15, T6N, R9E, City of Fitchburg, Dane County, Wisconsin to-wit: Beginning at the East 1/4 corner of said Section 15; thence S01°03'52"W, 296.08 feet; thence S87°29'16"W, 2653.06 feet; thence N00°27'55"E, 295.90 feet; thence N87°32'50"E, 624.57 feet; thence N00°11'51"E, 590.59 feet; thence S62°31'19"E, 136.27 feet to a point of curve; thence Southeasterly along a curve to the right which has a radius of 500.00 feet and a chord which bears S57°13'49"E, 92.23 feet; thence S51°56'19"E, 719.98 feet; thence N87°28'11"E, 1263.48 feet to the point of beginning. Containing 23.483 acres.

LANDS TO BE ZONED P-R (PARKS AND RECREATION)

Part of Lot 2, Certified Survey Map No. 9896, recorded in Volume 57 of Certified Survey Maps on pages 237-238 as Document Number 3271318 and lands located in the SW1/4 and the SE1/4 of the NE1/4 of Section 15, T6N, R9E, City of Fitchburg, Dane County, Wisconsin to-wit: Beginning at the East 1/4 corner of said Section 15; thence S87°28'11"W, 311.64 feet; thence N02°31'49"W, 320.00 feet; thence S87°28'11"W, 163.00 feet; thence N02°31'49"W, 354.00 feet; thence S87°28'11"W, 975.21 feet; thence N00°11'51"E, 20.02 feet; thence N87°28'11"E, 974.26 feet; thence N02°31'49"W, 176.28 feet to a point of curve; thence Northerly along a curve to the left which has a radius of 300.00 feet and a chord which bears N08°11'33"W, 59.20 feet; thence N72°56'53"E, 163.47 feet; thence N17°03'07"W, 320.00 feet; thence S72°56'53"W, 163.00 feet; thence N17°03'07"W, 36.48 feet; thence S86°57'59"W, 509.01 feet; thence S03°02'01"E, 143.00 feet; thence S86°57'59"W, 55.32 feet to a point of curve; thence Southwesterly along a curve to the left which has a radius of 150.00 feet and a chord which bears S64°13'24"W, 115.98 feet; thence S41°28'49"W, 40.37 feet; thence N48°31'11"W, 114.85 feet to a point of curve; thence Northwesterly along a curve to the right which has a radius of 250.00 feet and a chord which bears N31°18'01"W, 148.02 feet; thence S75°55'09"W, 122.86 feet to a point of curve; thence Southwesterly along a curve to the left which has a radius 150.00 feet and a chord which bears S58°41'59"W, 88.81 feet; thence S41°28'49"W, 5.10 feet; thence N48°31'11"W, 121.21 feet; thence S86°57'59"W, 44.58 feet; thence S41°28'49"W, 133.36 feet; thence S33°57'48"W, 93.40 feet; thence S09°44'32"W, 98.34 feet; thence S00°11'51"W, 315.00 feet; thence S22°07'14"W, 121.63 feet; thence N62°31'19"W, 16.41 feet; thence N00°11'51"E, 744.04 feet; thence N86°42'47"E, 31.86 feet; thence S76°29'03"E, 4.04 feet; thence N86°57'59"E, 1378.91 feet; thence S17°03'07"E, 47.93 feet; thence N86°57'59"E, 603.25 feet; thence S00°10'56"W, 1304.90 feet to the point of beginning. Containing 18.415 acres.

LANDS TO BE ZONED R-H (RESIDENTIAL HIGH DENSITY)

Part of Lot 2, Certified Survey Map No. 9896, recorded in Volume 57 of Certified Survey Maps on pages 237-238 as Document Number 3271318 and lands located in the SW1/4 and the SE1/4 of the NE1/4 of Section 15, T6N, R9E, City of Fitchburg, Dane County, Wisconsin to-wit: Commencing at the East 1/4 corner of said Section 15; thence S87°28'11"W, 1157.06 feet to the point of beginning; thence continuing S87°28'11"W, 106.42 feet; thence N51°56'19"W, 719.98 feet to a point of curve; thence Northwesterly along a curve to the left which has a radius of 500.00 feet and a chord which bears N57°13'49"W, 92.23 feet; thence N62°31'19"W, 119.86 feet; thence N22°07'14"E, 121.63 feet; thence N00°11'51"E, 120.00 feet; thence S89°48'09"E, 163.00 feet; thence S00°11'51"W, 4.72 feet; thence S89°48'09"E, 326.00 feet; thence S00°11'51"W, 226.78 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 200.00 feet and a chord which bears S19°07'46"W, 129.78 feet; thence S38°03'41"W, 5.79 feet; thence S51°56'19"E, 305.00 feet; thence N38°03'41"E, 63.00 feet; thence S51°56'19"E, 130.45 feet to a point of curve; thence Southeasterly along a curve to the left which has a radius of 150.00 feet and a chord which bears S61°44'42"E, 51.10 feet; thence S18°26'55"W, 183.08 feet to the point of beginning. Containing 6.550 acres.

LANDS TO BE ZONED R-LM (RESIDENTIAL LOW TO MEDIUM DENSITY)

Part of Lot 2, Certified Survey Map No. 9896, recorded in Volume 57 of Certified Survey Maps on pages 237-238 as Document Number 3271318 and lands located in the SW1/4 and the SE1/4 of the NE1/4 of Section 15, T6N, R9E, City of Fitchburg, Dane County, Wisconsin to-wit: Commencing at the East 1/4 corner of said Section 15; thence S87°28'11"W, 311.64 feet to the point of beginning; thence continuing S87°28'11"W, 845.42 feet; thence N18°26'55"E, 183.08 feet to a point of curve; thence Northwesterly along a curve to the right which has a radius of 150.00 feet and a chord which bears N61°44'42"W, 51.10 feet; thence N51°56'19"W, 130.45 feet; thence S38°03'41"W, 63.00 feet; thence N51°56'19"W, 305.00 feet; thence N38°03'41"E, 5.79 feet to a point of curve; thence Northeasterly along a curve to the left which has a radius of 200.00 feet and a chord which bears N19°07'46"E, 129.78 feet; thence N00°11'51"E, 116.53 feet; thence N87°28'11"E, 975.21 feet; thence N02°31'49"W, 20.00 feet; thence S87°28'11"W, 974.26 feet; thence N00°11'51"E, 90.23 feet; thence N89°48'09"W, 326.00 feet; thence N00°11'51"E, 4.72 feet; thence N89°48'09"W, 163.00 feet; thence N00°11'51"E, 195.00 feet; thence N09°44'32"E, 98.34 feet; thence N33°57'48"E, 93.40 feet; thence N41°28'49"E, 133.36 feet; thence N86°57'59"E, 44.58 feet; thence S48°31'11"E, 121.21 feet; thence N41°28'49"E, 5.10 feet to a point of curve; thence Northeasterly along a curve to the right which has a radius of 150.00 feet and a chord which bears N58°41'59"E, 88.81 feet; thence N75°55'09"E, 122.86 feet to a point of curve; thence Southeasterly along a curve to the left which has a radius of 250.00 feet and a chord which bears S31°18'01"E, 148.02 feet; thence S48°31'11"E, 114.85 feet; thence N41°28'49"E, 40.37 feet to a point of curve; thence Northeasterly along a curve to the right which has a radius of 150.00 feet and a chord which bears N64°13'24"E, 115.98 feet; thence N86°57'59"E, 55.32 feet; thence N03°02'01"W, 143.00 feet; thence N86°57'59"E, 509.01 feet; thence S17°03'07"E, 36.48 feet; thence N72°56'53"E, 163.00 feet; thence S17°03'07"E, 320.00 feet; thence S72°56'53"W, 163.47 feet to a point of curve; thence Southerly along a curve to the right which has a radius of 300.00 feet and a chord which bears S08°11'33"E, 59.20 feet; thence S02°31'49"E, 550.28 feet; thence N87°28'11"E, 163.00 feet; thence S02°31'49"E, 320.00 feet to the point of beginning. Containing 31.429 acres.

FAHEY FIELDS - LEGAL DESCRIPTION

Part of Lot 2, Certified Survey Map No. 9896, recorded in Volume 57 of Certified Survey Maps on pages 237-238 as Document Number 3271318 and lands located in the SW1/4 and the SE1/4 of the NE1/4 and in the NE1/4 and the NW1/4 of the SE1/4 of Section 15, T6N, R9E, City of Fitchburg, Dane County, Wisconsin to-wit:

Beginning at the East 1/4 corner of said Section 15; thence S01°03'52"W, 296.08 feet along the East line of said SE1/4; thence S87°29'16"W, 2653.06 feet to the West line of said SE1/4; thence N00°27'55"E, 295.90 feet to the South line of TechLands; thence N87°32'50"E, 624.57 feet along said South line to the Southeast corner of Outlot 4, said TechLands; thence N00°11'51"E, 1334.63 feet along the East line of said Techlands and the East line of Outlot 8 and Outlot 9, First Addition to Fitchburg Technology Campus to the Northeast corner of said Outlot 9; thence N86°42'47"E, 31.85 feet along the South line Outlot 12, said First Addition to Fitchburg Technology Campus to the Southeast corner of said Outlot 12; thence S76°29'03"E, 4.04 feet to the Southwest corner of Outlot 1, Waterford Glen; thence N86°57'59"E, 1378.91 feet along the South line of Waterford Glen and the South line of Lot 2, Certified Survey Map No. 3060; thence S17°03'07"E, 47.93 feet; thence N86°57'59"E, 603.25 feet to the East line of said NE1/4; thence S00°10'56"W, 1304.90 feet along said East line also being the West line of Lot 2, Certified Survey Map No. 445 to the point of beginning. Containing 3,479,442 square feet (79.877 acres).



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608) 270-4200

CONDITIONAL USE PERMIT APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

1. Location of Property:

Street Address: 1839 County Rd MM

Legal Description - (Metes & Bounds, or Lot No. And Plat): _____

***Also submit in electronic format (MS WORD or plain text) by email to: **PLANNING@FITCHBURGWI.GOV**

2. Current Use of Property: Agriculture and Open Space

3. Proposed Use of Property: Landscape Sales and Service

4. Proposed Development Schedule: NA

5. Zoning District: _____

6. Future Land Use Plan Classification: _____

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable): _____

No. of Dwelling Units by Bedroom: 1 BR 2 BR 3 BR 4 or More

No. Of Parking Stalls: _____

Type of Non-residential Development (If Applicable): Greenhouse and Garden Center

Proposed Hours of Operation: 9am to 6pm No. Of Employees: 4- 8 *seasonally*

Floor Area: 20 000 sq ft No. Of Parking Stalls: 40

Sewer: Municipal Private Water: Municipal Private

Current Owner of Property: Nauta Properties LLC

Address: 6908 Littlemore Drive, Madison, WI, 53718 Phone No: 315-576-6639

Contact Person: Jacob Nauta

Email: mike@fitchburgfarms.com

Address: _____ Phone No: _____

Respectfully Submitted By: *Jacob Nauta* JACOB M NAUTA

Owner's or Authorized Agent's Signature

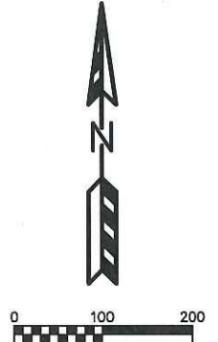
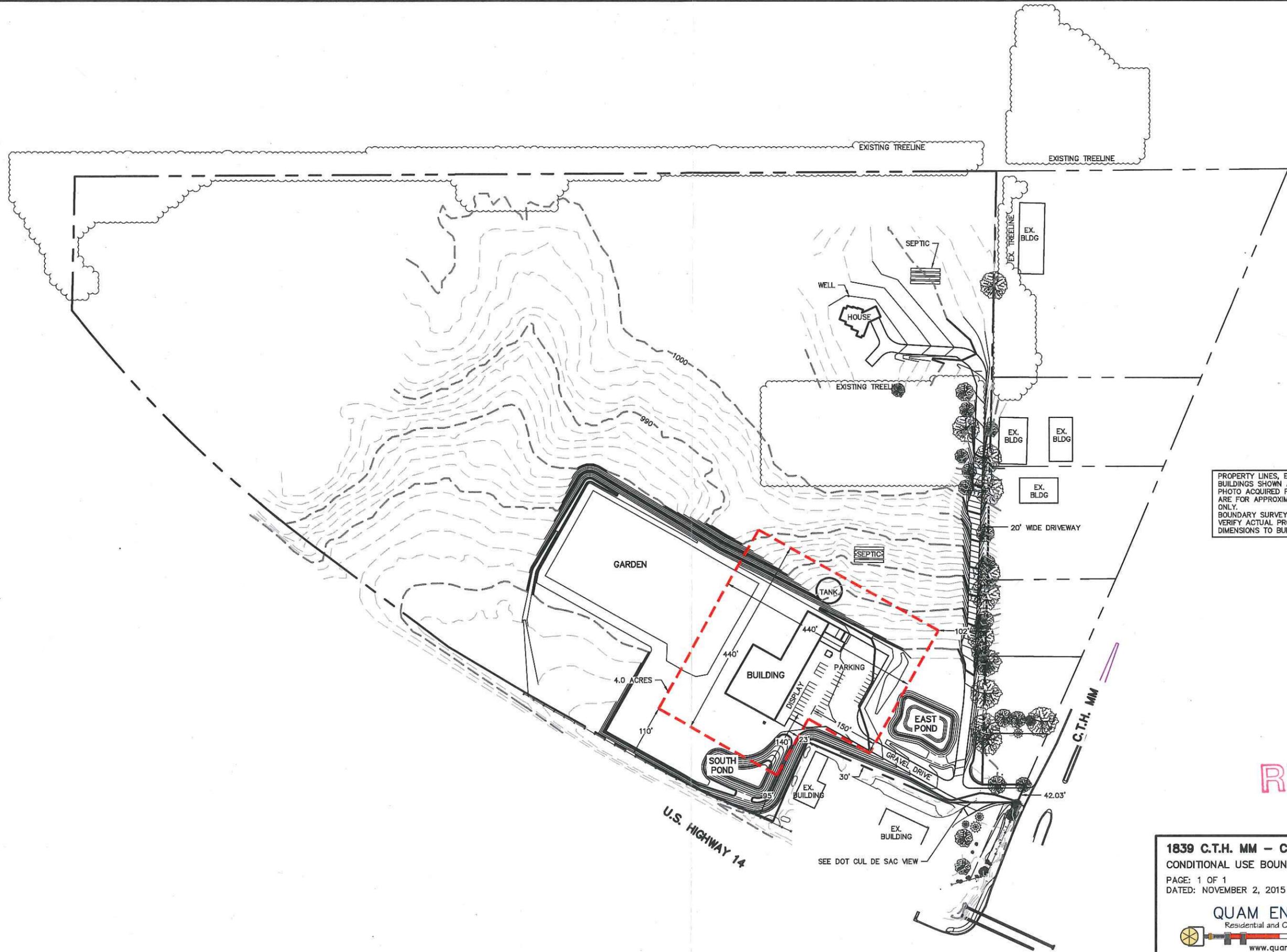
**** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.**

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: 10/15/2015 Publish: _____

Ordinance Section No. _____ Fee Paid: \$445.00

Permit Request No. CU-2084-15 R#1-10463



PROPERTY LINES, EXISTING TREELINES, AND BUILDINGS SHOWN ARE BASED UPON AERIAL PHOTO ACQUIRED FROM ACCESSDANE WEBSITE AND ARE FOR APPROXIMATE REFERENCE PURPOSES ONLY. BOUNDARY SURVEY HAS NOT BEEN PERFORMED TO VERIFY ACTUAL PROPERTY LINE LOCATIONS AND DIMENSIONS TO BUILDINGS.

RECEIVED
11/3/2015

1839 C.T.H. MM - CITY OF FITCHBURG
 CONDITIONAL USE BOUNDARY
 PAGE: 1 OF 1
 DATED: NOVEMBER 2, 2015

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants

 www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

RECEIVED
11/2/2015



CITY OF FITCHBURG
PLANNING DEPARTMENT
5520 LACY ROAD
FITCHBURG, WI 53711
(608) 270-4200
FAX: (608) 270-4275
EMAIL: planning@fitchburgwi.gov

Application: CU-2084-15
Property Address: 1839 CTH MM
Review Date: October 27, 2015
Planning Staff Review #1

Planning staff has reviewed your submitted pre-application request for conditional use permit for 1839 CTH MM submitted on October 15, 2015. The following comments are based on this review. Please respond to these comments with a detailed narrative response, along with appropriate revised plans, by Noon on Tuesday, November 3, 2015. It works best if you could respond below to each specific item with a written response. Further comments or questions may arise as additional review occurs.

1. The parking (gravel) area seems larger than shown on the submitted site plan. Please verify size compared to site plan, and present information to Public Works to decide if they will need to see new basin calculations. ***Quam engineering is reviewing this and will update as necessary – the original ADR provided for substantial impervious area for future greenhouses and garden that are not currently being used, we would reduce (if necessary) future expansion to stay within the original Stormwater Management plan.
2. The site plan does not show 40 stalls, please reconcile the conflict between the application and the site plan. ***Quam engineering will update the document to show 30 parking stalls total on the plan – please let me know if the application needs to be updated***
3. Have you discussed your operation with the Fire Department and Building Inspection Department on whether or not the structure needs to have a fire suppression system now that the use of the building is changing to a commercial operation? The use has been illegal as was approved as an agricultural building. ***during construction and inspections we were always subject to commercial standards. Based on the current square footage sprinklers were not required – however we have fire extinguishers placed around the perimeter of the facility based on communications with Adam Dorn. We have had multiple inspections and have responded appropriately to all.**** We will re-reach out to building inspection – however did make the facility handicap accessible and worked within all other relevant requirements as we were considered in their eyes to be commercial ****
4. The application notes hours of operation as 9 am to 6 pm. Will you be open all year, and perhaps but for some holidays open all week? ***The current plan is to be open from Palm Sunday through November 15th to the public. Hours may adjust seasonally (as the days get shorter or longer.) Long term we may due a small Christmas program and close on December 24th.**



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

LAND DIVISION APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby submits ten (10) copies of the attached maps, one (1) copy no larger than 11" x 17", and one (1) pdf document of the complete submittal (planning@fitchburgwi.gov) for approval under the rules and requirements of the Fitchburg Land Division Ordinance.

- 1. Type of Action Requested:**
- Certified Survey Map Approval
 - Preliminary Plat Approval
 - Final Plat Approval
 - Replat
 - Comprehensive Development Plan Approval - Amendment

- 2. Proposed Land Use (Check all that Apply):**
- Single Family Residential
 - Two-Family Residential
 - Multi-Family Residential
 - Commercial/Industrial

3. No. of Parcels Proposed: 14

4. No. of Buildable Lots Proposed: 9

5. Zoning District: P-R, B-G, R-L, PDD, I-S

6. Current Owner of Property: William Dunn

Address: 6055 Whalen RD Verona, WI 53593 **Phone No:** (608) 212-9400

7. Contact Person: James Spahr Lionshare Group, LLC

Email: ajspahr@charter.net

Address: 5396 King James Way, Suite 220 **Phone No:** (608) 235-6499

8. Submission of legal description in electronic format (MS Word or plain text) by email to: planning@fitchburgwi.gov

Pursuant to Section 24-2 (4) of the Fitchburg Land Division Ordinance, all Land Divisions shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

Respectfully Submitted By: *James Spahr*
 Owner's or Authorized Agent's Signature

James Spahr - Agent
 Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: _____

Ordinance Section No. _____ **Fee Paid:** _____

Permit Request No. _____

October 20, 2015

Mr. Thomas Hovel
Zoning Administrator/City Planner
City of Fitchburg
5520 Lacy Road
Fitchburg, WI 53711

Re: Stoner Prairie CDP Amendment
MARS Project Number: 1666

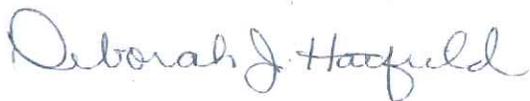
Dear Tom:

Enclosed are an application, check for the application fee and 10 copies for a Comprehensive Development Plan amendment for Stoner Prairie. The amendment is for a section of the eastern Dunn property. The initial CDP designated this section as 9 single family lots. The CDP amendment revised this area to Townhomes, similar to the area west of the proposed public street. The density for the CDP amendment (6.0 units/net acre) is consistent with the North Stoner Prairie Neighborhood plan, which specified 5-6 units per acre for the eastern Dunn parcel. The density (3.0 units/net acre) for the remaining single family lots on the O'Brien and eastern Dunn property is also consistent with the neighborhood plan. The CDP amendment will be provided to the neighborhood groups for distribution and for posting on their websites.

The applications are being submitted for the November 17, 2015 Plan Commission meeting. As the application states, the property owner is William Dunn and the contact person is Jim Spahr. A letter from William Dunn submitted with the initial CDP authorized Mr. Spahr to make submittals for this property. Please feel free to contact me with any questions or concerns regarding the submittal materials.

Sincerely,

Montgomery Associates: Resource Solutions, LLC



Deborah J. Hatfield, PE
Project Engineer

Enclosures

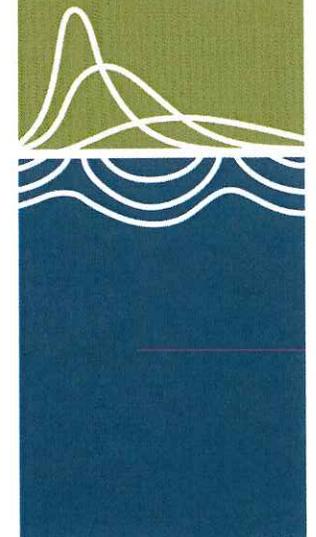
Copy, w/enclosures: Jim Spahr

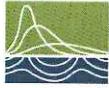
Comprehensive Development Plan Stoner Prairie Neighborhood Amendment One Fitchburg, Wisconsin

Lionshare Group, LLC
Fitchburg, WI
October 20, 2015



Montgomery Associates
Resource Solutions, LLC • ma-rs.org

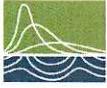




**Comprehensive Development Plan
Amendment One
Stoner Prairie Neighborhood**

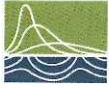
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Exhibits

- | | |
|-----------|-----------------|
| Exhibit 1 | Project Context |
| Exhibit 2 | Project Plan |
| Exhibit 3 | Land Use Plan |
| Exhibit 4 | Zoning Plan |



Project Contacts

Lionshare Group, LLC

James Spahr
Lionshare Group, LLC.
6880 CTH M
Verona, WI 53593

608-235-6499
ajspahr@charter.net

Montgomery Associates: Resource Solutions (MARS)

Project Manager

Deb Hatfield
Montgomery Associates, Resource Solutions, LLC
119 South Main Street
Cottage Grove, WI 53527

608-839-4422
debbie@ma-rs.org

1 Introduction

The North Stoner Neighborhood Comprehensive Development Plan (CDP) was adopted by the City of Fitchburg August 25, 2015. The CDP established the framework for residential (single family and multi-family) and industrial-commercial development for the 95-acre project area located near the northeast and northwest quadrants of the Lacy Road/Seminole Highway intersection (**Exhibit 1**).

The CDP included a mix of single family and multi-family for the section of Dunn property east of Seminole Highway. Multi-family was shown for the area west of Street E while single-family was shown for the area east of Street E. This CDP Amendment proposes to change the single-family east of Street E to multi-family consistent with what was shown on the west side of Street E (**Exhibit 2**). Changes to the initial CDP are described in the following sections.

2 Proposed Development

2.1 Proposed Site Plan

The initial CDP proposed single-family for the O'Brien property and part of the eastern Dunn property with 146 lots on 68 acres with a net density of 3.0 DU/Ac. Townhomes were proposed for the remaining eastern Dunn property with 30 units on 5.0 acres with a net density of 6.0 DU/AC. The proposed densities are consistent with the North Stoner Prairie Neighborhood plan.

During the approval of the initial CDP, Fitchburg's planning department suggested that multi-family be considered for both sides of Street E within the eastern Dunn property because it is better planning to have land use changes occur at the rear of the lots instead of at streets. The initial CDP was not revised at that time but this amendment proposes to incorporate the land use change at the Dunn/O'Brien property line which accomplishes having the land use change at the rear of lots instead of at the street. In addition, initial input from the marketplace indicates the need for additional townhomes. **Exhibit 2** shows the proposed site plan.

2.2 Proposed Housing Mix

The initial CDP proposed a mix of lot sizes and building types which are identified on **Exhibit 2**. The proposed amendment increases the size of TH-D and the number of Townhomes and decreases the SF-C lots. The revised number of lots and Townhomes are shown below. Note: The sizes for each designation are averages and may vary.

SF-C (36 lots) - 80' x 145' single family lots generally with utility and/or stormwater management easements.

TH-D (51 Townhomes) – 3 to 5 unit Townhome condo and/or rental buildings are proposed for part of the eastern Dunn property, adjacent to Seminole Highway.

2.3 Stormwater Management

The impervious surface ratio for the proposed amendment area increases from 35% associated with single-family residential to 65% associated with multi-family. The proposed stormwater management system described in the original CDP can accommodate the change.

2.4 Consistency with Adopted Plans

The proposed CDP amendment is consistent with the *North Stoner Prairie Neighborhood Plan* and the *City of Fitchburg Comprehensive Plan* which designates the eastern Dunn property as Medium Density Residential or Low Density Residential with 5-6 dwelling units per acre.

2.5 Proposed Land Use Data

A change in land use from Low Density Residential (LDR) to Medium Density Residential (MDR) is proposed for the amendment area. **Exhibit 3** shows the proposed land uses.

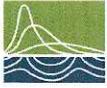
Total multi-family Site Acreage Acres

TH-D 8.7 Ac

Town House Condominiums	8.5 Ac	51 units
Public Street R/W	0.2 AC	
Net Density	6.0 Du/Ac	
Gross Density	5.9 Du/Ac	

2.6 Proposed Zoning

The PDD zoning proposed for the original TH-D area will be expanded to include the additional TH-D area. **Exhibit 4** shows the proposed final zoning for the Stoner Prairie Neighborhood. The zoning will be phased per the development schedule shown in the initial CDP which shows this area as part of Phase II.



3 Estimated Change in Assessed Value

Change in Development Type	Estimated Assessed Value
-9 SF Homes @ \$350,000 ("C" lots)	-\$3,150,000
+21 Townhomes @ \$180,000	\$3,780,000
Total Estimated Change in Assessed Value	<hr/> \$630,000

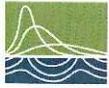
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4 References

1. *City of Fitchburg Comprehensive Plan*, Chapter Four: Land Use. adopted March 2009, rev. Dec 2013
2. *North Stoner Prairie Neighborhood Plan*. November 2013



Exhibits

Exhibit 1	Project Context
Exhibit 2	Project Plan
Exhibit 3	Land Use Plan
Exhibit 4	Zoning Plan



LEGEND (PROPOSED)

	CDP AMENDMENT AREA
	PROPOSED PROPERTY BOUNDARY
	EASEMENT
	BUILDING SETBACK
	ROADWAY CENTER LINE
	RIGHT OF WAY LIMITS

WYSER
ENGINEERING

LIONSHARE GROUP LLC
WILLIAM RYAN HOMES

5396 KING JAMES WAY, SUITE 220
MADISON, WI 53719

STONER PRAIRIE -
A WALK TO SCHOOL NEIGHBORHOOD
CITY OF FITCHBURG, DANE COUNTY, WI

PROJECT PLAN & CONCEPTUAL LAYOUT

Revisions:

No.	Date	Description
08/05/15	City Comments	
10/20/15	CDP Amendment	

Graphic Scale: 0' 150' 300' 450'

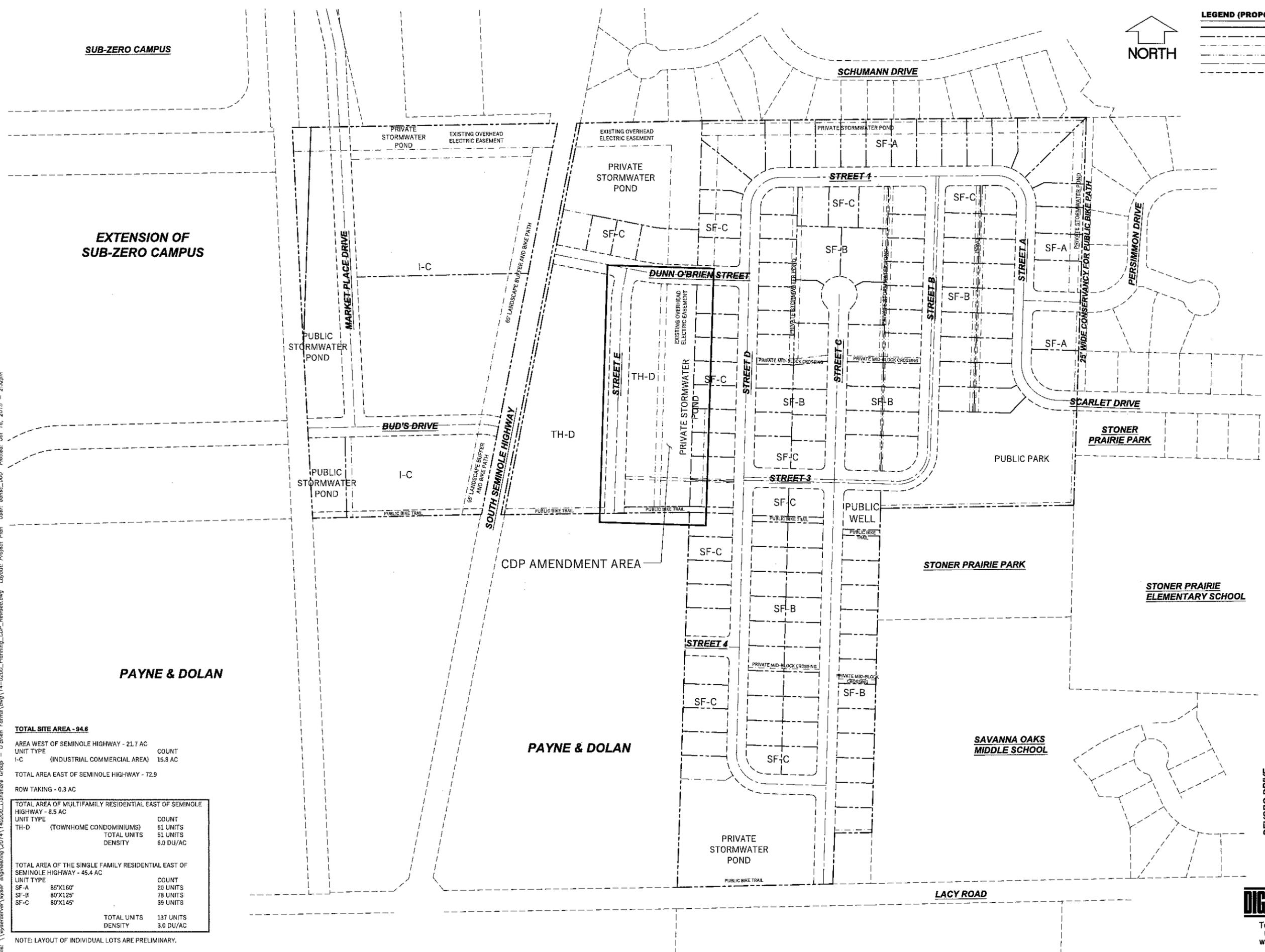
Wysér Number: 14-0200

Set Type: PLANNING

Date Issued: 07/21/2015

Sheet Number: EX. 2

DIGGERS HOTLINE
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www.DiggersHotline.com



SUB-ZERO CAMPUS

EXTENSION OF
SUB-ZERO CAMPUS

PAYNE & DOLAN

PAYNE & DOLAN

SAVANNA OAKS
MIDDLE SCHOOL

STONER PRAIRIE
ELEMENTARY SCHOOL

STONER PRAIRIE PARK

PUBLIC PARK

CDP AMENDMENT AREA

TOTAL SITE AREA - 94.6

AREA WEST OF SEMINOLE HIGHWAY - 21.7 AC	
UNIT TYPE	COUNT
I-C (INDUSTRIAL COMMERCIAL AREA)	15.8 UNITS
TOTAL AREA EAST OF SEMINOLE HIGHWAY - 72.9	
ROW TAKING - 0.3 AC	
TOTAL AREA OF MULTIFAMILY RESIDENTIAL EAST OF SEMINOLE HIGHWAY - 8.5 AC	
UNIT TYPE	COUNT
TH-D (TOWNHOME CONDOMINIUMS)	51 UNITS
TOTAL UNITS	51 UNITS
DENSITY	6.0 DU/AC
TOTAL AREA OF THE SINGLE FAMILY RESIDENTIAL EAST OF SEMINOLE HIGHWAY - 45.4 AC	
UNIT TYPE	COUNT
SF-A 85'X160'	20 UNITS
SF-B 80'X125'	78 UNITS
SF-C 80'X145'	39 UNITS
TOTAL UNITS	137 UNITS
DENSITY	3.0 DU/AC

NOTE: LAYOUT OF INDIVIDUAL LOTS ARE PRELIMINARY.

File: \\wyserev\wyserev\engineering\2014\1402000_Lionshare_Group - O'Brien Farms\14-0200_Planning_CDP_Rev02.dwg Layout: Project Plan User: dmsc...000 Plot: Oct 16, 2015 - 2:32pm

File: \\wyserserver\wysers_engineering\2014\140200_Lionshare_Group - O'Brien Farms\14-0200_Planning_CDP_Revision.dwg Layout: Land Use User: donasc_000 Plotted: Oct 16, 2015 - 2:50pm

SUB-ZERO CAMPUS

EXTENSION OF
SUB-ZERO CAMPUS

PAYNE & DOLAN

PAYNE & DOLAN

SCHUMANN DRIVE

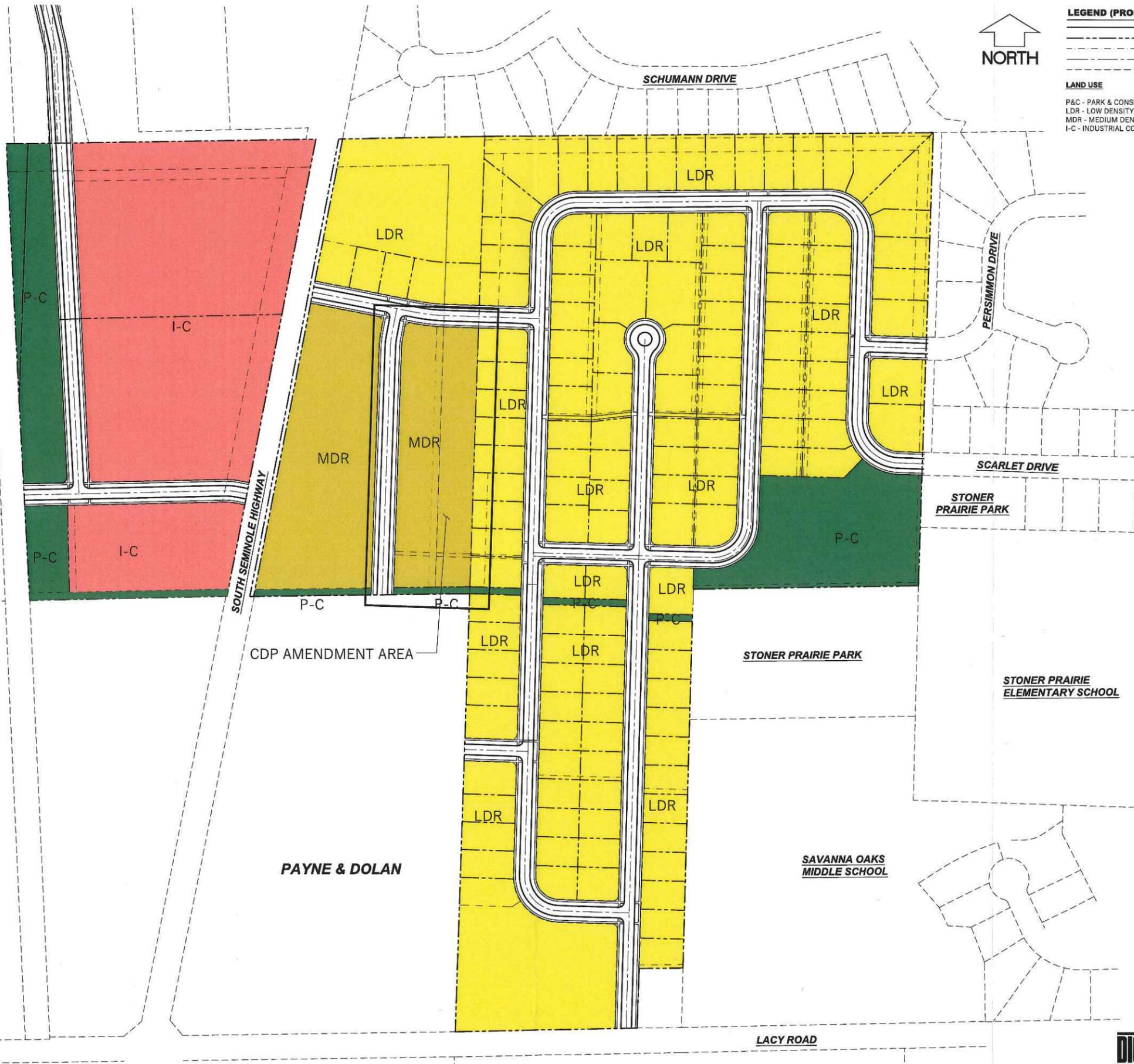


LEGEND (PROPOSED)

- CDP AMENDMENT AREA
- PROPOSED PROPERTY BOUNDARY
- EASEMENT
- ROADWAY CENTER LINE
- RIGHT OF WAY LIMITS

LAND USE

- P&C - PARK & CONSERVANCY
- LDR - LOW DENSITY RESIDENTIAL
- MDR - MEDIUM DENSITY RESIDENTIAL
- I-C - INDUSTRIAL COMMERCIAL



WYSER
ENGINEERING

LIONSHARE GROUP LLC
WILLIAM RYAN HOMES

5396 KING JAMES WAY, SUITE 220
MADISON, WI 53719

STONER PRAIRIE -
A WALK TO SCHOOL NEIGHBORHOOD
CITY OF FITCHBURG, DANE COUNTY, WI

Sheet Title:
LAND USE

Revisions:		
No.	Date:	Description:
1	10/20/15	CDP Amendment

Graphic Scale: 0' 75' 150' 225'

Wyser Number: 14-0200

Set Type: PLANNING

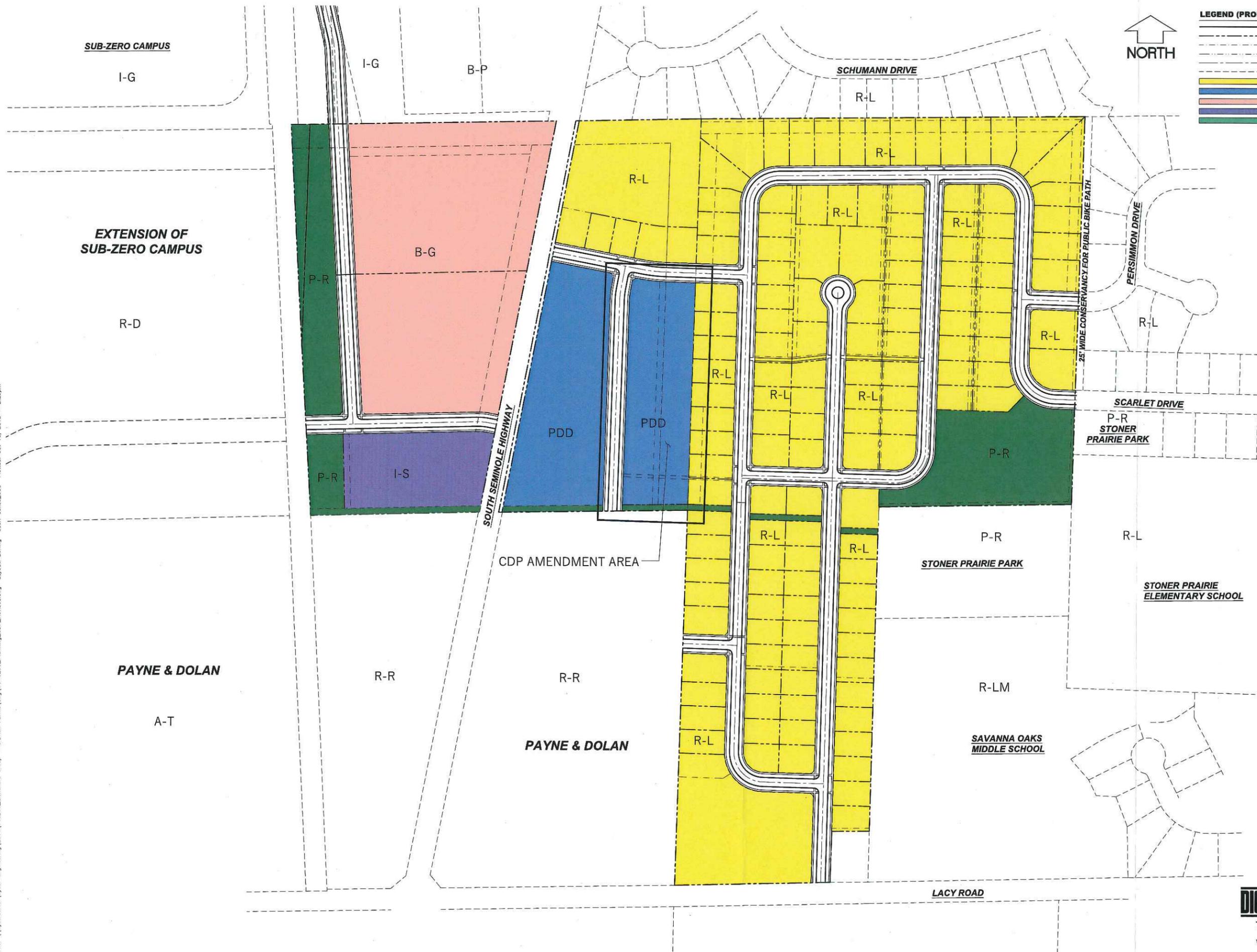
Date Issued: 07/21/2015

Sheet Number: EX. 3



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File: \\wyserserver\wyseng\engineering\2014\140200_Lionshare Group - O'Brain Farms\dwg\14-0200_Planning_CDP_Reviewed.dwg Layout: Zoning User: donsc_000 Plotted: Oct 16, 2015 - 2:29pm



LEGEND (PROPOSED)

- CDP AMENDMENT AREA
- PROPOSED PROPERTY BOUNDARY
- EASEMENT
- BUILDING SETBACK
- ROADWAY CENTER LINE
- RIGHT OF WAY LIMITS
- LOW DENSITY RESIDENTIAL (R-L)
- PLANNED DEVELOPMENT DISTRICT (PDD)
- BUSINESS - GENERAL (B-G)
- INDUSTRIAL - SPECIALIZED (I-S)
- PARKLAND LOT (P-R)

WYSER
ENGINEERING

LIONSHARE GROUP LLC
WILLIAM RYAN HOMES
5396 KING JAMES WAY, SUITE 220
MADISON, WI 53719

STONER PRAIRIE -
A WALK TO SCHOOL NEIGHBORHOOD
CITY OF FITCHBURG, DANE COUNTY, WI
Sheet Title:
ZONING PLAN

Revisions:

No.	Date	Description
08/05/15	08/05/15	City Comments
10/20/15	10/20/15	CDP Amendment

Graphic Scale	0' 75' 150' 225'
Wysers Number	14-0200
Set Type	PLANNING
Date Issued	07/21/2015
Sheet Number	EX. 4

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RECEIVED
11/5/2015

November 5, 2015

Mr. Thomas Hovel
Zoning Administrator/City Planner
City of Fitchburg
5520 Lacy Road
Fitchburg, WI 53711

Re: Stoner Prairie
CDP Amendment One Response Letter
MARS Project Number: 1666

Dear Tom:

We received Planning comments on October 29, 2015. We have prepared this letter to address the comments.

The staff comments are listed below with our response in red.

Planning Comments:

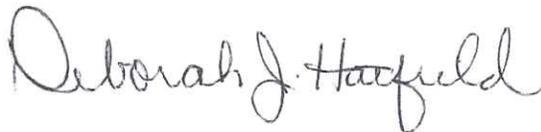
1. What is the overall density (gross and net) of the Dunn property east of Seminole Hwy to the O'Brien boundary with the amendment? The total area of the Dunn area east of Seminole Hwy cannot exceed 6 du/ac. The gross density is 5.9 du/ac and the net density is 6.0 du/ac for the entire multi-family portion of the eastern Dunn property. Please see Section 2.5 "Proposed Land Use Data" of the CDP Amendment for more detailed information regarding the densities.
2. Dunn single family density was originally calculated with the O'Brien property. How does this alteration affect the O'Brien density calculation? With the Dunn single family, the O'Brien property was right at the 3 du/ac net density level. The attached Proposed Land Use Data section from the original CDP shows the changes due to the amendment. The amendment area is 3.5 acres. 3.5 acres was subtracted from the O'Brien/Eastern Dunn single family area and added to the eastern Dunn multi-family area. The proposed units for each were also revised. As the calculations show, the single family area has a net density of 3.0 du/ac and the multi-family area has a net density of 6.0 du/ac, consistent with the Stoner Prairie Neighborhood Plan.
3. There will be more park land required, or a fee-in-lieu for twelve more units. Understood.
4. It seems like a bait and switch tactic. When suggested by staff there was the ability for it to be considered with the whole project. There is certainly no intent to bait and switch. When staff suggested the change, it was initially thought the densities wouldn't allow a change. But, as the attached calculations show, the change in land use does not impact the single family densities.
5. Staff will want to know the neighborhood opinion since they have been highly involved in the whole process. The CDP amendment was provided to the neighbors and their input was requested. The two comments received were regarding a potential increase in traffic and whether or not the units would be rental or condos. We responded to the rental versus condo comment by

- pointing out that the units will be built as condos but will be available as rentals until the condo market comes back.
6. You should have met with the neighbors before submittal of the amendment. Many meetings were held with the neighbors during preparation of the initial CDP. The neighbors were very interested in how the O'Brien property developed but did not appear to be as concerned with the Dunn property as long as it developed within the neighborhood plan guidelines. The neighbors have been contacted regarding the CDP amendment and only had the two comments listed above.
 7. With this proposal you have a few single family homes on the north side of what is named Dunn-O'Brien Street. Acknowledged.

Please contact me at 608-839-4422 with any questions.

Sincerely,

Montgomery Associates: Resource Solutions, LLC



Deborah J. Hatfield, PE
Project Engineer

Copy, w/enclosures: Chris Ehlers
Jim Spahr

3.10 Proposed Land Use Data

Exhibit 8 shows the proposed land uses.

Total Site Acreage 95.1 Acres

Dunn – West 22.1 Acres

Industrial-Commercial Development	13.2 Ac
<i>Includes 2.6 Ac of landscape buffer areas</i>	
Stormwater Management Outlots	3.5 Ac
Total Public Streets and Bike Paths	5.4 Ac

8.7
Dunn – East ~~5.2~~ Ac

Town House Condominiums	8.5 5.0 Ac	51 38 units
Public Street R/W	0.2 AC	
Net Density	6.0 Du/Ac ✓	
Gross Density	5.8 Du/Ac	

64.4
O'Brien/Dunn – East ~~6.9~~ Ac

Low Density Single Family Residential	45.3 48.8 Ac	137 126 units
<i>Includes 12.7 Ac of open space (stormwater management facilities and buffer strips) in easements</i>		
Public Outlot for Well	0.4 Ac	
Public Park	3.8 Ac	
Total Public Streets and Bike Paths	14.9 Ac	
Net Density	3.0 Du/Ac ✓	
Gross Density	2.15 Du/Ac	
	2.13	

Dedications

Public Street Dedication	20.5 Ac	
Park Dedication	3.8 Ac	(11.8 Ac Required)

3.11 Development Schedule

The Stoner Prairie Neighborhood is anticipated to be developed over a 6-year time frame in four phases as shown in Exhibit 9. The suggested development phases are:

- Phase One – 2016-2017
- Phase Two – 2017-2018
- Phase Three – 2019-2020
- Phase Four – 2020-2022

Rec. 10470 - 10/20/15 RB

 <p>City of Fitchburg Planning/Zoning Department 5520 Lacy Road Fitchburg, WI 53711 (608) 270-4200</p>	<h2>CONDITIONAL USE PERMIT APPLICATION</h2>
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The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

- Location of Property:**
Street Address: 2784 South Fish Hatchery Road
Legal Description - (Metes & Bounds, or Lot No. And Plat): Lot 1 csm 12119 C574/353&355-41/2 /2007 F/K/A PRT LOT1 CSM 3426 C513/259-262 2/2 0/80 F/K/A LOT 1 CSM 3245 C512/362 & ALSO INCL (1.024 Acres) # 4693988
- Current Use of Property:** Restaurant
- Proposed Use of Property:** Restaurant
- Proposed Development Schedule:** November 2015 - May 2016
- Zoning District:** B-P Professional Business
- Future Land Use Plan Classification:** Restaurant

***Also submit in electronic format (MS WORD or plain text) by email to: PLANNING@FITCHBURGWI.GOV

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable): NA

No. of Dwelling Units by Bedroom: NA BR 2 BR 3 BR 4 or More

No. Of Parking Stalls: 28

Type of Non-residential Development (If Applicable): Restaurant

Proposed Hours of Operation: week 11am - 2am Sat- Sun 8am-2am No. Of Employees: 65

Floor Area: 6,456 S.F. No. Of Parking Stalls: 28

Sewer: Municipal Private Water: Municipal Private

Current Owner of Property: NICK SCHIAVO

Address: 1115 Am. Fitchburg Ave Phone No: 608-284-516-5066

Contact Person: Charlie Burrows

Email: charlieSB@live.com

Address: 1351 SIBLEY MEM. HWY MENDOTA MN, 55150 Phone No: 651-270-6051

Respectfully Submitted By: Matt Hoefler - HAF GROUP

Owner's or Authorized Agent's Signature

** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: 10/20/2015 Publish: _____
 Ordinance Section No. _____ Fee Paid: \$445.00
 Permit Request No. CU-2086-15



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Matthew Hoefler

Address: 233 South Main Street **Phone Number of Contact Person:** 651-351-1760

City, State, Zip Code: Stillwater, MN 55082 **Email of Contact Person:** matt@hafarchitects.com

Project Address: 2784 South Fish Hatchery Road **Lot:** 1 **Subdivision:** CSM 12119

Project Type: Multi-Family Commercial Industrial Other
 New Addition

Impervious Surface Ratio (ISR): 58% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

Civil documents

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures.
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

Landscaping:



1. Location, species, size of existing trees, shrubs, and plantings.
2. Location, species, size of proposed plantings.
3. Location and size of all paved, seeded/sodded and gravelled areas.
4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed:  Date: 10/20/2015
Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: 10/20/2015 Plan Commission Date: _____

Comments:



October 15, 2015

Susan B. Badtke,
Community Planner
City of Fitchburg

My name is Matt Hoefler with HAF Group in Stillwater MN, I am representing the owner as the architectural firm working on a proposed Restaurant remodel and addition at 2784 South Fish Hatchery Road. We have been working on this project over the past few months and as such we will be on the agenda for the November Plan Commission meeting. I have been working with Susan regarding this proposed project.

Charlie Burrows along with his partners (some of which are local to Fitchburg) have obtained this existing building at the aforementioned address. This space is currently empty and has fallen in to a state of disrepair in some parts of the existing structure. The existing building currently has an addition to the front of it that was designed and built in 1994. After reviewing the building we determined that the addition to the existing building is in good condition however the original building is in poor condition. With that being said our proposal includes keeping the front (road side) half of the building and demoing the old back half of the building. The back half we have determined is in to poor of condition to even try to fix. The attached plans showcase what we are proposing and the scale of the project. We are currently also working with a local civil engineer that will be providing all of the information specific to the site.

More about Charlie (Lucky U LLC,) and his various amazing restaurants that he currently owns. The first being the Lucky's 13 restaurants <http://www.luckys13pub.com>

He and his business partners also own an existing restaurant that we had designed for them a few years ago located in Hastings MN <http://www.meandjuliomn.com>

And finally Rudy Redeye Grill <http://www.rudysrosemount.com>

With that being said Charlie and his partners make great restaurants and only create them where they know they can thrive and add something unique to the area.

Now as far as the design is concerned we used the existing Me & Julio's as our template for design. This means that the design features stone, reclaimed wood, stucco and other wood accent pieces that give it an authentic look and will really incentives people to enter. We have created a common vestibule space on either side of the building that features a barrel roof form that really invites you into the space. Attached you will find some color pictures of the exterior that showcase the different materials that will be used.



In conclusion this project is in a great location – it's a great restaurant proprietor and this can really add to the community and bring people to this space.

Please do not hesitate to ask me any questions you may have – I can be reached by phone/email anytime – I'm happy to address any questions or concerns regarding our proposal.

Also we will be mailing our plans down to the city for review for the October 20th deadline.

Regards,

Matthew M. Hoefler, Partner,
HAF Architects, LLC

PARKING AGREEMENT

We, the undersigned CDW, Inc., Children's Dental Center of Madison, S. C., and CLRM, LLC, located at 5520 Research Park Dr., Madison, WI 53711, 5544 E. Cheryl Pkwy., Fitchburg, WI 53711 and 2784 S. Fish Hatchery Rd., Fitchburg, WI 53711, respectively, hereby agree that our respective customers, patients, visitors and clients may use each other's parking spaces for overflow parking as needed.



Kayla Kerr, Branch Office Administrator
CDW, Inc.

Dated: 10/12/15

Eric teDuits, D.D.S.
Children's Dental Center of Madison, S.C.

Dated:



Michael Shaul
CLRM, LLC

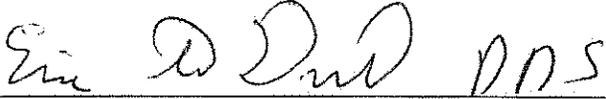
Dated: 10-12-15

PARKING AGREEMENT

We, the undersigned CDW, Inc., Children's Dental Center of Madison, S. C., and CLRM, LLC, located at 5520 Research Park Dr., Madison, WI 53711, 5544 E. Cheryl Pkwy., Fitchburg, WI 53711 and 2784 S. Fish Hatchery Rd., Fitchburg, WI 53711, respectively, hereby agree that our respective customers, patients, visitors and clients may use each other's parking spaces for overflow parking as needed.

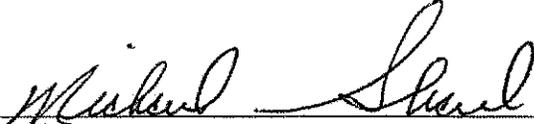
Kayla Kerr, Branch Office Administrator
CDW, Inc.

Dated:



Eric teDuits, D.D.S.
Children's Dental Center of Madison, S.C.

Dated: 10-12-15



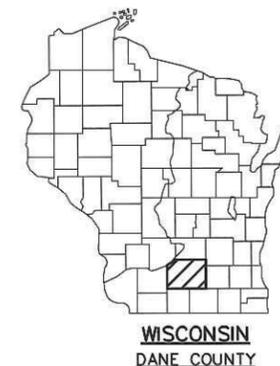
Michael Shaul
CLRM, LLC

Dated: 10-18-15

ME & JULIO'S

2784 SOUTH FISH HATCHERY ROAD FITCHBURG, WISCONSIN 53713

SITE CIVIL PLAN SET DANE COUNTY, WISCONSIN



JOB NO. 5692-001
BOOK NO.
DRAWN BY JMP
CHECKED BY DKS
DATE OCT 2015
REVISIONS 11/03/15
REFERENCE FILE
DRAWING FILE 010101_TL_*.DWG

PROJECT ID 5692-0001

OCTOBER 2015

RECEIVED
11/3/2015

DIGGER'S HOTLINE
1-800-242-8511

STANDARD SYMBOLS

CENTERLINE	PROPERTY LINE	SURVEY LINE
EXISTING WATERVALVE	BENCHMARK OR SECTION CORNER LOCATION	MAILBOX
PROPOSED WATERVALVE	PROPOSED MANHOLE	R/W MONUMENT
EXISTING CURBSTOP	EX. SAN. MANHOLE	CAUTION
PROPOSED CURBSTOP	EX. STORM MANHOLE	COMBUSTIBLE FLUID
CLEANOUT	TREE LINE	BARBED WIRE FENCE
TELEPHONE PED	UTILITY LINE WITH TEXT (SIZE) STM=STORM SEWER	TEXT
UTILITY POLE	EXISTING PROPOSED CATCH BASIN OR INLET	TV=CABLE TELEVISION
GUY WIRE ANCHOR	1 POST SIGN	ELEC=ELECTRIC
ELECTRIC PEDESTAL	2 POST SIGN	TEL=TELEPHONE
LIGHT POLE	TRAFFIC SIGNAL	G=GAS
CABLE TV PEDESTAL	IRON ROD	W=WATER
CONIFEROUS TREE	IRON PIPE	PROPOSED SANITARY SEWER
DECIDUOUS TREE	CONTROL POINT	PROPOSED STORM SEWER
	EXISTING CONTOURS	PROPOSED WATERMAIN
	PROPOSED CONTOURS	PROPOSED FORCEMAIN

SHEET INDEX

SHEET	SHEET DESCRIPTION
1	TITLE SHEET
2	EXISTING SITE PLAN
3	EROSION CONTROL
4	SITE DEMO PLAN
5	PROPOSED SITE PLAN
6	GRADING PLAN
7	PLAN AND PROFILE
8	LANDSCAPING PLAN
9-11	DETAILS

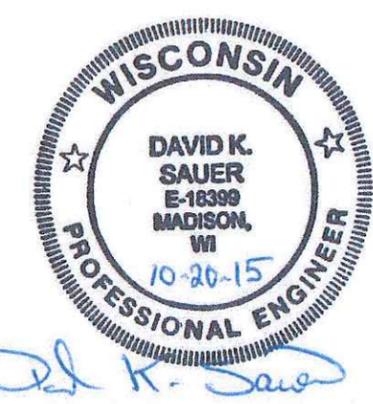


SECTION 9 T 6 N, R 9 E

SITE LOCATION
CITY OF FITCHBURG, WI



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY PERSONAL DIRECTION AND CONTROL AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY PERSONAL DIRECTION AND CONTROL AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

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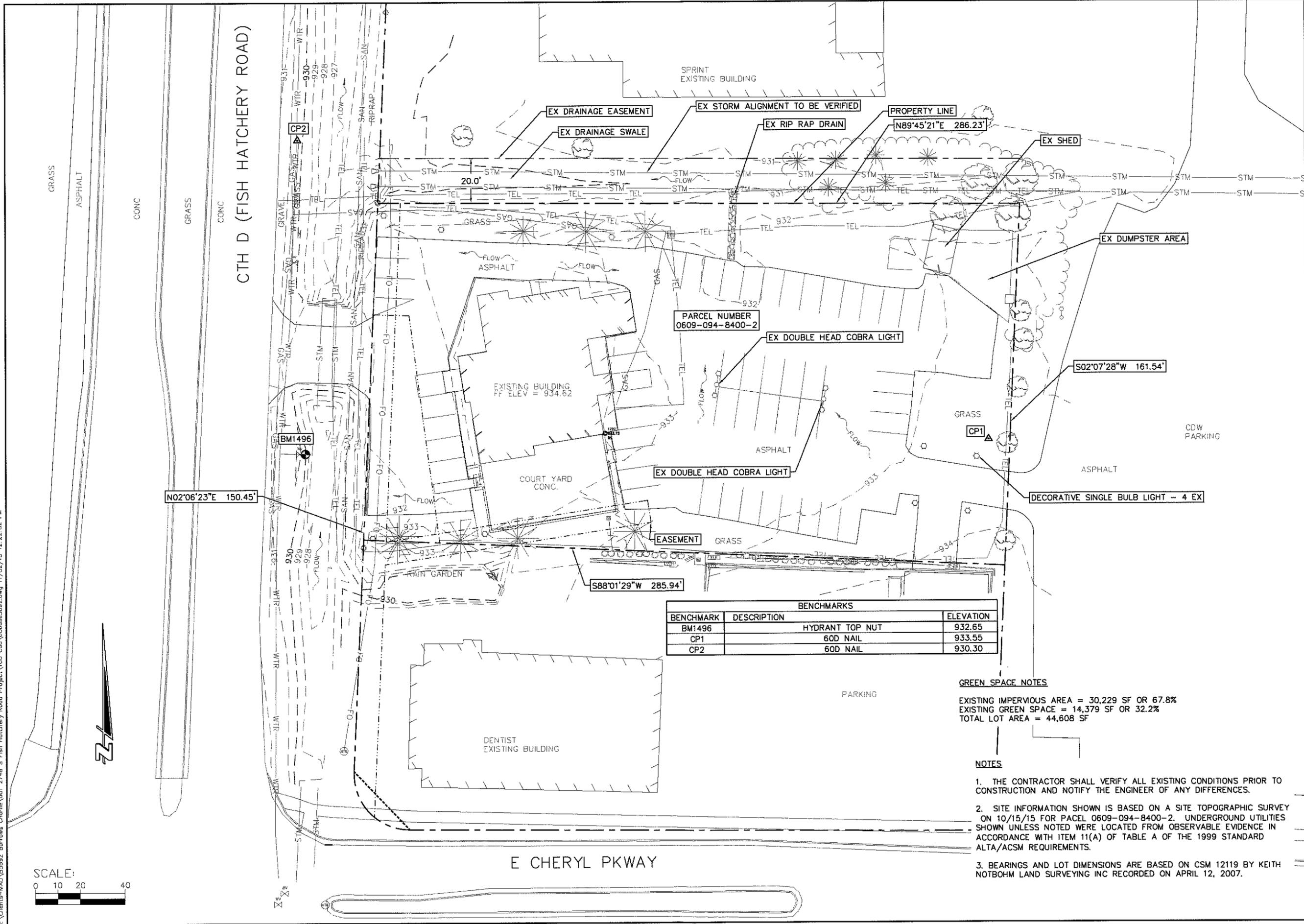
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ME & JULIO'S
2784 SOUTH FISH HATCHERY ROAD
FITCHBURG, WISCONSIN 53715
TITLE

SHEET NO.
1 OF 11

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BENCHMARKS		
BENCHMARK	DESCRIPTION	ELEVATION
BM1496	HYDRANT TOP NUT	932.65
CP1	60D NAIL	933.55
CP2	60D NAIL	930.30

GREEN SPACE NOTES
 EXISTING IMPERVIOUS AREA = 30,229 SF OR 67.8%
 EXISTING GREEN SPACE = 14,379 SF OR 32.2%
 TOTAL LOT AREA = 44,608 SF

- NOTES**
1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DIFFERENCES.
 2. SITE INFORMATION SHOWN IS BASED ON A SITE TOPOGRAPHIC SURVEY ON 10/15/15 FOR PARCEL 0609-094-8400-2. UNDERGROUND UTILITIES SHOWN UNLESS NOTED WERE LOCATED FROM OBSERVABLE EVIDENCE IN ACCORDANCE WITH ITEM 11(A) OF TABLE A OF THE 1999 STANDARD ALTA/ACSM REQUIREMENTS.
 3. BEARINGS AND LOT DIMENSIONS ARE BASED ON CSM 12119 BY KEITH NOTBOHM LAND SURVEYING INC RECORDED ON APRIL 12, 2007.

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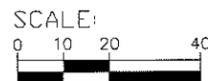
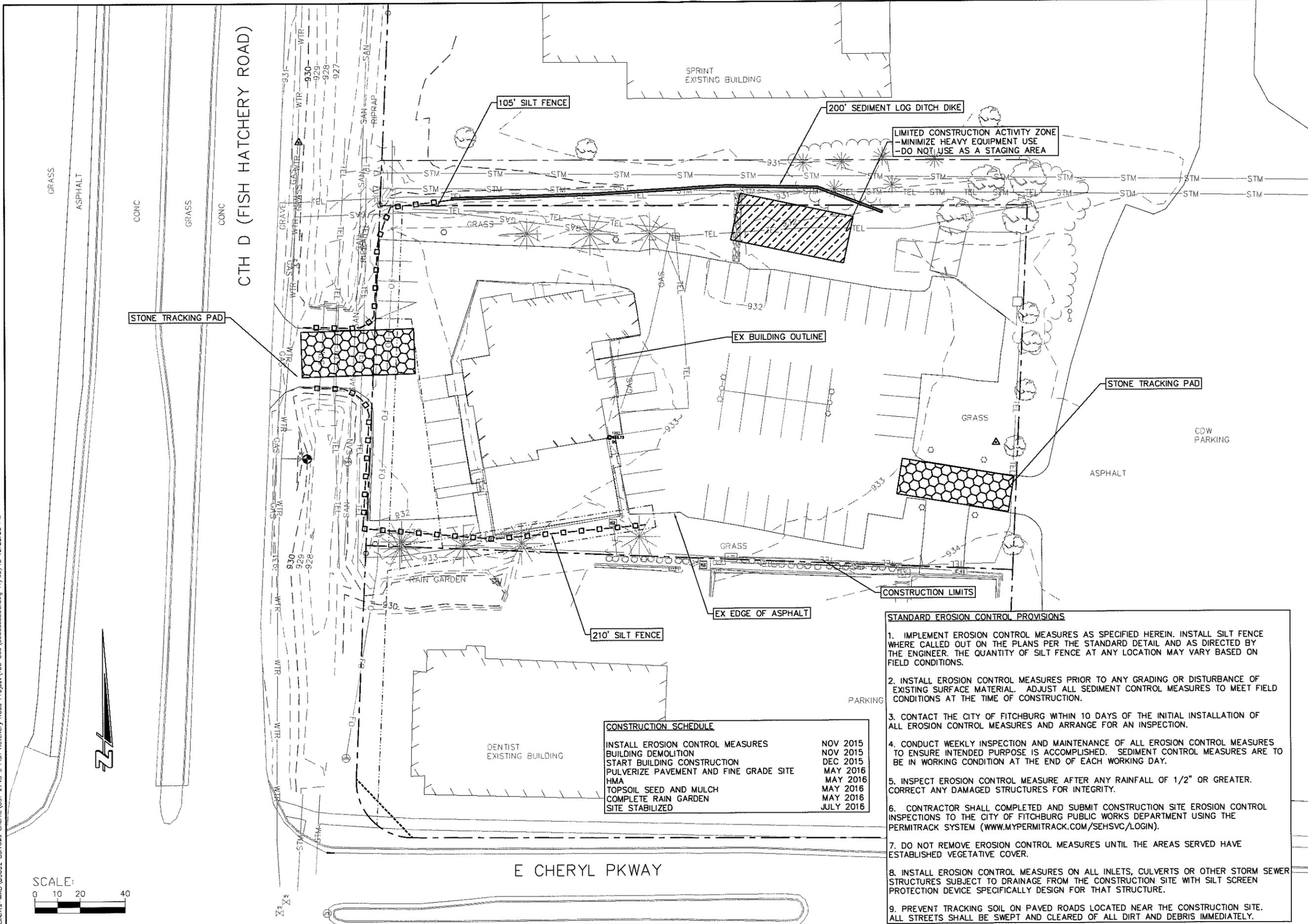
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 608-785-9881
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 EXISTING SITE PLAN

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CONSTRUCTION SCHEDULE	
INSTALL EROSION CONTROL MEASURES	NOV 2015
BUILDING DEMOLITION	NOV 2015
START BUILDING CONSTRUCTION	DEC 2015
PULVERIZE PAVEMENT AND FINE GRADE SITE	MAY 2016
HMA	MAY 2016
TOPSOIL SEED AND MULCH	MAY 2016
COMPLETE RAIN GARDEN	MAY 2016
SITE STABILIZED	JULY 2016

- STANDARD EROSION CONTROL PROVISIONS**
1. IMPLEMENT EROSION CONTROL MEASURES AS SPECIFIED HEREIN. INSTALL SILT FENCE WHERE CALLED OUT ON THE PLANS PER THE STANDARD DETAIL AND AS DIRECTED BY THE ENGINEER. THE QUANTITY OF SILT FENCE AT ANY LOCATION MAY VARY BASED ON FIELD CONDITIONS.
 2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. ADJUST ALL SEDIMENT CONTROL MEASURES TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION.
 3. CONTACT THE CITY OF FITCHBURG WITHIN 10 DAYS OF THE INITIAL INSTALLATION OF ALL EROSION CONTROL MEASURES AND ARRANGE FOR AN INSPECTION.
 4. CONDUCT WEEKLY INSPECTION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. SEDIMENT CONTROL MEASURES ARE TO BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
 5. INSPECT EROSION CONTROL MEASURE AFTER ANY RAINFALL OF 1/2" OR GREATER. CORRECT ANY DAMAGED STRUCTURES FOR INTEGRITY.
 6. CONTRACTOR SHALL COMPLETED AND SUBMIT CONSTRUCTION SITE EROSION CONTROL INSPECTIONS TO THE CITY OF FITCHBURG PUBLIC WORKS DEPARTMENT USING THE PERMITRACK SYSTEM (WWW.MYPERMITRACK.COM/SEHSVC/LOGIN).
 7. DO NOT REMOVE EROSION CONTROL MEASURES UNTIL THE AREAS SERVED HAVE ESTABLISHED VEGETATIVE COVER.
 8. INSTALL EROSION CONTROL MEASURES ON ALL INLETS, CULVERTS OR OTHER STORM SEWER STRUCTURES SUBJECT TO DRAINAGE FROM THE CONSTRUCTION SITE WITH SILT SCREEN PROTECTION DEVICE SPECIFICALLY DESIGN FOR THAT STRUCTURE.
 9. PREVENT TRACKING SOIL ON PAVED ROADS LOCATED NEAR THE CONSTRUCTION SITE. ALL STREETS SHALL BE SWEEPED AND CLEARED OF ALL DIRT AND DEBRIS IMMEDIATELY.

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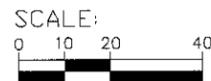
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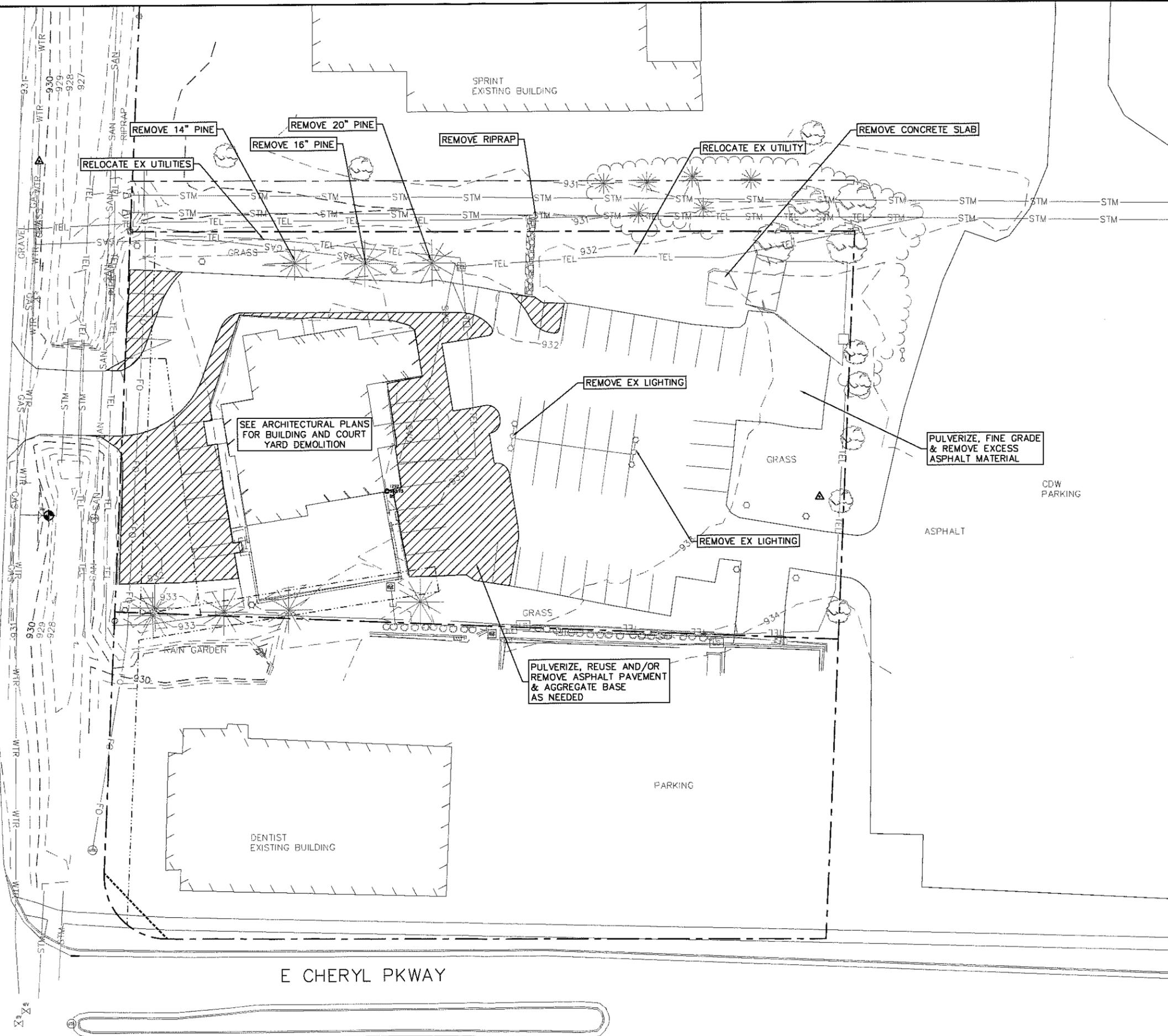
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EROSON CONTROL

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CTH D (FISH HATCHERY ROAD)

E CHERYL PKWAY



REMOVE 14" PINE
REMOVE 20" PINE
REMOVE 16" PINE
RELOCATE EX UTILITIES
REMOVE RIPRAP
RELOCATE EX UTILITY
REMOVE CONCRETE SLAB

SEE ARCHITECTURAL PLANS FOR BUILDING AND COURT YARD DEMOLITION

REMOVE EX LIGHTING

REMOVE EX LIGHTING

PULVERIZE, FINE GRADE & REMOVE EXCESS ASPHALT MATERIAL

PULVERIZE, REUSE AND/OR REMOVE ASPHALT PAVEMENT & AGGREGATE BASE AS NEEDED

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 SITE DEMO PLAN

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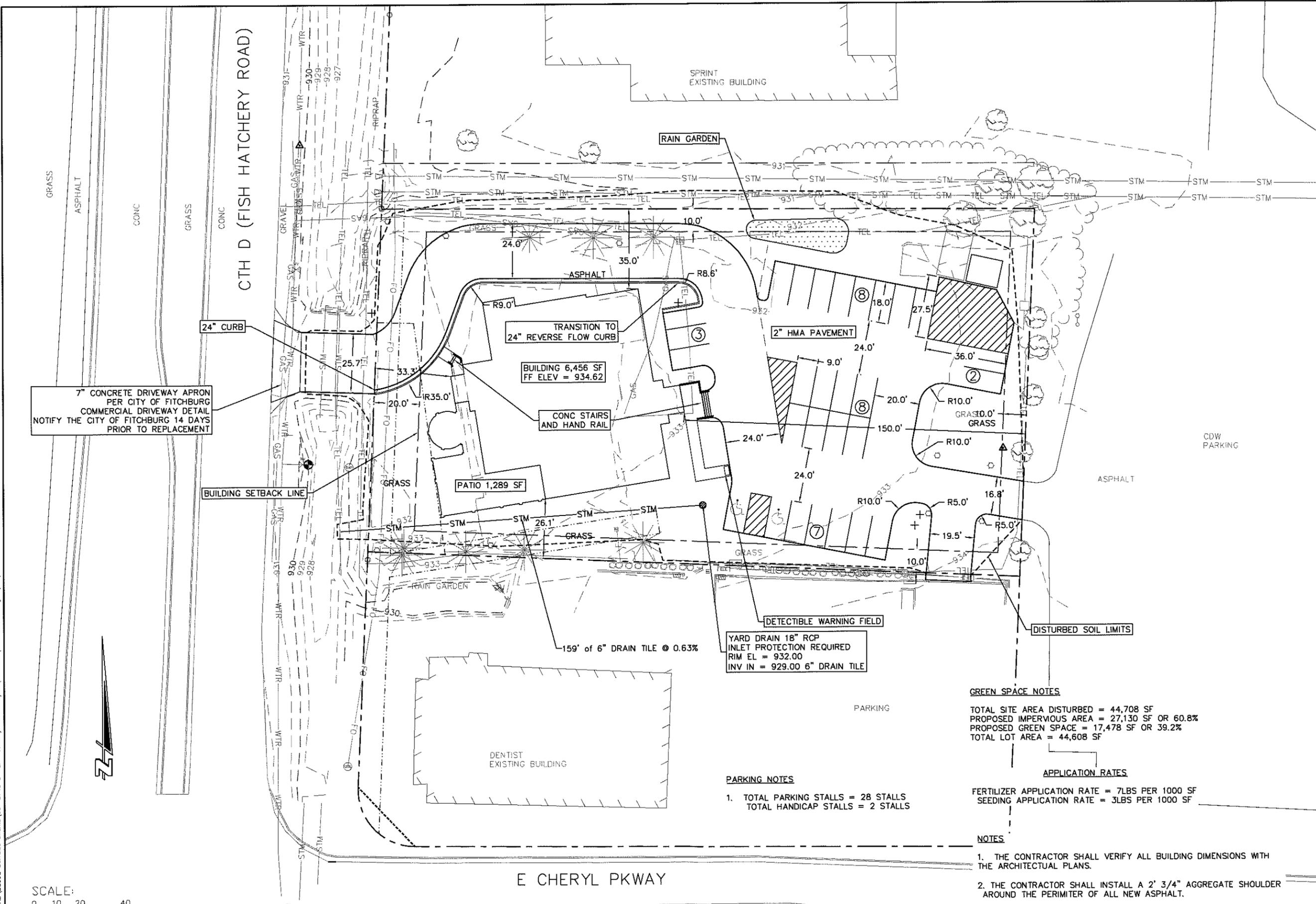
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PROPOSED SITE PLAN



7" CONCRETE DRIVEWAY APRON
PER CITY OF FITCHBURG
COMMERCIAL DRIVEWAY DETAIL
NOTIFY THE CITY OF FITCHBURG 14 DAYS
PRIOR TO REPLACEMENT

BUILDING 6,456 SF
FF ELEV = 934.62

PATIO 1,289 SF

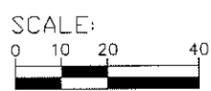
YARD DRAIN 18" RCP
INLET PROTECTION REQUIRED
RIM EL = 932.00
INV IN = 929.00 6" DRAIN TILE

GREEN SPACE NOTES
TOTAL SITE AREA DISTURBED = 44,708 SF
PROPOSED IMPERVIOUS AREA = 27,130 SF OR 60.8%
PROPOSED GREEN SPACE = 17,478 SF OR 39.2%
TOTAL LOT AREA = 44,608 SF

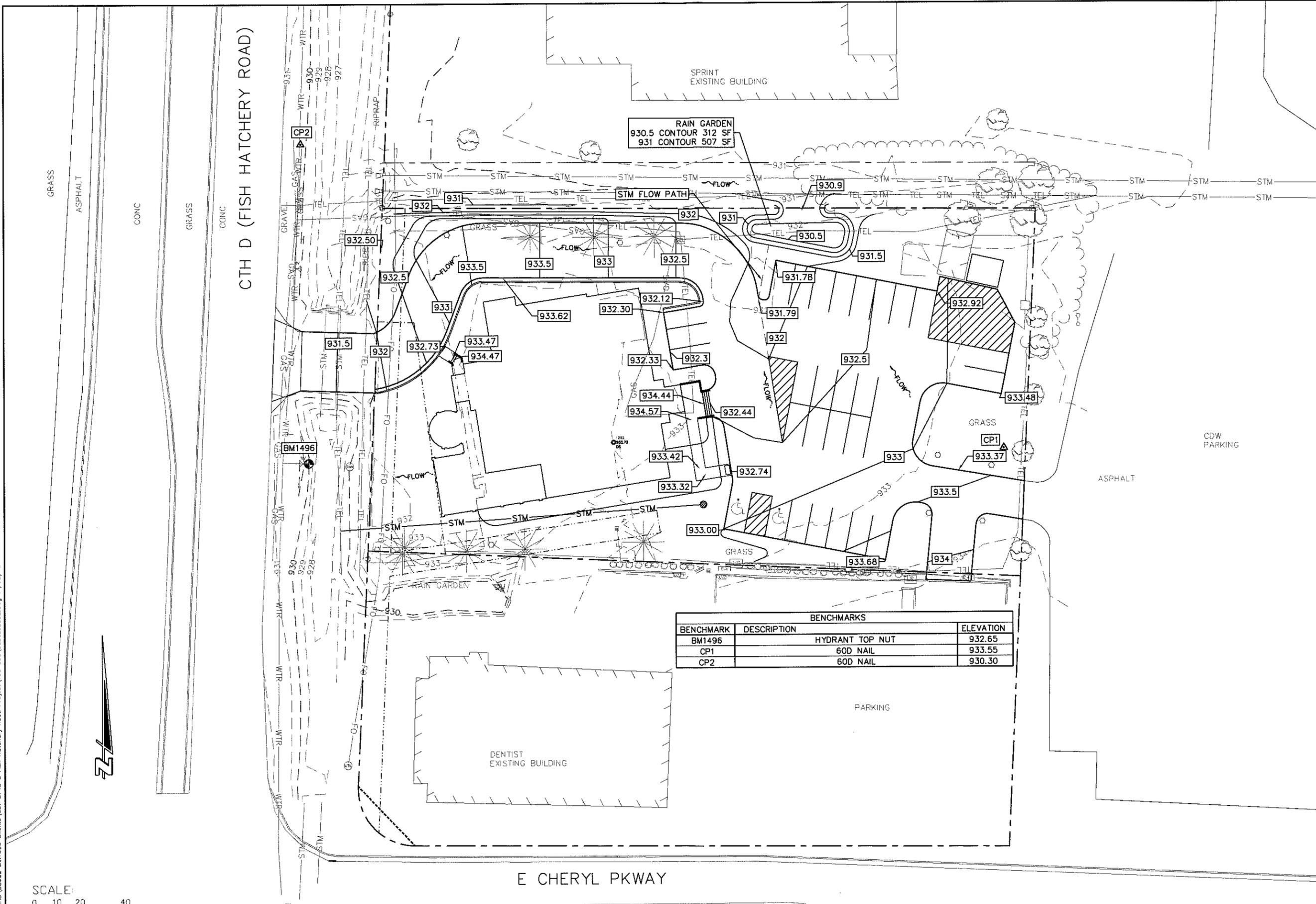
PARKING NOTES
1. TOTAL PARKING STALLS = 28 STALLS
TOTAL HANDICAP STALLS = 2 STALLS

APPLICATION RATES
FERTILIZER APPLICATION RATE = 7LBS PER 1000 SF
SEEDING APPLICATION RATE = 3LBS PER 1000 SF

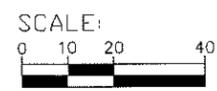
NOTES
1. THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL PLANS.
2. THE CONTRACTOR SHALL INSTALL A 2' 3/4" AGGREGATE SHOULDER AROUND THE PERIMETER OF ALL NEW ASPHALT.



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BENCHMARKS		
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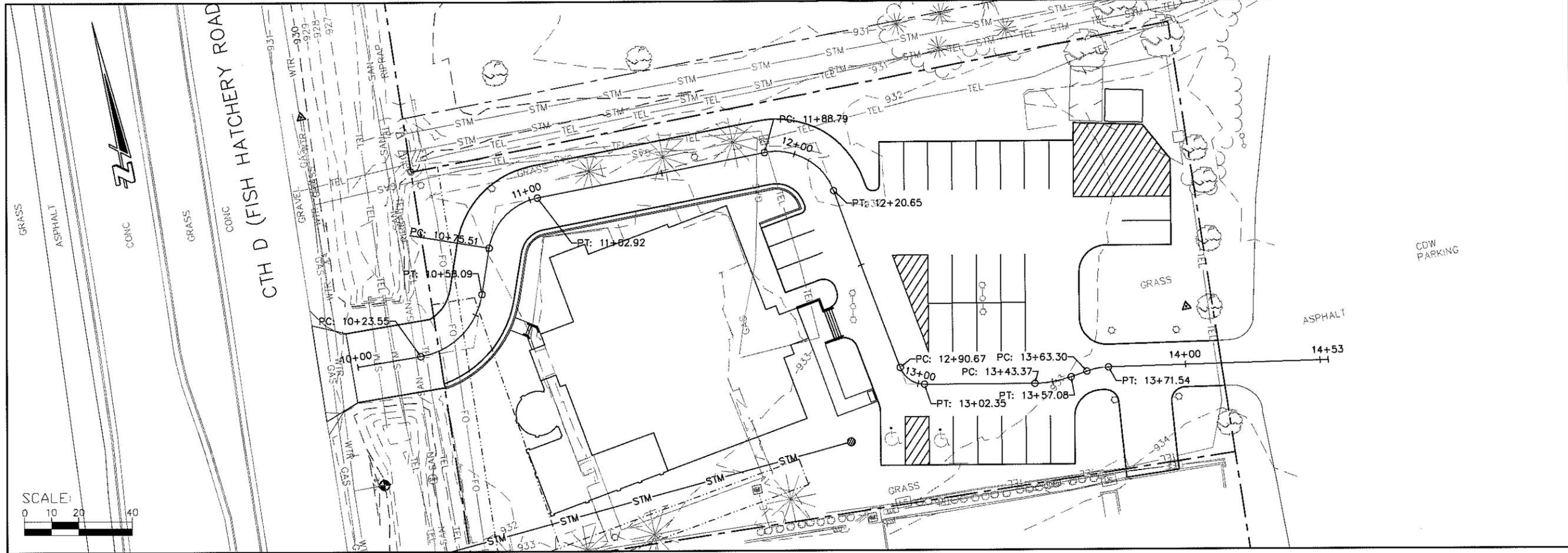
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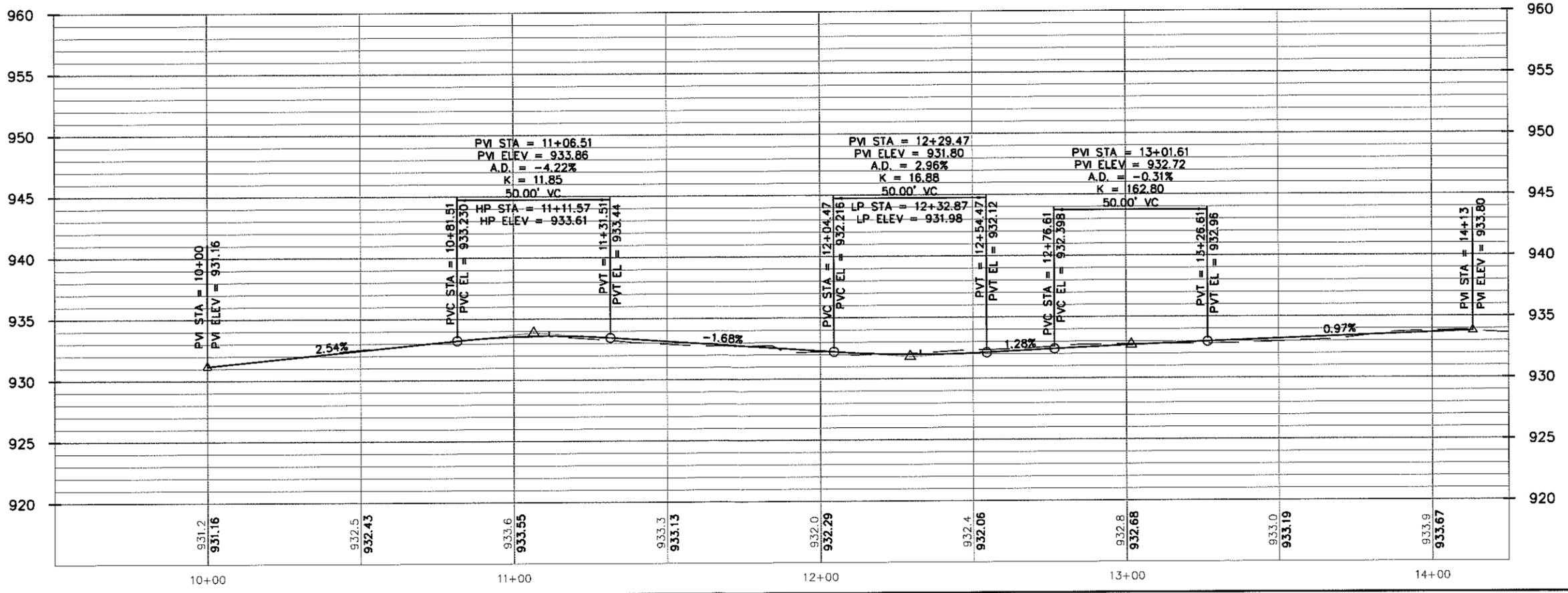
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 and architects

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 GRADING PLAN

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PARKING LOT TRAVELWAY PROFILE



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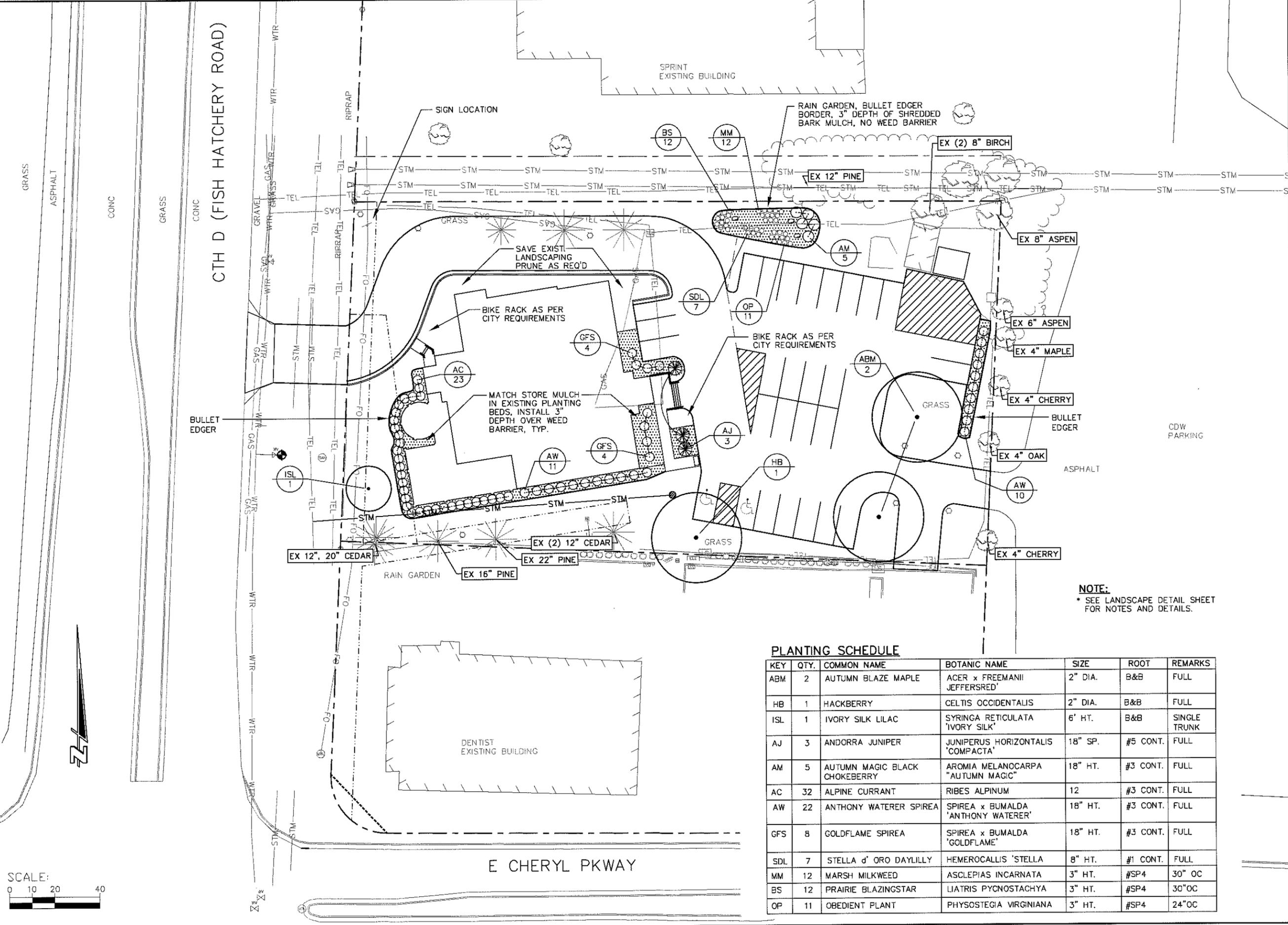
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 PLAN AND PROFILE

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NOTE:
* SEE LANDSCAPE DETAIL SHEET FOR NOTES AND DETAILS.

PLANTING SCHEDULE

KEY	QTY.	COMMON NAME	BOTANIC NAME	SIZE	ROOT	REMARKS
ABM	2	AUTUMN BLAZE MAPLE	ACER x FREEMANII JEFFERSRED'	2" DIA.	B&B	FULL
HB	1	HACKBERRY	CELTIS OCCIDENTALIS	2" DIA.	B&B	FULL
ISL	1	IVORY SILK LILAC	SYRINGA RETICULATA 'IVORY SILK'	6' HT.	B&B	SINGLE TRUNK
AJ	3	ANDORRA JUNIPER	JUNIPERUS HORIZONTALIS 'COMPACTA'	18" SP.	#5 CONT.	FULL
AM	5	AUTUMN MAGIC BLACK CHOKEBERRY	AROMIA MELANOCARPA "AUTUMN MAGIC"	18" HT.	#3 CONT.	FULL
AC	32	ALPINE CURRANT	RIBES ALPINUM	12	#3 CONT.	FULL
AW	22	ANTHONY WATERER SPIREA	SPIREA x BUMALDA 'ANTHONY WATERER'	18" HT.	#3 CONT.	FULL
GFS	8	GOLDFLAME SPIREA	SPIREA x BUMALDA 'GOLDFLAME'	18" HT.	#3 CONT.	FULL
SDL	7	STELLA d' ORO DAYLILLY	HEMEROCALLIS 'STELLA	8" HT.	#1 CONT.	FULL
MM	12	MARSH MILKWEED	ASCLEPIAS INCARNATA	3" HT.	#SP4	30" OC
BS	12	PRAIRIE BLAZINGSTAR	LIATRIS PYCNOSTACHYA	3" HT.	#SP4	30"OC
OP	11	OBEDIENT PLANT	PHYSOSTEGIA VIRGINIANA	3" HT.	#SP4	24"OC



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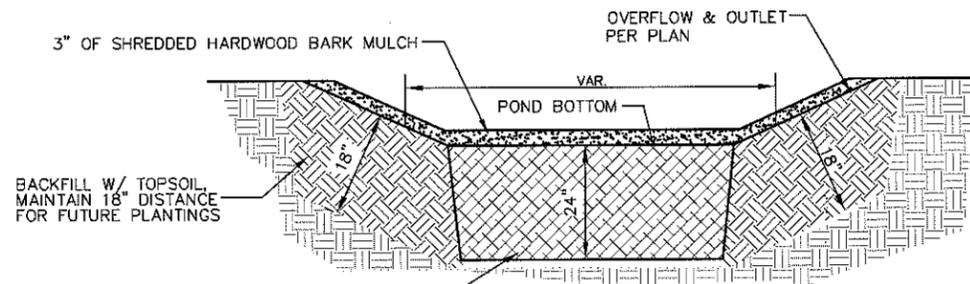
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 PROPOSED LANDSCAPE PLAN

SHEET NO. 8 OF 11

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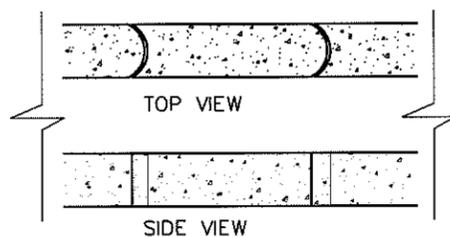
EXCAVATE & MIX SOIL IN POND BOTTOM (ENGINEERED SOIL)
 * 70-85% SAND
 * 15-30% COMPOST MEETING WDNR SPECIFICATION S100

NOTE:
 * WOOD CHIP MULCH SHALL BE FRESHLY CHIPPED HARDWOOD MULCH FREE FROM DELETERIOUS MATERIALS, STICKS, STONES, NOXIOUS WEEDS, SALT & OTHER MATERIALS HARMFUL TO PLANT GROWTH. SHREDDED BARK MULCH SHALL BE EITHER COMPOSTED OR TREATED WITH NITROGEN TO COMPENSATE FOR SUCH LOSS IN DECOMPOSITION.

NOTES:

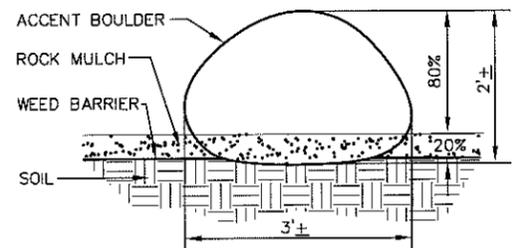
- * THE CONTRACTOR SHALL VERIFY ALL EXIST. CONDITIONS.
- * THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXIST. UTILITIES.
- * USE GEOTEXTILE FABRIC WEED BARRIER UNDER ALL PLANTING BED MULCH UNLESS OTHERWISE NOTED. FABRIC WEED BARRIER SHALL CONFORM TO WI DOT SSHSC SECT. 632.
- * MATCH STONE MULCH IN PLANTING BEDS, 3" DEPTH. STONE MULCH SHALL BE CLEAN, & FREE FROM DELETERIOUS MATERIALS, STICKS, STONES, NOXIOUS WEEDS, SALT & FINE SILTS, CLAYS OR TOPSOIL.
- * USE SHREDDED BARK MULCH AT ALL SINGULARLY PLANTED TREES, MIN. 3" DEPTH, 4' DIA.
- * TOP OF MULCH IN PLANTING BEDS SHALL BE EVEN W/ TOP OF SURROUNDING SURFACES.
- * IF DISCREPANCIES OCCUR, PLANT QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER PLANTING SCHEDULE.
- * ALL PLANT MATERIAL SHALL HAVE A ONE YEAR WARRANTY AGAINST DEATH & UNHEALTHY CONDITION, EXCEPT AS A RESULT OF NEGLIGENCE BY OWNER, DAMAGE BY OTHERS & UNUSUAL PHENOMENA BEYOND CONTRACTOR'S CONTROL. PLANT WARRANTY SHALL BEGIN ON THE DATE OF FINAL ACCEPTANCE OF THE PROJECT.
- * ALL PLANTS SHALL CONFORM TO THE VARIETIES SPECIFIED IN THE PLANT LIST & SHALL BE TRUE TO BOTANICAL NAME AS IN HORTUS THIRDS.
- * ALL PLANTS INCLUDING THEIR ROOTS SHALL BE FREE FROM DISEASE INSECTS & OTHER INJURIOUS QUALITIES & SHALL BE WELL FORMED, FULL, IN A HEALTHY VIGOROUS GROWING CONDITION, REAR OR AT SPECIMEN QUALITY.

- * ALL PLANTS SHALL BE SUBJECT TO INSPECTION BY THE OWNERS REPRESENTATIVE UPON DELIVERY. ANY PLANTS DEEMED NOT ACCEPTABLE BY THE OWNERS REPRESENTATIVE SHALL BE REMOVED FROM THE SITE & REPLACED WITH ACCEPTABLE MATERIAL.
- * ANY ADDITIONAL TOPSOIL NEEDED FOR INSTALLING THE TREES & SHRUBS AS PER THE PLANTING DETAIL SHALL BE CONSIDERED INCIDENTAL TO THE PLANT MATERIAL PRICE.
- * TOPSOIL SHALL CONSIST OF A HUMUS-BEARING LOAM ADAPTED TO SUSTAIN VIGOROUS GRASS GROWTH FREE FROM DELETERIOUS MATERIALS W/ A PH RANGE OF 6.0 TO 7.0. TOPSOIL NOT MEETING THESE REQUIREMENTS SHALL BE AMENDED AT NO ADDITIONAL COST.
- * SHREDDED BARK MULCH SHALL BE FRESHLY SHREDDED HARDWOOD BARK FREE FROM DELETERIOUS MATERIALS, STICKS, STONES, NOXIOUS WEEDS, SALT & OTHER MATERIALS HARMFUL TO PLANT GROWTH. SHREDDED BARK MULCH SHALL BE EITHER COMPOSTED OR TREATED WITH NITROGEN TO COMPENSATE FOR SUCH LOSS IN DECOMPOSITION.
- * ANY PLANTS DELIVERED TO THE PROJECT SITE THAT ARE NOT INSTALLED THE SAME DAY SHALL BE "HEALED IN" W/ TOPSOIL, WOOD CHIPS, SHREDDED BARK, OR SAWDUST & ADEQUATELY WATERED UNTIL SUCH TIME THE PLANTS CAN BE INSTALLED.
- * CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ALL PLANT MATERIAL INCLUDING GRASS OR SOD FOR TWO WEEKS AFTER FINAL ACCEPTANCE OF PROJECT. WATER SHALL BE PROVIDED IN AN ADEQUATE AMOUNT TO SUSTAIN VIGOROUS PLANT GROWTH.
- * PRUNE EXISTING FOUNDATION PLANTINGS TO REMAIN, CLEAN & REFRESH LANDSCAPE FABRIC AND MULCH.



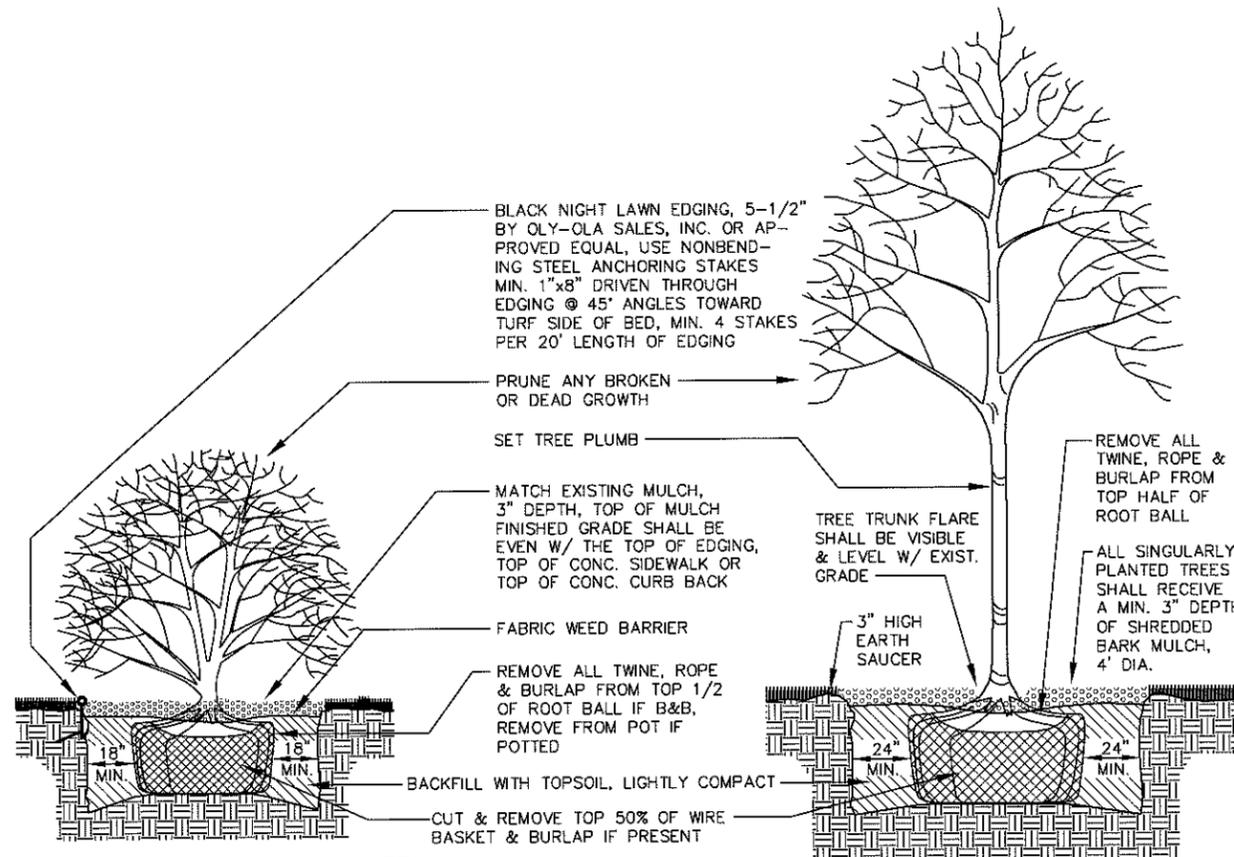
BULLET EDGER
NO SCALE

- NOTES:
- * BULLET EDGER, 3-5/8"x11-3/4"x3-5/8"HT.
 - * BULLET EDGER SHALL BE GRAY IN COLOR.
 - * INSTALL TOP OF CONCRETE BULLET EDGER FLUSH W/ FINISHED GRADE.



ACCENT BOULDER INSTALLATION DETAIL
NO SCALE

- NOTES:
- * BURY APPROX. 20% OF ACCENT BOULDER.
 - * THE BOULDERS SHALL BE NATIVE TO THE REGION & FREE FROM BREAKS, CRACKS & SCARS FROM HANDLING EQUIPMENT.
 - * ALL BOULDERS SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR ENGINEER. ALL BOULDERS DEEMED NOT UNACCEPTABLE SHALL BE REPLACED W/ AN ACCEPTABLE BOULDER.



TREE & SHRUB PLANTING DETAIL
NO SCALE

NOTE:
 ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH ANSI Z60.1, LATEST ADDITION.

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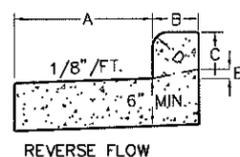
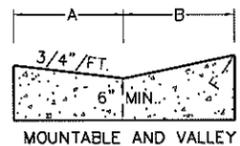
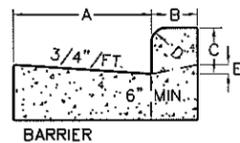
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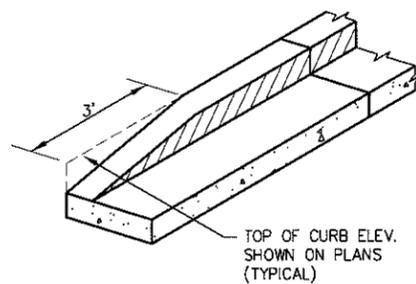
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 DETAILS

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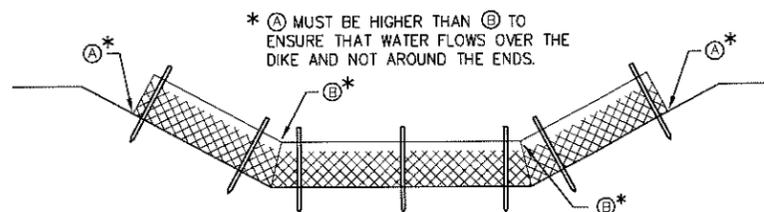
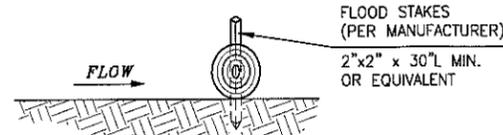
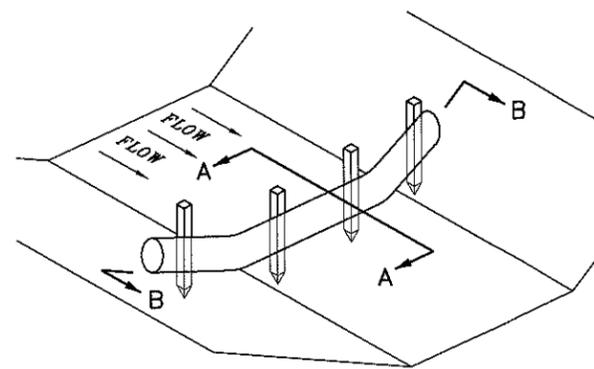


CURB TYPE	A	B	C	D	E	F
BARRIER						
18" B	12"	6"	6"	2"	1.5"	1/2"
24" B	18"	6"	6"	2"	1.5"	1/2"
30" B	24"	6"	6"	2"	1.5"	1/2"
MOUNTABLE						
24" M	12"	12"	-	-	2.50"	1/2"
30" M	18"	12"	-	-	2.75"	1/2"
36" M	24"	12"	-	-	6"	10"
VALLEY GUTTER						
36" V	18"	18"	-	-	1.5"	-
REVERSE FLOW						
24" B	18"	6"	6"	2"	1.5"	1/2"

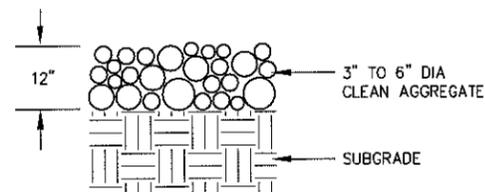
CONCRETE CURB & GUTTER



CONCRETE CURB & GUTTER END SECTION TAPER
NO SCALE



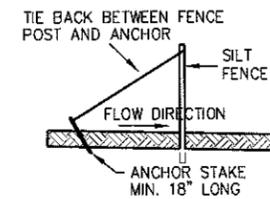
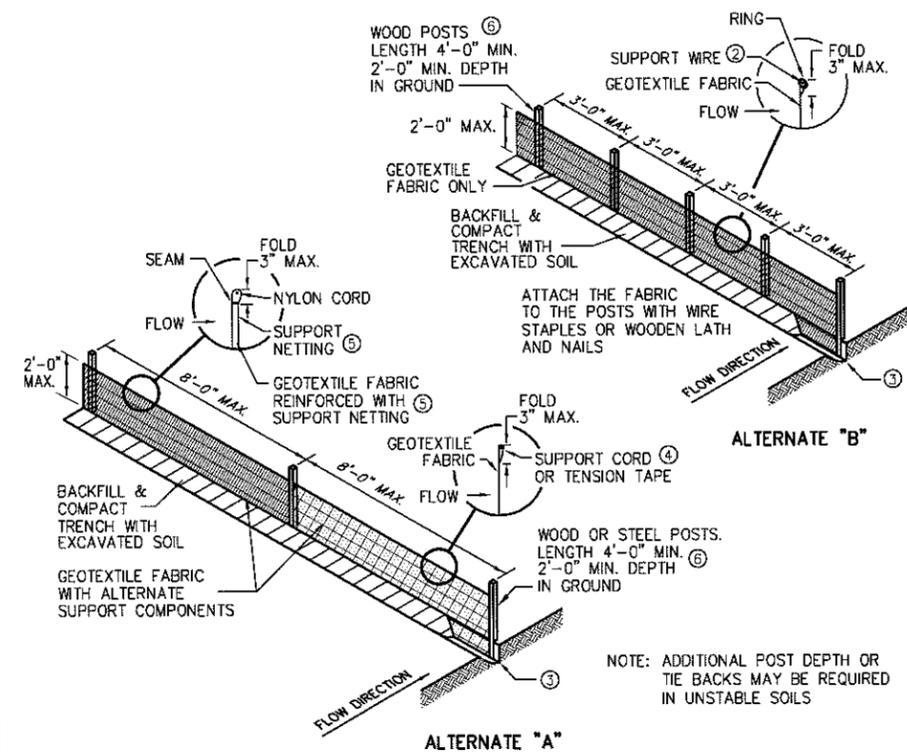
SEDIMENT LOG DITCH DIKE, PERPENDICULAR FLOW
NO SCALE



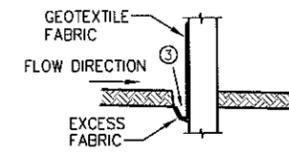
NOTES:
TRACKING PAD AREA TO BE 50' x 20'
UNLESS OTHERWISE NOTED.

REMOVE AND REPLACE AGGREGATE WHEN VOIDS BECOME FILLED WITH SEDIMENT OR IF SURFACE OPENINGS BECOME PLUGGED SO THAT TRACKING PAD DOES NOT FUNCTION

AGGREGATE TRACKING PAD
NO SCALE



SILT FENCE TIE BACK
(WHEN REQUIRED BY THE ENGINEER)



TRENCH DETAIL

GENERAL NOTES

DETAIL OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.

WHEN POSSIBLE THE SILT FENCE SHOULD BE CONSTRUCTED IN AN ARC OR HORSESHOE SHAPE, WITH THE ENDS POINTING UPSLOPE TO MAXIMIZE BOTH STRENGTH AND EFFECTIVENESS.

- CROSS BRACE WITH 2"x4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS AS DIRECTED BY THE ENGINEER.
- MINIMUM 14 GAGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C-C.
- EXCAVATE A TRENCH A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WIRE SUPPORT FENCE SHALL BE 14 GAGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C-C.
- GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED.
- STEEL POSTS SHALL BE STUDDED "TEE" OF "U" TYPE WITH A MINIMUM WEIGHT OF 1.28 LBS./LINEAL FOOT (WITHOUT ANCHOR). FIN ANCHORS SUFFICIENT TO RESIST POST MOVEMENT ARE REQUIRED. WOOD POSTS FOR GEOTEXTILE FABRIC REINFORCED WITH NETTING SHALL BE A MINIMUM SIZE OF 1-1/8"x1-1/8" OAK OR HICKORY.

ALTERNATES A & B ARE EQUAL AND EITHER MAY BE USED.

SILT FENCE
NO SCALE

JOB NO. 5692-001
BOOK NO.
DRAWN BY JMP
CHECKED BY DKS
DATE OCT 2015
REVISIONS
REFERENCE FILE O0BASE_
DRAWING FILE 021001_cd

Cedar corporation
engineers - architects - planners - environmental specialists
and surveyors - landscape architects - interior designers

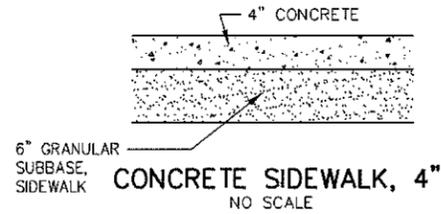
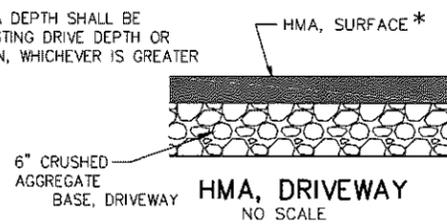
9500 North Commons West
Suite 142
Green Bay, WI 54311
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Fax: 920-461-9020

604 Wilson Ave.
Menomonie, WI 54751
Phone: 715-235-3555
Fax: 715-235-2727
www.cedarcorp.com

ME & JULIO'S
2784 SOUTH FISH HATCHERY ROAD
FITCHBURG, WISCONSIN 53713
DETAILS

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* HMA DEPTH SHALL BE EXISTING DRIVE DEPTH OR 2-IN, WHICHEVER IS GREATER

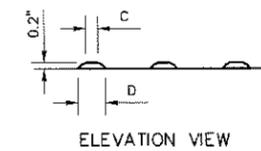
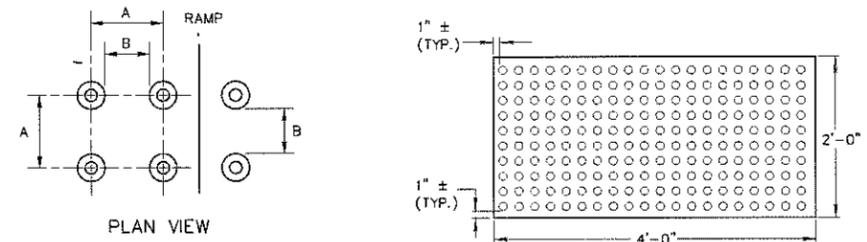
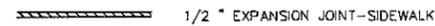


GENERAL NOTES

RAMPS SHALL BE BUILT AT 12H:1V OR FLATTER. WHEN NECESSARY THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.

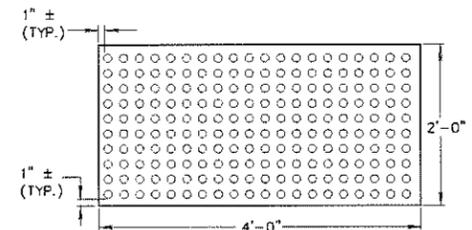
SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.

LEGEND

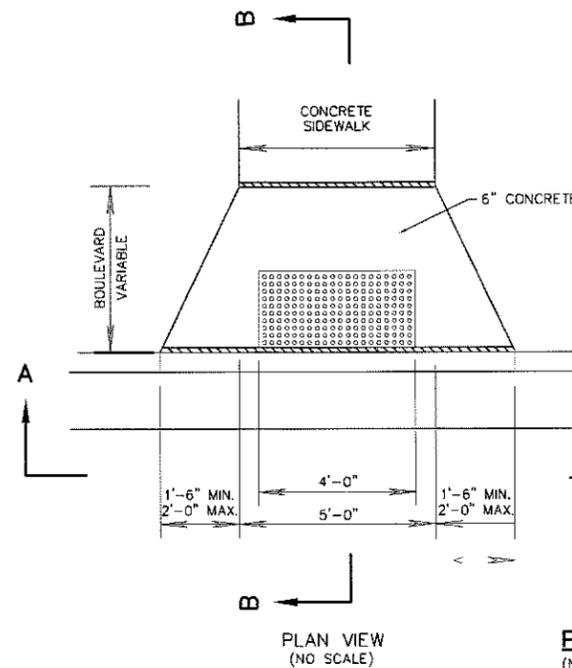
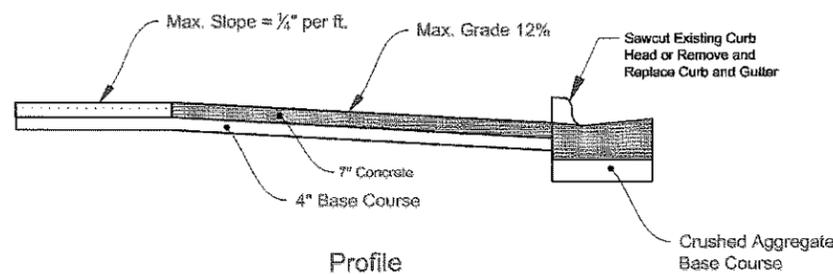
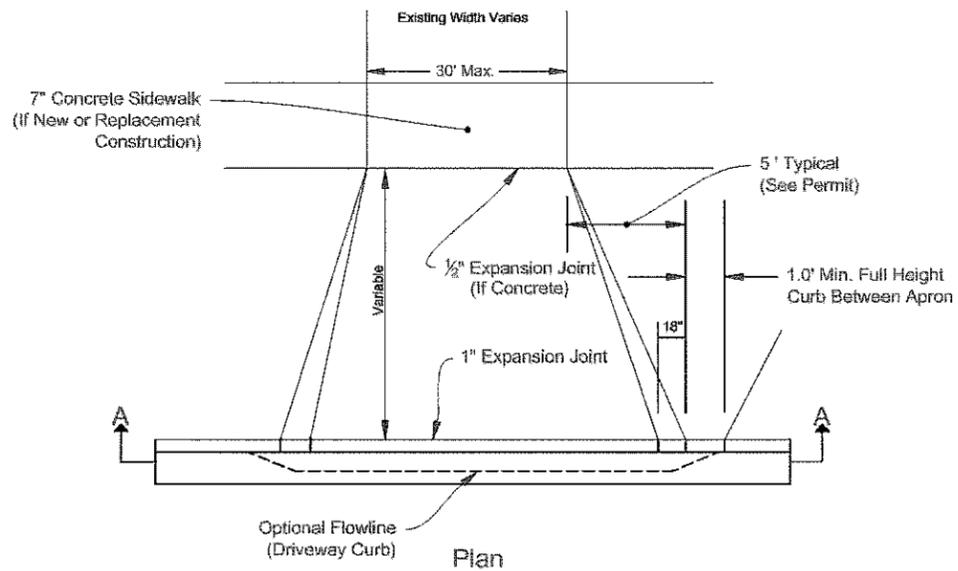
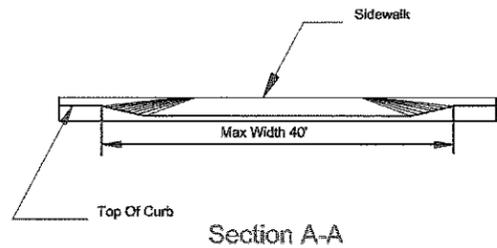


	MIN.	MAX.
A	1.6"	2.4"
B	0.65"	1.5"
C	*	*
D	0.9"	1.4"

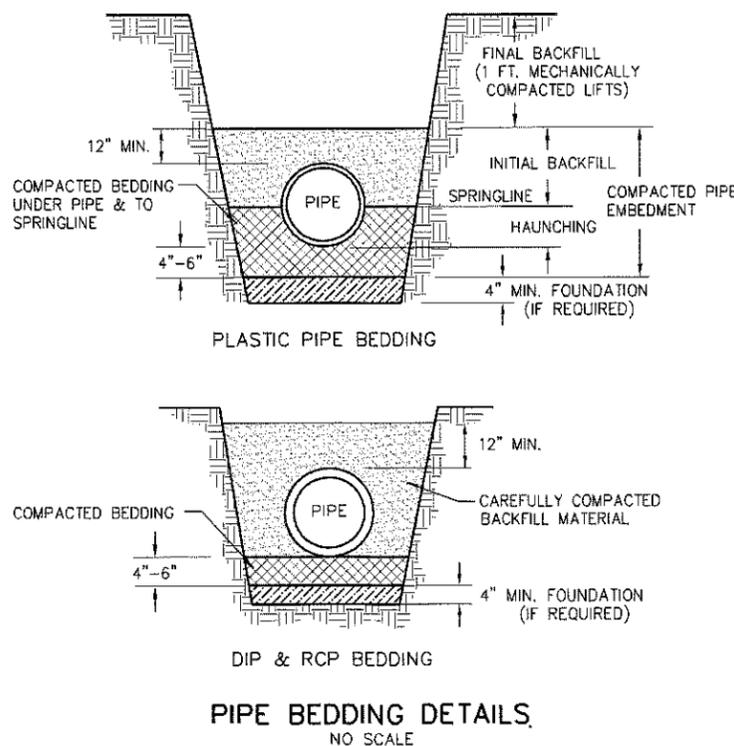
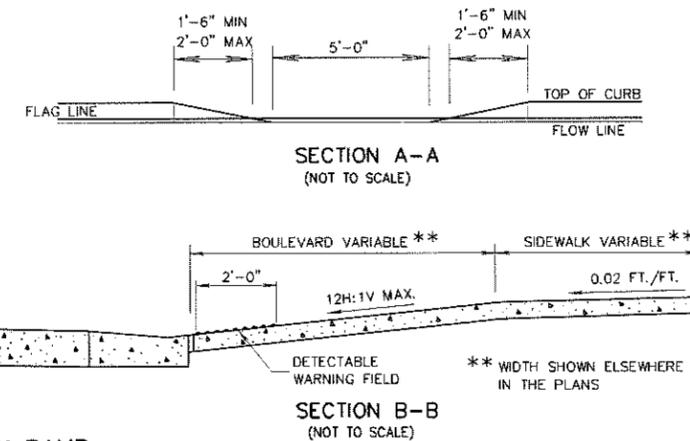
* THE "C" DIMENSION IS 50% TO 65% OF THE "D" DIMENSION.



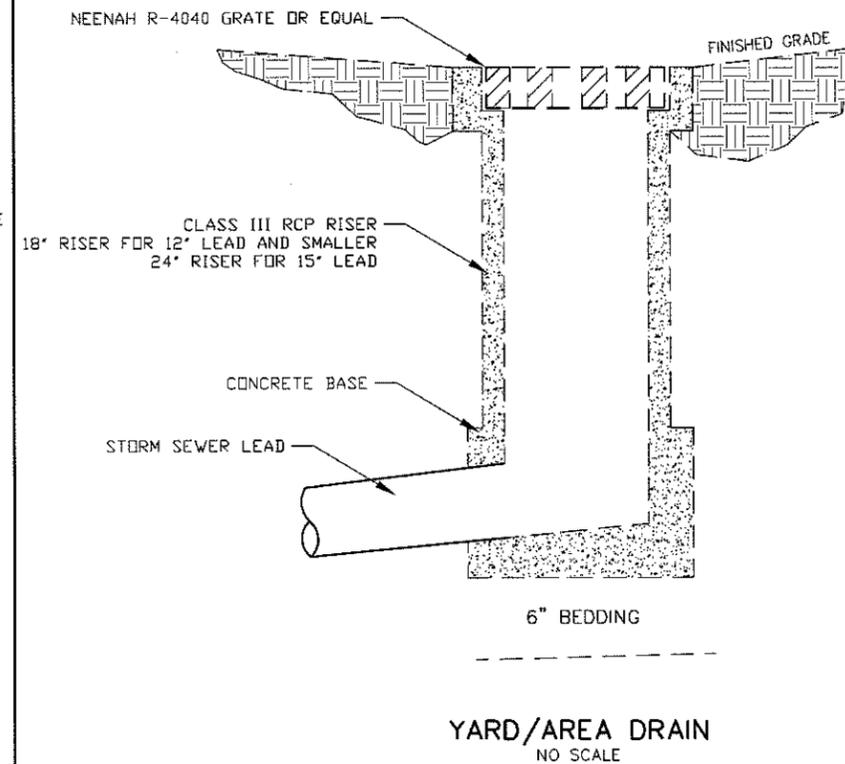
Commercial Driveway Detail

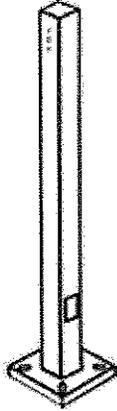


PEDESTRIAN RAMP
(NO SCALE)



PIPE BEDDING DETAILS
NO SCALE





Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze

Weight: 168.0 lbs

Project:
Me & Julios

Type:

Prepared By:
MSKow

Date:
101915

Lamp Info

Ballast Info

Type:	N/A	Type:	N/A
Watts:	0W	120V:	N/A
Shape/Size:	N/A	208V:	N/A
Base:	N/A	240V:	N/A
ANSI:	N/A	277V:	N/A
Hours:	N/A	Input Watts:	0W
Lamp Lumens:	N/A		
Efficacy:	N/A		

Technical Specifications

Listings

CSA Listed:

Suitable for wet locations.

Construction

Shaft:

46,000 p.s.i. minimum yield.

Hand Holes:

Reinforced with grounding lug and removable cover.

Base Plates:

36,000 p.s.i. minimum yield.

Shipping Protection:

All poles are shipped in individual corrugated cartons to prevent finish damage.

Color:

Bronze powder coating.

Height:

25 FT.

Weight:

168 lbs.

Gauge:

11

Wall Thickness:

1/8".

Shaft Size:

4".

Hand Hole Dimensions:

3" x 5".

Bolt Circle:

8 1/2".

Base Dimension:

8".

Anchor Bolt:

Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.

Anchor Bolt Templates:

WARNING Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available .

Pre-Shipped Anchor Bolts:

Bolts can be pre-shipped upon request for additional freight charge.

MaxEPA's/Max Weights:

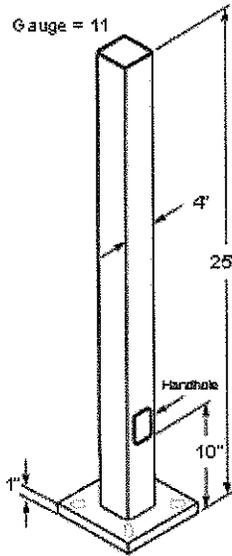
70MPH 4.5 ft_/135 lb
80MPH 2.3 ft_/80 lb
90MPH 0.8 ft_/35 lb.

Other

Terms of Sale:

Pole Terms of Sale is available .

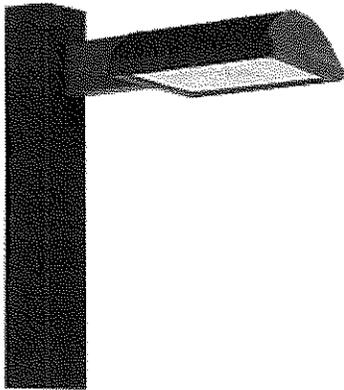
Dimensions



Features

- Designed for ground mounting
- Heavy duty TGIC polyester coating
- Reinforced hand holes with grounding lug and removable cover for easy wiring access
- Anchor Bolt Kit includes hand hole cover and base cover (sold separately)
- Custom manufactured for each application

ALED3T50



Specification grade area lights available in IES Type III distributions. For use for roadway, general parking and other area lighting applications where a larger pool of lighting is required. Mounts to 4" square steel poles at 20-35'. Patent pending thermal management system. 5 Year Warranty.

Color: Bronze

Weight: 32.0 lbs

Project:
Me & Julios

Type:

Prepared By:
MSkow

Date:
101915

Driver Info

Type: Constant Current
120V: 0.46A
208V: 0.27A
240V: 0.23A
277V: 0.20A
Input Watts: 52W
Efficiency: 97%

LED Info

Watts: 50W
Color Temp: 5000K (Cool)
Color Accuracy: 67 CRI
L70 Lifespan: 100,000
Lumens: 4,846
Efficacy: 94 LPW

Technical Specifications

Listings

UL Listing:

Suitable for wet locations as a downlight.

DLC Listed:

This product is on Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED fixtures have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

LEDs:

Multi-chip, high-output, long-life LEDs

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011.

Construction

IES Classification:

The Type III distribution is ideal for roadway, general parking and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

IP Rating:

Ingress Protection rating of IP66 for dust and water.

Ambient Temperature:

Suitable for use in 40°C ambient temperatures.

Cold Weather Starting:

The minimum starting temperature is -40°F/-40°C.

Thermal Management:

Superior patent pending thermal management design with external Air-Flow fins provides maximum operational life, even in high ambient temperature environments.

Effective Projected Area:

EPA = 0.75

Housing:

Die cast aluminum housing, lens frame and mounting arm.

Mounting:

Heavy-duty mounting arm with "O" ring seal & stainless steel screws.

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High temperature silicone gaskets

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Green Technology:

Mercury and UV free, and RoHS compliant. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

Electrical

Driver:

Constant Current, Class 2, 1400mA, 100-277V, 50-60Hz, 0.8A, Power Factor 99%

THD:

7.0% at 120V, 7.4% at 277V

Surge Protection:

6kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2.

Other

Equivalency:

ALED™ 50W replaces 200W metal halide

California Title 24:

See ALED3T50/PC, ALED3T50/PCS or ALED3T50/PCT for a 2013 California Title 24 compliant model.

Technical Specifications (continued)

Other

Patents:

The ALED™ design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.

Country of Origin:

Designed by RAB in New Jersey and assembled in the USA by RAB's IBEW Local 3 workers.

Buy American Act Compliant:

This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

Recovery Act (ARRA) Compliant:

This product complies with the 52.225-21 "Required Use of American Iron, Steel, and Manufactured Goods-- Buy American Act-- Construction Materials (October 2010).

Trade Agreements Act Compliant:

This product is a COTS item manufactured in the United States, and is compliant with the Trade Agreements Act.

GSA Schedule:

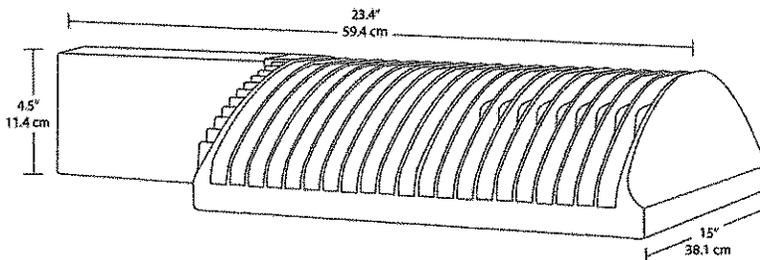
Suitable in accordance with FAR Subpart 25.4.

Optical

BUG Rating:

B1 U0 G2

Dimensions

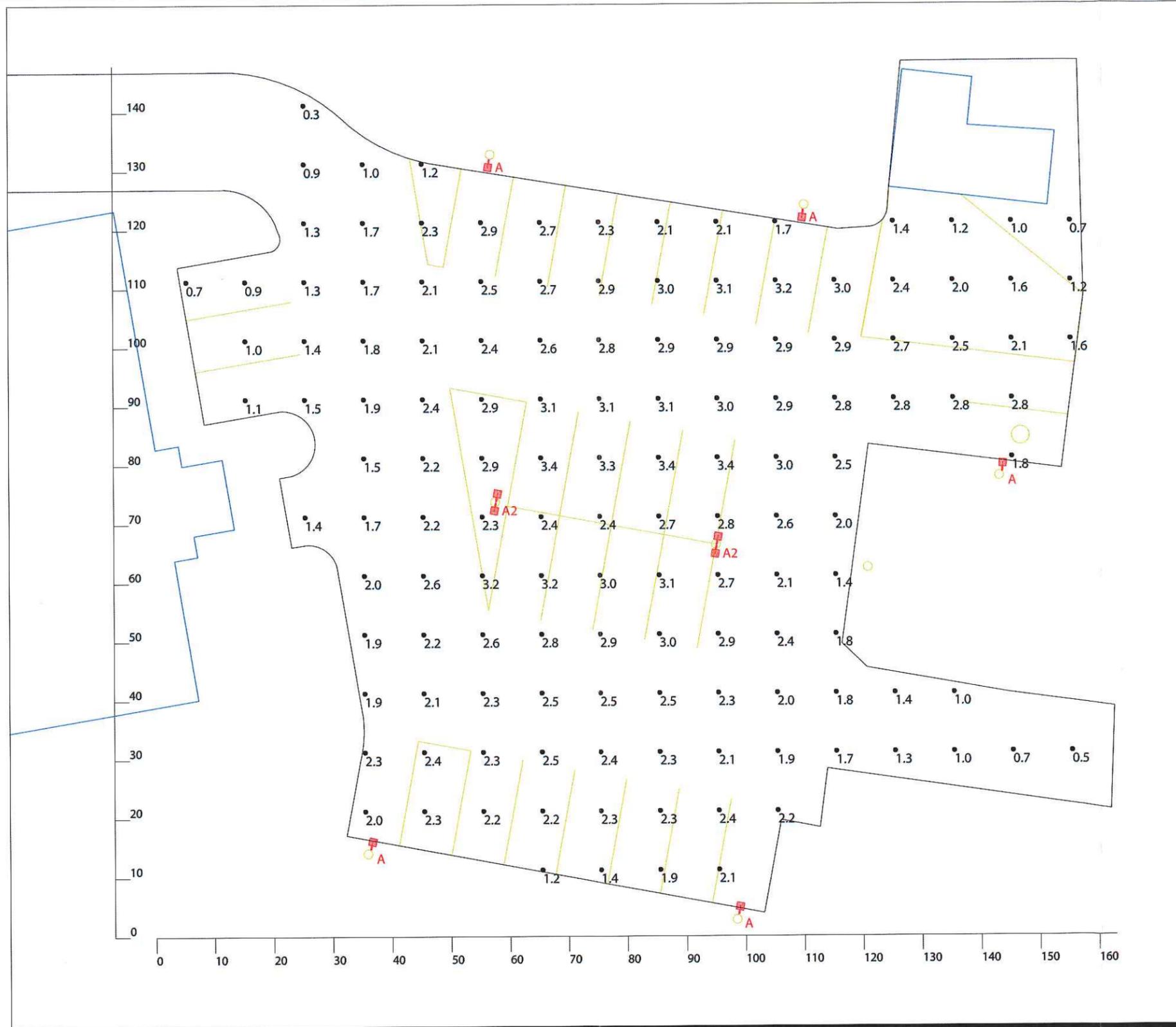


Features

- 66% energy cost savings vs. HID
- 100,000-hour LED lifespan
- Type III distribution
- 5-year warranty

Ordering Matrix

Family	Distribution	Watts	Mount	Color Temp	Finish	Voltage	Photocell	Dimming	Bi-Level
ALED	2T = Type II	50 = 50W	= Arm	= Cool	= Bronze	= 120-277V	= No Photocell	= No Dimming	= No Bi-Level
	3T = Type III		SF = Slipfitter	Y = Warm	W = White		/480 = 480V	/PC = 120V Button	/D10 = Dimmable
	4T = Type IV			N = Neutral	RG = Gray		/PC2 = 277V Button		
							/PCS = 120V Swivel		
							/PCS2 = 277V Swivel		
							/PCT = 120-277V Twistlock		
							/PCS4 = 480V Swivel		
							/PCT4 = 480V Twistlock		



Scale: 1 inch= 20 Ft.



Prepared For:
Rouzer Group
2738 Winnetka Ave NO
New Hope, MN 55427

Job Name:
Me & Julios
Fitchburg, MN
Lighting Layout
Version A

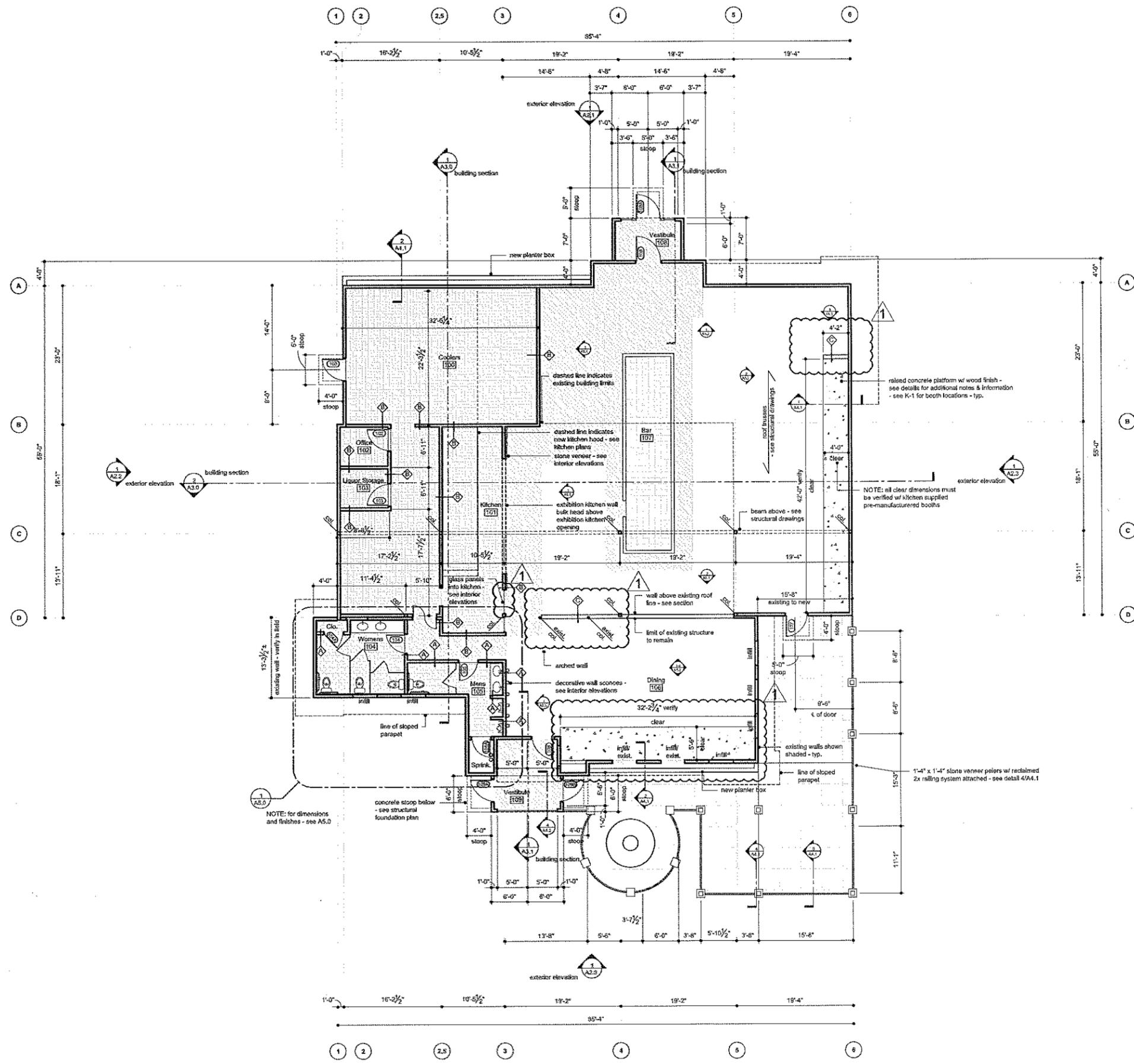
Scale: as noted

Date: 10/19/2015

Filename: Me&Julios 101515A.AGI

Drawn By: Michelle Skow

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WALL TYPE 'A'	
	<p>WALL TYPE 'A' 5/8" GYP. BD. 2X8 WOOD STUDS @ 16" O.C. 5/8" GYP. BD.</p> <p>NOTE: PAINT EACH SIDE AS REQUIRED - PAINT TBD - VERIFY WITH OWNER</p> <p>NOTE: GYP. BD. IN RESTROOM LOCATIONS TO BE DUROCK TO 5'-0" AFF FOR TILE</p>
WALL TYPE 'B'	
	<p>WALL TYPE 'B' FRP PANELING 5/8" GYP. BD. 2X8 WOOD STUDS @ 16" O.C. 5/8" GYP. BD. (FRP PANELING)</p> <p>NOTE: CONTINUE FRP PANELING ON BOTH SIDES OF WALL IN SHARED KITCHEN WALL AREAS</p>
WALL TYPE 'C'	
	<p>WALL TYPE 'C' 5/8" GYP. BD. 2X8 WOOD STUDS @ 16" O.C. 5/8" GYP. BD.</p>
FLOOR FINISH LEGEND	
	WOOD FLOORING
	RAISED PLATFORM (BOOTH AREAS)
	DECORATIVE CERAMIC TILE
	TILE
	6" X 6" QUARRY TILE

HAF GROUP
ARCHITECTURE
DEVELOPMENT
CONSTRUCTION

HAF ARCHITECTS
HOFFLER ARCHITECTS LLC
ARCHITECTURE
PLANNING
INTERIORS

HAF CONSTRUCTION
HOFFLER CONSTRUCTION LLC

PROJECT:
ME & JULIO'S
2784 S. FISH HATCHERY RD.
FITTCBURG, WI 53713

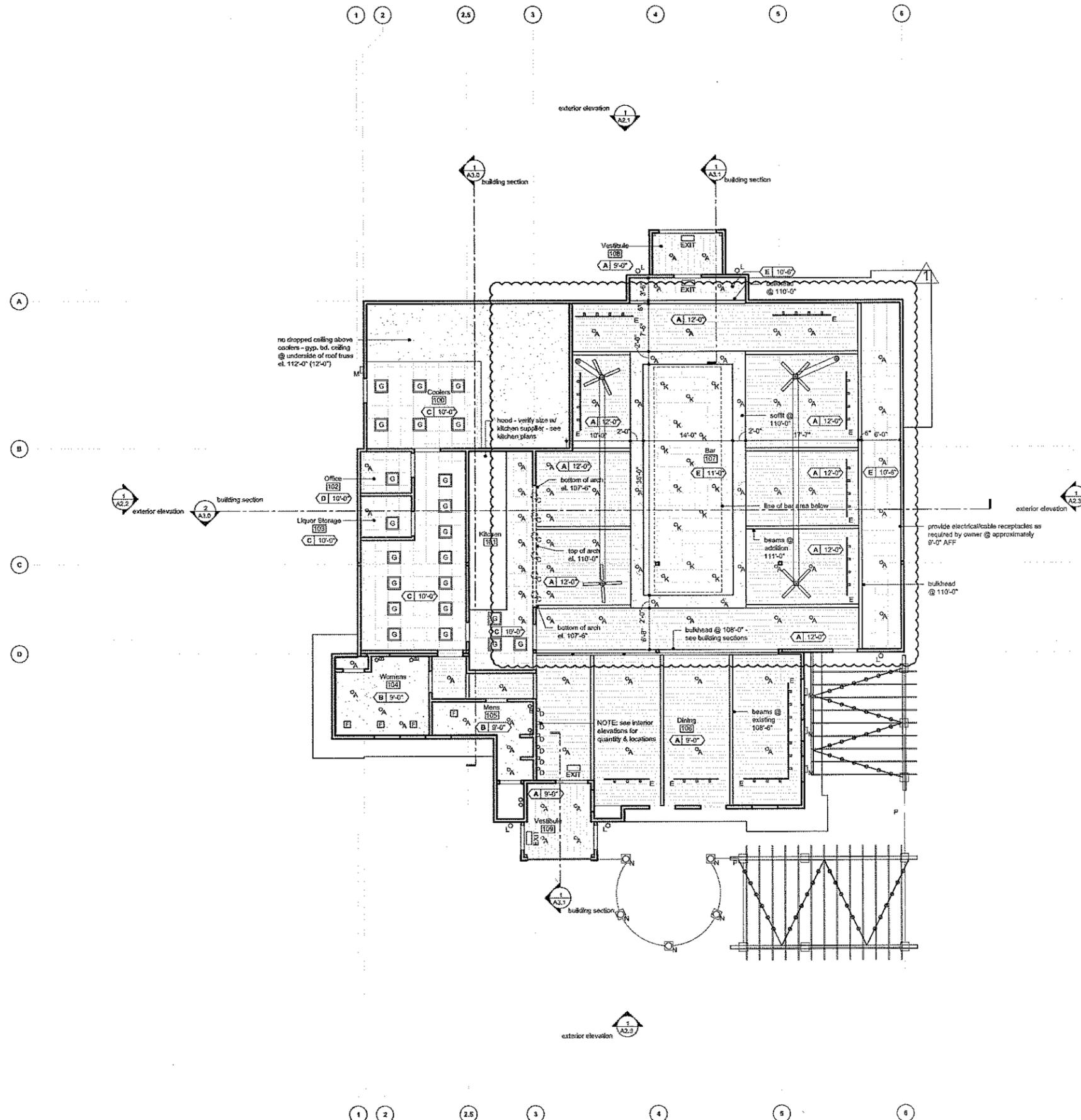
10-08-2015
REVISION #1

REVISION #1	
A1.0	REMOVAL OF FINISH WALLS, SHORTENING OF BOOTH WALL, EXTENSION OF CONCRETE & KITCHEN WINDOW SIZE
A1.1	WOOD CEILING CORRECTION
A1.2	DOOR ELEVATION
A2.1	DOOR ELEVATION
A2.2	DOOR ELEVATION
A3.1	DOOR ELEVATION HALF WALL HEIGHT & KITCHEN WINDOW/SWEEPINGS
A3.2	DOOR ELEVATION
A3.3	BOOTH EXTENSION HALF WALL HEIGHT & DOOR ELEVATION
A3.4	DOOR ELEVATION & FRAME TYPE
A3.5	NEW TRASH ENCLOSURE PLANS

NOTES	
1	FOR THE PURPOSES OF THIS PLAN, THE EXISTING WALLS AND CEILING SHALL BE REMOVED AND THE NEW WALLS AND CEILING SHALL BE CONSTRUCTED AS SHOWN.
2	ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR.
3	SEE DETAIL 4/A4.1 FOR RAILING SYSTEM ATTACHED TO 1'-4" X 1'-4" SLOPE VENEER PEIORS.
4	SEE DETAIL 4/A4.1 FOR RAILING SYSTEM ATTACHED TO 1'-4" X 1'-4" SLOPE VENEER PEIORS.
5	SEE DETAIL 4/A4.1 FOR RAILING SYSTEM ATTACHED TO 1'-4" X 1'-4" SLOPE VENEER PEIORS.
6	SEE DETAIL 4/A4.1 FOR RAILING SYSTEM ATTACHED TO 1'-4" X 1'-4" SLOPE VENEER PEIORS.
7	SEE DETAIL 4/A4.1 FOR RAILING SYSTEM ATTACHED TO 1'-4" X 1'-4" SLOPE VENEER PEIORS.
8	SEE DETAIL 4/A4.1 FOR RAILING SYSTEM ATTACHED TO 1'-4" X 1'-4" SLOPE VENEER PEIORS.
9	SEE DETAIL 4/A4.1 FOR RAILING SYSTEM ATTACHED TO 1'-4" X 1'-4" SLOPE VENEER PEIORS.
10	SEE DETAIL 4/A4.1 FOR RAILING SYSTEM ATTACHED TO 1'-4" X 1'-4" SLOPE VENEER PEIORS.

3 SHEET TOTAL: 111.0
PROPOSED FLOOR PLAN:
A1.0

1 PROPOSED FLOOR PLAN
1/8"=1'-0"



CEILING FINISH LEGEND		
A		RECLAIMED WOOD
B		GYPSUM BOARD
C		2X2 VINYL KITCHEN TILES
D		2X2 BLACK ACOUSTIC PANELS
E		2X2 STAMPED METAL PANELS

LIGHTING LEGEND		
A		6" HALO RECESSED CAN LIGHT FIXTURE W/ LED BULBS - TYPICAL
B		DECORATIVE WALL SCONCE LIGHT FIXTURE - VERIFY W/ OWNER
C		KITCHEN SUPPLIED HEAT LAMPS - VERIFY LOCATION & OTHER REQUIREMENTS - SEE KITCHEN PLAN
D		DECORATIVE WALL SCONCE LIGHT FIXTURE W/ EDISON BULB - RANDOM HEIGHT LOCATION - VERIFY W/ OWNER
E		LED HALO TRACK LIGHTING - VERIFY TYPE W/ G.C. - ALL BULBS TO BE LED - TYPICAL
F		RESTROOM EXHAUST FAN OVER TOILET AREA - VERIFY ROOF PENETRATION W/ G.C.
G		2x2 CEILING LIGHT FIXTURE - VERIFY TYPE W/ G.C.
H		36" CEILING FAN W PULLEY SYSTEM - VERIFY W/ OWNER
J		EXIT SIGN
K		DECORATIVE HANGING PENDANT LIGHT FIXTURES @ VARYING HEIGHTS - VERIFY W/ OWNER
L		EXTERIOR DECORATIVE GAS LIGHTING FIXTURE - VERIFY GAS LINE LOCATION
M		EXTERIOR WALL MOUNTED DOWN LIGHTING FOR PATIO AREA
N		EXTERIOR DECORATIVE LIGHTING FIXTURE AT TOP STONE PIER
P		EXTERIOR STRING LIGHTS -

NOTE:
 1. ALL LIGHTS TO BE ON DIMMER SWITCHES
 2. ALL LIGHT BULBS (EXCEPT SCONCES) TO BE LED

HAF GROUP
 ARCHITECTURE
 DEVELOPMENT
 CONSTRUCTION

233 SOUTH MAIN STREET
 STILLWATER, MN 55082
 PH: 651-351-1740

HAF ARCHITECTS
 HOEPLER ARCHITECTS LLC
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 STILLWATER, MN
 PHONE 651-351-1740
 FAX 651-430-0180

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HAF CONSTRUCTION
 HOEPLER CONSTRUCTION LLC

233 SOUTH MAIN ST.
 STILLWATER, MN
 PHONE 651-351-1740
 FAX 651-430-0180

PROJECT:
 ME & JULIO'S
 2784 S. FISH HATCHERY RD.
 FITCHBURG, WI 53713

10-08-2015
 REVISION #1

REVISION #1	
A1.0	REMOVAL OF SAND WALLS. SHORING OF SOUTH WALL. EXTENSION OF CONCRETE & KITCHEN WINDOW SIZE
A1.1	WOOD CABLING DIRECTION
A2.0	DOOR ELEVATION
A2.1	DOOR ELEVATION
A2.2	DOOR ELEVATION
A2.3	DOOR ELEVATION, HALF WALL HEIGHT & KITCHEN WINDOW OPENINGS
A2.4	DOOR ELEVATION
A2.5	DOOR ELEVATION, HALF WALL HEIGHT & DOOR ELEVATION
A2.6	DOOR ELEVATION & FRAME TYPE
A2.7	NEW TRASH ENCLOSURE PLANS

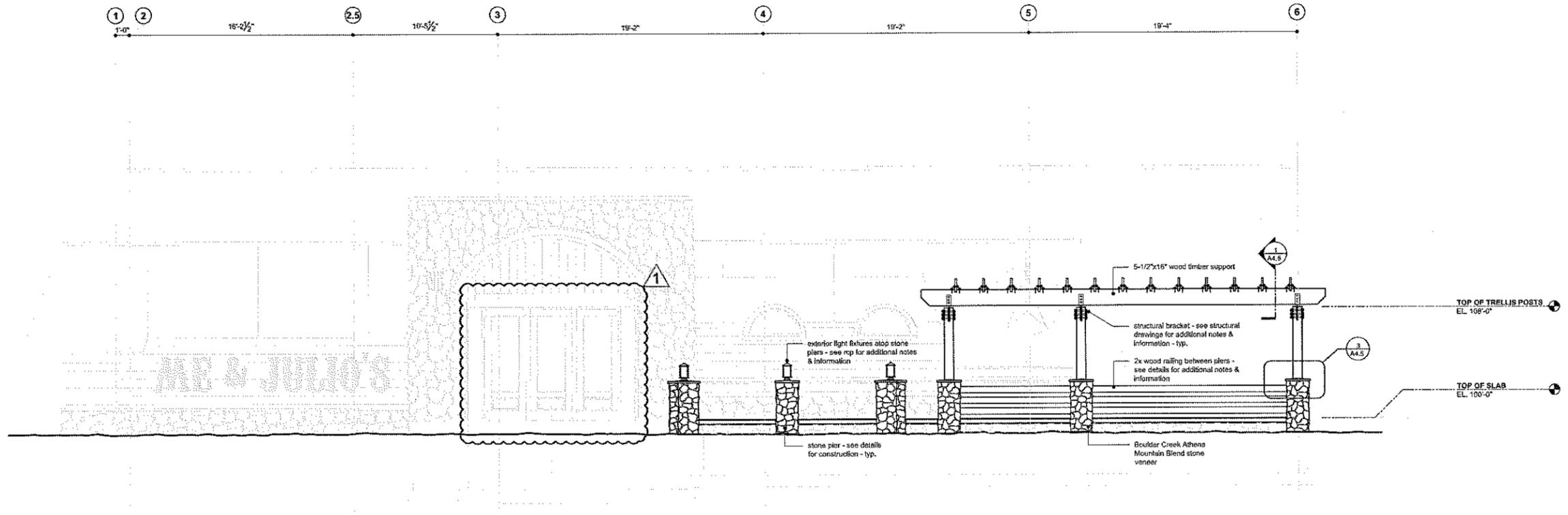
DATE: 10/8/15
 PROJECT: ME & JULIO'S
 SHEET: A1.1

DESIGNED BY: JACOB HOEPLER
 REGISTERED ARCHITECT NO. 3118

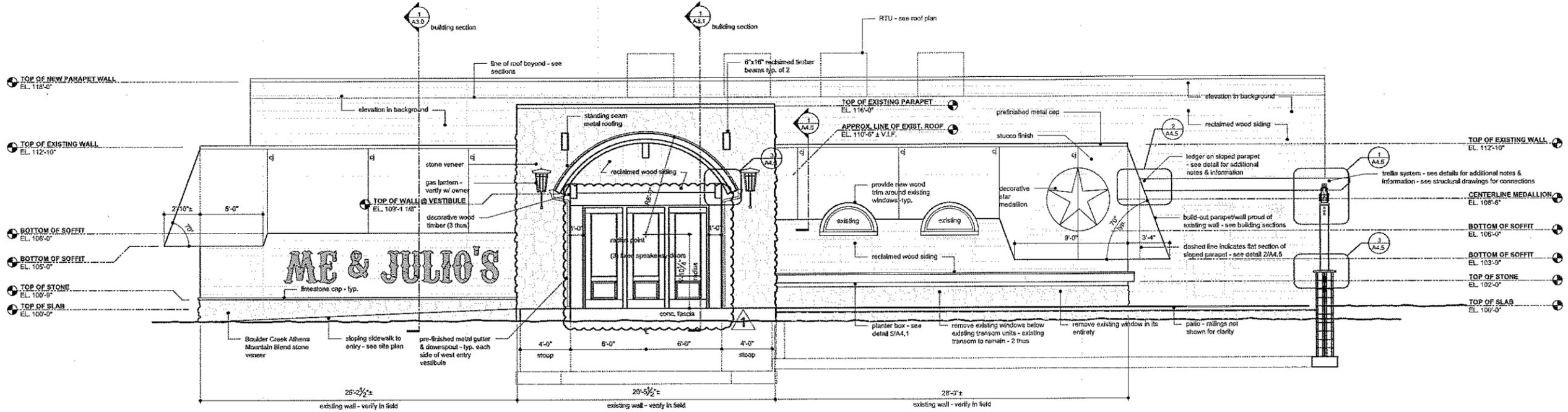
DATE: 10/8/15
 PROJECT: ME & JULIO'S
 SHEET: A1.1

1 PROPOSED REFLECTED CEILING PLAN
 1/8" = 1'-0"

SHEET INFORMATION:
 PROPOSED REFLECTED CEILING PLAN:
A1.1



2 WEST ELEVATION
1/4"=1'-0"



1 WEST ELEVATION
1/4"=1'-0"

HAF GROUP
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DEVELOPMENT
CONSTRUCTION
233 SOUTH MAIN STREET
STILLWATER, MN 55082
PH: 651.331.1760

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INTERIORS
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PROJECT:
ME & JULIO'S
2784 S. FISH HATCHERY RD.
FITCHBURG, WI 53713

10-08-2015
REVISION #1

REVISION #1	
A1.0	REMOVAL OF VINO WALLS, SHORTENING OF BOOTH WALL, EXTENSION OF CONCRETE & METAL WINDOW SIZE
A1.1	WOOD SIDING DIRECTION
A2.0	DOOR ELEVATION
A2.1	DOOR ELEVATION
A2.2	DOOR ELEVATION
A2.3	DOOR ELEVATION, HALF WALL HEIGHT & KITCHEN WINDOW/SIDEPIERS
A2.4	DOOR ELEVATION
A2.5	DOOR ELEVATION
A3.0	BOOTH EXTENSION, HALF WALL HEIGHT & DOOR ELEVATION
A4.0	DOOR ELEVATION & FRAME TYPE
A7.0	NEW TRASH ENCLOSURE PLANS

SHEET INFORMATION	
DATE: 10-08-2015	SCALE: 1/4"=1'-0"
PROJECT: ME & JULIO'S	DATE: 10-08-2015
PROJECT NO: 10-08-2015	SCALE: 1/4"=1'-0"

SHEET INFORMATION
ELEVATIONS:
A2.0

REVISION #1	
A1.0	REMOVAL OF STONE WALLS, BRICKWORKING OF BRICK WALL, EXTENSION OF CONCRETE & KITCHEN FINISHES
A1.1	WOOD CEILING DETAIL
A1.2	DOOR ELEVATION
A1.3	DOOR ELEVATION
A1.4	DOOR ELEVATION HALF WALL HEIGHT & KITCHEN WOODWORK FINISH
A1.5	DOOR ELEVATION
A1.6	DOOR ELEVATION HALF WALL HEIGHT & DOOR ELEVATION
A1.7	DOOR ELEVATION & FRAME TYPE
A1.8	NEW TRASH ENCLOSURE PLANS

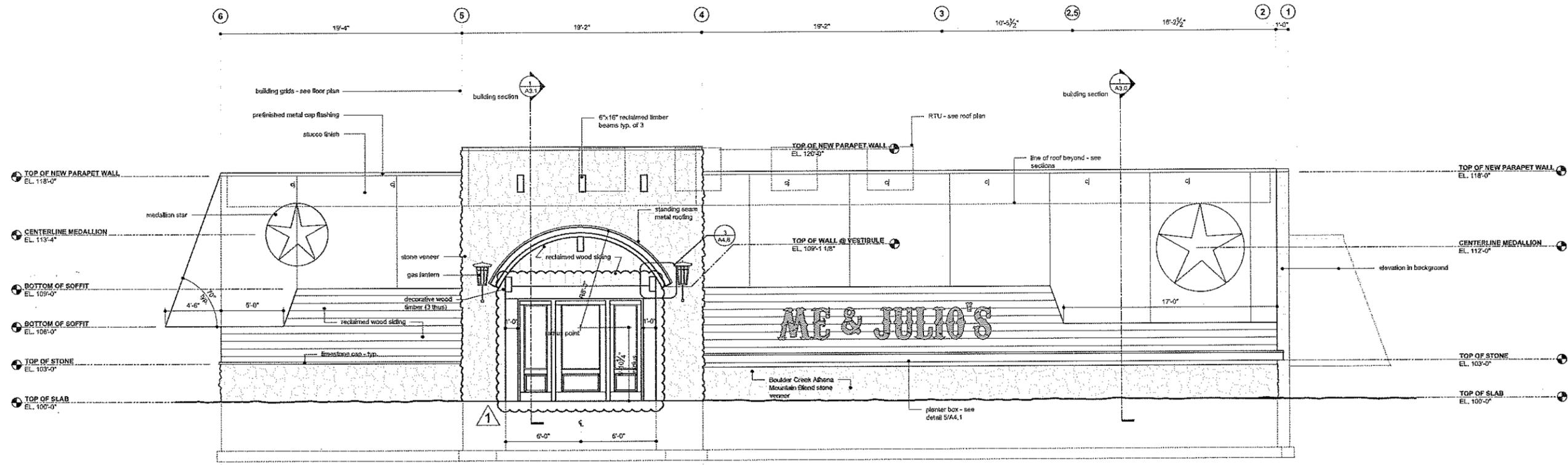
1. THESE CHANGES HAVE BEEN MADE TO THE ORIGINAL DRAWING AND APPROVED BY THE ARCHITECT AND THE CLIENT. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED ON THESE CHANGES.

DATE: 10-08-2015
DRAWN BY: MICHAEL HOFFLER
CHECKED BY: SLS

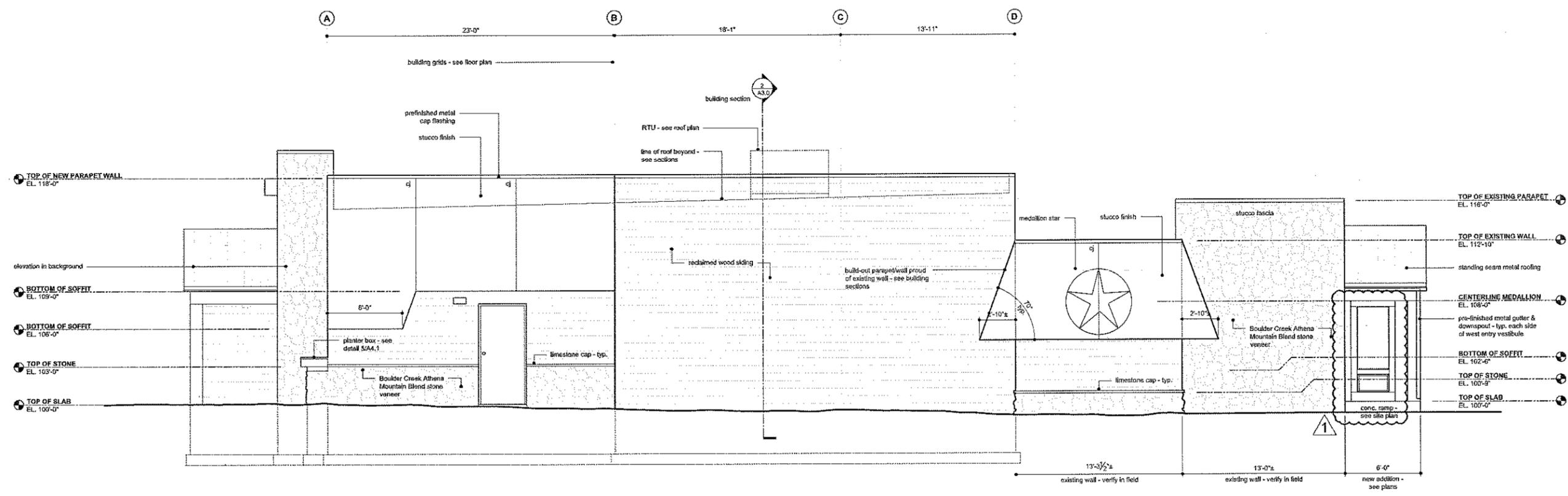
THESE CHANGES HAVE BEEN MADE TO THE ORIGINAL DRAWING AND APPROVED BY THE ARCHITECT AND THE CLIENT. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED ON THESE CHANGES.

PROJECT NO.	12007
DATE:	05-18-2015
SCALE:	1/4"=1'-0"

SHEET INFORMATION:
ELEVATIONS:
A2.1



1 EAST ELEVATION
1/4"=1'-0"



1 NORTH ELEVATION
1/4"=1'-0"

REVISION #1	
A1.0	REMOVAL OF VANS WALLS, SHORTENING OF BOOTH WALL, EXTENSION OF CONCRETE A KITCHEN WINDOW SILL
A1.1	WOOD CEILING DIRECTION
A2.0	DOOR ELEVATION
A2.1	DOOR ELEVATION
A2.2	DOOR ELEVATION
A2.3	DOOR ELEVATION HALF WALL HEIGHT & KITCHEN WINDOW OPENINGS
A2.4	DOOR ELEVATION
A2.5	DOOR ELEVATION HALF WALL HEIGHT & DOOR ELEVATION
A2.6	DOOR ELEVATION & FRAME TYPE
A2.7	NEW TRASH ENCLOSURE PLANS

DESIGNED BY: HAF ARCHITECTS
DRAWN BY: MICHAEL HOFFLER
DATE: 10/8/15

DATE: 10/8/15

SCALE: 1/4"=1'-0"

PROJECT: ME & JULIO'S

SHEET: A2.2

SHEET INFORMATION
ELEVATIONS:
A2.2

REVISION #1	
A1.5	REMOVAL OF VENTS, SHORTENING OF BOOTH WALL & EXTENSION OF CONCRETE
A1.1	WOOD CEILING DETENTION
F2.0	DOOR ELEVATION
A1.3	DOOR ELEVATION
A2.2	DOOR ELEVATION
A1.3	DOOR ELEVATION
A1.1	DOOR ELEVATION & HALF WALL HEIGHT
A1.5	DOOR ELEVATION
A1.3	WOOD SUSPENSION HALF WALL SHORTENING & DOOR ELEVATION
A1.0	DOOR ELEVATION & FRAME TYPE
A2.2	NEW TRASH ENCLOSURE PLANS

DESIGN BY: HAF ARCHITECTS
CHECKED BY: MICHAEL MOFFET
DATE: 10/8/15

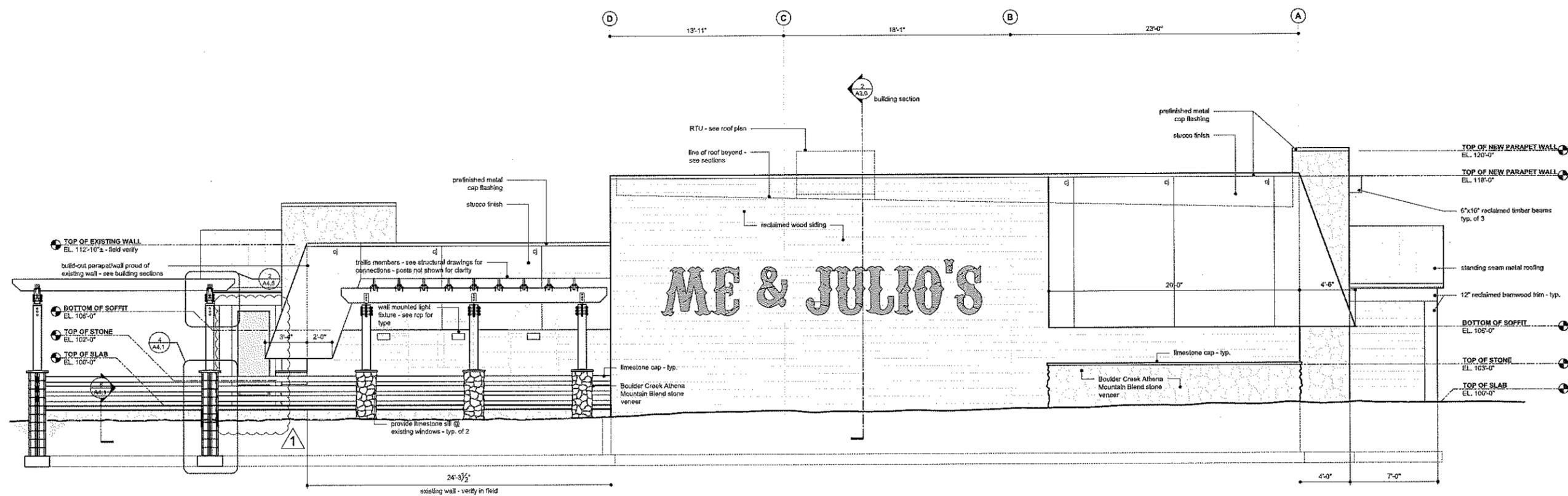
DATE: 10/8/15

DATE: 10/8/15

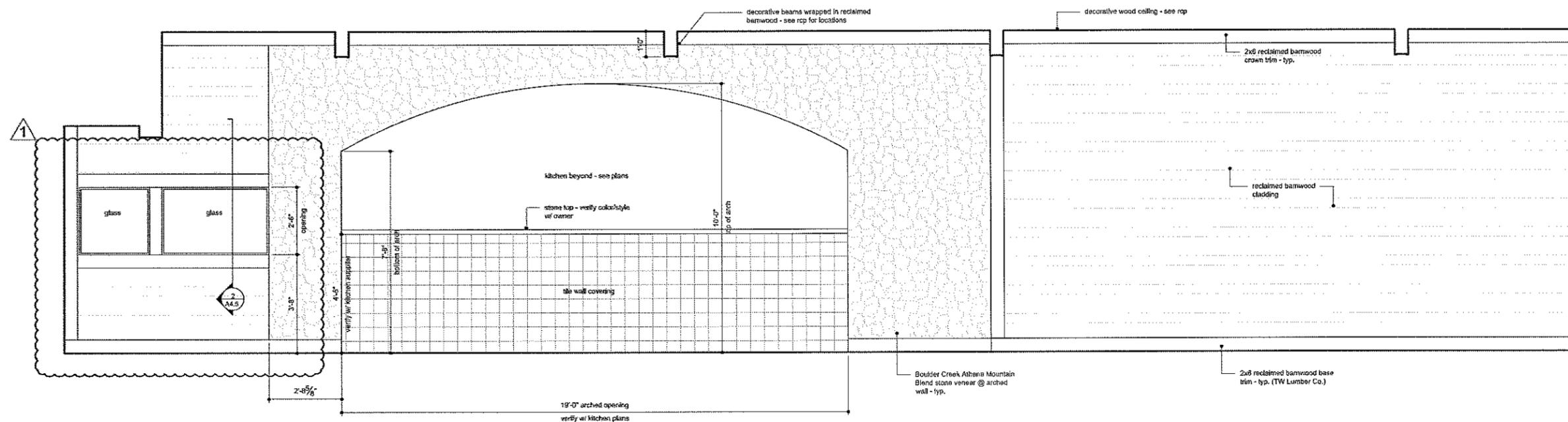
DATE: 10/8/15

SHEET INFORMATION - ELEVATIONS:

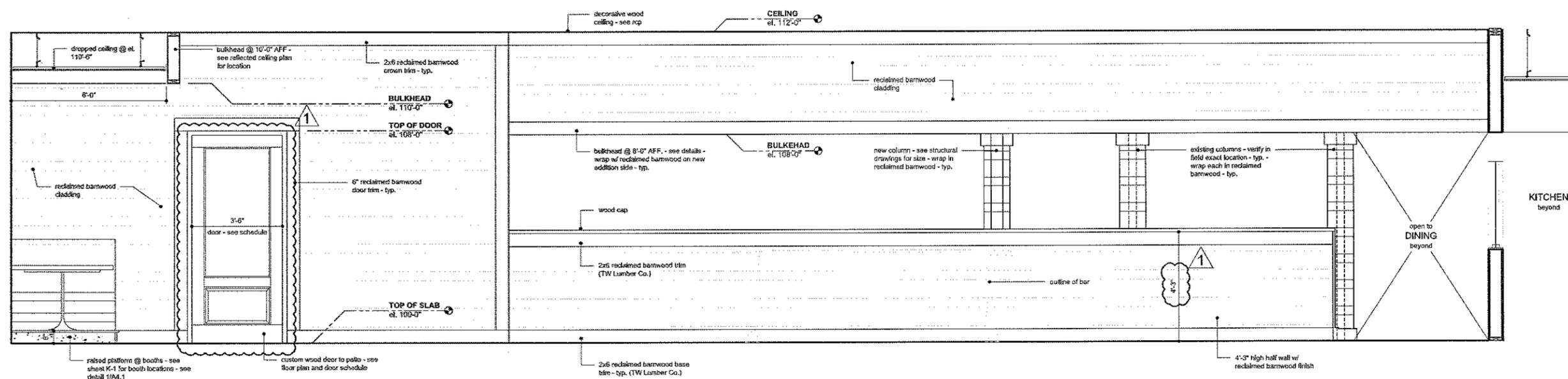
A2.3



1 SOUTH ELEVATION
1/4"=1'-0"



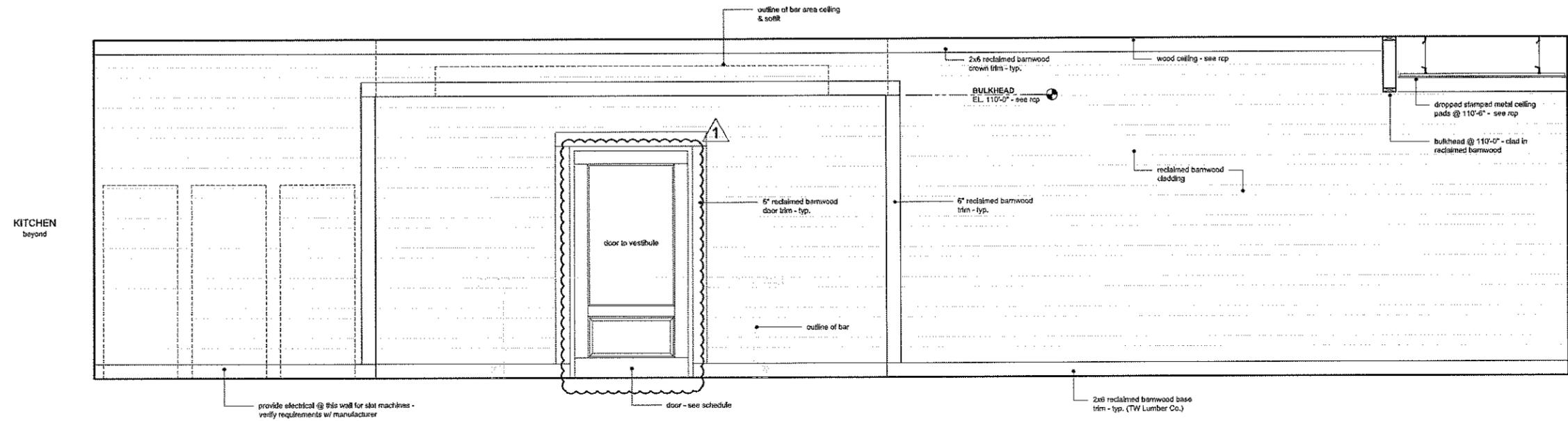
1 INTERIOR ELEVATION
1/2"=1'-0"



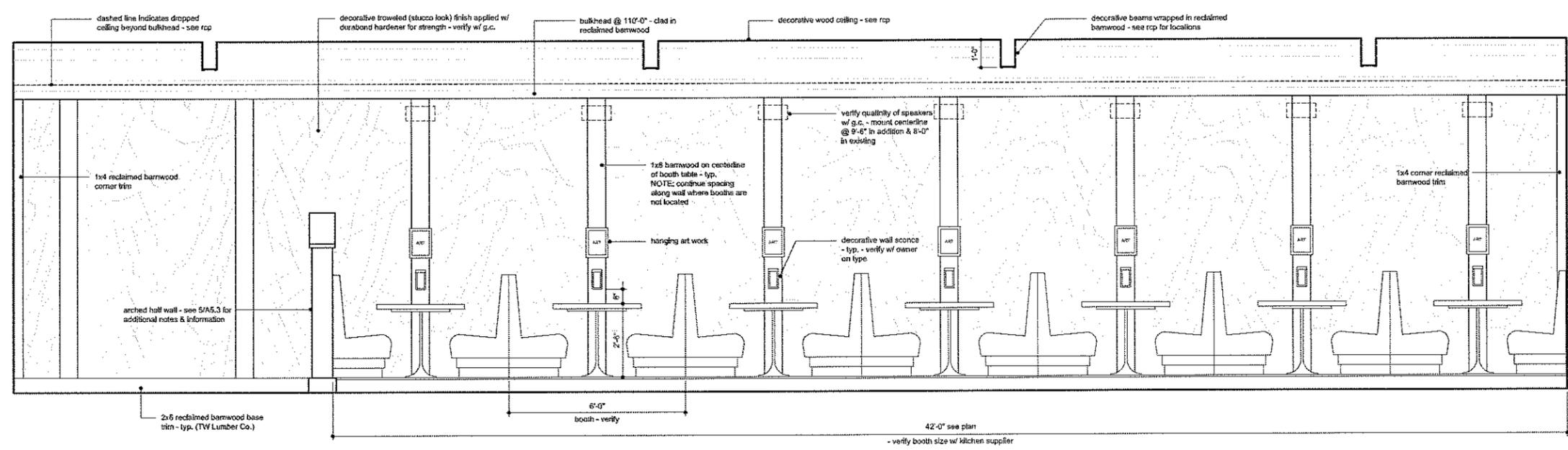
2 INTERIOR ELEVATION
1/2"=1'-0"

REVISION #1	
A1.0	REMOVAL OF WING WALLS. SHORTENING OF BOOTH WALL. EXTENSION OF CORNERITE & HATCHERY WINDSHIELD BUS
A1.1	WOOD CEILING DIRECTION
A1.2	DOOR ELEVATION
A1.3	DOOR ELEVATION
A1.4	DOOR ELEVATION
A1.5	DOOR ELEVATION. HALF WALL HEIGHT & KITCHEN WINDOW/WINDSHIELD
A1.6	DOOR ELEVATION
A1.7	DOOR ELEVATION. HALF WALL HEIGHT & DOOR ELEVATION
A1.8	DOOR ELEVATION & FRAME TYPE
A1.9	DOOR ELEVATION & FRAME TYPE
A1.10	NEW TRASH ENCLOSURE PLANS

DESIGNED BY	ME & JULIO'S
DATE	10-08-2015
SCALE	AS SHOWN
PROJECT NO.	15007
DATE	10-08-2015
SCALE	AS SHOWN



1 INTERIOR ELEVATION
1/2"=1'-0"

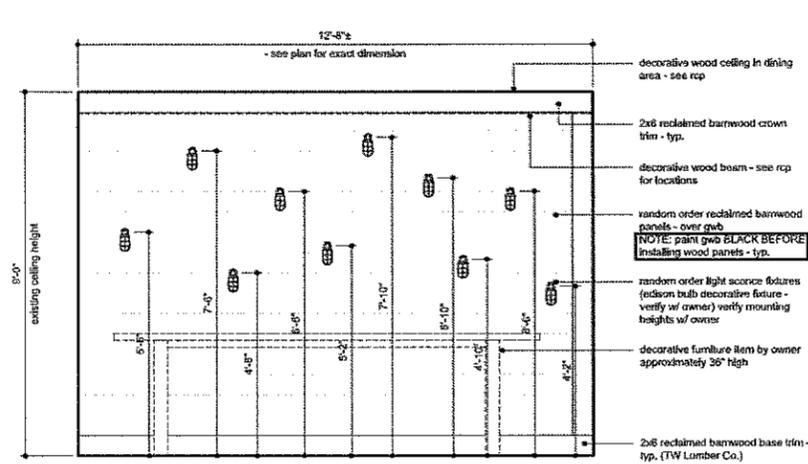


2 INTERIOR ELEVATION
1/2"=1'-0"

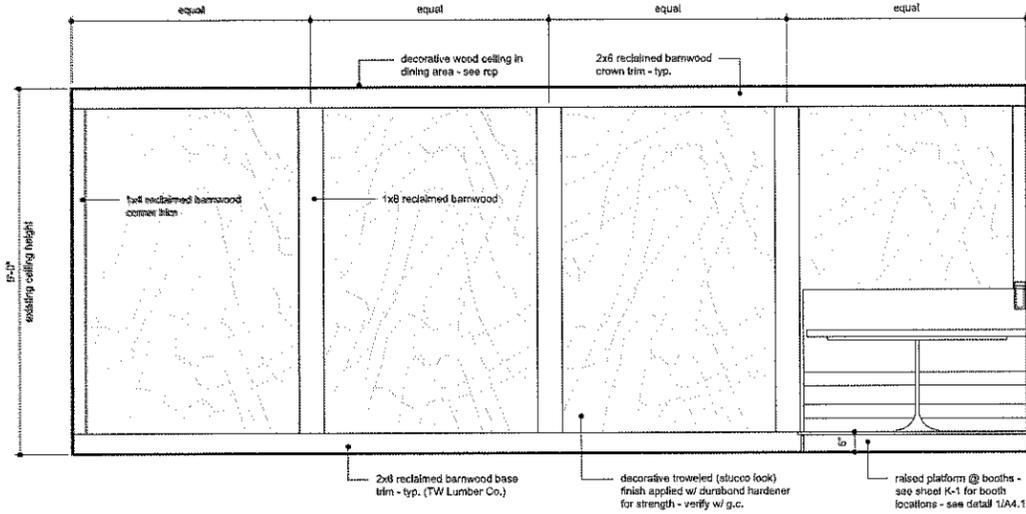
REVISION #1	
A1.0	REMOVAL OF WIND WALLS, SHORING UP OF BOOTH WALL, EXTENSION OF CONCRETE & KITCHEN FLOORING SEE
A1.1	WOOD CEILING CORRECTION
A1.2	BOOTH ELEVATION
A1.3	BOOTH ELEVATION
A1.4	BOOTH ELEVATION
A1.5	BOOTH ELEVATION HALF WALL HEIGHT & KITCHEN WINDWALL CORRECTIONS
A1.6	BOOTH ELEVATION
A1.7	BOOTH EXTENSION, HALF WALL HEIGHT & BOOTH ELEVATION
A1.8	BOOTH ELEVATION & FRASERTYPE
A1.9	NEW TRASH ENCLOSURE PLANS

DESIGNED BY: HAF ARCHITECTS	
REGISTERED ARCHITECT:	MICHAEL HOFFLER
REGISTERED NO.:	0118
ISSUED FOR CONSTRUCTION: 10/15/2015	
PROJECT NO.:	10047
DATE:	10/15/2015
PROJECT NO.:	10047

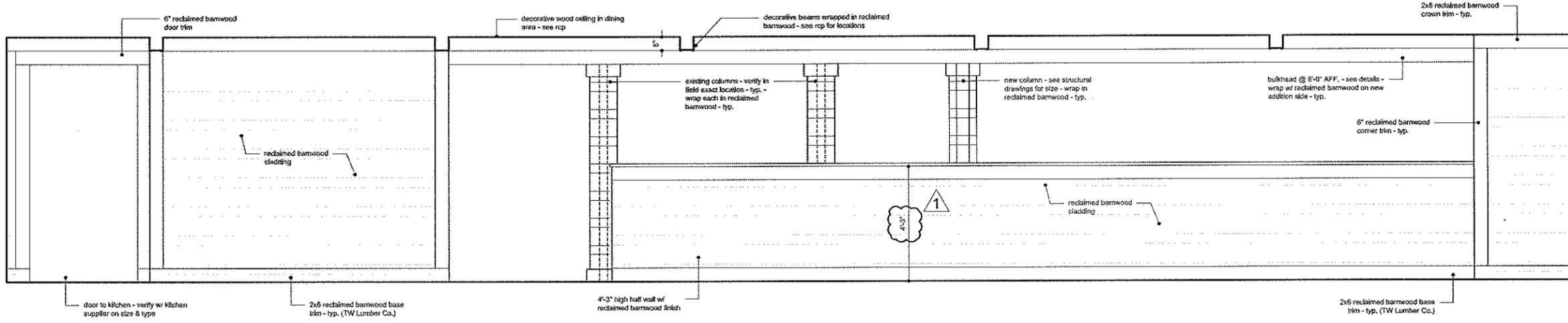
SHEET INFORMATION:	
INTERIOR ELEVATIONS:	
A5.2	



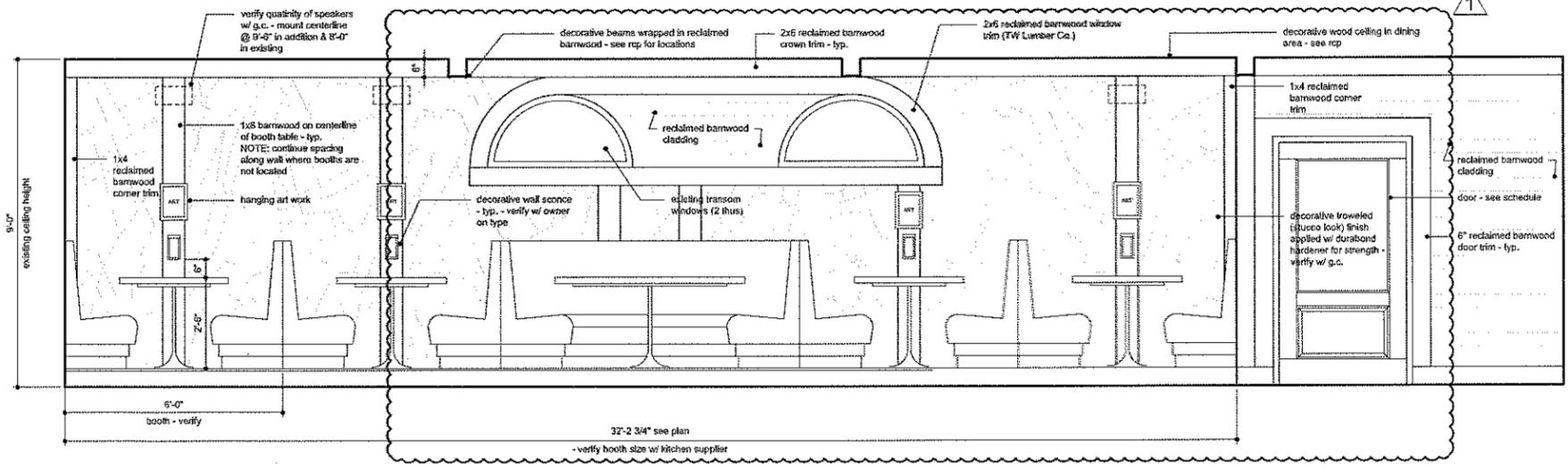
1 DECORATIVE FEATURE WALL @ FRONT DINING AREA
1/2"=1'-0"



2 FRONT DINING AREA
1/2"=1'-0"

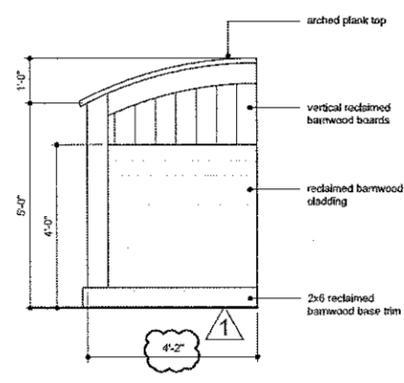


3 FRONT DINING AREA
1/2"=1'-0"



4 BOOTH WALL @ EXISTING BUILDING
1/2"=1'-0"

5 ARCHED HALF WALL
1/2"=1'-0"



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HOFFLER CONSTRUCTION LLC

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PROJECT:
ME & JULIO'S
2784 S. FISH HATCHERY RD.
FITCHBURG, WI 53713

10-08-2015
REVISION #1

REVISION #1	
A10	REMOVAL OF TRIM WALLS, SECURING OF SOUTH WALL, EXTENSION OF CONCRETE & KITCHEN WINDOW SILL
A11	WOOD CEILING DIRECTION
A12	DOOR ELEVATION
A21	DOOR ELEVATION
A22	DOOR ELEVATION
A23	DOOR ELEVATION
A24	DOOR ELEVATION HALF WALL HEIGHT & SCHEDS MISALIGNMENTS
A25	DOOR ELEVATION
A26	BOOTH EXTENSION, HALF WALL HEIGHT & DOOR ELEVATION
A27	DOOR ELEVATION & FRAME TYPE
A28	NEW TRASH ENCLOSURE PLAND

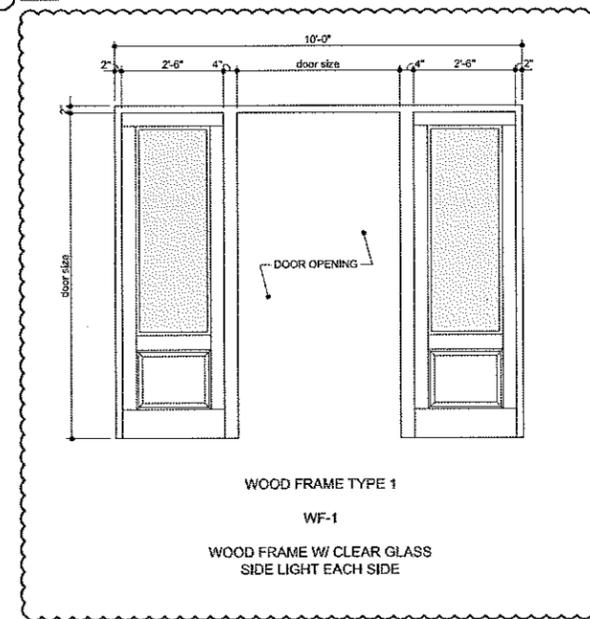
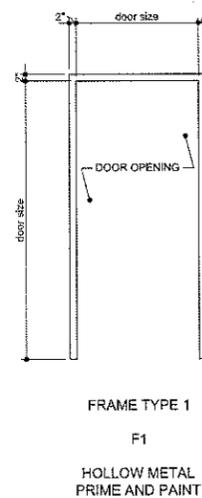
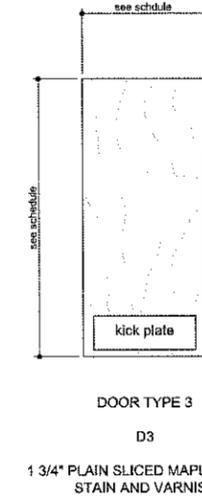
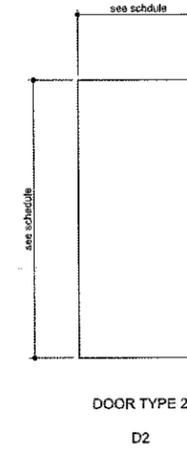
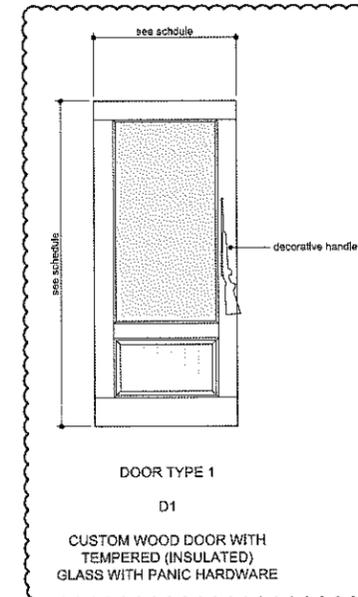
SHEET INFORMATION:	
PROJECT NO.	1507
DATE	08-15-15
SCALE	AS SHOWN
DESIGNED BY	HAF
CHECKED BY	HAF
DATE	08-15-15
PROJECT NO.	1507

A5.3

ROOM SCHEDULE																
NO.	ROOM	FLOOR		BASE		WALLS								CEILING		NOTES
		MATL	FIN.	MATL	FIN.	NORTH		EAST		SOUTH		WEST		MATERIAL	FINISH	
						MATL	FIN.	MATL	FIN.	MATL	FIN.	MATL	FIN.			
100	COOLERS	CONC	QT	QT	-	GWB	-	GWB	-	GWB	-	GWB	-	OPEN VINYL TILES		VARIES
101	KITCHEN	CONC	QT	QT	-	GWB	-	GWB	-	GWB	-	GWB	-	VINYL TILES		10'-0"
102	OFFICE	CONC	QT	QT	-	GWB	-	GWB	-	GWB	-	GWB	-	ACOUSTIC PANELS		10'-0"
103	LIQUOR STORAGE	CONC	QT	QT	-	GWB	-	GWB	-	GWB	-	GWB	-	VINYL TILES		10'-0"
104	WOMENS	CONC	CT	CT	-	GWB	-	GWB	-	GWB	-	GWB	-	GWB		9'-0"
105	MENS	CONC	CT	CT	-	GWB	-	GWB	-	GWB	-	GWB	-	GWB		9'-0"
106	DINING	CONC	WD	WD	S&V	GWB	-	GWB	-	GWB	-	GWB	-	RECLAIMED WOOD	S&V	9'-0"
107	BAR	CONC	VARIES	WD	S&V	GWB	-	GWB	-	GWB	-	GWB	-	VARIES		VARIES
108	VESTIBULE	CONC	CT	WD	S&V	GWB	-	GWB	-	GWB	-	GWB	-	RECLAIMED WOOD	S&V	9'-0"
109	VESTIBULE	CONC	CT	WD	S&V	GWB	-	GWB	-	GWB	-	GWB	-	RECLAIMED WOOD	S&V	9'-0"

GENERAL NOTES:
 -FOR WALL FINISHES REFER TO INTERIOR ELEVATIONS
 -SEE FLOOR PLAN ALL BAR FLOOR FINISHES

DOOR SCHEDULE											
#	Room	Type	Door				Frame				Comments
			Width	Height	Material	Finish	Type	Material	Finish		
100	Coolers	D2	3'-0"	8'-8"	HM	PT	F1	KD	PT		
102	Office	D3	3'-0"	8'-0"	WD	SV	F1	KD	PT		
103	Liquor Storage	D3	3'-0"	8'-0"	WD	SV	F1	KD	PT		
104	Womens	D3	3'-0"	8'-8"	WD	SV	F1	KD	PT		
104A	Womens	D3	3'-0"	8'-8"	WD	SV	F1	KD	PT		
105	Mens	D3	3'-0"	8'-8"	WD	SV	F1	KD	PT		
105A	Mens	D3	3'-0"	8'-8"	WD	SV	F1	KD	PT	VERIFY EXISTING SIZE	
107	Bar	D1	3'-6"	8'-0"	WD	SV	F1	KD	PT		
108	Vestibule	D1	4'-0"	8'-0"	WD	SV	WF-1	WD	SV	PROVIDE PANIC HARDWARE	
108A	Vestibule	D1	4'-0"	8'-0"	WD	SV	F1	KD	PT	PROVIDE PANIC HARDWARE	
109	Vestibule	D1	3'-6"	8'-0"	WD	SV	F1	KD	PT	PROVIDE PANIC HARDWARE	
108A	Vestibule	D1	3'-6"	8'-0"	WD	SV	F1	KD	PT	PROVIDE PANIC HARDWARE	
109B	Vestibule	D1	3'-6"	8'-0"	WD	SV	F1	KD	PT		



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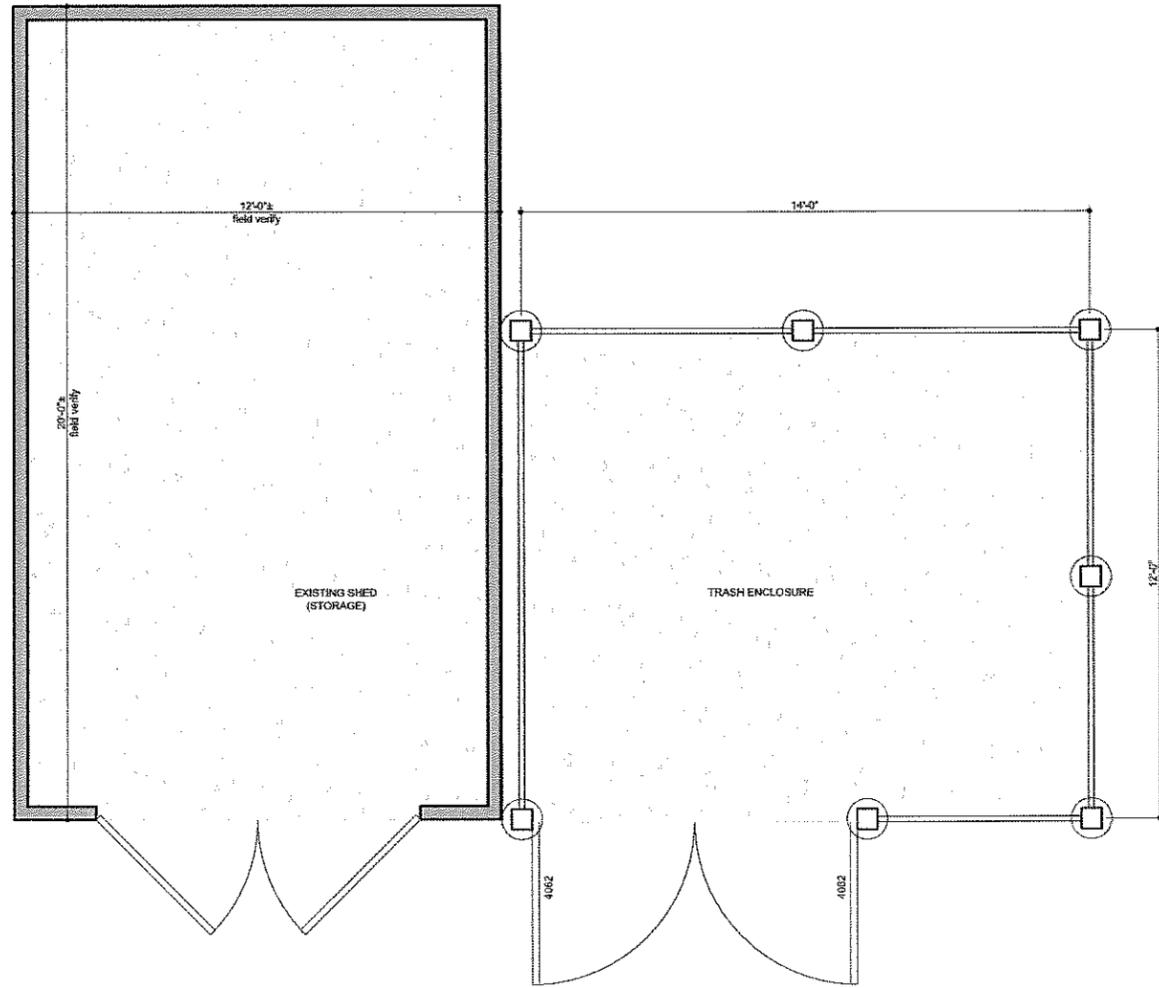
10-08-2015
 REVISION #1

REVISION #1
A10 - REMOVAL OF WING WALLS. SHORTENING OF SOUTH WALL. EXTENSION OF CONCRETE & WICKER WINDOW SIZE
A11 - WOOD GRILING ORIENTATION
A20 - DOOR ELEVATION
A21 - DOOR ELEVATION
A22 - DOOR ELEVATION
A23 - DOOR ELEVATION HALF WALL HEIGHT & SECTION WINDOW OPENINGS
A24 - DOOR ELEVATION
A25 - DOOR ELEVATION HALF WALL HEIGHT & SECTION WINDOW OPENINGS
A26 - DOOR ELEVATION & FRAME TYPE
A27 - NEW TRASH ENCLOSURE PLANS

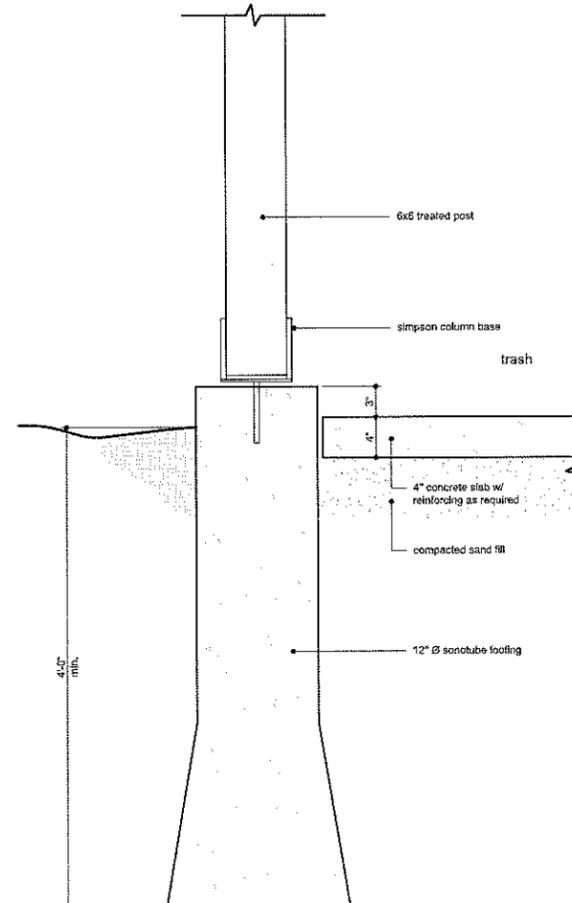
I HAVE DRAWN THIS PLAN AND SPECIFICATIONS AND I AM NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. I HAVE NOT CONDUCTED A VISUAL CHECK OF THE SITE OR THE EXISTING CONDITIONS. I HAVE NOT CONDUCTED A VISUAL CHECK OF THE EXISTING CONDITIONS. I HAVE NOT CONDUCTED A VISUAL CHECK OF THE EXISTING CONDITIONS. I HAVE NOT CONDUCTED A VISUAL CHECK OF THE EXISTING CONDITIONS.

DATE: 10-08-2015
 DRAWN BY: [Name]
 CHECKED BY: [Name]

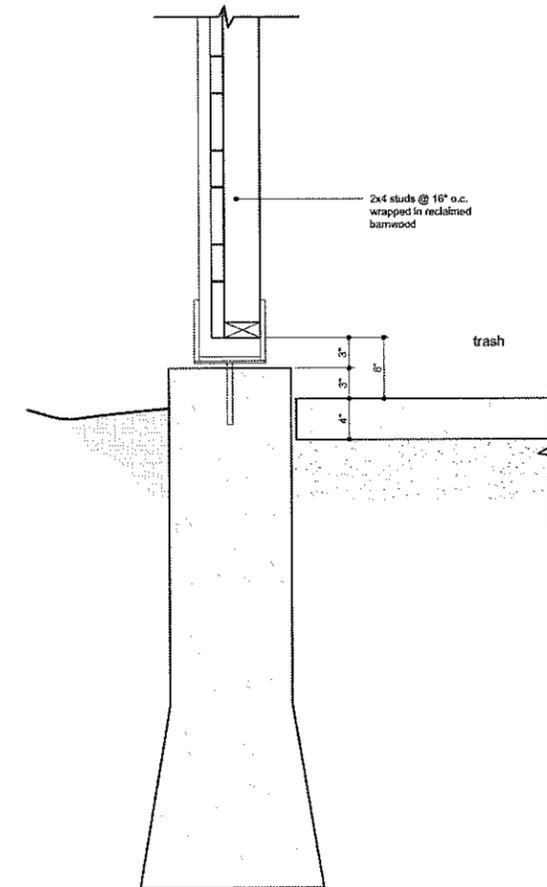
SHEET INFORMATION:
 SCHEDULES:
A6.0



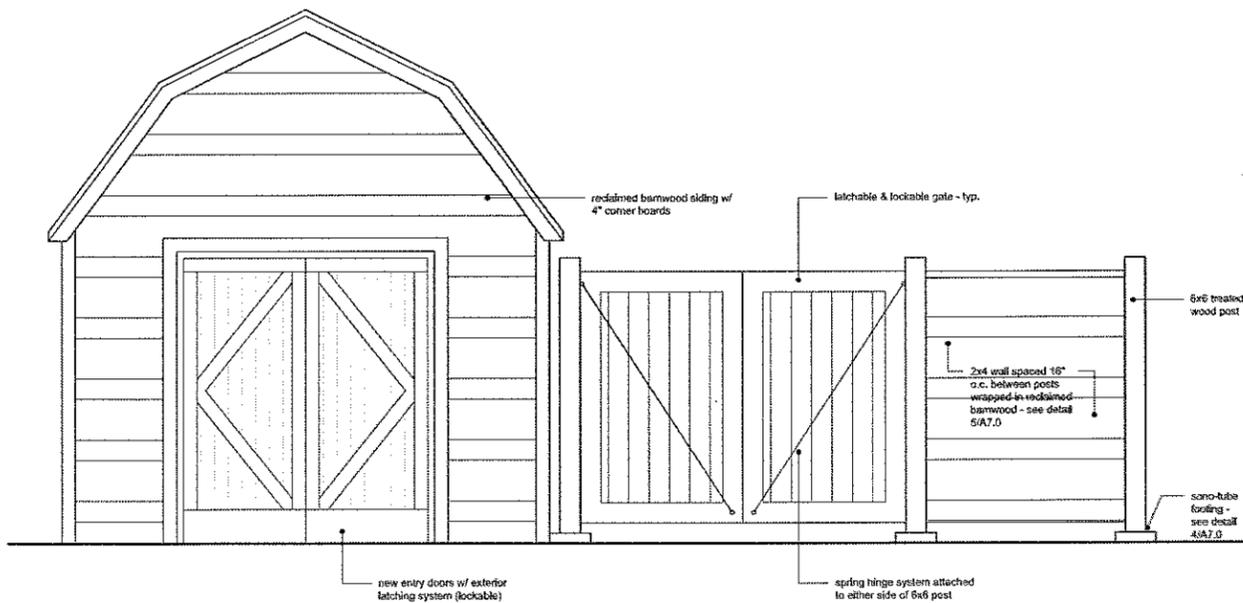
1 TRASH ENCLOSURE PLAN
1/2"=1'-0"



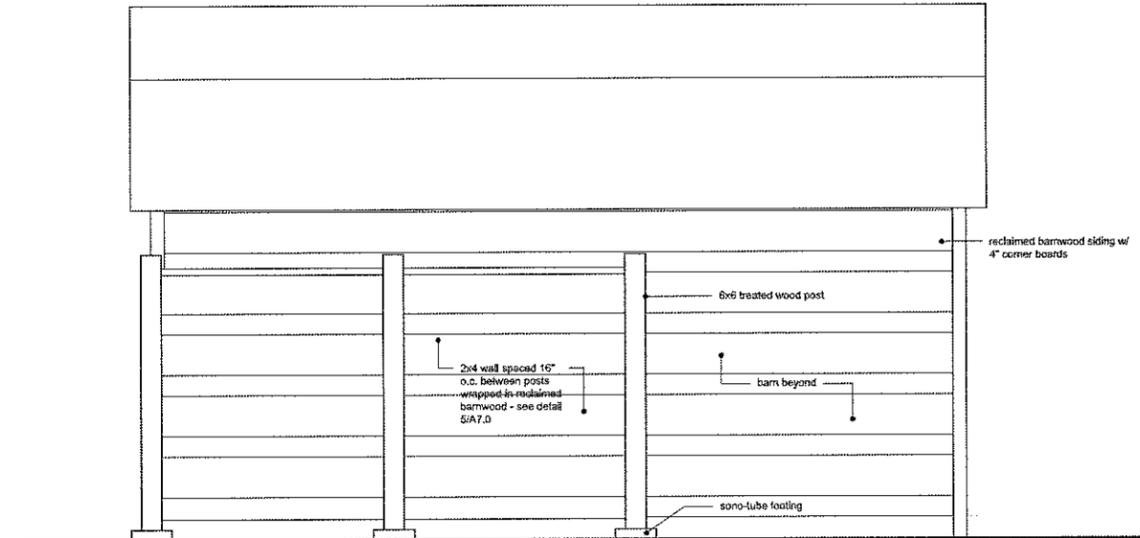
4 DETAIL @ SONO-TUBE/POST CONNECTION
1-1/2"=1'-0"



5 DETAIL @ TRASH ENCLOSURE WALLS
1-1/2"=1'-0"



2 TRASH ENCLOSURE ELEVATION
1/2"=1'-0"



3 TRASH ENCLOSURE ELEVATION
1/2"=1'-0"

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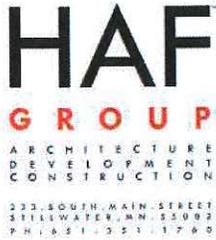
10-08-2015
REVISION #1

REVISION #1	
A1.0	REMOVAL OF WING WALLS, SHORTENING OF SOUTH WALL, EXTENSION OF CONCRETE & HATCHERY WINDOW DEE.
A1.1	WOOD SILING BRACKETRY
A1.2	DOOR ELEVATION
A1.3	DOOR ELEVATION
A1.4	DOOR ELEVATION
A1.5	DOOR ELEVATION HALF WALL HEIGHT & HATCHERY WINDOW CORNER DEETS
A1.6	DOOR ELEVATION
A1.7	DOOR ELEVATION HALF WALL HEIGHT & DOOR ELEVATION
A1.8	DOOR ELEVATION & FRAMETYPE
A1.9	NEW TRASH ENCLOSURE PLANS

DESIGNED BY: MICHAEL HOFFLER
DRAWN BY: MICHAEL HOFFLER
DATE: 10-08-2015

PROJECT NO.: 15-00
DATE: 10-08-2015
SCALE: AS SHOWN

1
SHEET INFORMATION
TRASH ENCLOSURE
A7.0

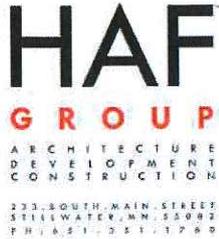


RECEIVED
11/3/2015

RE: Planning Staff Review #1 &
Public Works Review #1 Letters
2784 S Fish Hatchery Road
Fitchburg, WI 53711

Planning Review Letter:

1. Restaurant Seating = 74 Seats
Bar Seating = 157 Seats
Total Seating = 231 Seats
2. See Dave Sauer Comments (civil engineer)
3. Parking agreement has signed contracts. Contracts can be recorded with the city if required – see shared parking agreement PDF.
4. We will bring color/sample board.
5. The exterior parking lights are full cut-off. See attached lighting plan and spec. Exterior building lights are decorative gas lanterns used more so for decoration than lighting.
6. Gas lantern pillar lights – see attached gas lantern lighting spec PDF.
7. Foot candle distribution is located on lighting plan and spec PDF. Foot candle equals – Average of 2.19, Max of 3.4 and Minimum of 0.3. All readings are taken from 0'-0" AFG – see lighting plan and spec PDF.
8. Signage – please see attached signage drawings PDF
9. See Dave Sauer Comments (civil engineer)
10. See Dave Sauer Comments (civil engineer)
11. See Dave Sauer Comments (civil engineer)
12. See Dave Sauer Comments (civil engineer)
13. See Dave Sauer Comments (civil engineer)
14. See Dave Sauer Comments (civil engineer)
15. See Dave Sauer Comments (civil engineer)



Public Works Review Letter:

General Comments:

1. Acknowledged and will include in building permit application
2. Acknowledged and will include in building permit application

Transportation Comments:

1. See Dave Sauer Comments (civil engineer)
2. See Dave Sauer Comments (civil engineer)
3. See Dave Sauer Comments (civil engineer)

Water Main and Sanitary Sewer:

1. See Dave Sauer Comments (civil engineer)

Erosion Control and Stormwater Management (ECSWM) Comments:

1. See Dave Sauer Comments (civil engineer)
2. See Dave Sauer Comments (civil engineer)
3. See Dave Sauer Comments (civil engineer)



engineers | architects | planners | environmental specialists
land surveyors | landscape architects | interior designers

2820 Walton Commons W, Suite 142
Madison, WI 53718
608-249-5046
800-472-7372
FAX 608-249-5824
www.cedarcorp.com

MEMO

DATE: November 3, 2015
TO: City of Fitchburg Planning Department
FROM: Dave Sauer, P.E., Cedar Corporation
REGARDING: Planning Staff Review #1 and Public Works Review #1
2784 S. Fish Hatchery Road, Fitchburg, WI 53711
PROJECT #: 5692-0001

Planning Review Letter

1. See Matt Hoefler Comments.
2. See attached parking calculations along with signed parking agreement with Children's Dental.
3. See Matt Hoefler Comments.
4. See Matt Hoefler Comments.
5. See Matt Hoefler Comments.
6. See Matt Hoefler Comments.
7. See Matt Hoefler Comments.
8. See Matt Hoefler Comments.
9. 26.1' – distance from closest corner of building to property line, see sheet 5.
10. Landscaping plan is revised, see sheet 8.
11. We are not including a tree island in the parking lot due to the limited parking area and added trees on perimeter of the site.
12. Trees of south side of parking lot have been added, see sheet 8.
13. Additional foundation plantings around the sides of the building however no additional tree was added at the front northwest corner since the facility sign will be located here.
14. Pavement was removed from the NW corner of the site as requested.
15. The existing landscaping on the north side of the building will be saved.

Public Works Review Letter

General Comments

1. See Matt Hoefler Comments.
2. See Matt Hoefler Comments.

Transportation Comments

1. Driveway on the north side of the building has been widened to 24', see sheet 5.
2. Driveway section within the public right of way has been corrected to meet City standards, see sheet 5; also a driveway permit application is completed and will be submitted with fee soon.
3. Bike racks have been added in the front and in the back, these will meet City standards, see sheet 8.

Water Main and Sanitary Sewer

1. We plan on using the existing water and sanitary sewer service laterals.

Erosion Control and Stormwater Management Comments

1. An ECSWM application with a fee check will be submitted for this project.
2. A stormwater maintenance agreement will be prepared and recorded at Dane County Register of Deeds.
3. We have provided information to the property owner to the north of this property (SprintPrint) and have spoken with the Owner and have attached an email dated 11-3-2015 confirmed this.

PARKING AGREEMENT

We, the undersigned CDW, Inc., Children's Dental Center of Madison, S. C., and CLRM, LLC, located at 5520 Research Park Dr., Madison, WI 53711, 5544 E. Cheryl Pkwy., Fitchburg, WI 53711 and 2784 S. Fish Hatchery Rd., Fitchburg, WI 53711, respectively, hereby agree that our respective customers, patients, visitors and clients may use each other's parking spaces for overflow parking as needed.

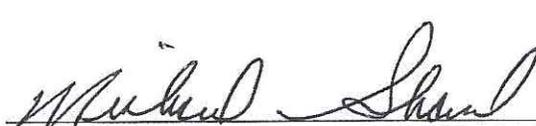


Kayla Kerr, Branch Office Administrator
CDW, ~~INC.~~

Dated: 10/12/15

Eric teDuits, D.D.S.
Children's Dental Center of Madison, S.C.

Dated:



Michael Shaul
CLRM, LLC

Dated: 10-12-15

PARKING AGREEMENT

We, the undersigned CDW, Inc., Children's Dental Center of Madison, S. C., and CLRM, LLC, located at 5520 Research Park Dr., Madison, WI 53711, 5544 E. Cheryl Pkwy., Fitchburg, WI 53711 and 2784 S. Fish Hatchery Rd., Fitchburg, WI 53711, respectively, hereby agree that our respective customers, patients, visitors and clients may use each other's parking spaces for overflow parking as needed.

Dated:

Kayla Kerr, Branch Office Administrator
CDW, Inc.

Eric teDuits, D.D.S.

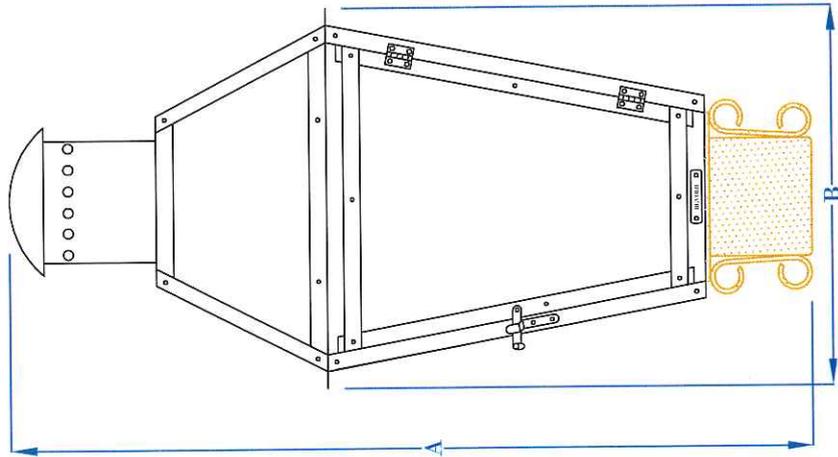
Dated: 10-12-15

Eric teDuits, D.D.S.
Children's Dental Center of Madison, S.C.

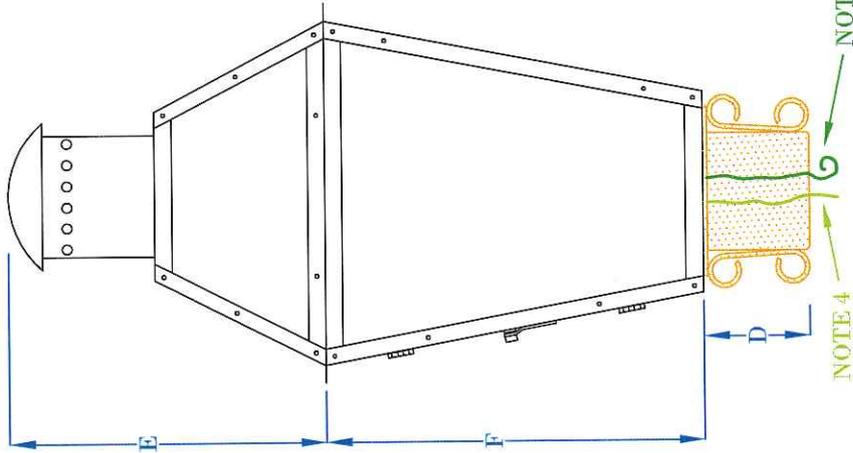
Michael Shaul

Dated: 10-12-15

Michael Shaul
CLRM, LLC



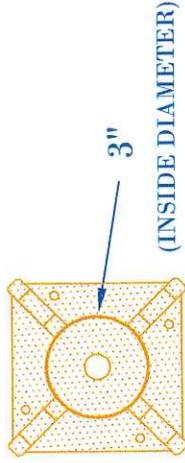
FRONT VIEW
(NTS)



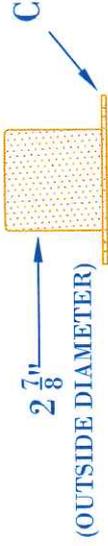
SIDE VIEW
(NTS)

NOTES:

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS $\frac{1}{4}$ "
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH $\frac{1}{8}$ " GAS NIPPLE AND $\frac{1}{8}$ IP x $\frac{1}{4}$ " GAS LINE ADAPTOR



BOTTOM VIEW-POST MOUNT
(NTS- BRACKET ONLY)



SIDE VIEW-COLUMN MOUNT ADAPTOR
(NTS- BRACKET ONLY)

SIZE:	18"	21"	24"	27"	30"	36"
A:	21 $\frac{3}{4}$ "	23 $\frac{1}{2}$ "	27 $\frac{1}{4}$ "	30 $\frac{1}{4}$ "	33 $\frac{5}{8}$ "	39"
B:	10 $\frac{1}{2}$ "	11 $\frac{1}{2}$ "	13 $\frac{1}{4}$ "	14 $\frac{1}{2}$ "	17 $\frac{1}{2}$ "	21 $\frac{1}{2}$ "
C:	5"x5"	5"x5"	5"x5"	5"x5"	5"x5"	5"x5"
D:	3"	3"	3"	3"	3"	3"
E:	7 $\frac{5}{8}$ "	9 $\frac{3}{8}$ "	12 $\frac{3}{8}$ "	11 $\frac{7}{8}$ "	14 $\frac{1}{2}$ "	17 $\frac{3}{8}$ "
F:	10 $\frac{1}{8}$ "	11 $\frac{1}{8}$ "	12 $\frac{7}{8}$ "	14 $\frac{3}{8}$ "	16 $\frac{1}{8}$ "	19 $\frac{5}{8}$ "

BEVOLO GAS & ELECTRIC LIGHTS

LIGHT: FRENCH QUARTER

BRACKET: POST MOUNT & COLUMN MOUNT

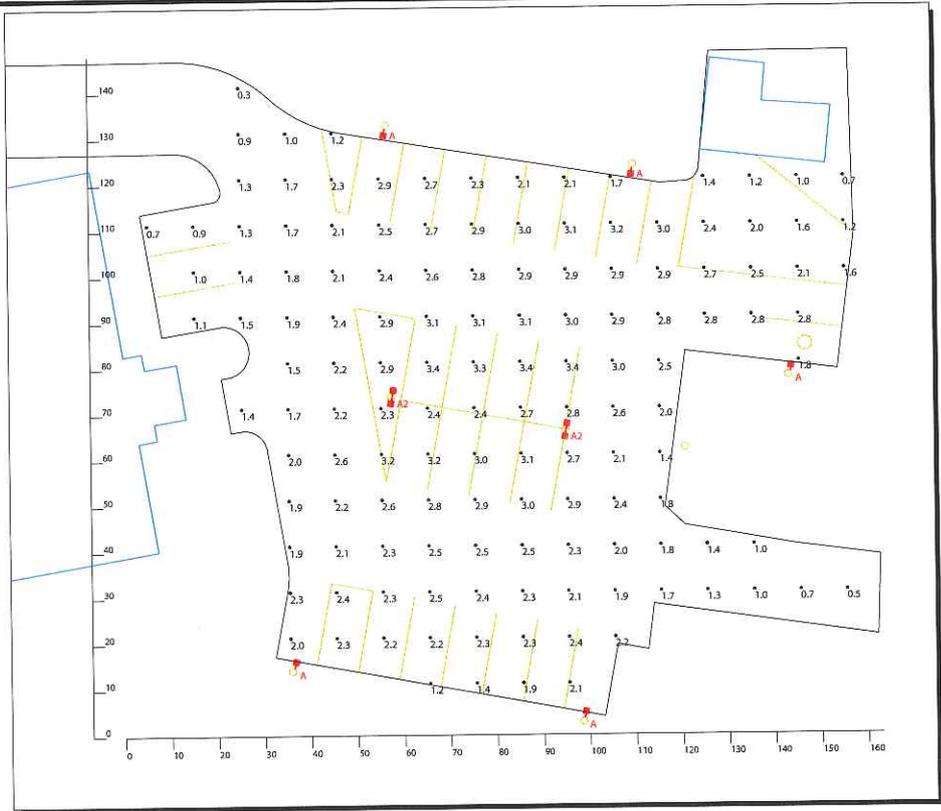
DRW BY: JJJ

COPYRIGHT 2009, BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS & DESIGNS ARE OWNED BY BEVOLO AND REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS AND DESIGNS SHALL NOT BE DUPLICATED IN WHOLE OR PART.

DATE: 9-17-2010

APP. BY: MAJ

REVISION: 4



Scale: 1 inch= 20 Ft.

RAB
LIGHTING
170 Ludlow Avenue, Northvale, NJ 07647
800 722-1000 • RABWEB.COM

Prepared For:
Rouzer Group
2738 Winnetka Ave NO
New Hope, MN 55427

Job Name:
Me & Julios
Fitchburg, MN
Lighting Layout
Version A

Scale: as noted

Date: 10/19/2015

Filename: Me&Julios 101515A.AGI

Drawn By: Michelle Skow

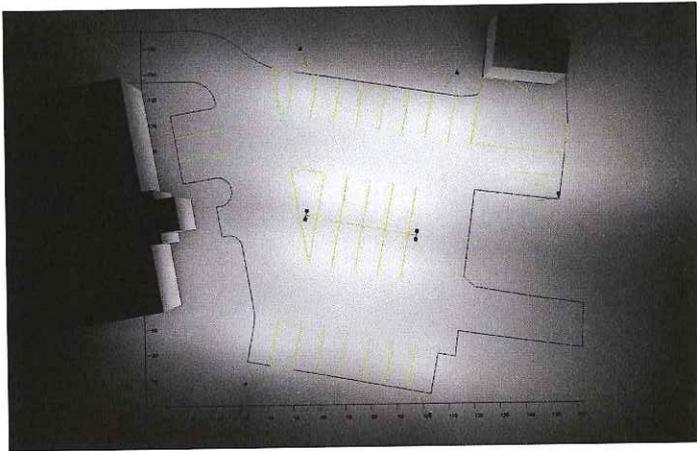
The information enclosed in this Lighting Analysis and Simulation is the exclusive PROPERTY of RAB LIGHTING INC. The information is considered confidential and intended for the sole use of the recipient or company the Lighting Analysis and Simulation has been prepared for. Any reproduction, distribution or use of the information contained herein for other than its intended purpose is strictly prohibited without the prior written consent of RAB Lighting Inc. The calculated results shown herein are based on design parameters and information as provided by others and has not been field verified by RAB Lighting Inc. Actual measured results may vary from the anticipated system performance. Design parameters such as surface reflectance, spot mounting height, applied depreciation factors, orientation, tilt or any other significant field conditions must be verified by others to ensure conformance to the design intent of the Lighting Analysis and Simulation. RAB Lighting Inc. offers no warranty, other performance based or not, implied or stated, in actual measured light levels as compared to those predicted. The Lighting Analysis and Simulation represents predicted system performance based on supplied design parameters. RAB Lighting Inc. neither warrants nor represents the appropriateness, completeness or suitability of the lighting design or its compliance with any applicable regulatory code requirements. This Lighting Analysis and Simulation is issued for informational purposes and is not intended for construction.

Filename: Z:\Job Files\Rouzer Group\Rouzer Group 112315Me & Julios\Working Files\AGI\Me&Julios 101515A.AGI

Calculation Summary										PtSpLr	PtSpTb	Meter Type
Label	Calc.Type	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	Readings taken at 0' 0" AFG	10	10	Horizontal
Parking Lot	Illuminance	Fc	2.19	3.4	0.3	7.30	11.33					

Luminaire Schedule												
Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts	Filename
	5	A	ALED3T50	SINGLE	4846	4846	1.000	Type III - Pole Mounted	51.7	51.7	258.5	ALED3T50 - Cool - ITL80298.IES
	2	A2	ALED3T50 X2@180	BACK-BACK	4846	9692	1.000	Type III - Pole Mounted X2@180	51.7	103.4	206.8	ALED3T50 - Cool - ITL80298.IES

Expanded Luminaire Location Summary						
LumNo	Tag	X	Y	MTG HT	Orient	
1	A	56.768	130.609	25	261.499	
2	A	110.07	121.872	25	261.592	
3	A	143.976	80.08	25	85.257	
5	A	99	5.01	25	80.273	
6	A	36.721	16.171	25	75.918	
7	A2	95.591	67.813	25	80.534	
7	A2	95.097	64.853	25	260.534	
8	A2	58.165	75.221	25	79.553	
8	A2	57.621	72.271	25	259.553	
Total Quantity: 9						



NOTES:

* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturer's specifications.

* Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.

* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.

* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending apply.



ALED3T50

EPA: 0.75
Weight: 32.0 lbs



ALED3T50 X2@180

EPA: 1.2
Weight: 64.0 lbs



PS4-11-25D2



Prepared For:
Rouzer Group
2738 Winnetka Ave NO
New Hope, MN 55427

Job Name:
Me & Julius
Fitchburg, MN
Lighting Layout
Version A

Scale: N.T.S.
Date: 10/19/2015
Filename: Me&Julius 101515A.AGI
Drawn By: Michelle Skow

The information contained in this Lighting Analysis and Simulation is the exclusive PROPERTY OF RAB LIGHTING INC. If a reproduction, distribution or use of the information contained herein for other than its intended purpose is strictly prohibited without the prior written consent of RAB Lighting Inc. The calculated results of the Lighting Analysis and Simulation represent an anticipated prediction of system performance. The calculated results shown herein are based on design parameters and information provided by others and has not been field verified by RAB Lighting Inc. Actual measured results may vary from the anticipated system performance. Design parameters such as surface reflectance, room mounting height, applied absorption factors, operation, life or any other pertinent field conditions must be verified by others to insure conformance to the design intent of the Lighting Analysis and Simulation. RAB Lighting Inc. offers no warranties, either implied or stated, with regard to actual measured light levels as compared to those simulated. The Lighting Analysis and Simulation represents predicted system performance based upon specified design parameters. RAB Lighting Inc. neither warrants nor represents the appropriateness, completeness or suitability of the lighting design herein as compared with any applicable regulatory code requirements. This Lighting Analysis and Simulation is issued for informational purposes and is not intended for construction.

Filename: Z:\Job Files\Rouzer Group\Rouzer Group 112310\Me & Julius\Working Files\AGI\Me&Julius 101515A.AGI

PS4-11-25D2



Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze

Weight: 168.0 lbs

Project:
Me & Julios

Type:

Prepared By:
MSkow

Date:
101915

Lamp Info

Type: N/A
Watts: 0W
Shape/Size: N/A
Base: N/A
ANSI: N/A
Hours: N/A
Lamp Lumens: N/A
Efficacy: N/A

Ballast Info

Type: N/A
120V: N/A
208V: N/A
240V: N/A
277V: N/A
Input Watts: 0W

Technical Specifications

Listings

CSA Listed:

Suitable for wet locations.

Construction

Shaft:

46,000 p.s.i. minimum yield.

Hand Holes:

Reinforced with grounding lug and removable cover.

Base Plates:

36,000 p.s.i. minimum yield.

Shipping Protection:

All poles are shipped in individual corrugated cartons to prevent finish damage.

Color:

Bronze powder coating.

Height:

25 FT.

Weight:

168 lbs.

Gauge:

11

Wall Thickness:

1/8"

Shaft Size:

4"

Hand Hole Dimensions:

3" x 5"

Bolt Circle:

8 1/2"

Base Dimension:

8"

Anchor Bolt:

Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.

Anchor Bolt Templates:

WARNING Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available .

Pre-Shipped Anchor Bolts:

Bolts can be pre-shipped upon request for additional freight charge.

MaxEPA's/Max Weights:

70MPH 4.5 ft_/135 lb
80MPH 2.3 ft_/80 lb
90MPH 0.8 ft_/35 lb.

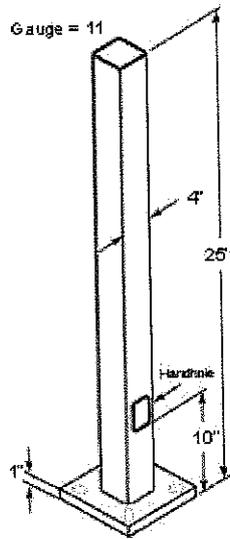
Other

Terms of Sale:

Pole Terms of Sale is available .

PS4-11-25D2

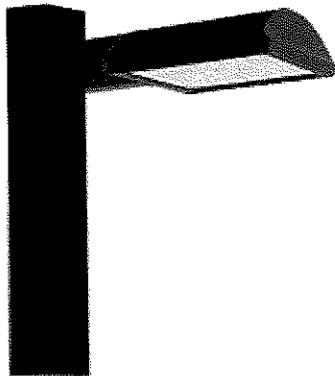
Dimensions



Features

- Designed for ground mounting
- Heavy duty TGIC polyester coating
- Reinforced hand holes with grounding lug and removable cover for easy wiring access
- Anchor Bolt Kit includes hand hole cover and base cover (sold separately)
- Custom manufactured for each application

ALED3T50



Specification grade area lights available in IES Type III distributions. For use for roadway, general parking and other area lighting applications where a larger pool of lighting is required. Mounts to 4" square steel poles at 20-35'. Patent pending thermal management system. 5 Year Warranty.

Color: Bronze

Weight: 32.0 lbs

Project:
Me & Julios

Type:

Prepared By:
MSkow

Date:
101915

Driver Info

Type:	Constant Current
120V:	0.46A
208V:	0.27A
240V:	0.23A
277V:	0.20A
Input Watts:	52W
Efficiency:	97%

LED Info

Watts:	50W
Color Temp:	5000K (Cool)
Color Accuracy:	67 CRI
L70 Lifespan:	100,000
Lumens:	4,846
Efficacy:	94 LPW

Technical Specifications

Listings

UL Listing:

Suitable for wet locations as a downlight.

DLC Listed:

This product is on Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED fixtures have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

LEDs:

Multi-chip, high-output, long-life LEDs

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011.

Construction

IES Classification:

The Type III distribution is ideal for roadway, general parking and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

IP Rating:

Ingress Protection rating of IP66 for dust and water.

Ambient Temperature:

Suitable for use in 40°C ambient temperatures.

Cold Weather Starting:

The minimum starting temperature is -40°F/-40°C.

Thermal Management:

Superior patent pending thermal management design with external Air-Flow fins provides maximum operational life, even in high ambient temperature environments.

Effective Projected Area:

EPA = 0.75

Housing:

Die cast aluminum housing, lens frame and mounting arm.

Mounting:

Heavy-duty mounting arm with "O" ring seal & stainless steel screws.

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High temperature silicone gaskets

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Green Technology:

Mercury and UV free, and RoHS compliant. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

Electrical

Driver:

Constant Current, Class 2, 1400mA, 100-277V, 50-60Hz, 0.8A, Power Factor 99%

THD:

7.0% at 120V, 7.4% at 277V

Surge Protection:

6kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2.

Other

Equivalency:

ALED™ 50W replaces 200W metal halide

California Title 24:

See ALED3T50/PC, ALED3T50/PCS or ALED3T50/PCT for a 2013 California Title 24 compliant model.

Technical Specifications (continued)

Other

Patents:

The ALED™ design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.

Country of Origin:

Designed by RAB in New Jersey and assembled in the USA by RAB's IBEW Local 3 workers.

Buy American Act Compliant:

This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

Recovery Act (ARRA) Compliant:

This product complies with the 52.225-21 "Required Use of American Iron, Steel, and Manufactured Goods— Buy American Act— Construction Materials (October 2010).

Trade Agreements Act Compliant:

This product is a COTS item manufactured in the United States, and is compliant with the Trade Agreements Act.

GSA Schedule:

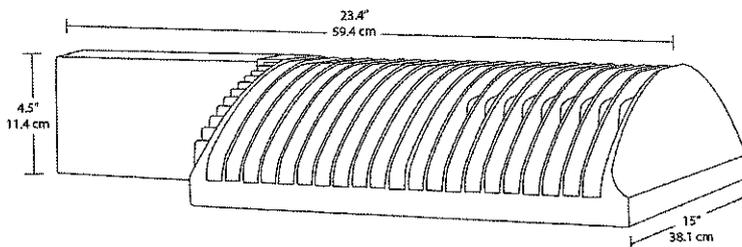
Suitable in accordance with FAR Subpart 25.4.

Optical

BUG Rating:

B1 U0 G2

Dimensions

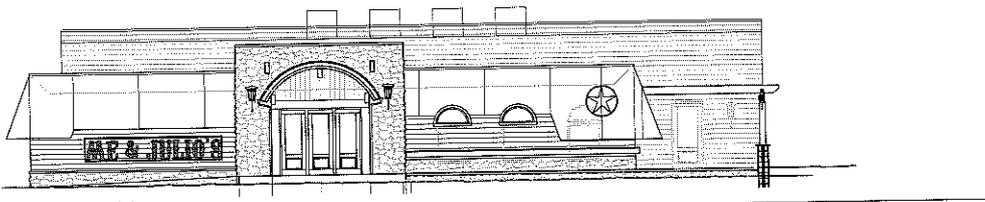


Features

- 66% energy cost savings vs. HID
- 100,000-hour LED lifespan
- Type III distribution
- 5-year warranty

Ordering Matrix

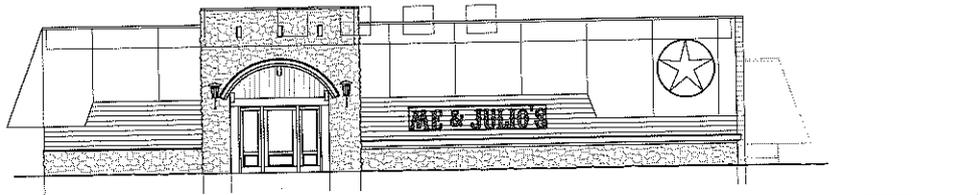
Family	Distribution	Watts	Mount	Color Temp	Finish	Voltage	Photocell	Dimming	Bi-Level
ALED									
	2T = Type II	50 = 50W	= Arm	= Cool	= Bronze	= 120-277V	= No Photocell	= No Dimming	= No Bi-Level
	3T = Type III		SF = Slipfitter	Y = Warm	W = White	/480 = 480V	/PC = 120V Button	/D10 = Dimmable	/BL = Bi-Level
	4T = Type IV			N = Neutral	RG = Gray		/PC2 = 277V Button		
							/PCS = 120V Swivel		
							/PCS2 = 277V Swivel		
							/PCT = 120-277V Twistlock		
							/PCS4 = 480V Swivel		
							/PCT4 = 480V Twistlock		



1 WEST ELEVATION
3/20/15

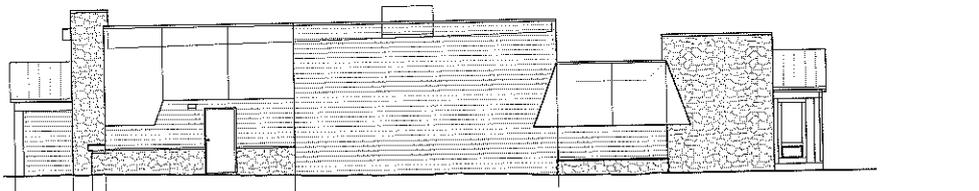
SIGNAGE SQUARE FOOTAGES:

WEST ELEVATION = 59 SQ. FT.



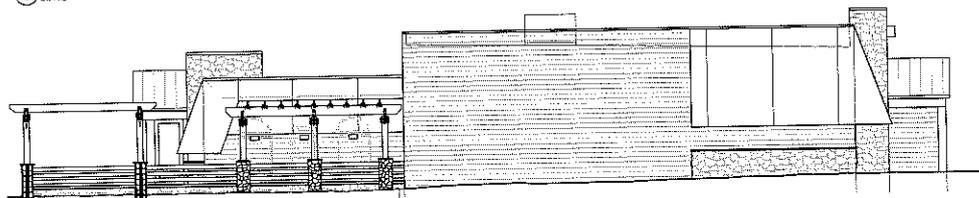
2 EAST ELEVATION
3/20/15

EAST ELEVATION = 87 SQ. FT.



3 NORTH ELEVATION
3/20/15

NORTH ELEVATION = 0 SQ. FT.



4 SOUTH ELEVATION
3/20/15

SOUTH ELEVATION = 0 SQ. FT.

TOTAL SIGNAGE
SQUARE FOOTAGE = 146 SQ. FT.

HAF
GROUP
ARCHITECTURE
CONSTRUCTION
CORPORATION

HAF
ARCHITECTS
CONSTRUCTION
CORPORATION

HAF
CONSTRUCTION
CORPORATION

M&J JUNIOR'S
2343 S. 5TH HATCHERY RD.
METCHENBURG, WI 53123

10-08-2015
REVISION #1

NO.	DESCRIPTION
1	ISSUED FOR PERMITS
2	ISSUED FOR PERMITS
3	ISSUED FOR PERMITS
4	ISSUED FOR PERMITS
5	ISSUED FOR PERMITS
6	ISSUED FOR PERMITS
7	ISSUED FOR PERMITS
8	ISSUED FOR PERMITS
9	ISSUED FOR PERMITS
10	ISSUED FOR PERMITS

NO.	DATE	DESCRIPTION
1	10-08-2015	ISSUED FOR PERMITS
2		
3		
4		
5		
6		
7		
8		
9		
10		

A8.0



604 Wilson Avenue • Menomonic, WI 54751
 2820 Walton Commons W., Suite 142 • Madison, WI 53718
 1496 Bellevue Street, Suite 502 • Green Bay, WI 54311
 800-472-7372 • www.cedarcorp.com

JOB 5692-001
 CALCULATED BY JMP DATE 10/30/15
 CHECK BY _____ DATE _____

Parking Calculation - Me & Julio's - 2784 South Fish Hatchery
Fitchburg, WI 53713

- City of Fitchburg Parking Requirements
 - 6 stalls per 1000 SF of Gross Building Area or 1 stall for every 3 patron seats
- Proposed Building = 6,456 SF

$$\frac{6,456 \text{ SF}}{1000 \text{ SF}} \times 6 \text{ stalls} \approx 39 \text{ stalls}$$
- Total Occupants = 231

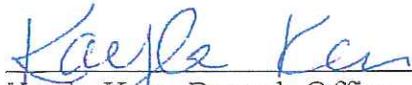
$$\frac{231}{3} \approx 77 \text{ stalls}$$

→ Proposed Parking

- Total Parking stalls = 28
 (2 are handicap stalls)
- Additional Parking Available via a parking agreement ~~be~~ with the property to the south (Children's Dental Center)

PARKING AGREEMENT

We, the undersigned CDW, Inc., Children's Dental Center of Madison, S. C., and CLRM, LLC, located at 5520 Research Park Dr., Madison, WI 53711, 5544 E. Cheryl Pkwy., Fitchburg, WI 53711 and 2784 S. Fish Hatchery Rd., Fitchburg, WI 53711, respectively, hereby agree that our respective customers, patients, visitors and clients may use each other's parking spaces for overflow parking as needed.

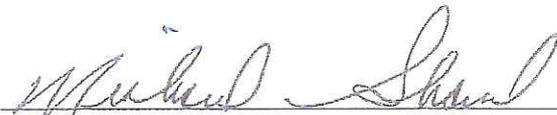


Kayla Kerr, Branch Office Administrator
CDW, ~~LLC~~

Dated: 10/12/15

Eric teDuits, D.D.S.
Children's Dental Center of Madison, S.C.

Dated:



Michael Shaul
CLRM, LLC

Dated: 10-12-15

PARKING AGREEMENT

We, the undersigned CDW, Inc., Children's Dental Center of Madison, S. C., and CLRM, LLC, located at 5520 Research Park Dr., Madison, WI 53711, 5544 E. Cheryl Pkwy., Fitchburg, WI 53711 and 2784 S. Fish Hatchery Rd., Fitchburg, WI 53711, respectively, hereby agree that our respective customers, patients, visitors and clients may use each other's parking spaces for overflow parking as needed.

Kayla Kerr, Branch Office Administrator
CDW, Inc. Dated:

Eric teDuits D.D.S. Dated: 10-12-15
Eric teDuits, D.D.S.
Children's Dental Center of Madison, S.C.

Michael Shaul Dated: 10-12-15
Michael Shaul
CLRM, LLC

Dave Sauer

From: Phillip Van Kampen <phillip.vankampen@sprintprint.com>
Sent: Tuesday, November 03, 2015 12:51 PM
To: Dave Sauer
Cc: 'Liz Van Kampen'
Subject: RE: 2784 Fish Hatchery Road Development - Me & Julio's

Dave,

First let me thank you contacting me regarding the site grading/drainage plan for the property to be the future site of Me and Julio's – located just south of SprintPrint, Inc.

As we discussed, any additional volume of water or change to the existing drainage plan has the potential of creating ponding and/or erosion in the easement swale between the two buildings. This result would, of course, have a detrimental effect upon the existing grass and trees in the swale area. In the most severe case, additional water would drain onto our property as the SprintPrint building is, to my knowledge and experience, located in lowest elevation among the adjacent properties.

I trust that your plan will not result in any of these or other potential negative effects upon the area detailed above – of course we would expect the property owner of Me and Julio's to immediately correct any ponding, erosion, and/or additional drainage on to our property that resulted from the new grading/drainage plan.

Once again, thank you for contacting me regarding this issue.

Phil

Phil Van Kampen | President

2790 S. Fish Hatchery Road
Madison, WI 53711

Sprint Print
Promises Delivered

Like us on [Facebook!](#)

Take our quick, online [satisfaction survey](#).

From: Dave Sauer [<mailto:dave.sauer@cedarcorp.com>]
Sent: Tuesday, November 03, 2015 11:49 AM
To: phillip.vankampen@sprintprint.com
Cc: Matthew Hoefler (matthew.hoefler@nds.edu)
Subject: 2784 Fish Hatchery Road Development - Me & Julio's

Phillip,

I have attached the site plan and the grading plan for your review and comment. The City requested us to contact you about the storm water drainage for this re-development of this property. This property will continue to have drainage to the 20' wide drainage easement between the SprintPrint property and this property however stormwater will drain through a rain garden located on the re-developed property first to allow the re-development to meet water quality requirements. Impervious area has been reduced for the site from 68% to 61%.

Your comments are welcome. Good talking with you this morning.

Dave

David K. Sauer, P.E.

Director of Civil Engineering – Madison Office
Cedar Corporation

2820 Walton Commons West #142 | Madison | WI | 53718

Office: 608-249-5046 | TF: 800-472-7372

Direct: 608-237-5831 | Mobile: 608-358-7140

dave.sauer@cedarcorp.com

www.cedarcorp.com | [LinkedIn](#) | [Facebook](#) | [Twitter](#)

This e-mail and any attachments may contain proprietary and confidential information from Cedar Corporation. Please visit our website at <http://www.cedarcorp.com/disclaimer> for more details.

This e-mail and any attachments may contain proprietary and confidential information from Cedar Corporation. Please visit our website at <http://www.cedarcorp.com/disclaimer> for more details.

10474-10/20/15 RB

 City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711
(608) 270-4200

CONDITIONAL USE PERMIT APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

1. Location of Property: Street Address: 1911 pike Dr.

Legal Description - (Metes & Bounds, or Lot No. And Plat):
Hasz Subdivision Lot 3, Parcel 0609-031-2743-1
(See Addendum A)

***Also submit in electronic format (MS WORD or plain text) by email to: PLANNING@FITCHBURGWI.GOV

2. Current Use of Property: Apartment building

3. Proposed Use of Property: church

4. Proposed Development Schedule: construction spring 2016

5. Zoning District: RHA

6. Future Land Use Plan Classification: residential/church

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable): _____

No. of Dwelling Units by Bedroom: 1 BR 2 BR 3 BR 4 or More

No. Of Parking Stalls: _____

Type of Non-residential Development (If Applicable): Church

Proposed Hours of Operation: 24/7 No. Of Employees: 4-6

Floor Area: 6000sf / future 3000sf No. Of Parking Stalls: Easement for parking with

Sewer: Municipal Private Water: Municipal Private proposed hotel + conference center

Current Owner of Property: Ronald + Gertrude Hermsmeier

Address: c/o Erv Bendorf, 2520 Greenway VW, Madison 53713 Phone No: (608) 345-2801

Contact Person: Chuck Chvala

Email: cjchvala@gmail.com

Address: 10 East Doty St, Ste 507, Madison 53703 Phone No: (608) 258-8222

Respectfully Submitted By: Chuck Chvala 10/20/15

Owner's or Authorized Agent's Signature

** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

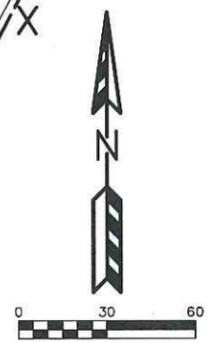
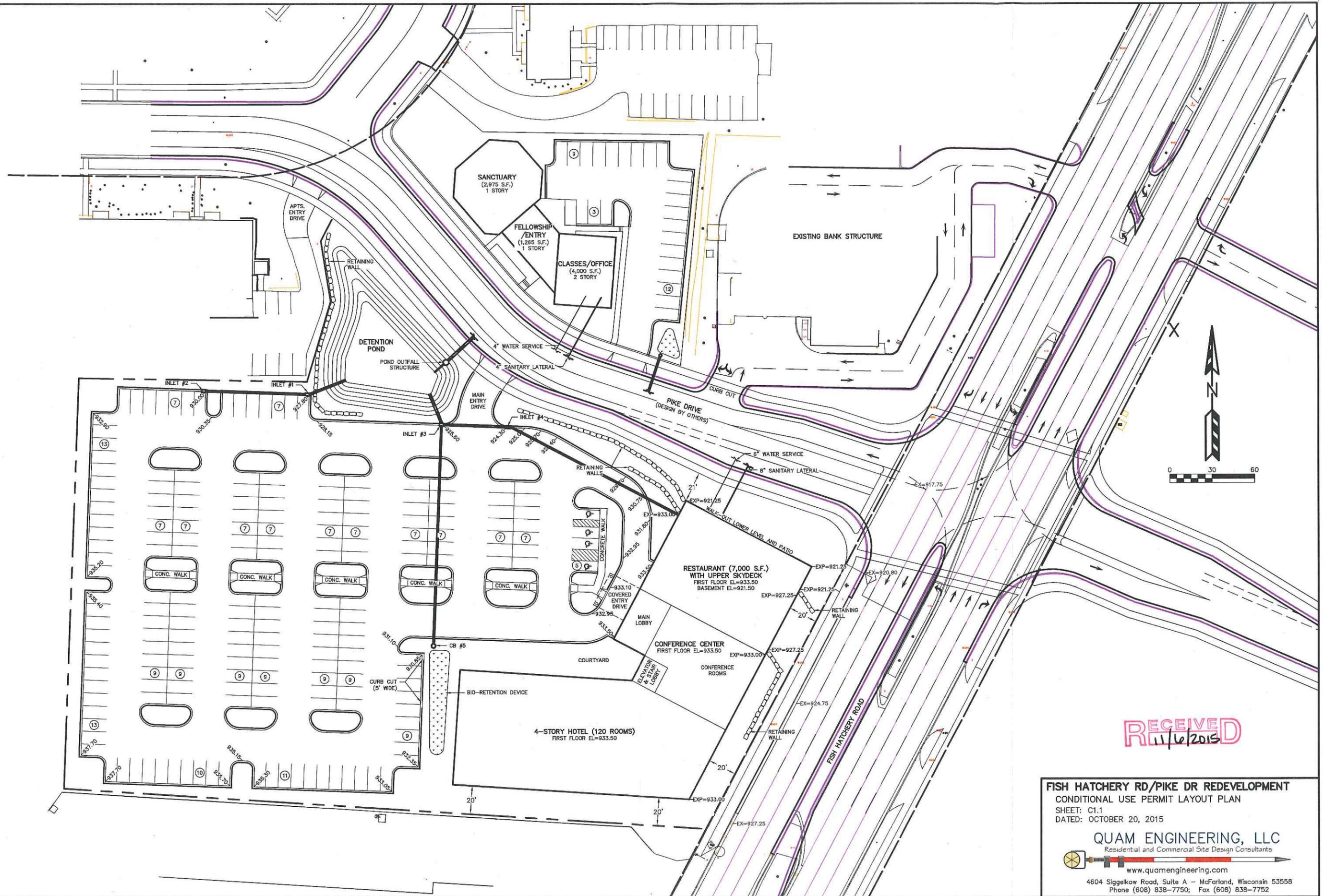
For City Use Only: Date Received: 10/20/15 Publish: _____

Ordinance Section No. _____ Fee Paid: \$445

Permit Request No. CU-2087-15

Addendum A

CrownPoint Development, Inc., a Minnesota corporation, is submitting the Conditional Use Permit (CUP) Application for approval to build a Church on the reduced size 1911 Pike Dr. site. The Church will consist of 6000 sf, with potential for an additional 3000 sf, occupancy of 100 people, 20+ parking stalls and an easement for parking at the proposed hotel & conference center.



RECEIVED
11/16/2015

FISH HATCHERY RD/PIKE DR REDEVELOPMENT
CONDITIONAL USE PERMIT LAYOUT PLAN
SHEET: C1.1
DATED: OCTOBER 20, 2015

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752

10475-10/20/15 RB

	City of Fitchburg Planning/Zoning Department 5520 Lacy Road Fitchburg, WI 53711 (608) 270-4200	<h2>CONDITIONAL USE PERMIT APPLICATION</h2>
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The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

1. **Location of Property:**
Street Address: 2924 Fish Hatchery Rd.
Legal Description - (Metes & Bounds, or Lot No. And Plat): see survey (attached) and Addendum A (attached)

***Also submit in electronic format (MS WORD or plain text) by email to: PLANNING@FITCHBURGWI.GOV

2. **Current Use of Property:** Church, parsonage
 3. **Proposed Use of Property:** hotel, restaurant, and conference center
 4. **Proposed Development Schedule:** construction Spring 2016
 5. **Zoning District:** B-G general business
 6. **Future Land Use Plan Classification:** mixed use

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable): _____

No. of Dwelling Units by Bedroom: 1 BR 2 BR 3 BR 4 or More

No. Of Parking Stalls: _____

Type of Non-residential Development (If Applicable): hotel, restaurant, conference center

Proposed Hours of Operation: 24/7 hotel + 4AM-2AM **No. of Employees:** 30 hotel / 45 restaurant

Floor Area: total 75,000 s.f. hotel / total restaurant 7,000 s.f. **No. Of Parking Stalls:** 200 estimated

Sewer: Municipal Private **Water:** Municipal Private

Current Owner of Property: Fitchburg Christian Fellowship

Address: 2924 Fish Hatchery Rd. **Phone No:** (812) 620-1601

Contact Person: Chuck Chvala

Email: cjchvala@gmail.com

Address: 10 East Doty St, Ste. 507, Madison 53703 **Phone No:** (608) 258-8222

Respectfully Submitted By: Chuck Chvala 10/20/15

Owner's or Authorized Agent's Signature

** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 10/20/15 **Publish:** _____

Ordinance Section No. _____ **Fee Paid:** 3445

Permit Request No. CU-2088-15

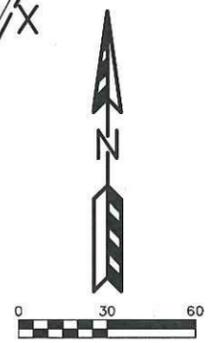
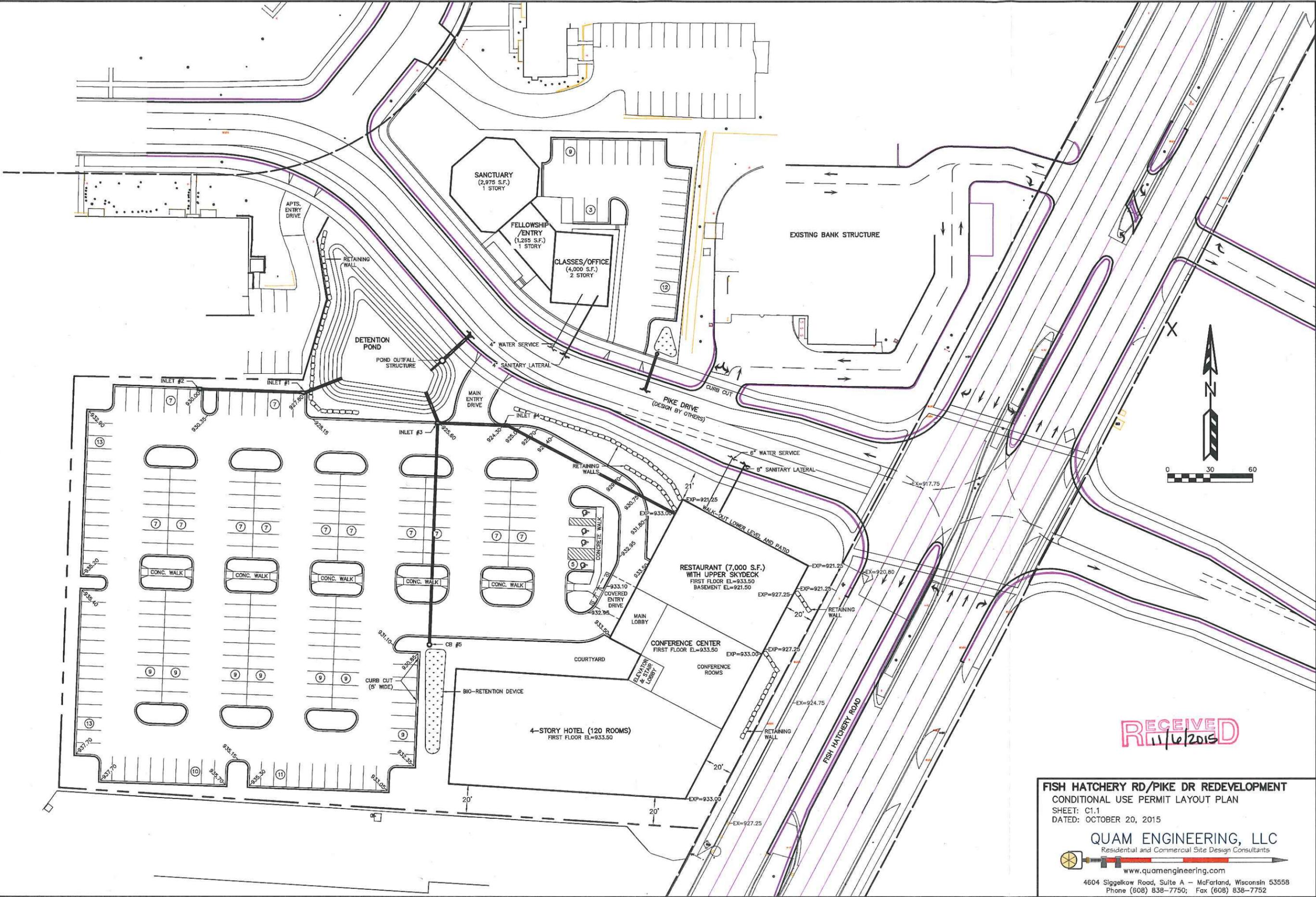
Addendum A

CrownPoint Development, Inc., a Minnesota corporation, is submitting the Conditional Use Permit (CUP) Application for approval of a four story hotel, with a height of 54 ft. The hotel will consist of 120 rooms and an attached conference facility with occupancy capacity of 70% /180 hotel.

CrownPoint also seeks CUP approval for a restaurant with seating for 200 customers, and additional occupancy for 25 people at its bar for a total occupancy 45.

CrownPoint also seeks CUP approval for sales of alcohol for the restaurant and hotel.

CrownPoint seeks CUP approval for any additional matters which may be necessary for this development.



RECEIVED
11/16/2015

FISH HATCHERY RD/PIKE DR REDEVELOPMENT
 CONDITIONAL USE PERMIT LAYOUT PLAN
 SHEET: C1.1
 DATED: OCTOBER 20, 2015

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com

4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

10473-10/21/15 RB



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711
(608) 270-4200

CONDITIONAL USE PERMIT APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

1. **Location of Property:** 6943: Fitchburg to Nine Springs Transmission Line (Attachment B)
Street Address: _____

Legal Description - (Metes & Bounds, or Lot No. And Plat): _____
6943 transmission line right-of-way corridor within multiple Sections, Township 06N, and Range 09E within the City of Fitchburg in Dane County, Wisconsin.

***Also submit in electronic format (MS WORD or plain text) by email to: **PLANNING@FITCHBURGWI.GOV**

2. **Current Use of Property:** Transmission line right-of-way (Overhead)

3. **Proposed Use of Property:** Transmission line right-of-way (Overhead)

4. **Proposed Development Schedule:** Construction: 02/2016-03/2016; Restoration: 03/2016-07/2016

5. **Zoning District:** Park and Recreation District, Exclusive Agriculture, Low Density Residential, Rural Residential, Transitional Agriculture, Former R-4 Residential, Rural Development.

6. **Future Land Use Plan Classification:** Utility corridor (no change)

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable): Not applicable

No. of Dwelling Units by Bedroom: 1 BR 2 BR 3 BR 4 or More

No. Of Parking Stalls: Not applicable

Type of Non-residential Development (If Applicable): Transmission Line Rebuild Project, See cover letter

Proposed Hours of Operation: Daylight Hours **No. Of Employees:** Variable

Floor Area: Not applicable **No. Of Parking Stalls:** Not Applicable

Sewer: Municipal Private **Water:** Municipal Private

Current Owner of Property: American Transmission Company via easements, also see Attachment C for landowner list

Address: 5303 Fen Oak Court Madison, WI 53718 (ATC) **Phone No:** 608-877-7054 (ATC)

Contact Person: Robb Roos (Agent) Joan Kozisek (ATC)

Email: robb.roos@cardno.com jkozisek@atcllc.com (ATC)

Address: 6140 Cottonwood Dr. Suite A Fitchburg, WI 53719 (Agent) **Phone No:** 608-301-6455 (Agent) 608-877-7054 (ATC)

Respectfully Submitted By: [Signature]
Owner's or Authorized Agent's Signature

** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 10/20/15 **Publish:** _____

Ordinance Section No. _____ **Fee Paid:** \$445.00

Permit Request No. CU-2089-15



October 16, 2015

City of Fitchburg, Planning / Zoning
5520 Lacy Road
Fitchburg, WI 53711

Cardno

6140 Cottonwood Suite A
Fitchburg, WI 53719
USA

**Subject: 6943 Fitchburg to Nine Springs Rebuild Project
Conditional Use Permit Application**

Phone 608 661 2955
Fax 608 661 2961
www.cardno.com

Ms. Badtke and Mr. Hovel,

On behalf of American Transmission Company (ATC), Cardno is submitting a Conditional Use Permit application for the above-referenced project for the October 20th deadline to be reviewed at the City's Plan Commission meeting on November 17, 2015. The proposed project is located within Township 06N, Range 09E in the City of Fitchburg.

The 6943 Fitchburg to Nine Springs Rebuild Project includes the replacement of select, existing wood monopole structures with like-type steel monopole structures (Attachment D) along the existing overhead transmission line alignment. A number of structure replacements are anticipated to occur within wetland boundaries identified both in Fitchburg's Wetland Overlay District and by a professional delineation completed by Cardno (Attachment B). Replacement structures will be in-line with existing structures and will be at most 13-feet from existing poles. This project will allow the transmission line to meet set rating standards which will allow for continued safe and reliable electric transmission to the area. Construction activities will be underway February – March 2016 and follow-up restoration activities, including site revegetation, will be completed March – July 2016. An Erosion Control Permit (#15-101) has been received from the City of Fitchburg Department of Public Works.

In regards to Sec. 22-688 of Fitchburg's Municipal Code:

- a) The proposed maintenance of the 6943 transmission line is the most practicable plan for the purpose of maintaining a functioning transmission line. Relocating the entire transmission line is unnecessary, cost-prohibitive and would likely result in a greater environmental impact. Replacement of wood monopoles with steel monopoles allows for structures to stay approximately the same size (~5-feet taller) and will provide increased structural integrity. Considerations were made throughout the design process to minimize impacts to wetlands.
- b) Structures will be direct embedded into the ground using vibratory caissons. This process uses a vibratory hammer mechanism attached to an excavator and no ground excavation or dewatering is required during the installation.
- c) Efforts have been made throughout the planning and design of this project to minimize adverse impacts to wetlands along with all construction and access areas. Procedures will be implemented throughout construction in order to minimize ground disturbances including: completing installation work during winter while ground is more likely to be frozen, strategic placement of temporary access routes, use of temporary matting in wetlands as necessary, use of tracked equipment, and promotion of erosion and sedimentation control best management practices (BMPs).

The following materials, along with a permit application fee check, are enclosed for your review:

Attachment A: Conditional Use Permit Application

Attachment B: Environmental Access Plan (EAP)

Attachment C: Landowner List (within 300 ft. of ROW)

Attachment D: Typical Structure Drawings (both existing and replacement)

We respectfully request your review and authorization of the project at your earliest convenience. Please feel free to contact me at (608) 301-6455 or robb.roos@cardno.com if you have any questions.

Sincerely,

Robb Roos, Senior Project Scientist, Cardno
Cell: (608) 301-6455, Email: robb.roos@cardno.com

Erosion Control Permit Application

6943 Fitchburg to Nine Springs
Rebuild Project

City of Fitchburg, Dane County, WI

Attachment

A

Conditional Use Permit Application



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608) 270-4200

CONDITIONAL USE PERMIT APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

1. Location of Property:

Street Address: 6943: Fitchburg to Nine Springs Transmission Line (Attachment B)

Legal Description - (Metes & Bounds, or Lot No. And Plat): _____

6943 transmission line right-of-way corridor within multiple Sections, Township 06N, and Range 09E within the City of Fitchburg in Dane County, Wisconsin.

***Also submit in electronic format (MS WORD or plain text) by email to: **PLANNING@FITCHBURGWI.GOV**

2. Current Use of Property: Transmission line right-of-way (Overhead)

3. Proposed Use of Property: Transmission line right-of-way (Overhead)

4. Proposed Development Schedule: Construction: 02/2016-03/2016; Restoration: 03/2016-07/2016

5. Zoning District: Park and Recreation District, Exclusive Agriculture, Low Density Residential, Rural Residential, Transitional Agriculture, Former R-4 Residential, Rural Development.

6. Future Land Use Plan Classification: Utility corridor (no change)

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable): Not applicable

No. of Dwelling Units by Bedroom: 1 BR 2 BR 3 BR 4 or More

No. Of Parking Stalls: Not applicable

Type of Non-residential Development (If Applicable): Transmission Line Rebuild Project, See cover letter

Proposed Hours of Operation: Daylight Hours **No. Of Employees:** Variable

Floor Area: Not applicable **No. Of Parking Stalls:** Not Applicable

Sewer: Municipal Private **Water:** Municipal Private

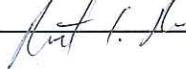
Current Owner of Property: American Transmission Company via easements, also see Attachment C for landowner list

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Contact Person: Robb Roos (Agent) Joan Kozisek (ATC)

Email: robb.roos@cardno.com jkozisek@atcllc.com (ATC)

Address: 6140 Cottonwood Dr. Suite A Fitchburg, WI 53719 (Agent) **Phone No:** 608-301-6455 (Agent) 608-877-7054 (ATC)

Respectfully Submitted By: 

Owner's or Authorized Agent's Signature

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PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** _____ **Publish:** _____

Ordinance Section No. _____ **Fee Paid:** _____

Permit Request No. _____

Erosion Control Permit Application

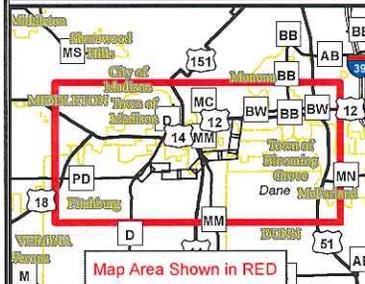
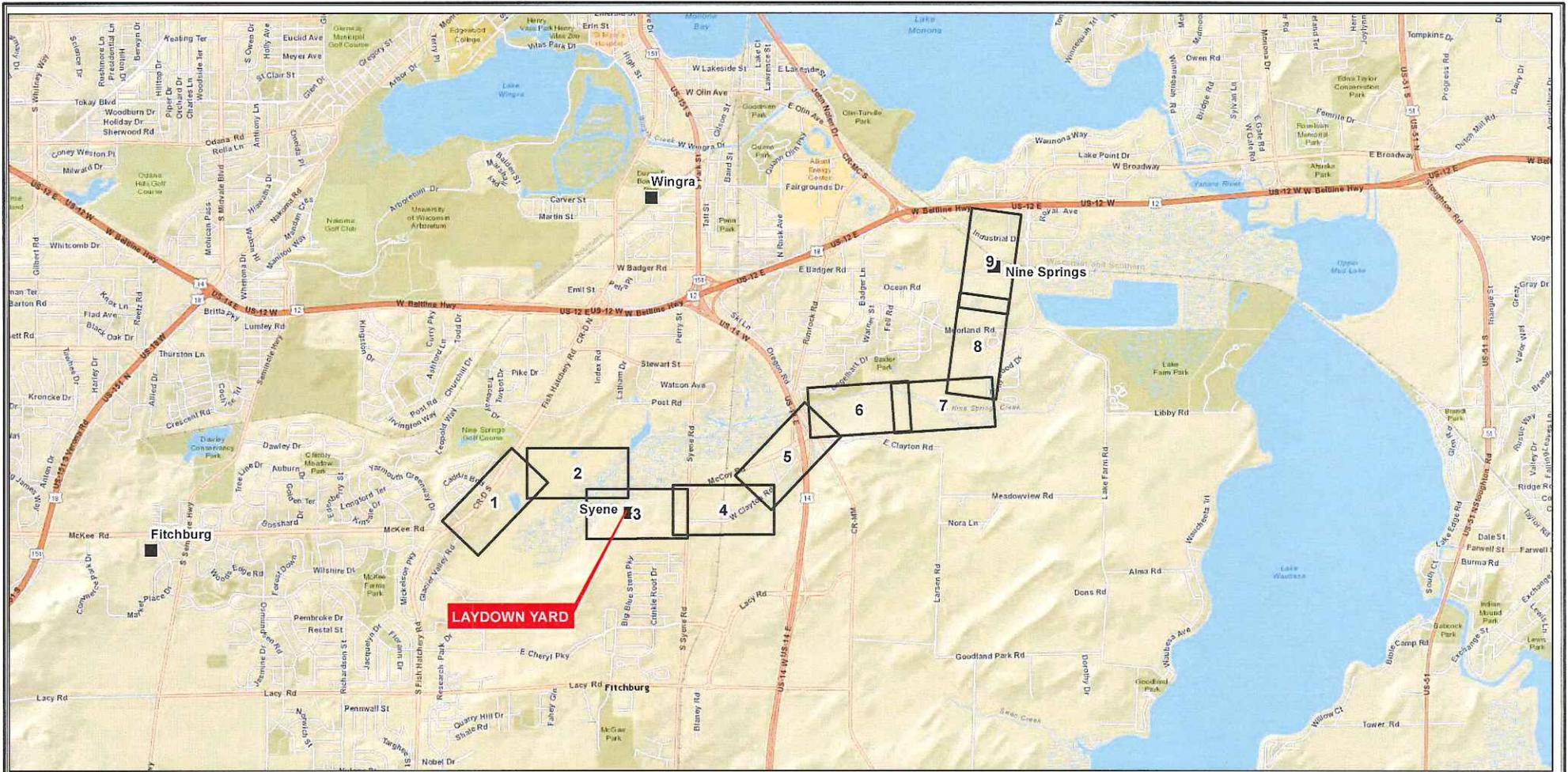
6943 Fitchburg to Nine Springs
Rebuild Project

City of Fitchburg, Dane County, WI

Attachment

B

Environmental Access Plan (EAP)



CONSTRUCTION METHOD	Structure Replacement	Existing Pole	Invasive Species Protocol Species Type Noted on Map
Vehicle Construction Access	Unnecessary Maintenance	Existing Substation	WDNR Hydrology
Proposed Centerline CT 1 - No Special Technique Needed	No Access Beyond This Point	Existing T-Line	Fluid Located Waterway
Erosion Control Devices Device Type Noted on Map		Public Owned Lands	Potential Wetland (WDNR)
Construction Matting/Tracked Equipment (utilize as necessary to prevent disturbance)		Protected or Sensitive Resources Construction Technique Prohibited	Undisturbed Wetland
Non-navigable waterway - OK to cross	Temporary Clear Span Bridge	Erosion Control BMP Required If Disturbed	Property Line
Wire Pulling Location	Transmission Right-of-Way	<small>Base Map Data Sources: ATC, WDNR, PSOW, NAIP (2008); Parcels: Columbia County 2008. The information presented in this map document is advisory and is intended for reference purposes only. ATC-owned and operated facility locations are approximate.</small>	

6943: Fitchburg to Nine Springs
ENVIRONMENTAL ACCESS PLAN

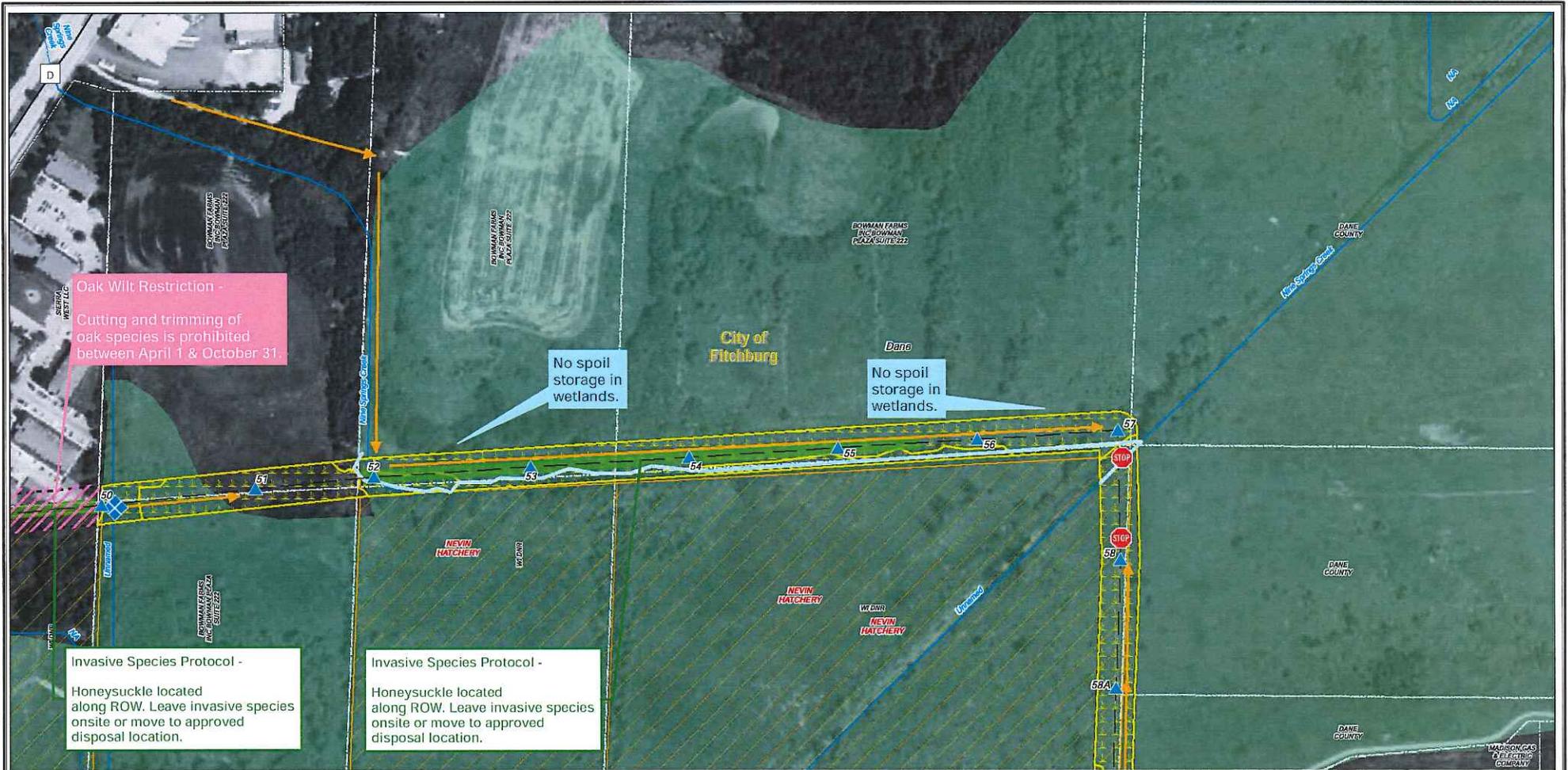
0 0.25 0.5 Miles

ATC
AMERICAN TRANSMISSION COMPANY

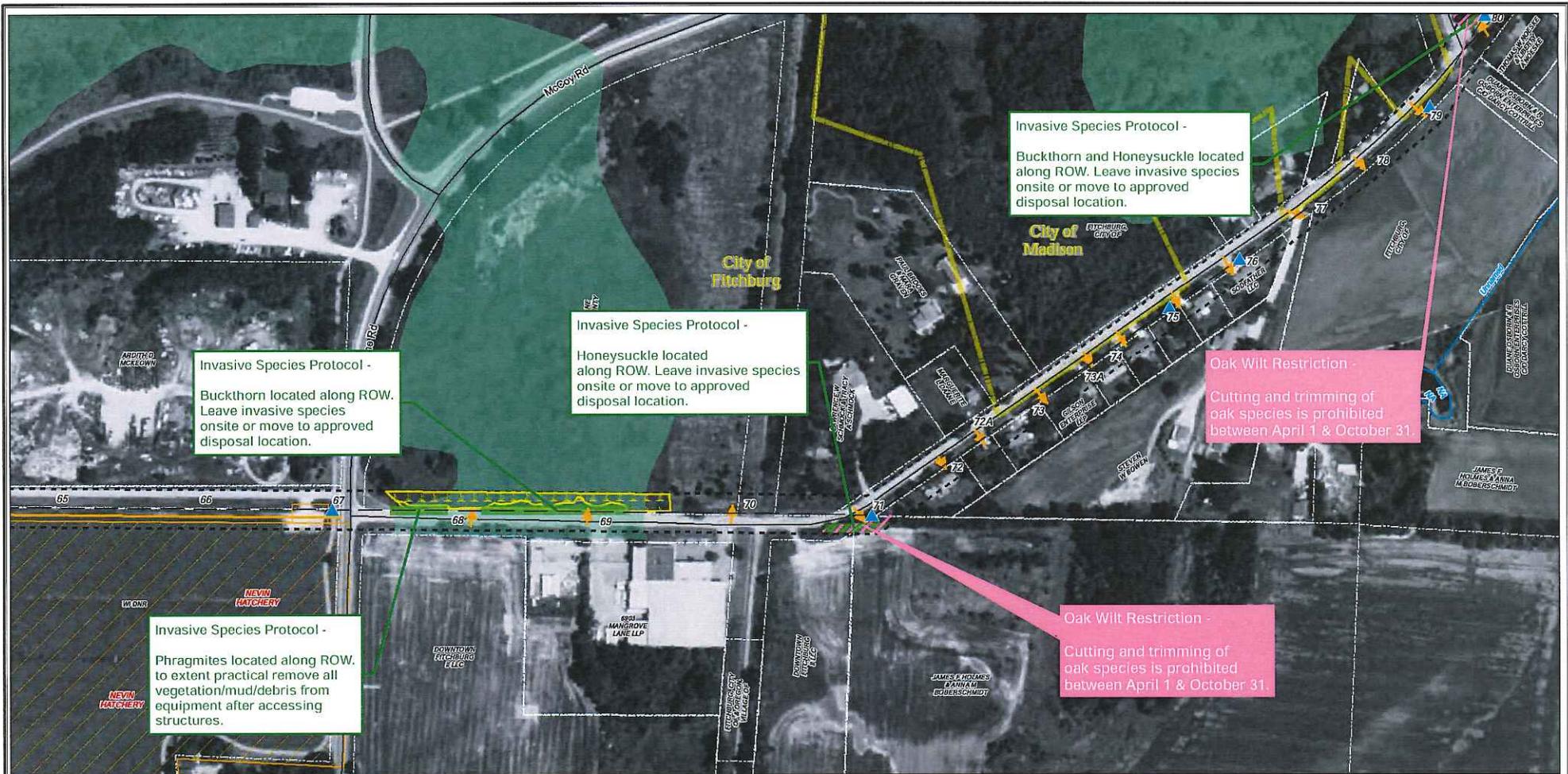
July 21, 2015

Orthophotography: NAIP, Summer 2010
Project: 1010011001010101_ATC
39, 39AAT 6943 Fitchburg to Nine Springs/GIS
Last Revised By: JJJ/Carrie JPHew

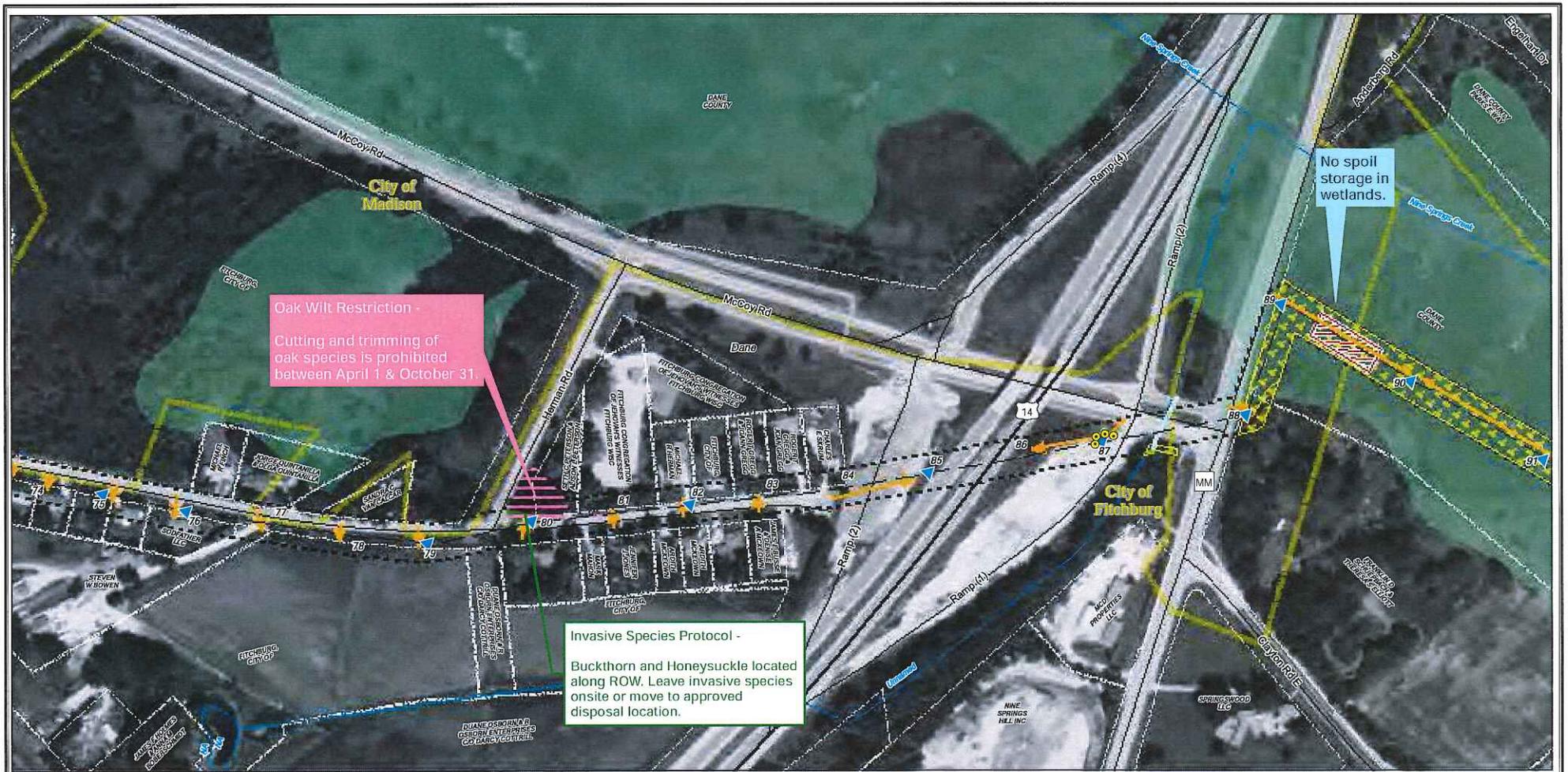
Overview



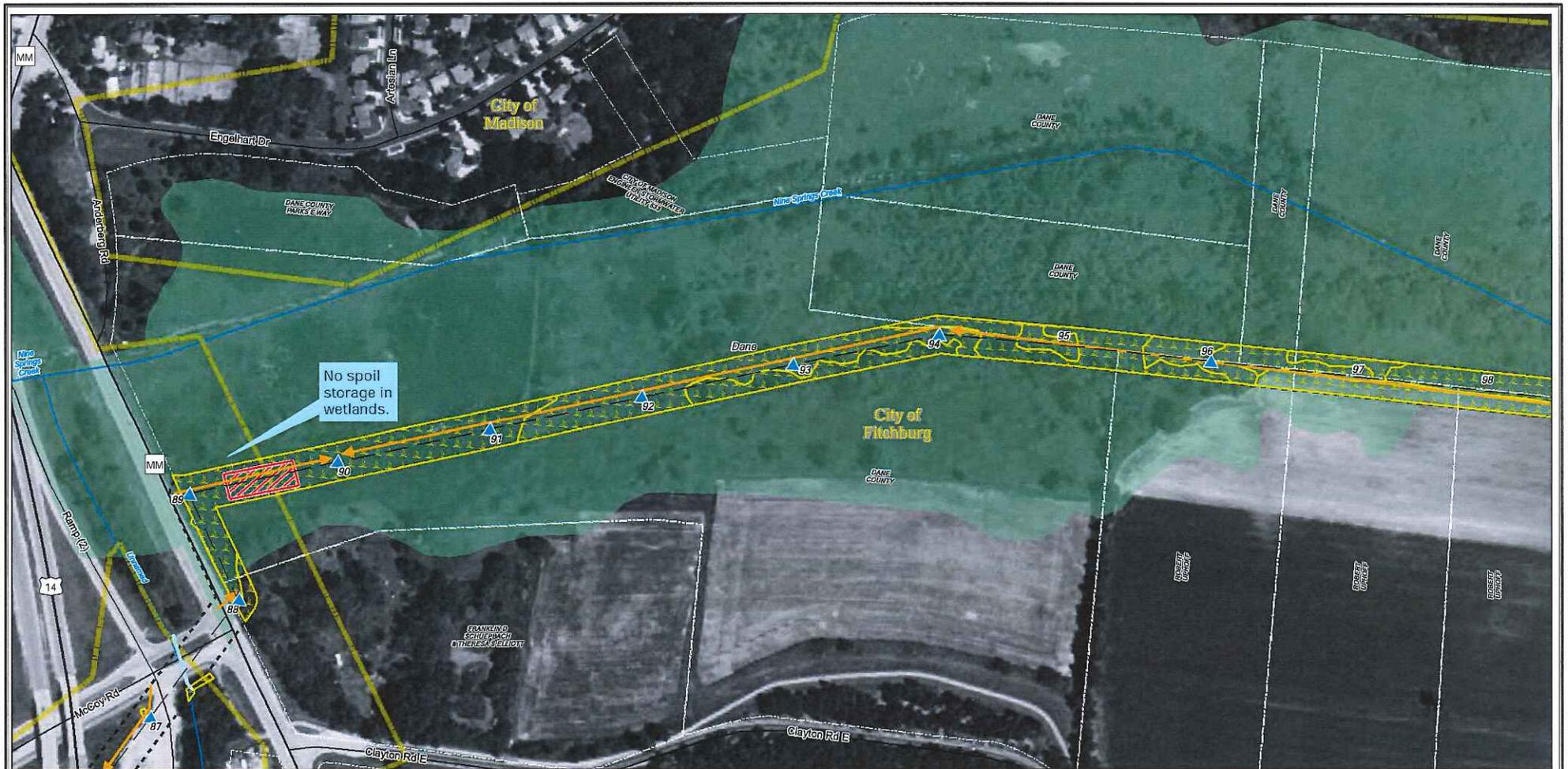
<p>Map Area Shown in RED</p>	<p>CONSTRUCTION METHOD</p> <p>→ Vehicle Construction Access</p> <p>Overhead Proposed Centerline CT 1 - No Special Technique Needed</p> <p>Erosion Control Devices Devices Type Noted on Map</p> <p>Potential Construction Matting (utilize as necessary to prevent disturbance)</p> <p>Non-navigable waterway - OK to cross</p> <p>Wire Pulling Location</p>	<p>▲ Structure Replacement</p> <p>● Miscellaneous Maintenance</p> <p>STOP No Access Beyond This Point</p>	<p>○ Existing Pole</p> <p>■ Existing Substation</p> <p>— Existing T-Line</p> <p>Public Owned Lands</p> <p>Disturbance or Significant Interference Construction Techniques Protocol Noted</p> <p>Erosion Control BMP Required If Disturbed</p> <p>Transmission Right-of-Way</p> <p><small>* Right-of-way shown on this map is approximate and is shown for guidance only. Generally, ROW along existing routes is 50' and private property. ROW along existing transmission lines is 600' to 800' on each side of 100' wide.</small></p>	<p>Invasive Species Protocol Species Type Noted on Map</p> <p>WDNR Hydrology</p> <p>Field Located Waterway</p> <p>Potential Wetland (WDNR)</p> <p>Disturbed Wetland</p> <p>Property Line</p> <p><small>Shows 200' Buffer Around Wetland and 50' Buffer Around Property Line</small></p>	<p>6943: Fitchburg to Nine Springs ENVIRONMENTAL ACCESS PLAN</p> <p>North Arrow</p> <p>0 125 250 Feet</p> <p>July 21, 2015</p> <p>Orthophotography: NAIP, Summer 2010 R:\Projects\100110010141_ATC 12_Smart 6943-Fitchburg to Nine Springs\GIS Last Revised By: JLU/Carrie JF/ew</p> <p>Page 02 of 09</p>
	<p>Temporary Clear Span Bridge</p>	<p>Base Map Data Sources: ATC, WDNR, PSGW, NAIP (2013); Parcels: Columbia County 2008. The information presented in this map document is advisory and is intended for reference purposes only. ATC-owned and operated facility locations are approximate.</p>	<p>ATC AMERICAN TRANSMISSION COMPANY</p>		



<p>Map Area Shown in RED</p>	CONSTRUCTION METHOD Vehicle Construction Access Overhead Proposed Centerline <i>CT 1 - No Special Technique Needed</i> Erosion Control Devices <i>Device Type Noted on Map</i> Potential Construction Matting <i>(utilize as necessary to prevent disturbance)</i> Non-navigable waterway - OK to cross Wire Pulling Location	Structure Replacement Miscellaneous Maintenance No Access Beyond This Point Temporary Clear Span Bridge Transmission Right-of-Way <small>* High of way shown on this map is approximate and is shown for guidance only. Generally, ROW along existing leads is 20' on each property. 200' shall exist in cross-country in cross-country is 40' on each side, in 90' total.</small>	Existing Pole Existing Substation Existing T-Line Public Owned Lands Initial or Supplemental Construction Techniques Protocol Noted Erosion Control BMP Required if Disturbed <small>Base Map Data Sources: ATC, WDNR, PSGW, NAIP (2013); Parcels: Columbia County 2008. The information presented in this map document is advisory and is intended for reference purposes only. ATC owned and operated facility locations are approximate.</small>	Invasive Species Protocol Species Type Noted on Map WDNR Hydrology Field Located Waterway Potential Wetland (WDNR) Disturbed Wetland Property Line <small>Source: 2010 Parcel Data, 2010 Parcel Data</small>	<p>6943: Fitchburg to Nine Springs ENVIRONMENTAL ACCESS PLAN</p> <p> 0 125 250 Feet</p> <p> ATC AMERICAN TRANSMISSION COMPANY</p> <p>July 21, 2015</p> <p>Orthophotography: NAIP, Summer 2010 #19 Project: 6943 Fitchburg to Nine Springs 30_SPAR 6943 Fitchburg to Nine Springs GIS Last Revised By: JLU/Carrie JFNew</p> <p>Page 04 of 09</p>
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<p>Map Area Shown in RED</p>	<p>CONSTRUCTION METHOD</p> <p>→ Vehicle Construction Access</p> <p>Overhead Proposed Centerline CT 1 - No Special Technique Needed</p> <p>●●●●● Erosion Control Devices Device Type Noted on Map</p> <p>++++ Potential Construction Matting (utilize as necessary to prevent disturbance)</p> <p>◆ Non-navigable waterway - OK to cross</p> <p>▨ Wire Pulling Location</p>	<p>▲ Structure Replacement</p> <p>● Miscellaneous Maintenance</p> <p>STOP No Access Beyond This Point</p> <p>Temporary Clear Span Bridge</p> <p>Transmission Right-of-Way</p>	<p>○ Existing Pole</p> <p>■ Existing Substation</p> <p>— Existing T-Line</p> <p>Public Owned Lands</p> <p>Erosion Control BMP Required if Disturbed</p>	<p>Invasive Species Protocol Species Type Noted on Map</p> <p>Wetland</p> <p>Potential Wetland (WDNR)</p> <p>Disturbed Wetland</p> <p>Property Line</p>	<p>6943: Fitchburg to Nine Springs ENVIRONMENTAL ACCESS PLAN</p> <p>North Arrow</p> <p>Scale: 0 125 250 Feet</p> <p>ATC AMERICAN TRANSMISSION COMPANY</p> <p>July 21, 2015</p> <p>Orthophotography: NAIP, Summer 2010 R:\Projects\6943 Fitchburg to Nine Springs\GIS Last Revised By: JLU/Carina JFlow</p>
	<p>Base Map Data Sources: ATC, WDNR, PCW, NAIP (2013), Parcels, Columbia County 2008. The information presented in this map document is advisory and is intended for reference purposes only. ATC owned and operated facility locations are approximate.</p>	<p>Page 05 of 09</p>			



Map Area Shown in RED

CONSTRUCTION METHOD	▲ Structure Replacement	○ Existing Pole	🌿 Invasive Species Protocol <i>Species Type Noted on Map</i>
➔ Vehicle Construction Access	● Miscellaneous Maintenance	■ Existing Substation	🌊 WDNR Hydrology
— Overhead Proposed Centerline CT 1 - No Special Technique Needed	🛑 No Access Beyond This Point	— Existing T-Line	🌊 Field Located Waterway
⦿ Erosion Control Devices <i>Device Type Noted on Map</i>		🏠 Public Owned Lands	🌿 Potential Wetland (WDNR)
🧱 Potential Construction Matting (utilize as necessary to prevent disturbance)		🏠 Disturbance of Sensitive Resources Construction Techniques Protocol Noted	🌿 Disturbed Wetland
⚡ Non-navigable waterway - OK to cross	🌉 Temporary Clear Span Bridge	🟡 Erosion Control BMP Required if Disturbed	— Property Line
🔴 Wire Pulling Location	— Transmission Right-of-Way		

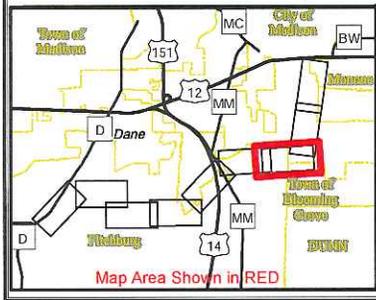
6943: Fitchburg to Nine Springs
ENVIRONMENTAL ACCESS PLAN

July 21, 2015

0 125 250 Feet

Orthophotography: NAIP, Summer 2010
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33_SWTW_6943 Plotting to Nine SpringsGIS
Last Revised By JLL/Carina JFNew

Base Map Data Sources: ATC, WDNR, PSCW, NAIP (2013), Parcels, Columbia County 2008.
The information presented in this map document is advisory and is intended for reference purposes only.
ATC owned and operated facility locations are approximate.



CONSTRUCTION METHOD	Structure Replacement	Existing Pole	Invasive Species Protocol of Species Type Noted on Map
Vehicle Construction Access	Miscellaneous Maintenance	Existing Substation	WDNR Hydrology
Proposed Centerline CT 1 - No Special Technique Needed	No Access Beyond This Point	Existing T-Line	Field Located Waterway
Erosion Control Devices Device Type Noted on Map		Public Owned Lands	Potential Wetland (WDNR)
Potential Construction Matting (utilize as necessary to prevent disturbance)		Intended to Sensitive Resources and Construction Techniques Protocol Need	Disturbed Wetland
Non-navigable waterway - OK to cross	Temporary Clear Span Bridge	Erosion Control BMP Required if Disturbed	Property Line
Wire Pulling Location	Transmission Right-of-Way		

* Right-of-way shown on this map is approximate and is shown for guidance only. Generally, ROW along existing roads is 30' on private property, 100' above existing transportation lines or across county is 40' on each side of UT road.

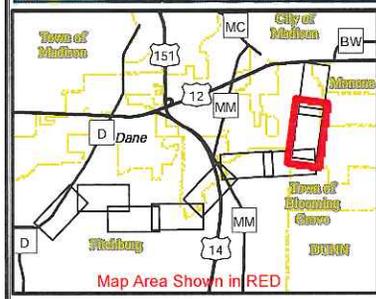
Base Map Data Sources: ATC, WDNR, PSCW, NAIP (2013); Parcels: Columbia County 2008. The information presented in this map document is advisory and is intended for reference purposes only. ATC owned and operated facility locations are approximate.

6943: Fitchburg to Nine Springs
ENVIRONMENTAL ACCESS PLAN

July 21, 2015

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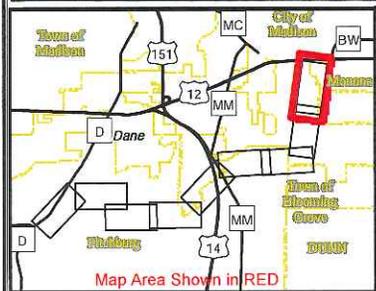
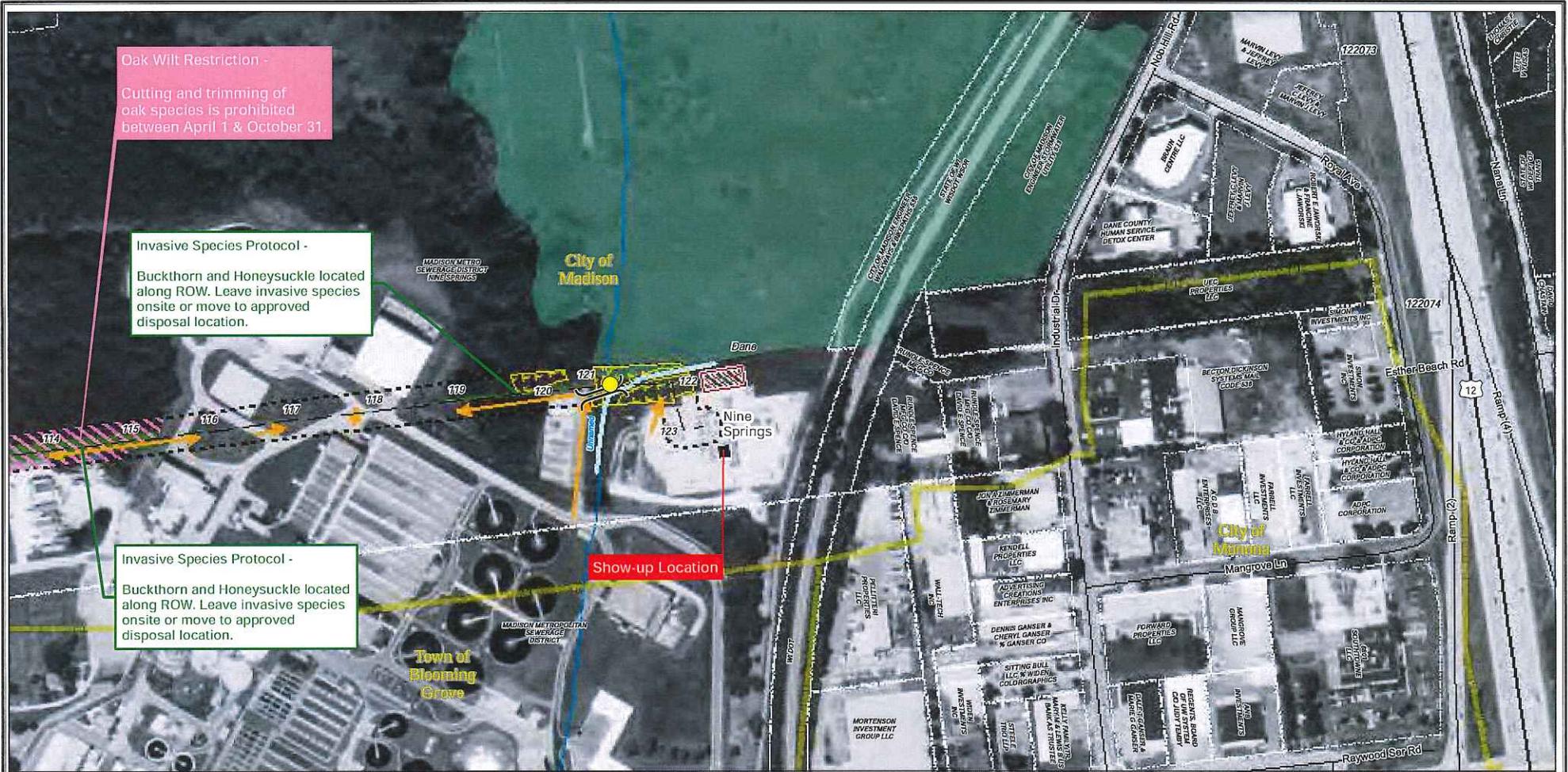
CONSTRUCTION METHOD		Structure Replacement		Invasive Species Protocol	
Vehicle Construction Access	Miscellaneous Maintenance	Structure Replacement	Existing Pole	Invasive Species Protocol Species Type Noted on Map	WDNR Hydrology
Proposed Centerline CT 1 - No Special Technique Needed	No Access Beyond This Point	Existing Substation	Existing T-Line	Field Located Waterway	Potential Wetland (WDNR)
Erosion Control Devices Device Type Noted on Map		Public Owned Lands	(Indicated on Supplemental Erosion Control Construction Techniques Protocol Noted)	Potential Wetland	Potential Wetland
Potential Construction Matting (utilize as necessary to prevent disturbance)		Erosion Control BMP Required If Disturbed	Temporary Clear Span Bridge	Property Line	
Non-navigable waterway - OK to cross		Transmission Right-of-Way			
Wire Pulling Location					

6943: Fitchburg to Nine Springs
ENVIRONMENTAL ACCESS PLAN

July 21, 2015

Orthophotography: NAIP, Summer 2010
Project: 6943 Fitchburg to Nine Springs
Last Revised By: ALJ Carbo JFlow

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CONSTRUCTION METHOD	Structure Replacement	Existing Pole	Invasive Species Protocol Species Type Noted on Map
Vehicle Construction Access	Miscellaneous Maintenance	Existing Substation	WDNR Hydrology
Proposed Centerline CT 1 - No Special Technique Needed	No Access Beyond This Point	Existing T-Line	Potential Wetland (WDNR)
Erosion Control Devices Device Type Noted on Map		Public Owned Lands	Potential Wetland (WDNR)
Potential Construction Matting (utilize as necessary to prevent disturbance)		Restricted or Sensitive Invasive Species Construction Technique Prohibited Area	Disturbed Wetland
Non-navigable waterway - OK to cross	Temporary Clear Span Bridge	Erosion Control BMP Required if Disturbed	Property Line
Wire Pulling Location	Transmission Right-of-Way		

6943: Fitchburg to Nine Springs
ENVIRONMENTAL ACCESS PLAN

ATC
 AMERICAN TRANSMISSION COMPANY

July 21, 2015

0 125 250 Feet

Orthophotography: N/AIP, Summer 2010
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 Last Revised by: ALU/Candice, 4/16/15

Page 09 of 09

Erosion Control Permit Application

6943 Fitchburg to Nine Springs
Rebuild Project

City of Fitchburg, Dane County, WI

Attachment

C

**Landowner List
(withn 300' of ROW)**

Tax Parcel Number	Owner Name	Property Address	Mailing Address	Mailing City	Mailing State	Mailing Zip Code
060901182705	DANE COUNTY		210 MARTIN LUTHER KING BLVD RM 114	MADISON	WI	53703
060901195915	ROBERT UPHOFF		4581 MEADOWVIEW RD	MADISON	WI	53711
060901297109	FRANKLIN D SCHUEPBACH & THERESA S ELLIOTT		2830 S SYENE RD	FITCHBURG	WI	53711
060901381204	MCD PROPERTIES LLC		16819 W MILBRANDT RD	EVANSVILLE	WI	53536
060901386450	CHARLES E SKRUM		4978 W CLAYTON RD	FITCHBURG	WI	53711
060901386656	ROGER T GREGG & JOANN GREGG		4982 W CLAYTON RD	FITCHBURG	WI	53711
060901386754	FITCHBURG, CITY OF		5520 LACY RD	FITCHBURG	WI	53711
060901386807	FITCHBURG CONGREGATION OF JEHOVAH'S WITNESSES FITCHBURG WISC		3082 HERMAN RD	MADISON	WI	53711
060901386852	MICHAEL R HERMAN		4996 W CLAYTON RD	FITCHBURG	WI	53711
060901387208	MARK NEICE S FRAZIER-LEE		5000 W CLAYTON RD	FITCHBURG	WI	53711
060901387851	MARK MAHON		4957 W CLAYTON RD	MADISON	WI	53713
060901388154	JENNIFER J JONES		4993 W CLAYTON RD	FITCHBURG	WI	53711
060901388350	ARDITH MCKEOWN		4989 W CLAYTON RD	FITCHBURG	WI	53711
060901388458	RANDALL J KRATOCHVIL & DIANE M KRATOCHVIL		4985 W CLAYTON RD	FITCHBURG	WI	53711
060901388572	JAMES E BUSSE & DENISE A MCKEOWN		4983 W CLAYTON RD	FITCHBURG	WI	53711
060901388612	ARDITH MCKEOWN & MARY J MCKEOWN		4989 W CLAYTON RD	MADISON	WI	53711
060901390801	THOMAS W NOESKE & LIBERTY A NOESKE		2813 WAUBESA AVE	MADISON	WI	53711
060901391006	DUANE OSBORN & R OSBORN ENTERPRISES		5136 LACY RD	FITCHBURG	WI	53711
060902398802	MADISON GAS & ELECTRIC COMPANY		PO BOX 1231	MADISON	WI	53701
060902398902	ARDITH D MCKEOWN		2965 S SYENE RD	FITCHBURG	WI	53711
060902494804	SANDRA C VAN CALCAR		5018 W CLAYTON RD	FITCHBURG	WI	53711
060902496704	PAUL BROOKS & MARA GRAVEN		5062 W CLAYTON RD	FITCHBURG	WI	53711
060902497002	LAWRENCE W SCHMOCK & TRACY A SCHMOCK		5074 W CLAYTON RD	FITCHBURG	WI	53711
060902497150	MARGUERITE L DAANE		5064 W CLAYTON RD	FITCHBURG	WI	53711
060902497356	JOSHUA G HEBGEN & HOLLY J HEBGEN		5065 W CLAYTON RD	MADISON	WI	53711
060902497454	JAMES H KIESLING & FLORENCE E KIESLING		5061 W CLAYTON RD	FITCHBURG	WI	53711
060902497605	KEITH B DICKINSON & DEBRA L DICKINSON		5069 W CLAYTON RD	FITCHBURG	WI	53711
060902498202	STEVEN W BOWEN		5029 W CLAYTON RD	FITCHBURG	WI	53711
060902498855	GILSON ENTERPRISE LLP		912 ERIN	MADISON	WI	53715
060902498953	NORMAN I OVERLAND		5047 W CLAYTON RD	FITCHBURG	WI	53711
060902499050	EUGENE E CURKEET & ANNA L CURKEET		5043 W CLAYTON RD	FITCHBURG	WI	53711
060902499158	CAROL J CHRISTOPHER		5041 W CLAYTON RD	FITCHBURG	WI	53711
060902499256	YANG P VANG & CHOU LOR		5039 W CLAYTON RD	FITCHBURG	WI	53711
060902499354	SODFATHER LLC		5033 W CLAYTON RD	FITCHBURG	WI	53711
060902499452	MICHAEL R FINCH		750 WILSON AVE	RICHMOND	CA	94805
060902499550	JORGE QUINTANILLA & OLGA QUINTANILLA		5030 W CLAYTON RD	FITCHBURG	WI	53711
060903307532	HATCHERY HILL PONDS LLC		3040 CAHILL MAIN	FITCHBURG	WI	53711
060903307808	KLINKE HATCHERY LLC		4518 MONONA DR	MADISON	WI	53719
060903307942	SCHULTZ DESIGN & CONSTRUCTION INC		6806 SEYBOLD RD	MADISON	WI	53719
060903308147	PRANKE HOLDING LLC		241 N BROADWAY STE 501	MILWAUKEE	WI	53202
060903340058	SWEENEY FITCHBURG LLC		PO BOX 473 UNIT 1M5-3300	MILWAUKEE	WI	53202
060903340361	HATCHERY HILL INVESTMENT LLC & LACORONA ASSOCIATES LLC		700 N WATER ST STE 400	MILWAUKEE	WI	53202
060903341702	HATCHERY HILL HOTEL LLC		6806 SEYBOLD RD	MADISON	WI	53716
060903383002	SIERRA WEST LLC		36790 ARMOUR RD	OCONOMOWOC	WI	53066
060903393500	WI DNR		PO BOX 7921	MADISON	WI	53701
060903480004	BOWMAN FARMS INC		2934 FISH HATCHERY RD	FITCHBURG	WI	53713
060910285512	JUDITH M WEGER		4133 BARBY LN	MADISON	WI	53704
060910285659	VALENZA REV TR		17720 SE 92ND GRANTHAM TER	THE VILLAGES	FL	32162
060911180000	JAMES F HOLMES & ANNA M BOBERSCHMIDT		6650 UNIVERSITY AVE	MIDDLETON	WI	53562
060911185552	6903 MANGROVE LANE LLP		5105 W CLAYTON RD	FITCHBURG	WI	53711
060911186602	FITCHBURG, CITY OF & OREGON, VILLAGE OF		5520 LACY RD	FITCHBURG	WI	53711
060911187209	DOWNTOWN FITCHBURG II LLC		PO BOX 7700	MADISON	WI	53707
071030300926	STATE OF WI WISDOT		3097 NOB HILL RD	MILWAUKEE	WI	53209
071030386409	WI DOT		2101 WRIGHT ST	MADISON	WI	53704
071030490000	MADISON METROPOLITAN SEWERAGE DISTRICT		1610 MOORLAND RD	MADISON	WI	53703
071031200969	HIGHLAND MANOR ASSOCIATES		280 DAINES ST #300	BIRMINGHAM	MI	48009
071031386605	MADISON METROPOLITAN SEWERAGE DISTRICT		523 E MAIN ST	MADISON	WI	53703

Erosion Control Permit Application

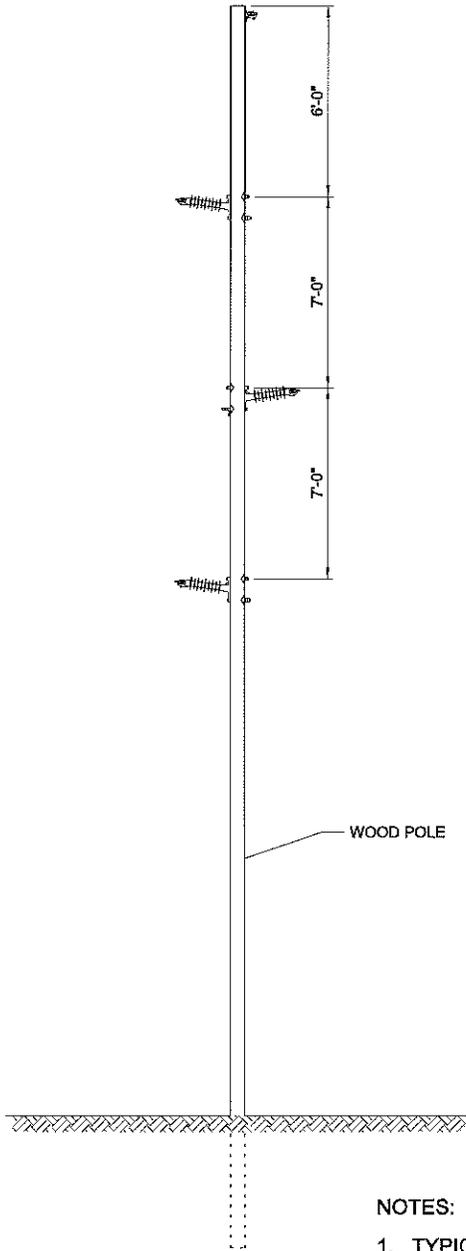
6943 Fitchburg to Nine Springs
Rebuild Project

City of Fitchburg, Dane County, WI

Attachment

D

**Typical Structure Drawings
(Existing and Replacement)**



NOTES:

1. TYPICAL ABOVE GROUND HEIGHT IS 55-65 FT.
2. TYPICAL DIAMETER AT GROUNDLINE IS 15 IN.

REV	DATE	W.O. #	DESCRIPTION	GCR	DGB	LWE	ECL
				DRAWN	CHKD	APPD	CMPT
A	10/14/15	069829					

SCALE
NTS

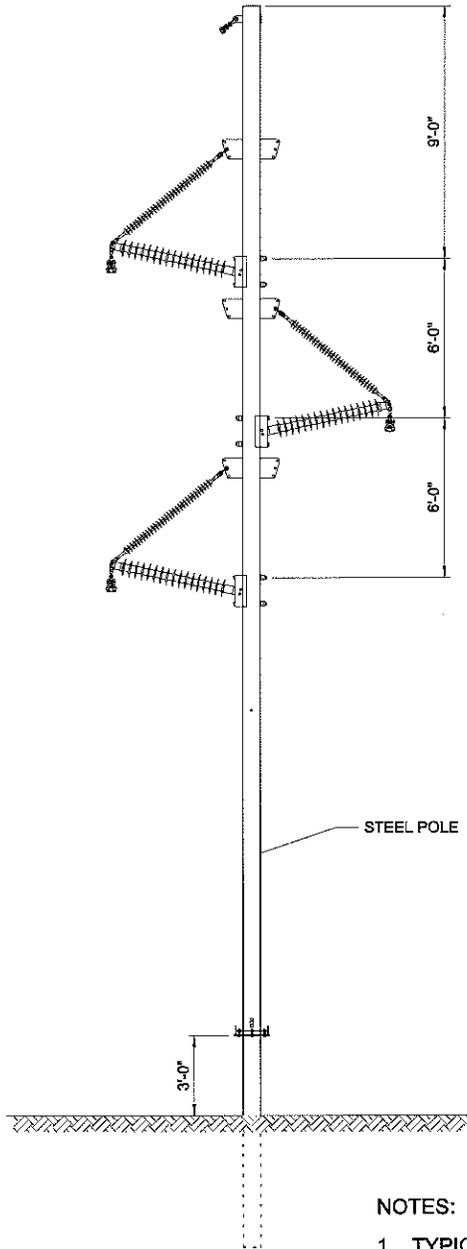


TYPICAL EXISTING TANGENT
GENERAL DRAWING
6943 - FITCHBURG - NINE SPRINGS

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ENGINEERING RECORD DRAWING No.

ER - 10 - 000XXX - 015



NOTES:

1. TYPICAL ABOVE GROUND HEIGHT IS 60-70 FT.
2. TYPICAL DIAMETER AT GROUNDLINE IS 16 IN.

			SCALE			
			NTS			
A	10/14/15	059829	GCR	DGB	LWE	ECI
REV	DATE	W.O. #	DRAWN	CHKD	APPD	CMPY



TYPICAL TANGENT REPLACEMENT
 GENERAL DRAWING
 6943 - FITCHBURG - NINE SPRINGS

Seytime\$

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ENGINEERING RECORD DRAWING No.

ER-10-000XXX-016

Susan Badtke

From: Robb Roos <Robb.Roos@cardno.com>
Sent: Wednesday, October 21, 2015 10:43 AM
To: Thomas Hovel
Cc: Susan Badtke; Will Taylor
Subject: RE: ATC 6943 Fitchburg to Nine Springs Rebuild Project

Hi Tom,

My comments to your questions are below in red.

Please let me know if there are any others and I will be happy to discuss. You can also feel free to reach me on my mobile number listed in my signature.

Cheers,

Robb Roos

SENIOR PROJECT SCIENTIST
ENGINEERING & ENVIRONMENTAL SERVICES DIVISION
CARDNO

Direct (+1) 608-661-2955 Mobile (+1) 608-301-6455 Fax (+1) 608-661-2961
Address 6140 Cottonwood Drive, Suite A, Fitchburg, WI 53719
Email robb.roos@cardno.com Web www.cardno.com

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From: Thomas Hovel [mailto:Thomas.Hovel@fitchburgwi.gov]
Sent: Wednesday, October 21, 2015 9:52 AM
To: Robb Roos
Cc: Susan Badtke
Subject: RE: ATC 6943 Fitchburg to Nine Springs Rebuild Project

Robb—
Sorry to hear about your health issue.

At this point I have the following comments:

1. Status of WIDNR and/or Army Corps of Engineer permits?
 - **WIDNR:** No formal permits are required to be received from the WDNR Bureau of Energy for this project. Wetland and waterway activities are covered under the WDNR-ATC Memorandum of Agreement (MOA) dated March 6, 2013. Within this agreement, the WDNR and ATC have agreed that certain specified utility operations and construction activities that may disturb soils and impact wetlands and/or navigable

waterways have similar environmental concerns and can be authorized through a more efficient process. This Agreement provides a mechanism to cover specific ATC activities that are authorized under existing state statutes and codes, specifically ground disturbing activities covered under Chapter NR 216 General WPDES Permits, waterway projects covered under Chapter 30 General Permits, wetland projects covered under the non-reporting General Permit and the Provisional General Permit in GP-002-WI, and wetland projects covered under Chapter 281 General Permits. Impact thresholds under this agreement require that the project must have less than 10,000 square feet of permanent wetland fill and less than five acres of temporary wetland fill (i.e. timber matting). This project satisfies the MOA agreement and thus is covered under the MOA. Details from construction are monitored and tracked. These details are then reported to the WDNR on a quarterly basis. A copy of the WDNR-ATC MOA can be submitted upon request.

- USACE: No formal permits are required to be received from the U.S. ACOE for this project. This project satisfies all general conditions and requirements necessary to have coverage under Section 1 (Maintenance Activities) of the GP-002-WI, Non-Reporting General Permit. The Maintenance Activities section states that the project may not permanently affect more than ½ acre of waters of the United States, including wetlands. Additionally, this non-reporting permit covers the temporary placement and use of mats necessary to conduct these maintenance activities.

2. What do the small yellow dots with a dark center represent? See page 1 of drawings next to 50, 52 and 53.
 - Those are listed in the legend under Construction Methods as Erosion Control Devices. These are areas of proposed EC BMP install. However, final locations and type of EC BMP install will be dependent on site conditions and restoration.
3. Are you reducing the number of poles? If no reduction in number of poles, what is the purpose of the increased pole height?
 - The number of poles are not being reduced.
 - The existing transmission line conductor (wire) is over utilized due to power demands in the area. This has caused the wire to run hotter than ratings standards allow. In order to fix this problem, a thicker conductor will be installed. A thicker conductor will allow the wire to run at safe and reliable temperatures. This thicker conductor is heavier. This increased weight causes existing structures to fail structurally which is why they are being replaced with more sturdy/new structures. These structures are taller because the heavier wire will sag more than the existing wire. In order for the line to meet clearance ratings (how high it is above the ground) the poles need to be slightly higher.
4. If there is a reduction in poles, are you showing all existing poles and which ones are going away?
 - There is no reduction in poles. The new poles will be placed at a maximum 13' away from existing. We attempted to show the existing structures vs. new structure locations on the project plans, however, their slight difference in location was not visible at a scale we could provide. All poles that are currently in wetland areas will be replaced in wetland areas. All poles that are on a particular property will stay on that particular property.
5. If you are replacing wood poles was the wood pole height shown for simple comparison purposes with that representing existing, or are some poles being replaced with wood?

- Yes. The “Typical Existing Tangent” is a drawing of the existing wood pole structure and was provided to show existing structure type and dimension for comparison purposes to new “Typical Tangent Replacement” steel structure drawing. Wood poles are going to steel poles.
6. If the wood pole does not represent the existing pole, what are existing pole heights?
 - Wood pole drawing does represent existing with dimensions.
 7. What is the blue diamond shape object next to pole 50 represent?
 - Those are listed in the legend under Construction Methods as non-navigable waterways. The location near structure 50 is not a State-jurisdictional waterway because there is no water in it at any time of year (including high flow events) capable supporting the smallest floating craft. It also does not have a bed, bank, or any resemblance of an ordinary high water mark. Photos of the area can be provided on request.
 8. Do you have a wetland access plan that is more detailed than your broad description in item c of the cover letter? Detailed description for wetland protection would be helpful.
 - Yes. These are described in more detail in our Erosion Control Permit with the City. This was completed through Rick Eilertson and Felipe Avila. I can forward this onto you per your request.
 9. Does someone on your end assure compliance and daily inspect to assure environmental protection measures are implemented and abided by?
 - Yes and No. This is outlined in the aforementioned Erosion Control Permit as well.
 - Cardno environmental inspectors inspect to assure environmental protection on a weekly basis and after all rainfall events of 0.50” or from project start/kickoff through 70% vegetative regrowth/restoration.
 - Cardno provides Environmental Training sessions for all crew members starting new on this and other projects. These sessions are on-site and specific to the project. Training refresher courses are also conducted when seasons change, new issues or updates need to be communicated, or different phases of the project begin.
 - Henkels & McCoy, the construction contractor for ATC, also has Environmental Staff on board that conduct weekly checks and also attend the Environmental Training sessions.

From: Robb Roos [<mailto:Robb.Roos@cardno.com>]
Sent: Wednesday, October 21, 2015 9:31 AM
To: Thomas Hovel; Susan Badtke
Subject: RE: ATC 6943 Fitchburg to Nine Springs Rebuild Project

Mr. Hovel and Ms. Badtke,

My apologies for not being able to send this out yesterday. I had an urgent matter that put me in the hospital yesterday AM.

Please feel free to communicate with me directly on this permit application if you have any questions. I am back in the office today.

Cheers,

Robb Roos
SENIOR PROJECT SCIENTIST

ENGINEERING & ENVIRONMENTAL SERVICES DIVISION
CARDNO

Direct (+1) 608-661-2955 **Mobile** (+1) 608-301-6455 **Fax** (+1) 608-661-2961
Address 6140 Cottonwood Drive, Suite A, Fitchburg, WI 53719
Email robb.roos@cardno.com **Web** www.cardno.com

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From: Nicole Staskowski
Sent: Tuesday, October 20, 2015 1:55 PM
To: thomas.hovel@fitchburgwi.gov; susan.badtke@fitchburgwi.gov
Cc: Robb Roos
Subject: ATC 6943 Fitchburg to Nine Springs Rebuild Project

On behalf of American Transmission Company (ATC), Cardno is submitting a Conditional Use Permit application for the above referenced project by the October 20 deadline to be reviewed at the City's Plan Commission meeting on November 17, 2015. The 6943 Fitchburg to Nine Springs Rebuild Project includes the replacement of select, existing wood monopole structures with like-type steel monopole structures. A number of structure replacements are anticipated to occur within wetland boundaries identified both in Fitchburg's Wetland Overlay District and by a wetland delineation. The attached application details the project. If you should have any questions, please do not hesitate to contact me or Robb Roos, copied on this email.

We will be hand delivering the permit application and check to your office this afternoon.

Thank you.
Nicole

Nicole Staskowski PWS
SENIOR CONSULTANT | BOTANIST
ENGINEERING & ENVIRONMENTAL SERVICES DIVISION
CARDNO



Direct (+1) 608-661-2955 Ext 3710 **Mobile** (+1) 608-469-9093 **Fax** (+1) 608-661-2961
Address 6140 Cottonwood Drive Suite A, Fitchburg, WI 53719
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CONNECT WITH CARDNO    

70 YEARS of *shaping the future* 1945-2015

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10471-10/21/15

RB



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

REZONING APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the _____ district to the _____ district the following described property:

1. Location of Property/Street Address: 11 Glen Brook Way

Legal Description - (Metes & Bounds, or Lot No. And Plat):

See Attached CS 11

***Also submit in electronic format (MS WORD or plain text) by email to: planning@fitchburgwi.gov

2. Proposed Use of Property - Explanation of Request:

24-unit Condominium

3. Proposed Development Schedule: Jan-Dec 2016

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@fitchburgwi.gov. Additional information may be requested.

Type of Residential Development (If Applicable): PDD Condominium

Total Dwelling Units Proposed: 24 No. Of Parking Stalls: 54

Type of Non-residential Development (If Applicable): _____

Proposed Hours of Operation: 7am - 4pm No. Of Employees: _____

Floor Area: _____ No. Of Parking Stalls: _____

Sewer: Municipal Private Water: Municipal Private

Current Owner of Property: 5509, LLC

Address: 26 Schroeder Ct Madison, WI 53711 Phone No: 608-345-2000

Contact Person: Bill Schiel

Email: Wmschiel@gmail.com

Address: 2450 39 Glen Arbor Way 53711 Phone No: 608-345-2000

Respectfully Submitted By: [Signature] Owner's or Authorized Agent's Signature
 _____ Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: 10/20/15 Publish: _____ and _____

Ordinance Section No. _____ Fee Paid: \$825.00

Permit Request No. P2-2091-15



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Bill Schiel
 Address: 26 Schweden Ct. Phone Number of Contact Person: 608-345-2022
 City, State, Zip Code: Madison, WI 53711 Email of Contact Person: billmschiel@gmail.com
 Project Address: 11 Glen Brook Way Lot: 1 Subdivision: Glen Wood Heights
 Project Type: Multi-Family Commercial Industrial Other
 New Addition

Impervious Surface Ratio (ISR): 31.61% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable) *NK*
- 5. Additional proposed additions or new structures. *NK*
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s). *NK*

Glen Wood Heights
Condominium Village

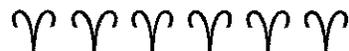
**Architectural Design Review &
Amended SIP Application**

Phase III

11 Glen Brook Way

Fitchburg, WI

October 20, 2015
Amended 11/2/15



Ownership Entity

5509, LLC

Managing Member

William H. Schiel

Developer

Schiel & Associates, Inc.
William H. Schiel
26 Schroeder Ct.
Madison, WI 53711

Architect

Ferch Architecture
David Ferch
2704 Gregory St.
Madison, WI 53711

Landscape Architect

Outdoor Arts Landscape
Erik Bernier
6 Cobblestone Court
Madison, WI 53714

Survey & Civil Engineering

Jenkins Survey & Design, Inc.
Hans Justeson, PE
161 Horizon Dr. #101
Verona, WI 53593

October 20, 2015

To: Steve Arnold, Mayor
Thomas Hovel, Director Planning & Zoning
Susan Badtke, Assistant Director Planning & Zoning
Planning Commission Members

From: William H. Schiel, Schiel & Associates, Inc.

RE: Architectural & Design Approval

Description: Phase III of Glen Wood Heights Condominiums
A 72 unit condominium project located on the south side of Lacy Rd. across from the Community Center.

Zoning: PDD

Use: Development of the final phase of 24 units. Phase I & II are complete and are both 24 unit buildings.

Density: 10.9 units per acre based on 72 units and a site area of 6.61 acres.
13.34 units per acre net of street & park dedication.

Introduction

The GIP/SIP was originally approved in 2005. The approval included the development of three 24-unit buildings. The original CSM, CSM 11459, consisted of 4 lots; two outlots which were dedicated to the City of Fitchburg for park land and 2 developable lots (see attached). The SIP was amended in 2010 when Lot 1 was divided into two legal parcels. A new CSM was created for Lot 1 (Phase III), CSM 12952 (see attached).

Phase I & II have been completed. The buildings are located at 5511 McGann Ln. and 10 Glen Brook Way.

Phase III will be located on Lot 1 (CSM 12952) bordered by Glen Brook Way to the west, Lacy Rd. to the north and McGann Ln. to the south. Access to Phase III is from Glen Brook Way.

The plan has been revised slightly primarily eliminating a surface parking lot and providing additional underground parking. The overall density, impervious surface ratios, utility plans, grading & landscape plan remain primarily unchanged.

The following is attached as a point of reference.

- CSM 1459 as recorded with Dane County
- CSM 12052 as recorded with Dane County

Site Plan & Landscape Plan

The site and landscape plan develop the concept of a peaceful woodland community with 68.39 % of Lot 1 remaining as green space.

	<u>SIP 2005</u>	<u>As Submitted 10/20/2015</u>
<u>Building Size:</u>		
Bldg. #1	65,173 sq. ft.	65,173 Sq. Ft.
Bldg. #2	65,163 sq. ft.	65,163 Sq. Ft.
Bldg. #3 (lot1)	60,477 sq. ft.	67,707 Sq. Ft.

<u>Parking:</u>	<u>Phase III (24 units)</u>		<u>All Phases (72 units)</u>	
Under Ground Parking	47	90%	141	93%
Surface Parking	<u>5</u>	<u>10%</u>	<u>10</u>	<u>7%</u>
Total Parking	52	100%	151	100%

- Note: 1. Parking required for 72 units = 144
2. The original approval consisted of 153 parking stalls with 139 underground stalls and 14 surface parking stalls.

Cross easements for parking on Glen Brook Way exist between lots 1 & 2 and have been recorded with Dane County

Site & Zoning Statistics Lot 1 CSM 12052

<u>Existing Zoning</u>	<u>PDD</u>
Site Acreage	1.69 Acres
Site Area	73,774 sq. ft.
Units/ acre	14.20
Impervious Area	31.61%
Green Area	68.39%

Lot 1, Building #1:

3 stories with partial lower level partially exposed.

		Original	Submitted
Units:	Two Bedroom	18	24
	One Bedroom	<u>6</u>	<u>0</u>
Total		24	24

Square Footage:		Original	Submitted
	Underground Parking	14,750	18,824
	1 st Floor	15,303	16,557
	2 nd Floor	15,212	16,163
	3 rd Floor	<u>15,212</u>	<u>16,163</u>
	Total Square Footage	60,477	67,707

Floor Area Ratio:	Square footage	60,477	67,707
	Lot size	<u>73,774</u>	<u>73,774</u>
	FAR including parking	0.82	0.92
	FAR w/o parking	0.62	0.66

Attachments:

Lacy Ridge Reconfigured CSM – 12952

Lacy Ridge Original CSM – CSM 11459

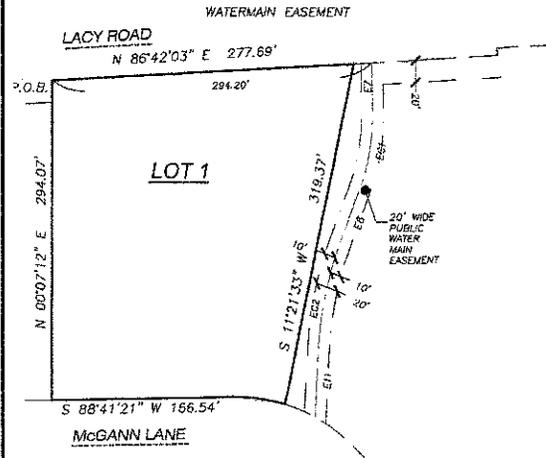
Lacy Ridge Ingress-Egress & Parking Easements

Lacy Ridge Zoning Ordinance

Lacy Ridge – Glen Wood Heights Condominium Plat

CERTIFIED SURVEY MAP NO. 12452

PART OF LOT ONE (1) OF CERTIFIED SURVEY MAP NO. 11459, RECORDED IN VOLUME 69 OF CERTIFIED SURVEY MAPS ON PAGES 316-318 AS DOCUMENT NO. 4079647, LOCATED IN THE NORTHWEST QUARTER (NW 1/4), OF THE NORTHWEST QUARTER (NW 1/4), SECTION FIFTEEN (15), TOWN SIX NORTH (T6N), RANGE NINE EAST (R9E), CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.



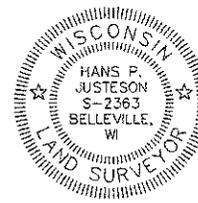
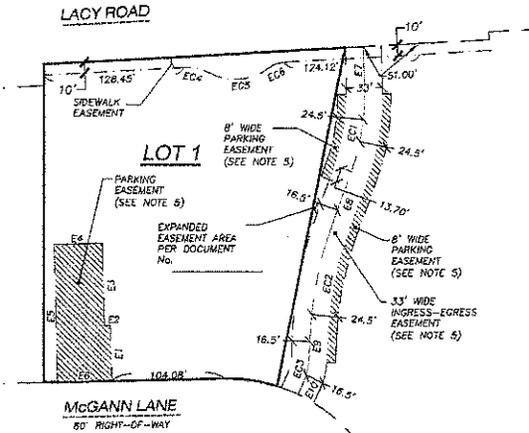
GENERAL NOTES:

- BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 18, T6N, R9E, RECORDED AS NORTH 88°42'03" EAST.
- FIELD WORK FOR THIS SURVEY WAS PERFORMED BY JENKINS SURVEY & DESIGN ON AUGUST 30, 2004.
- CSM No. 11459 HAS APPROVED PLANNED DEVELOPMENT DISTRICT GENERAL IMPLEMENTATION PLAN ZONING IN ACCORDANCE WITH CITY OF FITCHBURG ORDINANCE 2004-0-23. THIS CSM PDD ZONING WAS AMENDED BY ORDINANCE 2010-0-12 TO ALLOW THIS LAND DIVISION.
- LOT ONE SHALL HAVE NO VEHICULAR ACCESS TO LACY ROAD EXCEPT THROUGH THE INGRESS EGRESS EASEMENT SHOWN HEREON.
- INGRESS-EGRESS EASEMENT AND PARKING EASEMENT WERE RECORDED ON OCTOBER 8, 2004 AS DOCUMENT NUMBER 3876776, AMENDED PER DOCUMENT No. _____

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	DISTANCE
EC1	200.00'	73.37'	21°01'06"	37.10'	S 09°21'28" W	72.96'
EC2	350.00'	104.87'	17°16'04"	82.83'	S 11°57'01" W	104.46'
EC3	80.00'	19.79'	22°34'39"	9.98'	S 13°59'18" W	19.58'
EC4	49.00'	16.79'	26°09'31"	13.20'	S 7°13'11" E	25.66'
EC5	51.00'	57.97'	63°07'20"	32.57'	N 84°17'54" E	54.90'
EC6	24.00'	14.65'	34°57'49"	7.59'	N 68°13'09" E	14.42'

LINE	BEARING	DISTANCE
E1	N 01°18'30" W	51.15'
E2	S 88°41'21" W	5.50'
E3	N 01°18'30" W	76.81'
E4	S 88°41'21" W	44.50'
E5	S 01°18'39" E	126.96'
E6	N 88°41'21" E	50.00'
E7	S 01°09'07" E	43.88'
E8	S 18°52'03" E	51.87'
E9	S 02°41'59" W	23.93'
E10	S 29°16'57" W	12.73'
E11	S 02°41'59" W	58.83'

INGRESS-EGRESS AND PARKING EASEMENT

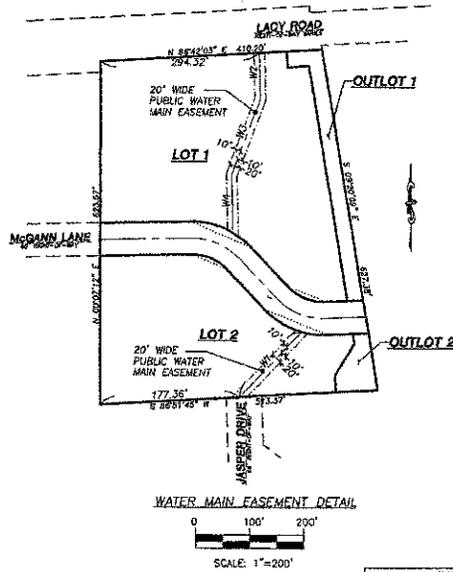


PREPARED BY: JSD Professional Services, Inc. 181 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 PHONE: (608)246-5080	SURVEYED FOR: LACY RIDGE LLC. BILL SCHIEL 2927 S. FISH HATCHERY ROAD FITCHBURG, WI 53711	PROJECT NO.: 04-1560 FILE NO.: B-178 FIELDBOOK/PG: 161/52 SHEET NO.: 2 OF 4	SURVEYED BY: <u>MSO</u> DRAWN BY: <u>MSO</u> CHECKED BY: <u>JK</u> APPROVED BY: <u>HPV</u>
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C.S.M. NO. 12452
DOC. NO. _____
VOL. _____ PAGE _____

CERTIFIED SURVEY MAP NO.

PART OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION FIFTEEN (15), TOWN SIX NORTH (T6N), RANGE NINE EAST (R9E), CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



- GENERAL NOTES:**
1. BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 15, T6N, R9E, RECORDED AS NORTH 86°42'03\"/>

LINE	BEARING	DISTANCE
W1	N 44°08'23\"/>	
W2	S 01°09'07\"/>	
W3	S 21°20'53\"/>	
W4	S 01°09'07\"/>	

LINE	BEARING	DISTANCE
E1	N 01°18'39\"/>	
E2	S 88°41'21\"/>	
E3	N 01°18'39\"/>	
E4	S 88°41'21\"/>	
E5	S 01°18'39\"/>	
E6	N 88°41'21\"/>	
E7	S 01°09'07\"/>	
E8	S 10°52'03\"/>	
E9	S 02°41'59\"/>	
E10	S 22°16'37\"/>	

CURVE NO.	RADIUS	LENGTH	DELTA	TANGENT	BEARING	DISTANCE
EC1	200.00'	73.37'	21°01'09\"/>			
EC2	350.00'	104.87'	17°19'04\"/>			
EC3	50.00'	19.70'	22°34'39\"/>			

LEGAL DESCRIPTION (FURNISHED)

A PARCEL OF LAND LOCATED IN NW 1/4 OF THE NW 1/4 OF SECTION 15, T6N, R9E, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NW CORNER OF SAID SECTION 15; THENCE N 86°42'03\"/>

THENCE N 86°42'03\"/>

SURVEYOR'S CERTIFICATE

I, DAVE M. JENKINS, REGISTERED LAND SURVEYOR, S-2255, DO HEREBY CERTIFY THAT THIS CERTIFIED SURVEY MAP IS IN FULL COMPLIANCE WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND WITH ALL PROVISIONS OF CHAPTER 15.06 OF THE CITY OF FITCHBURG LAND DIVISION ORDINANCE. I ALSO CERTIFY THAT I HAVE SURVEYED, DIVIDED, AND MAPPED THE LANDS DESCRIBED HEREIN AND THAT THE CERTIFIED SURVEY MAP IS A CORRECT REPRESENTATION IN ACCORDANCE WITH THE INFORMATION PROVIDED.

DAVE M. JENKINS, S-2255
REGISTERED LAND SURVEYOR

DATE

JSD
Jenkins Survey & Design, Inc.
161 Horizon Drive, Suite #101
Verona, Wisconsin 53593
608-448-3080

SURVEYED FOR
BILL SCHIEL
14 WOOD BROOK WAY
MADISON, WISCONSIN 53711

C.S.M. NO. _____
DOC. NO. _____
VOL. _____ PAGE _____

CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION FIFTEEN (15), TOWN SIX NORTH (T6N), RANGE NINE EAST (R9E), CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

CORPORATE OWNER'S CERTIFICATE

LACY RIDGE, LLC, A WISCONSIN LIMITED LIABILITY CORPORATION, DOES HEREBY CERTIFY THAT SAID CORPORATION CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED HEREON AND THAT THIS CERTIFIED SURVEY MAP MUST BE SUBMITTED TO THE FITCHBURG CITY COUNCIL FOR APPROVAL.

IN WITNESS WHEREOF, SAID LACY RIDGE, LLC HAS CAUSED THESE PRESENTS TO BE SIGNED BY WILLIAM H. SCHIEL, ITS MANAGING MEMBER, THIS _____ DAY OF _____, 2004.

WILLIAM H. SCHIEL, MANAGING MEMBER
LACY RIDGE, LLC.

NOTARY PUBLIC, DANE COUNTY, WISCONSIN

STATE OF WISCONSIN }
DANE COUNTY } SS.

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2004, WILLIAM H. SCHIEL, MANAGING MEMBER OF LACY RIDGE, LLC, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN _____

MY COMMISSION EXPIRES _____

CONSENT OF CORPORATE MORTGAGEE

TOWN BANK OF MADISON, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, MORTGAGEE OF THE ABOVE DESCRIBED LAND, CONSENTS TO THE SURVEYING, DIVIDING, MAPPING, RESTRICTING AND DEDICATION OF THE LAND DESCRIBED IN THE FOREGOING CERTIFICATE OF DAVE M. JENKINS, REGISTERED LAND SURVEYOR, AND CONSENTS TO THE ABOVE CERTIFICATE OF LACY RIDGE, LLC, OWNER.

IN WITNESS WHEREOF, TOWN BANK OF MADISON HAS CAUSED THESE PRESENTS TO BE SIGNED BY DENNIS J. HAEFER, ITS MARKET PRESIDENT AT MADISON, WISCONSIN, THIS _____ DAY OF _____, 2004.

DENNIS J. HAEFER, MARKET PRESIDENT
TOWN BANK OF MADISON

NOTARY PUBLIC

STATE OF WISCONSIN }
DANE COUNTY } SS.

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2004, THE ABOVE NAMED DENNIS J. HAEFER, TO ME KNOWN AS THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN _____

MY COMMISSION EXPIRES _____

CITY OF FITCHBURG APPROVAL

THIS CERTIFIED SURVEY MAP, INCLUDING ANY DEDICATIONS SHOWN THEREON, HAS BEEN DULY FILED WITH AND APPROVED BY THE CITY COUNCIL OF THE CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

CITY OF FITCHBURG

DANE COUNTY REGISTER OF DEEDS

RECEIVED FOR RECORDING THIS _____ DAY OF _____, 2004 AT _____ O'CLOCK
_____ M. AND RECORDED IN VOLUME _____ OF DANE COUNTY CERTIFIED SURVEYS ON PAGES
_____ THROUGH _____ AS DOCUMENT NUMBER _____, CERTIFIED SURVEY MAP NUMBER _____.

JANE C. LICHT
REGISTER OF DEEDS

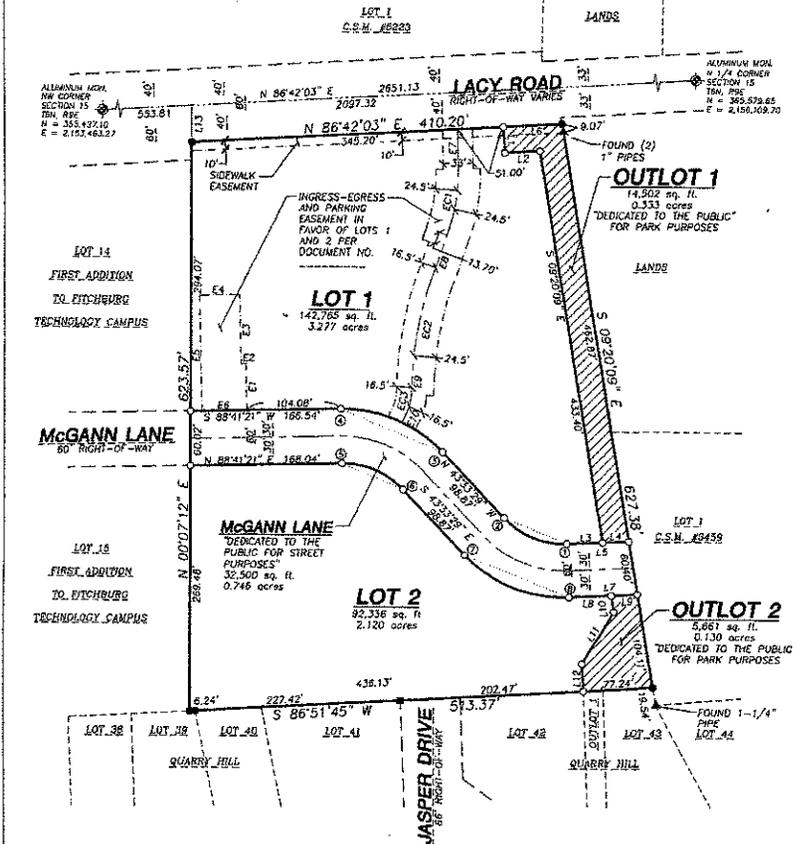
JSD
JSD
Land Survey & Design, Inc.
161 Markon Drive, Suite #101
Verona, Wisconsin 53593
608-948-3080

SURVEYED FOR
BILL SCHIEL
14 WOOD BROOK WAY
MADISON, WISCONSIN 53711

C.S.M. NO. _____
DOC. NO. _____
VOL. _____ PAGE _____

CERTIFIED SURVEY MAP NO.

PART OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION FIFTEEN (15), TOWN SIX NORTH (16N), RANGE NINE EAST (R9E), CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



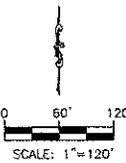
- LEGEND:**
- SET REBAR 3/4" X 24" (1.50 lbs/ft)
 - FOUND 3/4" IRON BAR
 - FOUND 1-1/4" IRON BAR
 - ▲ FOUND MONUMENT (SEE NOTE)
 - ⊕ SECTION CORNER MONUMENT
 - PROPERTY LINE
 - - - PLATTED LOT LINE
 - - - RIGHT-OF-WAY LINE
 - - - SECTION LINE
 - - - EASEMENT LINE
 - - - DEDICATED TO THE PUBLIC FOR PARK PURPOSES

CURVE TABLE

CURVE NO.	RADIUS	LENGTH	DELTA	TANGENT	BEARING	DISTANCE
1-2	80.00'	77.13'	49°06'22"	41.12'	N 68°07'40" W	74.84'
3-4	150.00'	123.02'	73°45'10"	62.40'	N 67°26'04" W	121.43'
5-6	90.00'	75.01'	47°45'10"	39.84'	S 67°26'04" E	72.89'
7-8	150.00'	128.65'	49°06'22"	68.56'	S 68°07'40" E	124.74'

LINE TABLE

LINE	BEARING	DISTANCE
1	S 03°17'53" E	28.00'
2	N 86°42'03" E	38.57'
3	S 87°18'09" W	32.89'
4	S 87°18'09" W	29.20'
5	N 87°18'09" E	63.09'
6	N 68°42'03" E	65.00'
7	S 87°18'09" W	75.07'
8	N 82°18'08" E	26.67'
9	N 82°18'08" E	29.50'
10	S 08°20'09" E	18.53'
11	S 31°48'20" E	62.78'
12	S 01°09'18" E	30.07'
13	S 06°07'12" W	40.07'



* SEE SHEET 2 FOR GENERAL NOTES AND WATER MAIN EASEMENT DETAIL
 * SEE SHEET 2 FOR INGRESS-EGRESS AND PARKING EASEMENT DATA

JSD
 JSD Survey & Mapping, Inc.
 181 Harvard Drive, Suite #101
 Verona, Wisconsin 53593
 608-948-6060

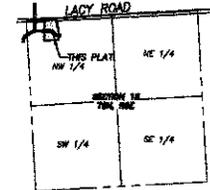
SURVEYED FOR
 BILL SCHIEL
 14 WOOD BROOK WAY
 MADISON, WISCONSIN 53711

SHEET 1 OF 3

C.S.M. NO. _____
 DOC. NO. _____
 VOL. _____ PAGE _____

GLEN WOOD HEIGHTS CONDOMINIUM PLAT

A PARCEL OF LAND BEING LOT TWO (2) OF CERTIFIED SURVEY MAP NO. 11459, RECORDED IN VOLUME 69 OF CERTIFIED SURVEY MAPS ON PAGES 316-318 AS DOCUMENT NO. 4079647, LOCATED IN THE NORTHWEST QUARTER (NW ¼), SECTION FIFTEEN (15), TOWN SIX NORTH (T6N), RANGE NINE EAST (R9E), CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.



LOCATION MAP
SCALE: 1"=3000'

LEGEND:

- ◆ SECTION CORNER
- PROPERTY CORNER FOUND (1/4" DIA. REBAR)
- 1.50 Iba./Anchor PL.
- FOUND 1-1/4" IRON BAR
- ▲ FOUND MONUMENT (SEE NOTE)
- PROPERTY LINE (CONDOMINIUM)
- - - PROPERTY LINE (EXPANDABLE AREA)
- - - EASEMENTS LINE
- PLATTED LINE
- SECTION LINE
- RIGHT-OF-WAY LINE
- PRIVATE ROAD/SIDE WALK
- EXISTING FOUNDATION
- PROPOSED FOUNDATION

CURVE NO	RADIUS	LENGTH	DELTA	TANGENT	BEARING	DISTANCE
1-2	80.00'	77.19'	49°08'22"	41.15'	N 68°07'40" W	74.84'
3-4	150.00'	125.02'	47°45'10"	68.40'	N 67°25'04" W	121.43'
5-6	80.00'	75.01'	47°45'10"	39.84'	S 67°26'04" E	72.86'
7-8	150.00'	128.65'	49°08'22"	68.58'	S 68°07'40" E	124.74'

LINE	LENGTH	BEARING
L1	28.00	S 031°19'57" E
L2	38.91	N 88°42'03" E
L3	38.89	N 67°18'09" E
L4	46.87	N 87°18'09" E
L5	18.23	S 09°20'09" E
L6	67.78	S 31°45'20" W
L7	30.00	S 03°08'16" E

LEGAL DESCRIPTION - CONDOMINIUM AREA:

A PARCEL OF LAND BEING LOT TWO (2), CERTIFIED SURVEY MAP NO. 11459, RECORDED IN VOLUME 69 OF CERTIFIED SURVEY MAPS ON PAGES 316-318 AS DOCUMENT NO. 4079647, LOCATED IN THE NORTHWEST QUARTER (NW ¼), SECTION FIFTEEN (15), TOWN SIX NORTH (T6N), RANGE NINE EAST (R9E), CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

SAID PARCEL CONTAINS 92,338 SQUARE FEET OR 2.120 ACRES.

LEGAL DESCRIPTION - EXPANDABLE AREA:

A PARCEL OF LAND BEING LOT ONE (1), CERTIFIED SURVEY MAP NO. 11459, RECORDED IN VOLUME 69 OF CERTIFIED SURVEY MAPS ON PAGES 316-318 AS DOCUMENT NO. 4079647, LOCATED IN THE NORTHWEST QUARTER (NW ¼), SECTION FIFTEEN (15), TOWN SIX NORTH (T6N), RANGE NINE EAST (R9E), CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

SAID PARCEL CONTAINS 142,785 SQUARE FEET OR 3.277 ACRES.

NOTES:

- UNITS 101-112 AND 201-212 ARE DECLARED AS SHOWN ON THIS CONDOMINIUM PLAT.
- THE FOLLOWING ARE LIMITED COMMON ELEMENTS: THE EXTERIOR PORCH OF EACH UNIT, STORAGE AREAS AND PARKING STALLS IN PARKING GARAGE.
- ALL AREAS AND FEATURES ARE CONDOMINIUM COMMON ELEMENTS UNLESS OTHERWISE NOTED AS LIMITED COMMON ELEMENTS OR UNITS.
- BEARINGS ARE REFERENCED TO CERTIFIED SURVEY MAP NO. 11459, RECORDED IN VOLUME 69 ON PAGES 316-318 AS DOCUMENT NO. 4079647.
- INGRESS-EGRESS EASEMENT AND PARKING EASEMENT WERE RECORDED ON OCTOBER 8, 2004 AS DOCUMENT NUMBER 3978775.
- UTILITY AND SIDEWALK EASEMENTS PER CERTIFIED SURVEY MAP NO. 11459, RECORDED IN VOLUME 69 OF CERTIFIED SURVEY MAPS ON PAGES 316-318 AS DOCUMENT NO. 4079647.

SURVEYOR'S CERTIFICATE:

I, DAVE M. JENKINS, WISCONSIN LAND SURVEYOR S-2255, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS A CORRECT REPRESENTATION OF THE CONDOMINIUM PLAT DESCRIBED AND FURTHER THAT THE BUILDING LOCATIONS AND FLOOR PLANS ARE REPRODUCED FROM PLANS FURNISHED BY THE DECLARANT'S ARCHITECT AND THAT THE IDENTIFICATION AND LOCATION OF EACH UNIT AND THE COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT.

DATED THIS ____ DAY OF _____, 2008.

DAVE M. JENKINS
REGISTERED LAND SURVEYOR S-2255
DANE COUNTY REGISTER OF DEEDS

RECEIVED FOR RECORDING THIS ____ DAY OF _____,
2008 AT ____ O'CLOCK ____ M. AND RECORDED
IN VOLUME ____ OF CONDOMINIUM PLATS
ON PAGES ____ THRU ____ AS DOCUMENT
NUMBER _____.

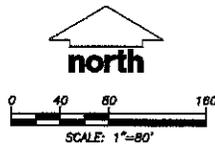
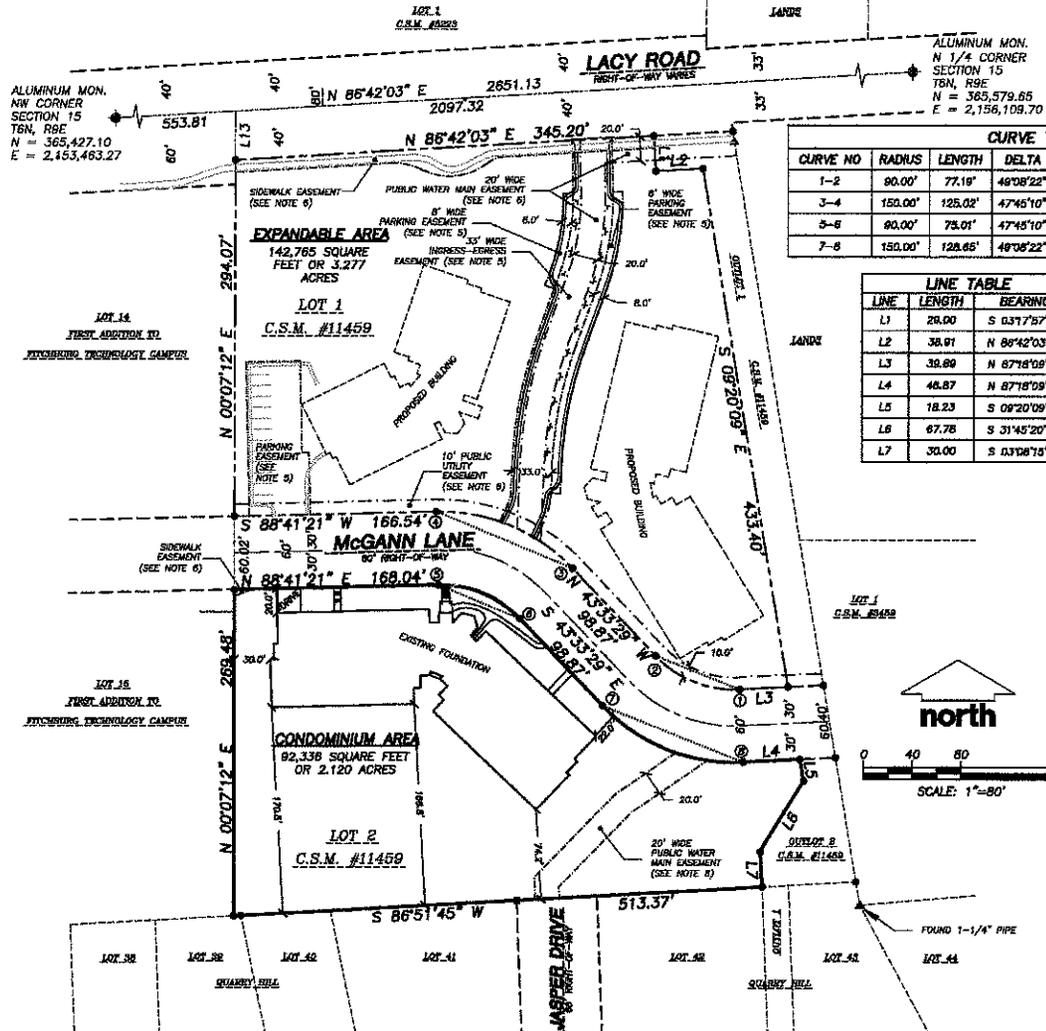
JANE C. LICHT, REGISTER OF DEEDS
DANE COUNTY, WISCONSIN

SURVEYED FOR:
SCHIEL & ASSOCIATES
82 WOOD BROOK WAY
MADISON, WISCONSIN 53711

JSD • Engineers • Surveyors
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161 HORIZON DRIVE, SUITE 101
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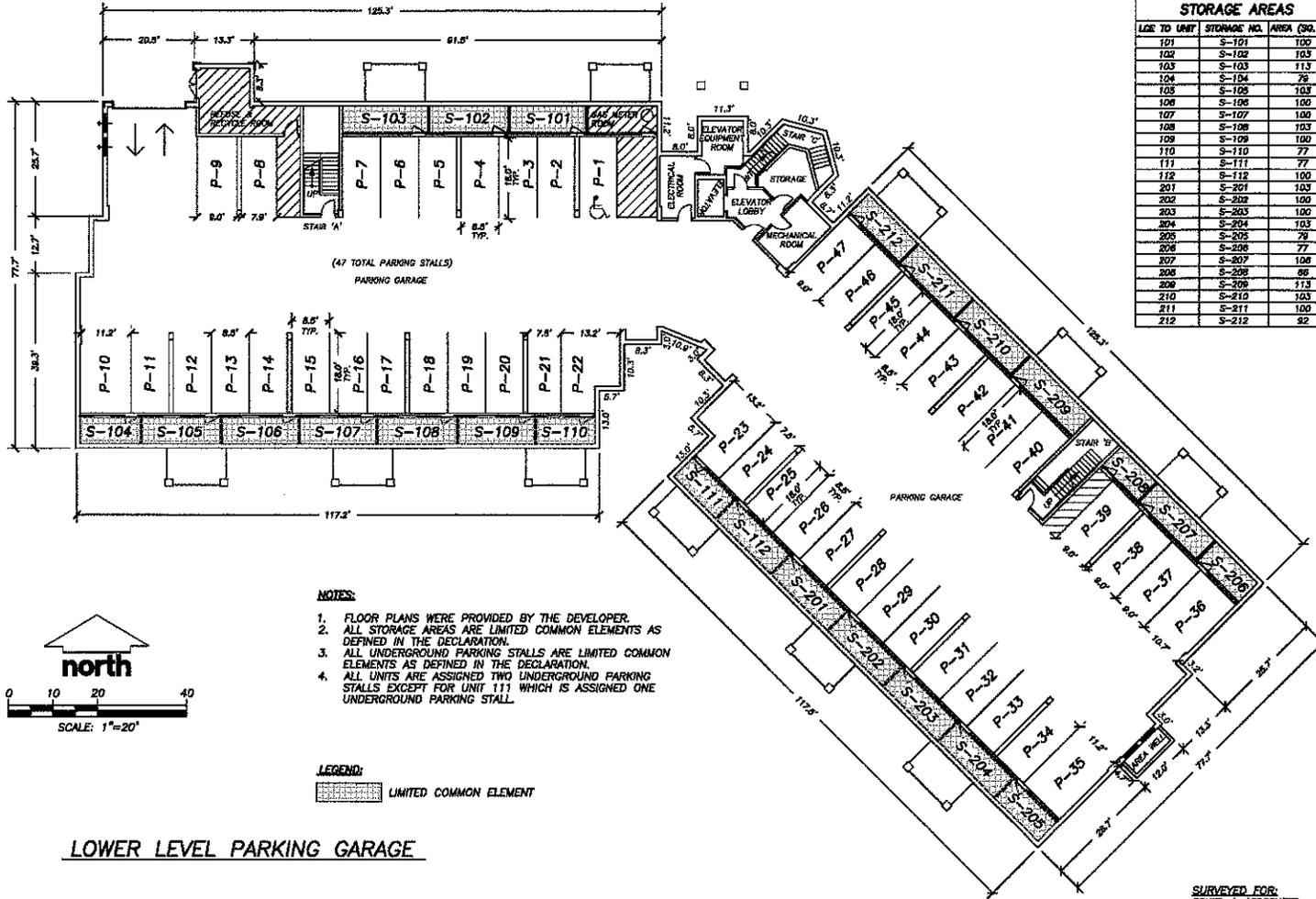
SHEET 1 OF 4



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GLEN WOOD HEIGHTS CONDOMINIUM PLAT

A PARCEL OF LAND BEING LOT ONE (1) OF CERTIFIED SURVEY MAP NO. 11459, RECORDED IN VOLUME 69 OF CERTIFIED SURVEY MAPS ON PAGES 316-318 AS DOCUMENT NO. 4079647, LOCATED IN THE NORTHWEST QUARTER (NW ¼), SECTION FIFTEEN (15), TOWN SIX NORTH (T6N), RANGE NINE EAST (R9E), CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.



STORAGE AREAS		
LOC TO UNIT	STORAGE NO.	AREA (SQ. FT.)
101	S-101	100
102	S-102	103
103	S-103	113
104	S-104	76
105	S-105	103
106	S-106	100
107	S-107	100
108	S-108	103
109	S-109	100
110	S-110	77
111	S-111	77
112	S-112	100
201	S-201	103
202	S-202	100
203	S-203	100
204	S-204	103
205	S-205	79
206	S-206	77
207	S-207	100
208	S-208	86
209	S-209	113
210	S-210	103
211	S-211	100
212	S-212	82

PARKING STALL AREAS		
LOC TO UNIT	STALL NO.	AREA (SQ. FT.)
101	P-1	153
101	P-3	153
102	P-4	153
102	P-5	153
103	P-6	153
103	P-7	200
104	P-10	153
104	P-11	153
109	P-12	153
109	P-13	153
109	P-14	153
109	P-15	153
107	P-16	153
107	P-17	153
109	P-18	153
109	P-19	153
109	P-20	153
109	P-21	153
110	P-22	202
111	P-1	153
111	P-23	202
112	P-24	135
112	P-25	153
201	P-26	153
201	P-27	153
202	P-28	153
202	P-29	153
203	P-30	153
203	P-31	153
204	P-32	153
204	P-33	153
205	P-34	153
205	P-35	200
206	P-36	190
206	P-37	152
207	P-38	182
207	P-39	182
208	P-6	143
208	P-9	182
209	P-40	153
209	P-41	153
210	P-42	153
210	P-43	153
211	P-44	153
211	P-45	153
212	P-46	153
212	P-47	182

- NOTES:**
- FLOOR PLANS WERE PROVIDED BY THE DEVELOPER.
 - ALL STORAGE AREAS ARE LIMITED COMMON ELEMENTS AS DEFINED IN THE DECLARATION.
 - ALL UNDERGROUND PARKING STALLS ARE LIMITED COMMON ELEMENTS AS DEFINED IN THE DECLARATION.
 - ALL UNITS ARE ASSIGNED TWO UNDERGROUND PARKING STALLS EXCEPT FOR UNIT 111 WHICH IS ASSIGNED ONE UNDERGROUND PARKING STALL.

LEGEND:
 LIMITED COMMON ELEMENT

LOWER LEVEL PARKING GARAGE

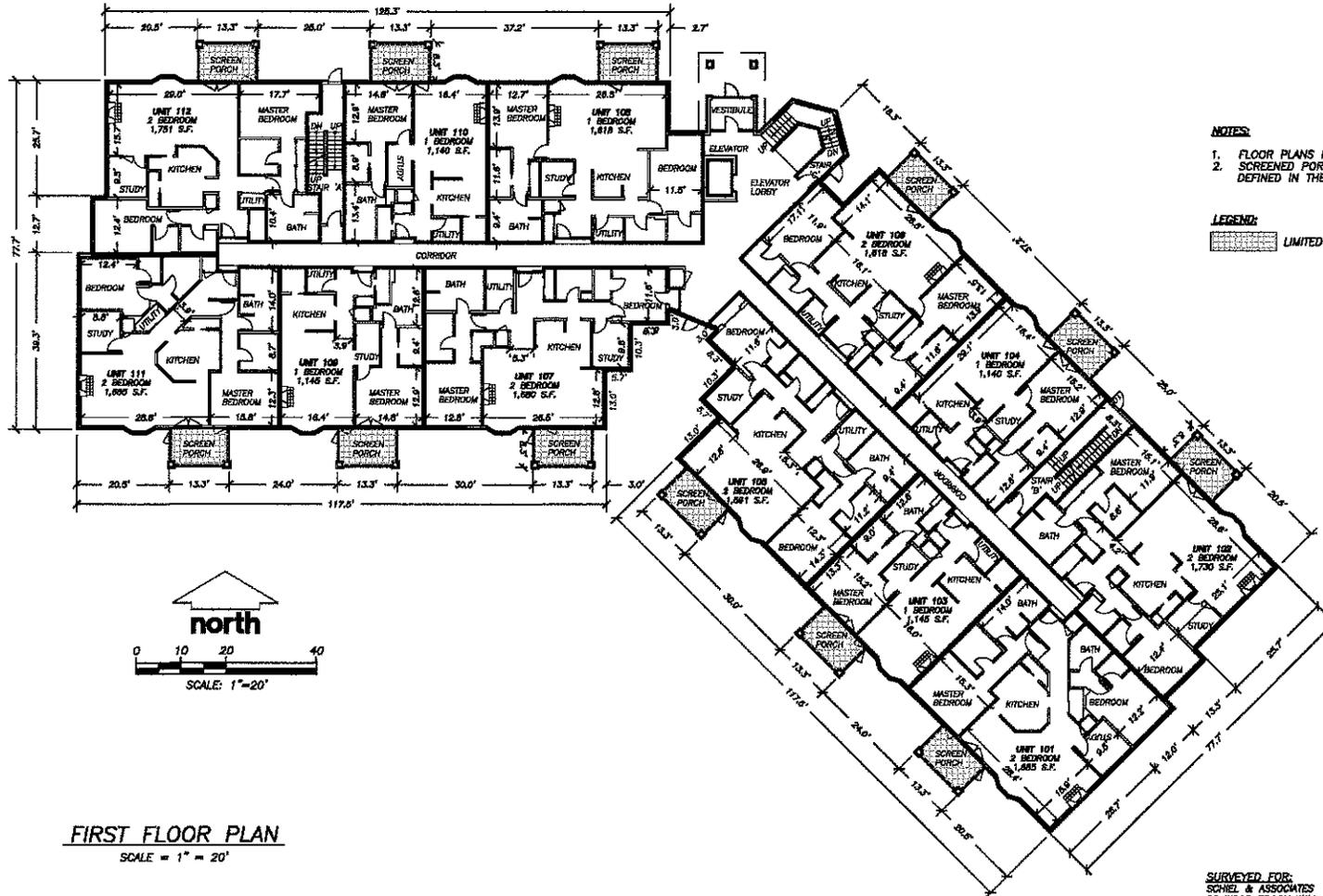
JSD • Engineers • Surveyors
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SURVEYED FOR:
 SCHEEL & ASSOCIATES
 82 WOOD BROOK WAY
 MADISON, WISCONSIN 53711

161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5080

GLEN WOOD HEIGHTS CONDOMINIUM PLAT

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- NOTES:**
1. FLOOR PLANS FOR WERE PROVIDED BY THE DEVELOPER.
 2. SCREENED PORCHES ARE LIMITED COMMON ELEMENTS AS DEFINED IN THE DECLARATION.

LEGEND:
 LIMITED COMMON ELEMENT

FIRST FLOOR PLAN
 SCALE = 1" = 20'

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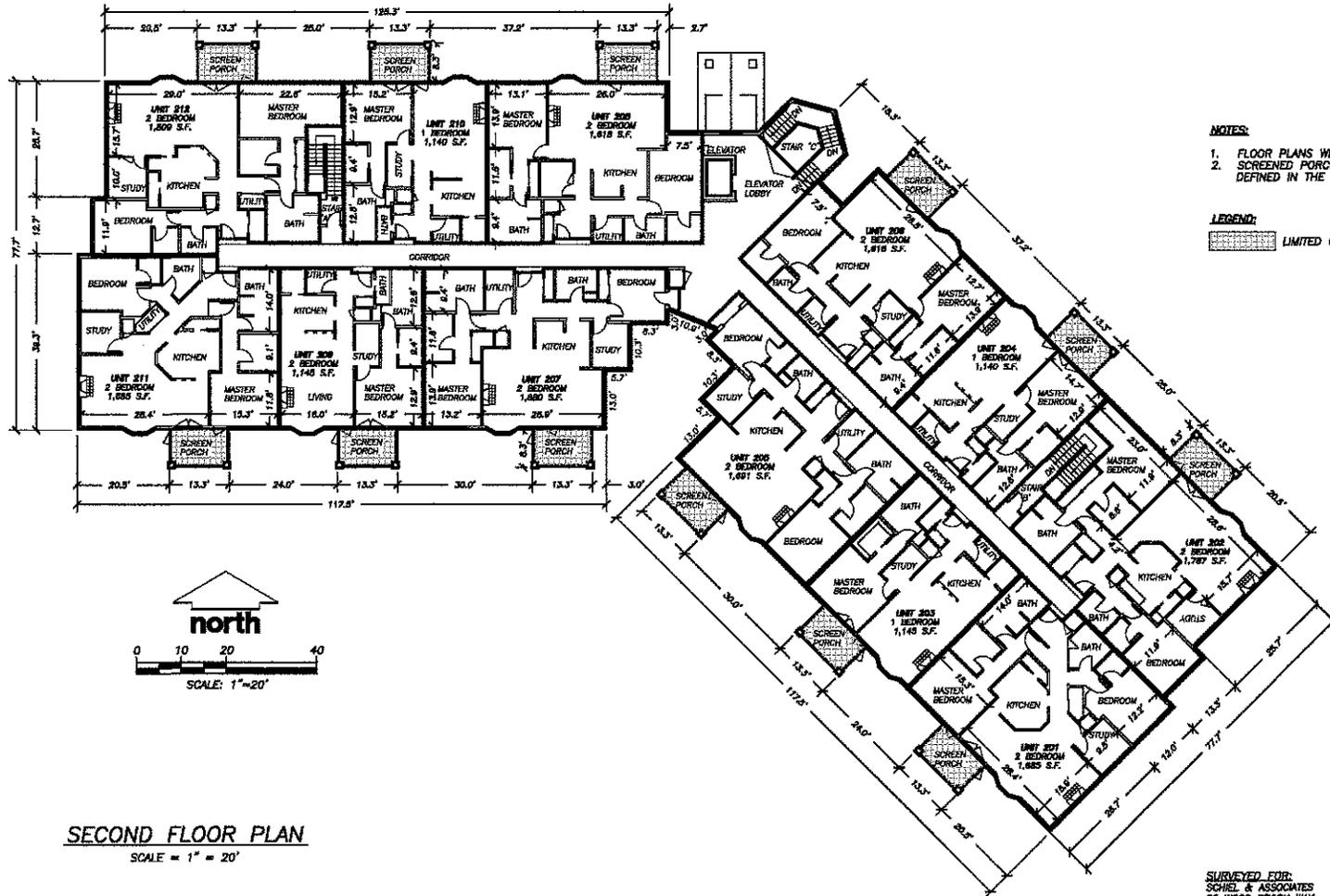
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GLEN WOOD HEIGHTS CONDOMINIUM PLAT

A PARCEL OF LAND BEING LOT ONE (1) OF CERTIFIED SURVEY MAP NO. 11459, RECORDED IN VOLUME 69 OF CERTIFIED SURVEY MAPS ON PAGES 316-318 AS DOCUMENT NO. 4078647, LOCATED IN THE NORTHWEST QUARTER (NW ¼), SECTION FIFTEEN (15), TOWN SIX NORTH (T6N), RANGE NINE EAST (R9E), CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.



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SHEET 4 OF 4

GLEN WOOD HEIGHTS

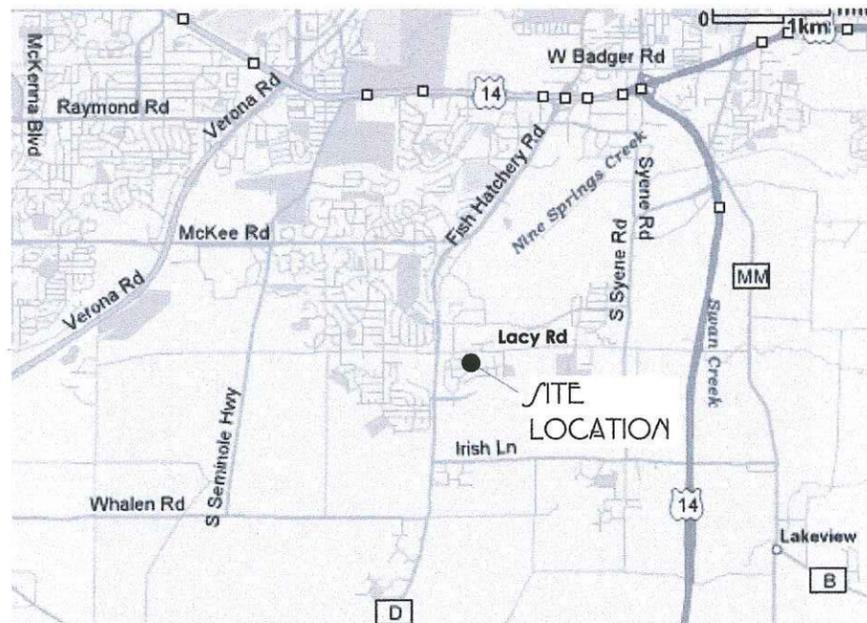
CONDOMINIUM HOMES

AMENDED FOR BUILDING #1

SIP & ARCHITECTURAL DESIGN REVIEW SUBMITTAL

SHEET INDEX:

T1	TITLE SHEET	
L1	LANDSCAPE PLAN	
L2	LANDSCAPE SCHEDULE	REFERENCE DRAWINGS FROM ORIGINAL SUBMITTAL (9/26/05):
D1	SITE DEMOLITION PLAN	O-C1 SITE PLAN
C1	SITE PLAN	O-C2 GRADING PLAN
C2	GRADING PLAN	O-C3 UTILITY PLAN
C3	UTILITY PLAN	O-L1 LANDSCAPE PLAN
C4	EROSION CONTROL PLAN	
A1	LOWER LEVEL - BUILDING #1	O-A4 LOWER LEVEL - BUILDING #1
A2	1/2 FLOOR PLAN - BUILDING #1	O-A5 1/2 FLOOR PLAN - BUILDING #1
A3	2ND & 3RD FLOOR PLAN BUILDING #1	O-A6 2ND & 3RD FLOOR PLAN BUILDING #1
A4	BUILDING ELEVATIONS - BUILDING #1	O-A9 BUILDING ELEVATIONS - BUILDING #1
A5	BUILDING ELEVATIONS - BUILDING #1	O-A10 BUILDING ELEVATIONS - BUILDING #1



LOCATION MAP

SITE STATISTICS

EXISTING ZONING:	PDD
SITE ACREAGE:	287,776 /SQ. FT. (6.61 ACRES)
PROPOSED STREET DEDICATION:	32,500 /SQ. FT. (0.75 ACRES)
PROPOSED PARKING DEDICATION:	20,163 /SQ. FT. (0.46 ACRES)

NORTH LOT:	
UNITS / ACRE:	13.3 UNITS / ACRE
IMPERVIOUS AREA:	38.3 %
GREEN AREA:	61.7 %
FAR:	0.57

SOUTH LOT:	
UNITS / ACRE:	10.7 UNITS / ACRE
IMPERVIOUS AREA:	23.7 %
GREEN AREA:	76.3 %
FAR:	0.45

PARKING:	
UNDERGROUND - BUILDING #1:	32 47
UNDERGROUND - BUILDING #2:	47
UNDERGROUND - BUILDING #3:	47
SURFACE PARKING LOT:	13 0
PRIVATE STREET PARKING:	14 10
TOTAL PARKING:	153 151

BUILDING STATISTICS

BUILDING #1	(0 - 1 BEDROOM, 24 - 2 BEDROOM)
UNITS:	24 (6 - 1 BEDROOM, 18 - 2 BEDROOM)
STORIES:	3 /STORIES WITH PARTIAL LOWER LEVEL EXPOSED
CONDOMINIUM /SQ. FOOTAGE:	46,111 /SQ. FT. 48,883 /SQ. FT.
UNDERGROUND PARKING /SQ. FOOTAGE:	14,750 /SQ. FT. 18,824 /SQ. FT. (INCLUDING SCREEN PORCHES)
TOTAL /SQ. FOOTAGE:	60,861 /SQ. FT. 67,707 /SQ. FT.

BUILDING CONSTRUCTION TYPE: SA WOOD FRAME PROTECTED.
COMPLETE SPRINKLER SYSTEM PER NFPA 13R

BUILDING #2	(8 - 1 BEDROOM, 16 - 2 BEDROOM)
UNITS:	24 (8 - 1 BEDROOM, 16 - 2 BEDROOM)
STORIES:	2 /STORIES WITH PARTIAL LOWER LEVEL EXPOSED
CONDOMINIUM /SQ. FOOTAGE:	44,083 /SQ. FT.
UNDERGROUND PARKING /SQ. FOOTAGE:	21,080 /SQ. FT.
TOTAL /SQ. FOOTAGE:	65,163 /SQ. FT.

BUILDING #3	(8 - 1 BEDROOM, 16 - 2 BEDROOM)
UNITS:	24 (8 - 1 BEDROOM, 16 - 2 BEDROOM)
STORIES:	2 /STORIES WITH PARTIAL LOWER LEVEL EXPOSED
CONDOMINIUM /SQ. FOOTAGE:	44,083 /SQ. FT.
UNDERGROUND PARKING /SQ. FOOTAGE:	21,080 /SQ. FT.
TOTAL /SQ. FOOTAGE:	65,163 /SQ. FT.

TOTAL PROJECT COUNT:	
TOTAL UNITS: (BUILDINGS #1, #2, #3)	72 UNITS
TWO BEDROOM UNITS:	56 69.5 % 77.7 %
ONE BEDROOM UNITS:	16 22.2 % 22.3 %

AMENDED LOT AREA - BUILDING #1 CSM:

LOT AREA: 73,784 SQ. FT. = 1.69 ACRES

	ORIGINAL SIP	AMENDED PLAN
BUILDING FOOTPRINT:	14,750 SQ. FT.	18,824 SQ. FT.
IMPERVIOUS PAVEMENT:	9,068 SQ. FT.	4,498 SQ. FT.
IMPERVIOUS TOTAL:	23,818 SQ. FT.	23,322 SQ. FT.
PERVIOUS AREA:	49,966 SQ. FT.	50,462 SQ. FT.
IMPERVIOUS SURFACE RATIO:	32.28 %	31.61 %

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

11 GLEN BROOK WAY
FITCHBURG, WI 53711

ARCHITECT:
FERCH ARCHITECTURE
2704 GREGORY STREET,
MADISON, WI 53711
(608) 258-6900
david@fercharchitecture.com

DATE:	ISSUE:

REV. 11/2/15
10/19/15
9/26/05

DATE: SHEET:

T1

BRASS CAP MON.
NW CORNER
SECTION 15
T6N, R9E
N = 365,427.10
E = 2,153,463.27

LACY ROAD
RIGHT-OF-WAY VARIES

CENTERLINE

GLEN WOOD HEIGHTS

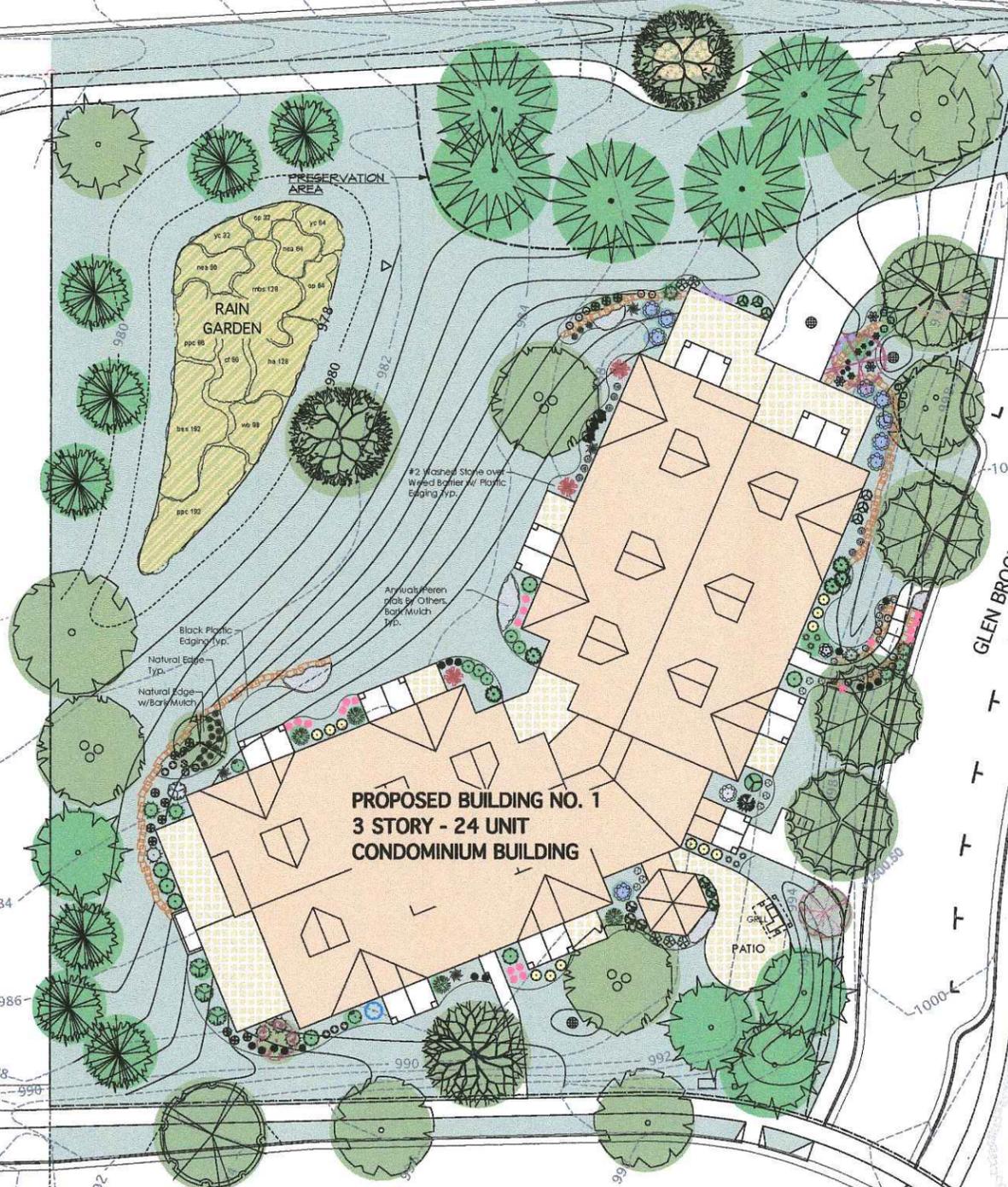
CONDOMINIUM HOMES

11 GLEN BROOK WAY
FTCHBURG, WI 53711

ARCHITECT:
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DATE: ISSUE:

Landscape:
BOA
OUTDOOR ARTS
LANDSCAPE
Outdoor Arts
Madison, WI
(608) 395-1510
outdoorartslandscape.com



PROPOSED BUILDING NO. 1
3 STORY - 24 UNIT
CONDOMINIUM BUILDING

EXISTING BUILDING NO. 2
2 STORY - 24 UNIT
CONDOMINIUM BUILDING
(10 GLEN BROOK WAY)

EXISTING BUILDING NO. 3:
2 STORY - 24 UNIT
CONDOMINIUM BUILDING
(5511 MC GANN LANE)

LANDSCAPE PLAN



REV. 11/2/15
10/19/15
DATE: SHEET:

L1

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

11 GLEN BROOK WAY
FITCHEBURG, WI 53711

ARCHITECT:
FERCH ARCHITECTURE
2704 Gregory Street,
Madison, WI 53711
(608) 238-6800
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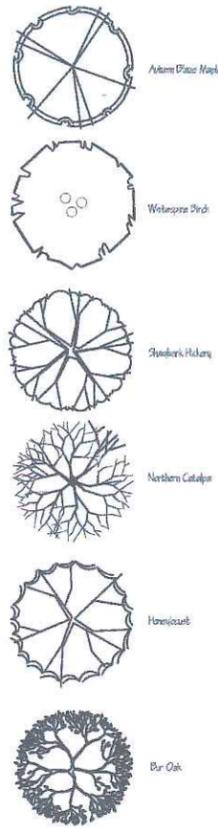
Landscape:



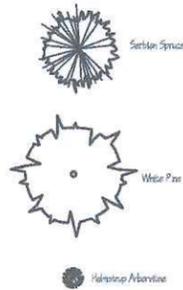
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DATE: _____
ISSUE: _____

Shade Trees



Evergreen Trees



Evergreen Shrubs



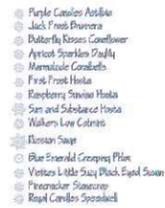
Deciduous Shrubs



Ornamental Trees



Perennials



Ornamental Grasses



Misc. Symbols



Landscape Notes:

- All shrubed lawn areas to receive 4" of topsoil, seeded with Wear and Tear seed mix by Earth Carpet, and covered with straw mat.
- All planting beds to receive 12" of topsoil, subsoil between beds and lawn to be covered with organic black plastic edging. No plastic edging between some beds and lawn beds. Beds to be stone with over-wood barrier unless noted on other plans.
- Stone edging to be #2 washed stone.
- Plant edging to be stone slanted hardwood.
- All plantings to include a one year warranty from final acceptance.
- Protect existing trees with a 4" high snow fence placed at the dripline of the tree or group of trees. No equipment shall be driven within the dripline of trees to be protected.
- Two Retention chips planted in spaces per plan 10" o.c. Sedging to be randomly dispersed throughout lawn.

Symbol	Quantity	LATIN PLANT NAME	COMMON PLANT NAME	B&B or Cont.	PLANT SIZE	Points
Shade Trees						
AF	1	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	B&B	2" Cal.	
BP	3	Betula populifolia 'Whitespire'	Whitespire Birch	B&B	10' multi-stem	
CO	1	Carya ovata	Shagbark Hickory	B&B	2" Cal.	
CS	1	Catalpa speciosa	Northern Catalpa	B&B	2" Cal.	
GT	3	Gleditsia triacanthos f. inermis 'Skycole'	Skyline Honeylocust	B&B	2" Cal.	
QB	2	Quercus macrocarpa	Bur Oak	B&B	2.5" Cal.	
Ornamental Trees						
AB	1	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	B&B	6' Multi-stem	
PD	1	Cornus alternifolia	Pagoda Dogwood	B&B	6' Multi-stem	
CW	1	Hamamelis virginiana	Common Witch Hazel	B&B	6' Multi-Stem	
MS	1	Malus transitional 'JFS-KW5'	Royal Raindrops Crabapple	B&B	2" Cal.	
Evergreen Trees						
PS	8	Picea sp.	Assorted Green, Blue, and White Spruce	B&B	5'-8' H.L.	
WP	4	Pinus strobus	White Pine	B&B	8'-10'	
Tm	4	Thuja occidentalis 'Hainstrup'	Hainstrup Arborvitae	B&B	4'	
Evergreen Shrubs						
Jc	6	Juniperus chinensis 'Kallay's Compact'	Kallay's Compact Juniper	Cont.	20" spread	
Tm	5	Juniperus procumbens 'Nana'	Japanese Garden Juniper	Cont.	20" spread	
Tm	5	Taxus x media 'Tauntonii'	Tauntoni Yew	B&B	36"	
Deciduous Shrubs						
Am	5	Aronia melanocarpa 'Morton'	Inquis Beauty Black Chokeberry	cont.	3 Gallon	
Cp	1	Chaenomeles speciosa 'Pink Storm'	Pink Storm Flowering Quince	cont.	3 Gallon	
Dj	6	Diervilla lonicera	Dwarf Bush Honeysuckle	cont.	3 Gallon	
Ec	3	Euonymus alatus 'Compactus'	Dwarf Burning Bush	B&B	36"	
Ha	10	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	cont.	3 Gallon	
Po	1	Physocarpus opulifolius 'Jeflam'	Amber Jubilee Ninebark	cont.	5 Gallon	
Aw	2	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	cont.	3 Gallon	
Gf	5	Spiraea x bumalda 'Goldflame'	Goldflame Spiraea	cont.	3 Gallon	
Fs	1	Spiraea x cinerea 'Gretshelm'	First Snow Spiraea	cont.	3 Gallon	
Lp	3	Spiraea japonica 'Little Princess'	Little Princess Spiraea	cont.	2 Gallon	
Tb	12	Spiraea betulifolia 'Tor'	Tor Birchleaf Spiraea	cont.	3 Gallon	
Bm	4	Viburnum dentatum 'Christom'	Blue Muffin Viburnum	B&B	36"	
Vc	1	Viburnum carlesii	Korean Spice Viburnum	B&B	30"	
Dh	6	Weigela florida 'Dark Horse'	Dark Horse Weigela	cont.	2 Gallon	
Wr	7	Weigela florida 'Alexandra'	Wine and Roses Spiraea	cont.	5 Gallon	
Perennials						
pc	8	Astilbe chinensis 'Purple Candles'	Purple Candles Astilbe	cont.	1 Gallon	
Jf	6	Brunnera macrophylla 'Jack Frost'	Jack Frost Brunnera	cont.	1 quart	
dk	16	Echinacea purpurea 'Butterfly Kisses'	Butterfly Kisses Coneflower	cont.	1 Gallon	
as	19	Hemerocallis 'Apricot Sparkles'	Apricot Sparkles Daylily	cont.	1 Gallon	
hm	9	Heuchera 'Marmalade'	Marmalade Coralbells	cont.	1 Gallon	
ff	38	Hosta 'First Frost'	First Frost Hosta	cont.	1 Quart	
rs	6	Hosta 'Raspberry Sundae'	Raspberry Sundae Hosta	cont.	1 Gallon	
ss	3	Hosta 'Sum and Substance'	Sum and Substance Hosta	cont.	1 Gallon	
wl	8	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	cont.	1 Gallon	
rs	3	Perovskia atriplicifolia	Russian Sage	cont.	1 Gallon	
eb	10	Phlox subulata 'Emerald Blue'	Blue Emerald Creeping Phlox	cont.	3"	
ls	16	Rudbeckia fulgida 'Vette's Little Suzy'	Viettes Little Suzy Black Eyed Susan	cont.	1 quart	
sf	9	Sedum Sunsparkler® 'Firecracker'	Firecracker Stonecrop	cont.	3"	
rc	6	Veronica x 'Glory'	Royal Candles Speedwell	cont.	1 Gallon	
Ornamental Grasses						
kl	15	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster's Feather Reed Grass	cont.	1 Gallon	
sg	10	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	cont.	1 Gallon	
Bio-Retention Basin						
ppc	288	Echinacea pallida	Pale Purple Coneflower	cont.	Plug	
yc	86	Ratibida pinnata	Yellow Coneflower	cont.	Plug	
ne	160	Symphoricarpos novae-angliae	New England Aster	cont.	Plug	
ha	128	Symphoricarpos ericoides	Heath Aster	cont.	Plug	
bs	128	Liatris spicata	Marsh Blazing Star	cont.	Plug	
cf	96	Lobelia cardinalis	Cardinal Flower	cont.	Plug	
bb	96	Monarda fistulosa	Wild Bergamont	cont.	Plug	
bes	192	Rudbeckia hirta	Black Eyed Susan	cont.	Plug	
op	96	Physostegia virginiana	Obedient Plant	cont.	Plug	
	64	Carex bebbii	Bebbs Oval Sedge	cont.	Plug	
	64	Carex bjorknellii	Copper Shouldered Oval Sedge	cont.	Plug	
	64	Carex vulpinoidea	Brown Fox Sedge	cont.	Plug	
	64	Carex ornitha	Fringed Sedge	cont.	Plug	
	64	Carex crawfordii	Crawfords Sedge	cont.	Plug	

10/19/15

DATE: _____ SHEET: _____

L2

BRASS CAP MON.
NW CORNER
SECTION 15
T6N, R9E
N = 365,427.10
E = 2,153,463.27

LACY ROAD
RIGHT-OF-WAY VARIES

CENTERLINE

REMOVE EXISTING
DRIVEWAY & CULVERT

REMOVE EXISTING TREES
REPLACE IV NEA, SEE
LANDSCAPE PLAN

3/4" REBAR

1" IRON PIPE

PRESERVATION
AREA
PROVIDE
CONSTRUCTION
FENCING

REMOVE EXISTING TREES
AND SHRUBS
SHOWN DASHED

REMOVE &
RECYCLE
EXISTING ONE
STORY HOUSE

HOUSE

REMOVE EXISTING
CONCRETE CURB

PRESERVATION
AREA
PROVIDE
CONSTRUCTION
FENCING

PRESERVATION AREA

SHED

REMOVE &
RECYCLE
EXISTING SHEDS

REMOVE EXISTING TREES
AND SHRUBS
SHOWN DASHED

GLEN BROOK WAY

EXISTING BUILDING NO. 2
2 STORY - 24 UNIT
CONDOMINIUM BUILDING
(10 GLEN BROOK WAY)

5.09'-20.09"±

627.38'



SITE DEMOLITION PLAN

0 15' 30' 60' 90'

3/4" REBAR
EL: 1022.45

MCGANN LANE
60' RIGHT-OF-WAY

REMOVE EXISTING
CONCRETE DRIVE & APRON

MCGANN LANE

EXISTING BUILDING NO. 3:
2 STORY - 24 UNIT
CONDOMINIUM BUILDING
(5511 MC GANN LANE)

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

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DATE:	ISSUE:

REV. 11/2/15
10/19/15
DATE: SHEET:

D1

BRASS CAP MON.
NW CORNER
SECTION 15
T6N, R9E
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GLEN WOOD HEIGHTS

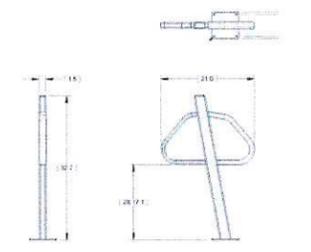
CONDOMINIUM HOMES

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DATE:	ISSUE:

OUTLOT 1
"DEDICATED TO THE PUBLIC" FOR PARK PURPOSES
14,502 sq. ft. 0.333 acres



1 BIKE RACK: "SARIS" POST & RING

GENERAL NOTES:
1. A PERMIT FROM THE CITY OF FITCHBURG WILL BE NEEDED IF THERE IS ANY STORAGE OF MATERIALS OR OTHER USE WITHIN THE PUBLIC RIGHT-OF-WAY.

- SHEET C1 PLAN NOTES:**
- 1 REMOVE EXISTING ACCESSIBLE CITY CURB RAMP & REPLACE WITH NEW RAMP WITH NEW DETECTABLE WARNING SURFACE. DETECTABLE WARNING SURFACE SHALL MEET CITY OF FITCHBURG SPECIFICATIONS. CAST IRON PLATE IN NATURAL COLOR.
 - 2 REMOVE EXISTING DRIVEWAY & REPLACE W/ CURB & APRON PER CITY SPECIFICATIONS. OBTAIN CITY OF FITCHBURG DRIVEWAY PERMIT.
 - 3 REMOVE AND REPLACE DAMAGED CONC. SIDEWALK PER CITY SPECIFICATIONS.
 - 4 BIKE RACKS SHALL BE "SARIS" POST & RING BOLTED TO CONC. SIDEWALK. SEE DETAIL 1/C1

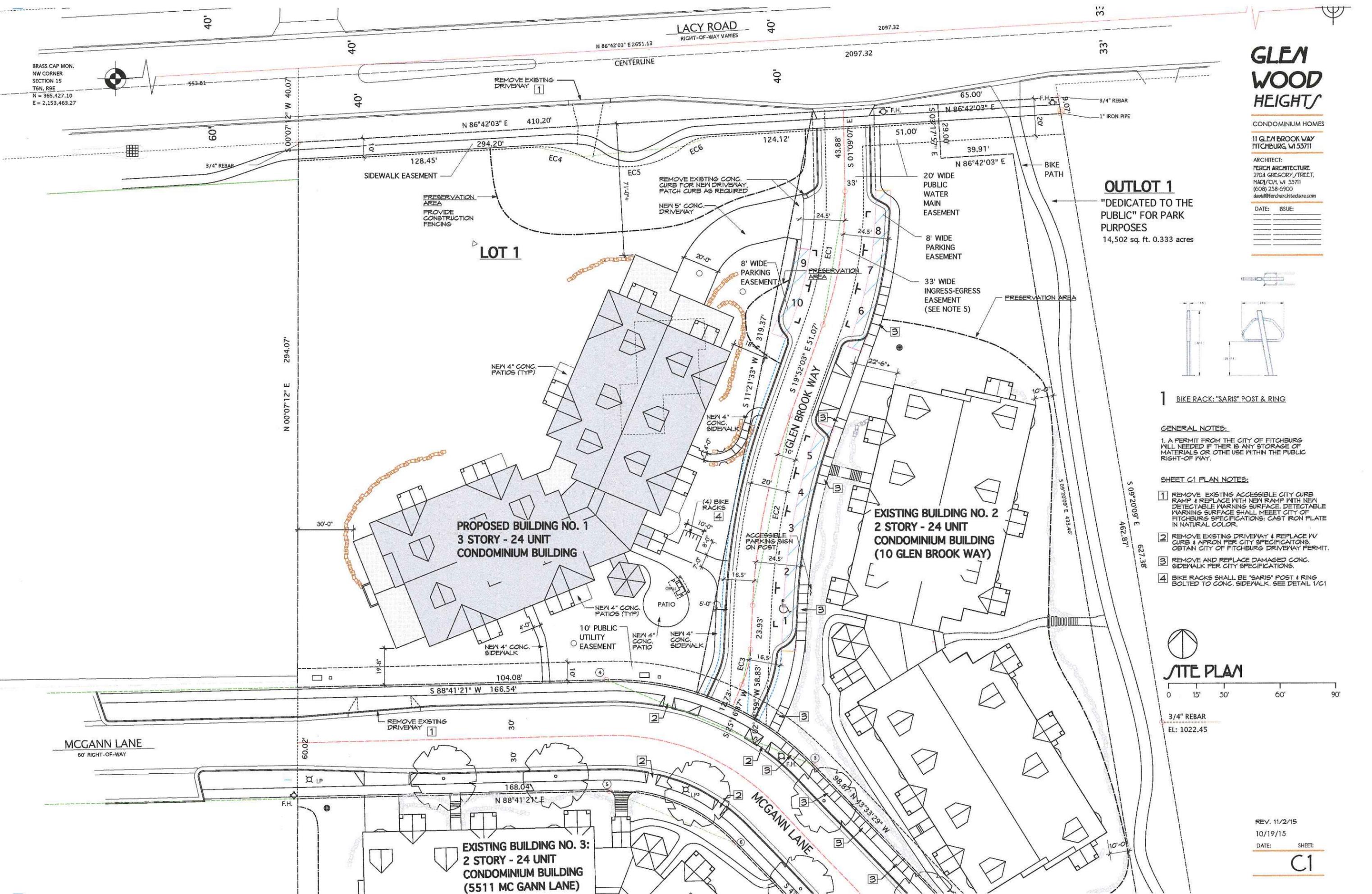
SITE PLAN



3/4" REBAR
EL: 1022.45

REV. 11/2/15
10/19/15
DATE: SHEET:

C1



BRASS CAP MON.
NW CORNER
SECTION 15
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E = 2,153,463.27

LACY ROAD
RIGHT-OF-WAY VARIES
CENTERLINE

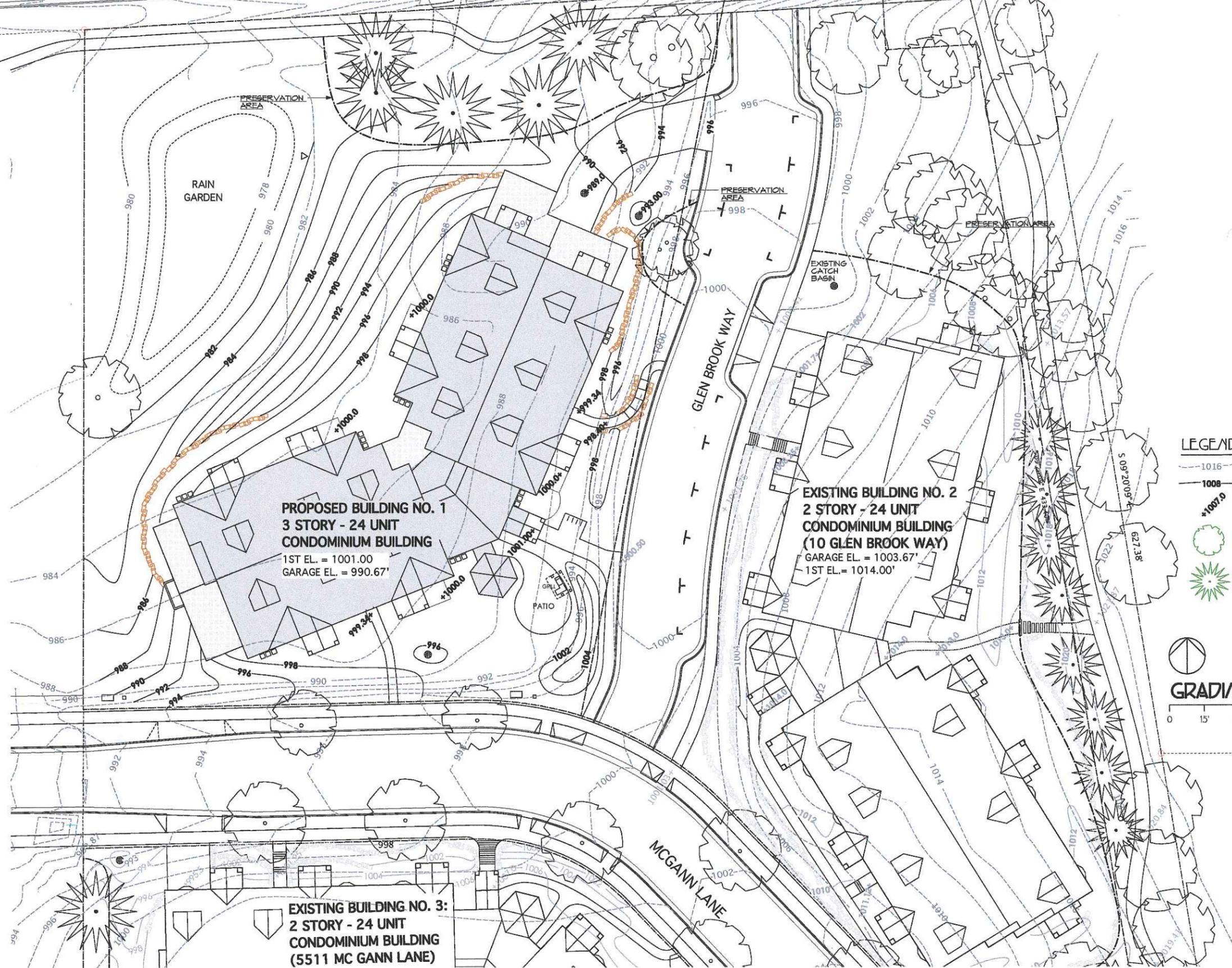
GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

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DATE:	ISSUE:



LEGEND

- 1016 EXISTING CONTOURS
- 1008 NEW CONTOURS
- +1007.0 NEW SPOT ELEVATION
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE

GRADING PLAN

0 15' 30' 60' 90'

EXISTING BUILDING NO. 3:
2 STORY - 24 UNIT
CONDOMINIUM BUILDING
(5511 MC GANN LANE)

REV. 11/2/15
10/19/15
DATE: SHEET:
C2

BRASS CAP MON.
NW CORNER
SECTION 15
T6N, R9E
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E = 2,153,463.27

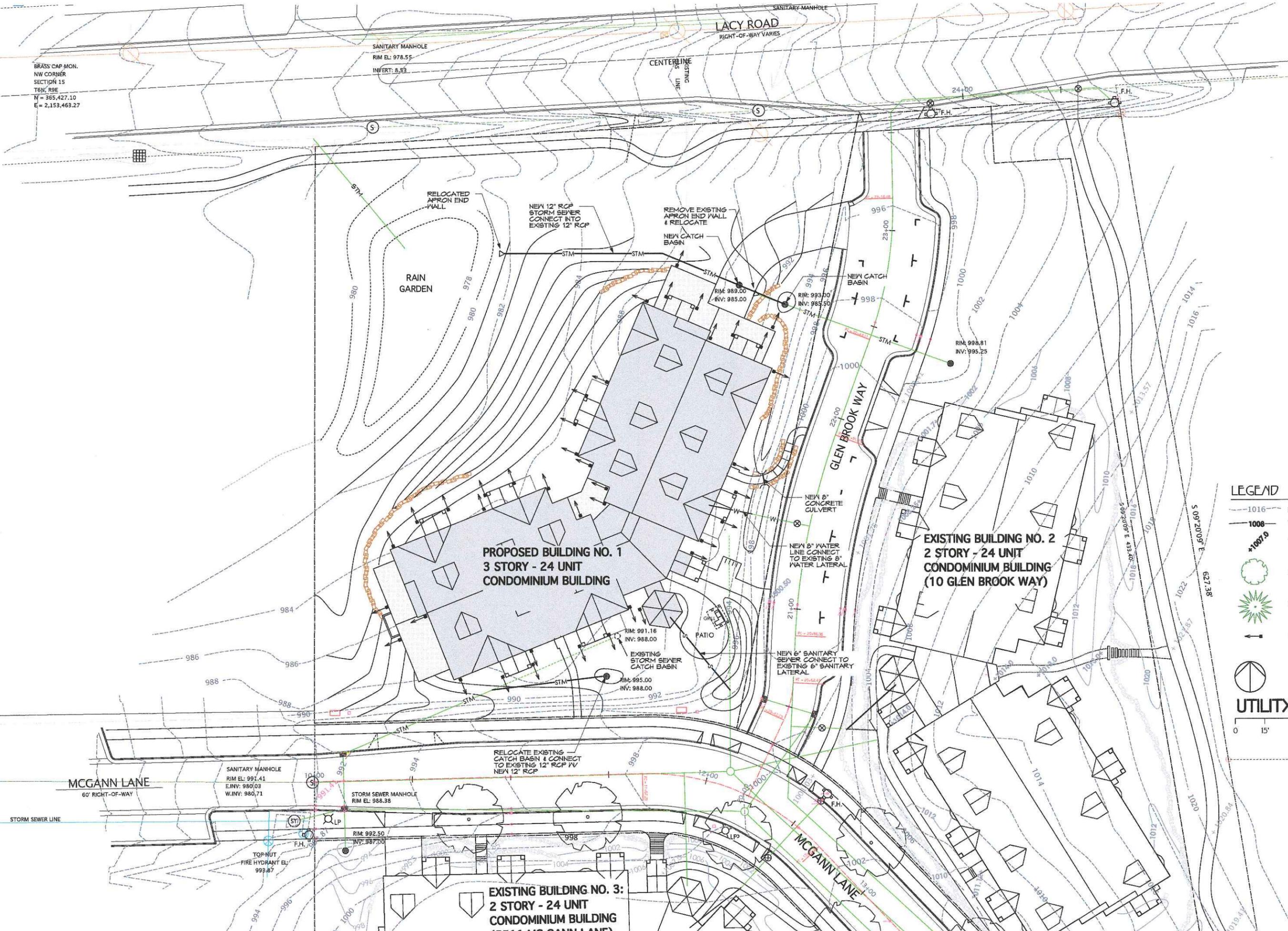
GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

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DATE:	ISSUE:



LEGEND

- 1016 EXISTING CONTOURS
- 1008 NEW CONTOURS
- +1007.0 NEW SPOT ELEVATION
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- DOWNSPOUT WITH SURFACE DRAINAGE



UTILITY PLAN



REV. 11/2/15
10/19/15
DATE: SHEET:

C3

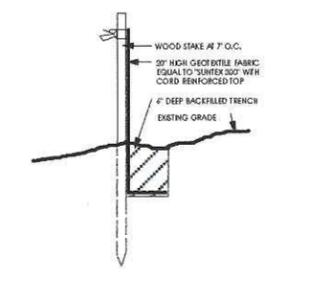
GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

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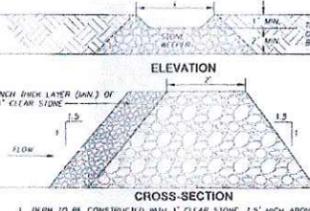


A FILTER FABRIC FENCE DETAIL
NO SCALE

- LEGEND**
- FILTER FABRIC FENCE
 - EROSION MAT (SEE NOTE BELOW)

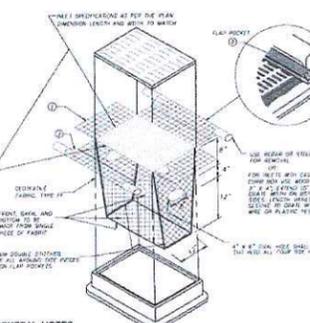
SOIL EROSION CONTROL NOTES

1. SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY EXCAVATION WORK.
2. FABRIC FILTER FENCES SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT.
3. TEMPORARY GRAVELED STABILIZED PADS SHALL BE INSTALLED AT THE START OF CONSTRUCTION AND MAINTAINED PER SPECIFICATIONS.
4. MAINTAIN EXISTING STORM SEWER INLET SOIL EROSION SILT PROTECTION & STONE BERM PER SOIL EROSION CONTROL DETAILS FROM THE STREET & UTILITY DEVELOPMENT DRAWINGS 8/23/05 BY JENKINS SURVEY & DESIGN.
5. PAVED STREET SURFACES SHALL BE SWEEPED AND/OR SCRAPED AT THE END OF EACH WORK DAY TO REMOVE SOIL, DIRT AND DUST, OR AS DIRECTED BY THE CITY OF FITCHBURG.
6. EROSION MAT: PROVIDE CLASS II TYPE 'B' EROSION MAT OR EQUAL AS APPROVED BY THE CITY OF FITCHBURG.



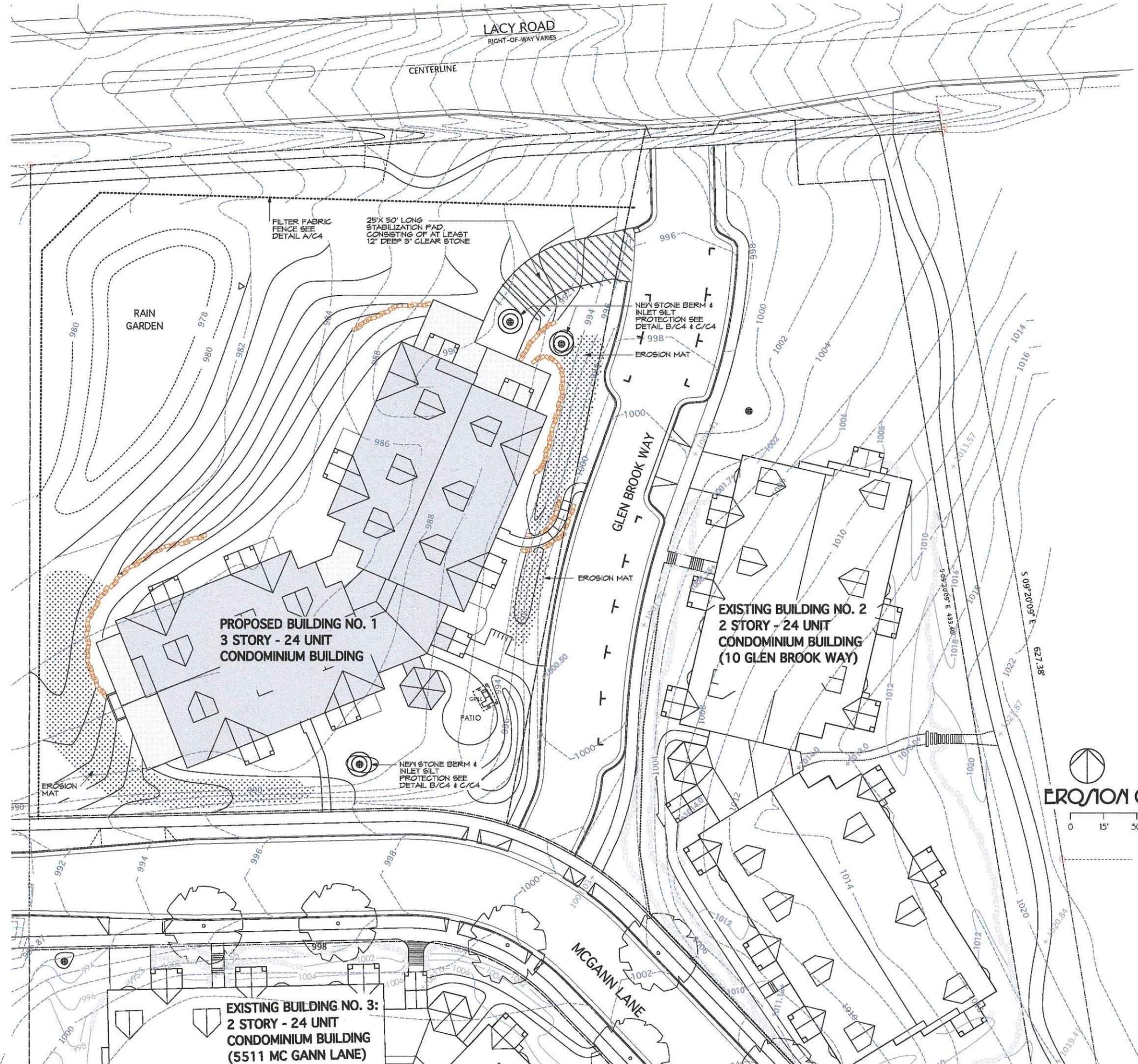
- CROSS-SECTION**
1. BERM TO BE CONSTRUCTED WITH 1" CLEAR STONE, 1.5' HIGH ABOVE THE STABLE BOTTOM AND LEVEL BERM ON TOP.
 2. EXTEND BERM ACROSS SHALE TO MEET SHALE SIDE SLOPE GRADES. WHERE SHALE IS LESS THAN 1.5' DEEP, REDUCE BERM HEIGHT TO 1.0' WITH A 4' LENGTH.

B STONE BERM



- GENERAL NOTES**
- INLET PROTECTION DEVICES SHALL BE MAINTAINED BY THE OWNER AS THE CONDITION OF THE PROPERTY.
 - MANUFACTURER'S INSTRUCTIONS SHALL BE OBSERVED AND ADHERED TO BY THE DEPARTMENT'S EROSION CONTROL DEPARTMENT. LIST MAY BE SUBSTITUTED.
 - IF THE DEPARTMENT'S EROSION CONTROL DEPARTMENT HAS CONCERNS, THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING AN ALTERNATE DEVICE THAT MEETS ALL REQUIREMENTS AND IS APPROVED BY THE DEPARTMENT'S EROSION CONTROL DEPARTMENT.
 - CONCRETE SHALL BE 2800 PSI MINIMUM STRENGTH, SHALL BE A MINIMUM OF 10" THICK AND SHALL BE REINFORCED WITH #4 BARS.
 - INSTALLATION NOTES
 - CONCRETE SHALL BE 2800 PSI MINIMUM STRENGTH, SHALL BE A MINIMUM OF 10" THICK AND SHALL BE REINFORCED WITH #4 BARS.
 - CONCRETE SHALL BE 2800 PSI MINIMUM STRENGTH, SHALL BE A MINIMUM OF 10" THICK AND SHALL BE REINFORCED WITH #4 BARS.

C STORM SEWER INLET PROTECTION



EROSION CONTROL PLAN



REV. 11/2/15
10/19/15
DATE: SHEET:
C4

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

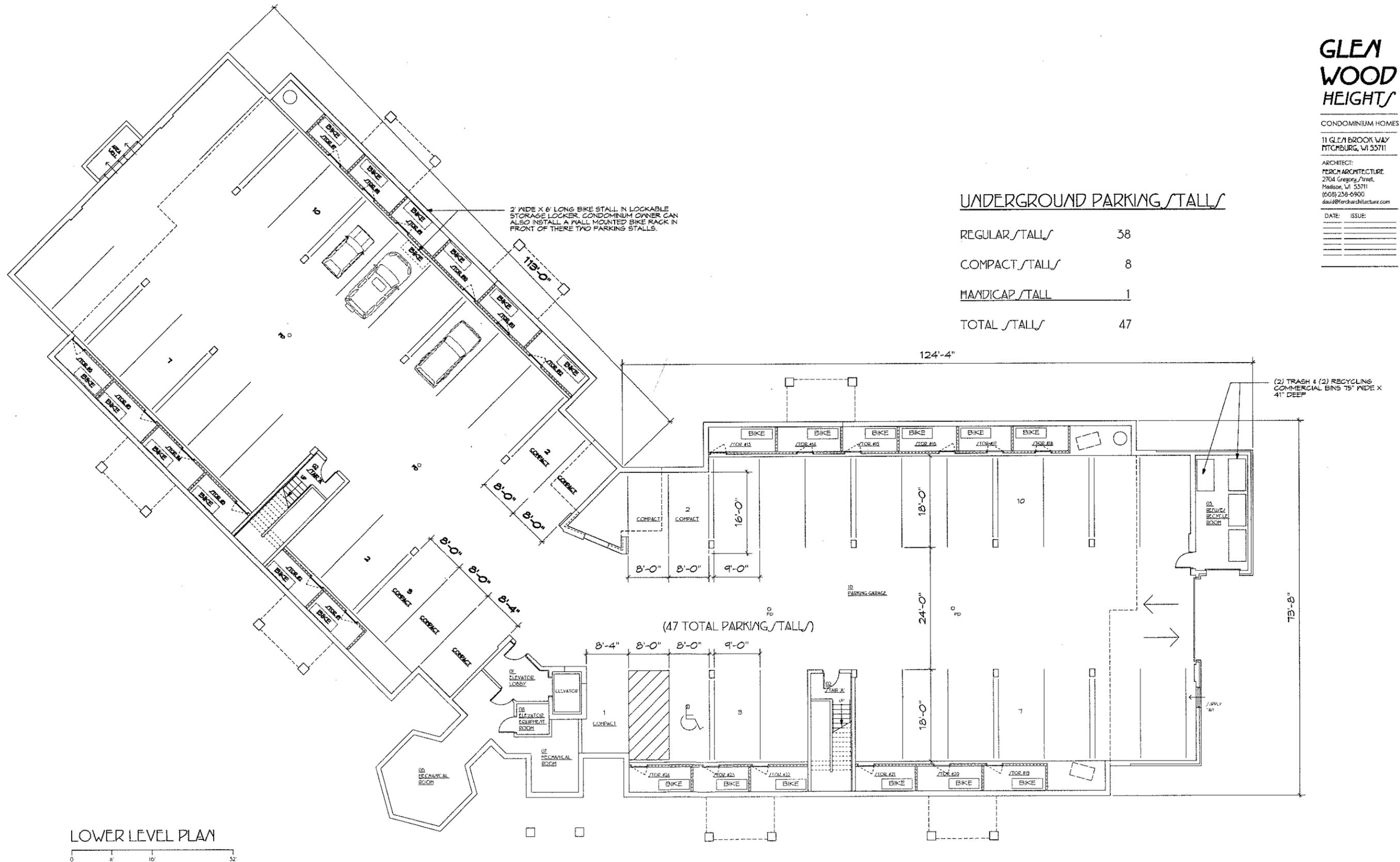
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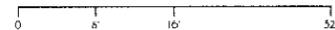
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UNDERGROUND PARKING STALLS

REGULAR STALLS	38
COMPACT STALLS	8
HANDICAP STALL	1
TOTAL STALLS	47



LOWER LEVEL PLAN



REV. 11/4/15
REV. 11/2/15
10/14/15

DATE: SHEET:

A1

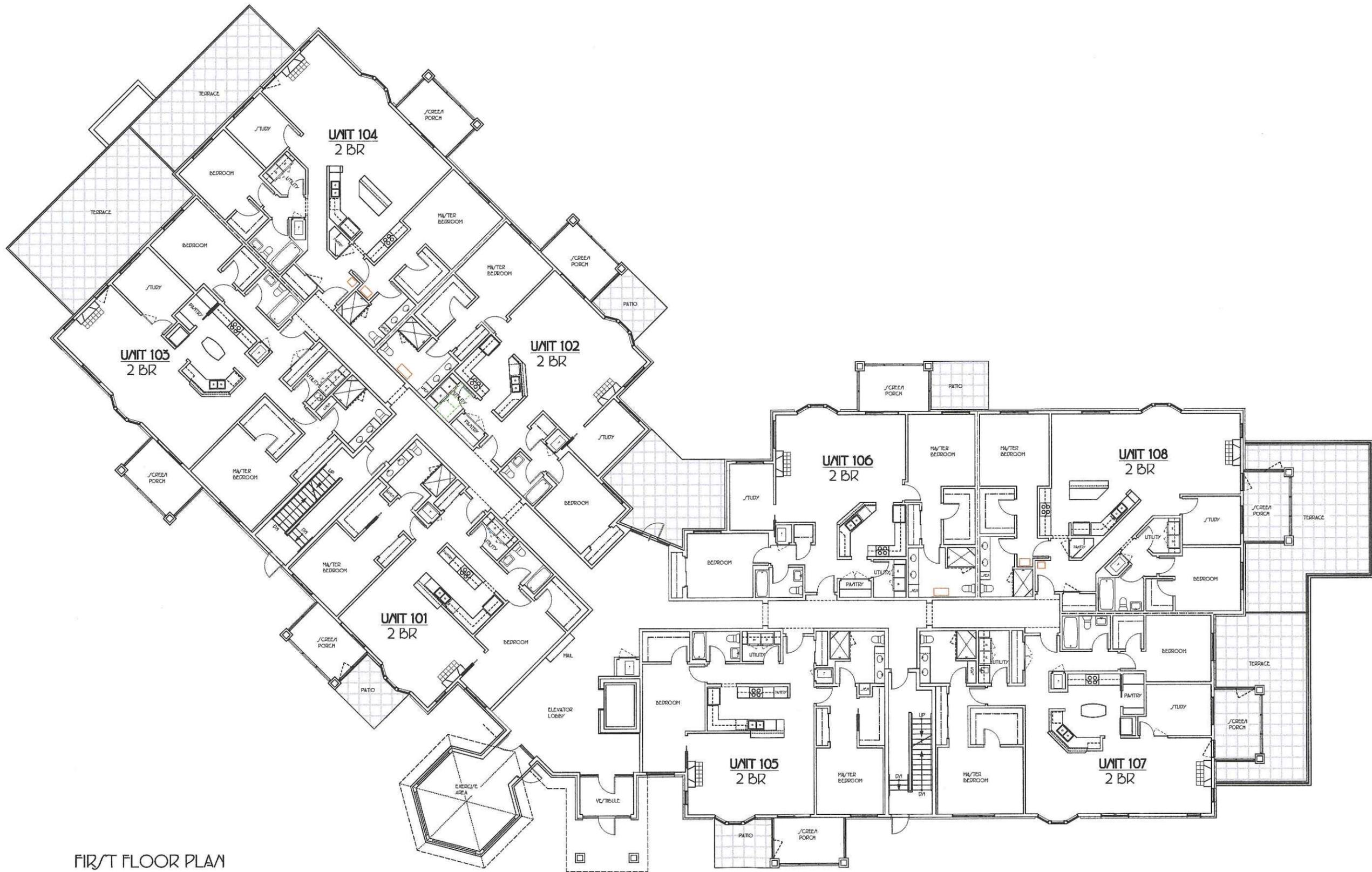
GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

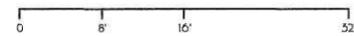
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FIRST FLOOR PLAN



10/19/15

DATE: SHEET:

A2

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

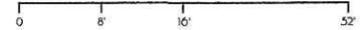
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2ND & 3RD FLOOR PLAN



REV. 11/2/15

10/19/15

DATE: _____ SHEET: _____

A3

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

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FRONT ELEVATION - GLEN BROOK WAY

CUT LIMESTONE MIXED BLEND



LACY ROAD ELEVATION

PREFINISHED WOOD FASCIA

PREFINISHED METAL SOFFIT

PREFINISHED HORIZONTAL WOOD SIDING, 6" EXPOSURE

METAL CLAD OR VINYL WINDOWS W/ PREFINISHED WOOD TRIM

PREFINISHED ALUM RAILING, 1/2" SQ. VERT. SPINDLES @ 4" O.C.

PREFINISHED WOOD SHAKES

DIMENSIONAL ASPHALT SHINGLES

DECORATIVE WOOD BRACKETS, PAINTED

WOOD COLUMN, PAINTED

PREFINISHED WOOD SHAKES

METAL CLAD OR VINYL W/ PREFINISHED WOOD TRIM

CONTINUOUS PRECAST MASONRY TOP SILL

INSECT SCREEN ON PREFINISHED ALUM FRAME

4" FACE BRICK

METAL GARAGE DOOR PAINTED
PREFINISHED MTL LOUVER

REV. 11/2/15

DATE: SHEET:
9/29/15 A4

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

11 GLEN BROOK WAY
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REAR ELEVATION



WEST SIDE ELEVATION

PREFINISHED HORIZONTAL
WOOD SIDING, 6" EXPOSURE

PREFINISHED ALUM
RAILING, 1/2" SQ. VERT.
SPINDLES @ 4" O.C.

DIMENSIONAL ASPHALT SHINGLES

PREFINISHED WOOD SHAKES

PRECAST MASONRY HEAD & SILL

4" FACE BRICK

SYNTHETIC STUCCO

REV. 11/2/15

DATE: SHEET:

9/24/15

A5

BRASS CAP
N 1/4 COR
SECTION 15
T6N, R9E
N = 365,427.10
E = 2,153,463.27

GLEN WOOD HEIGHTS

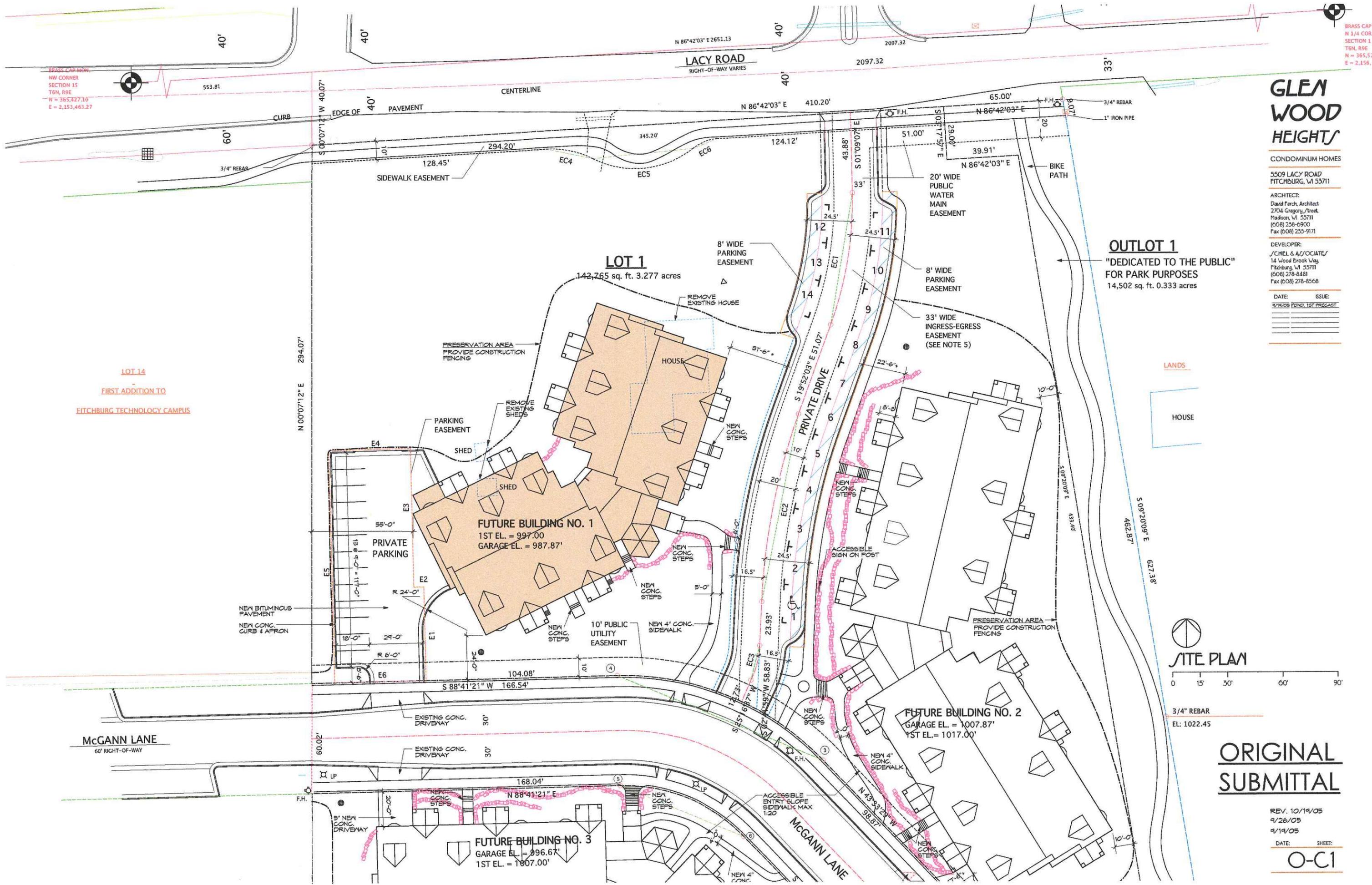
CONDOMINIUM HOMES

5509 LACY ROAD
FITCHBURG, VI 53711

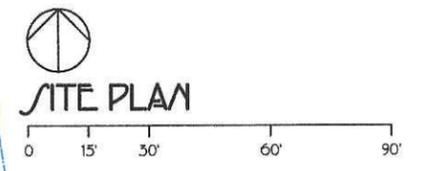
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Fax (608) 278-8568

DATE:	ISSUE:
4/14/05	FINAL PRECAST



OUTLOT 1
"DEDICATED TO THE PUBLIC"
FOR PARK PURPOSES
14,502 sq. ft. 0.333 acres



ORIGINAL SUBMITTAL

REV. 10/19/05
4/26/05
4/19/05
DATE: SHEET:
O-C1

BRASS CAP
N 1/4 COR
SECTION 15
T6N, R9E
N = 365,427.10
E = 2,153,463.27

GLEN WOOD HEIGHTS

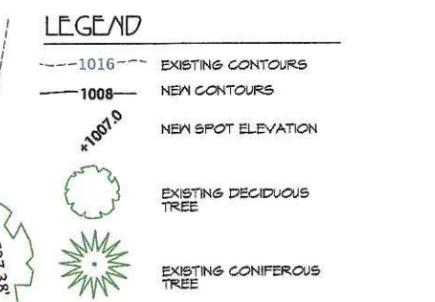
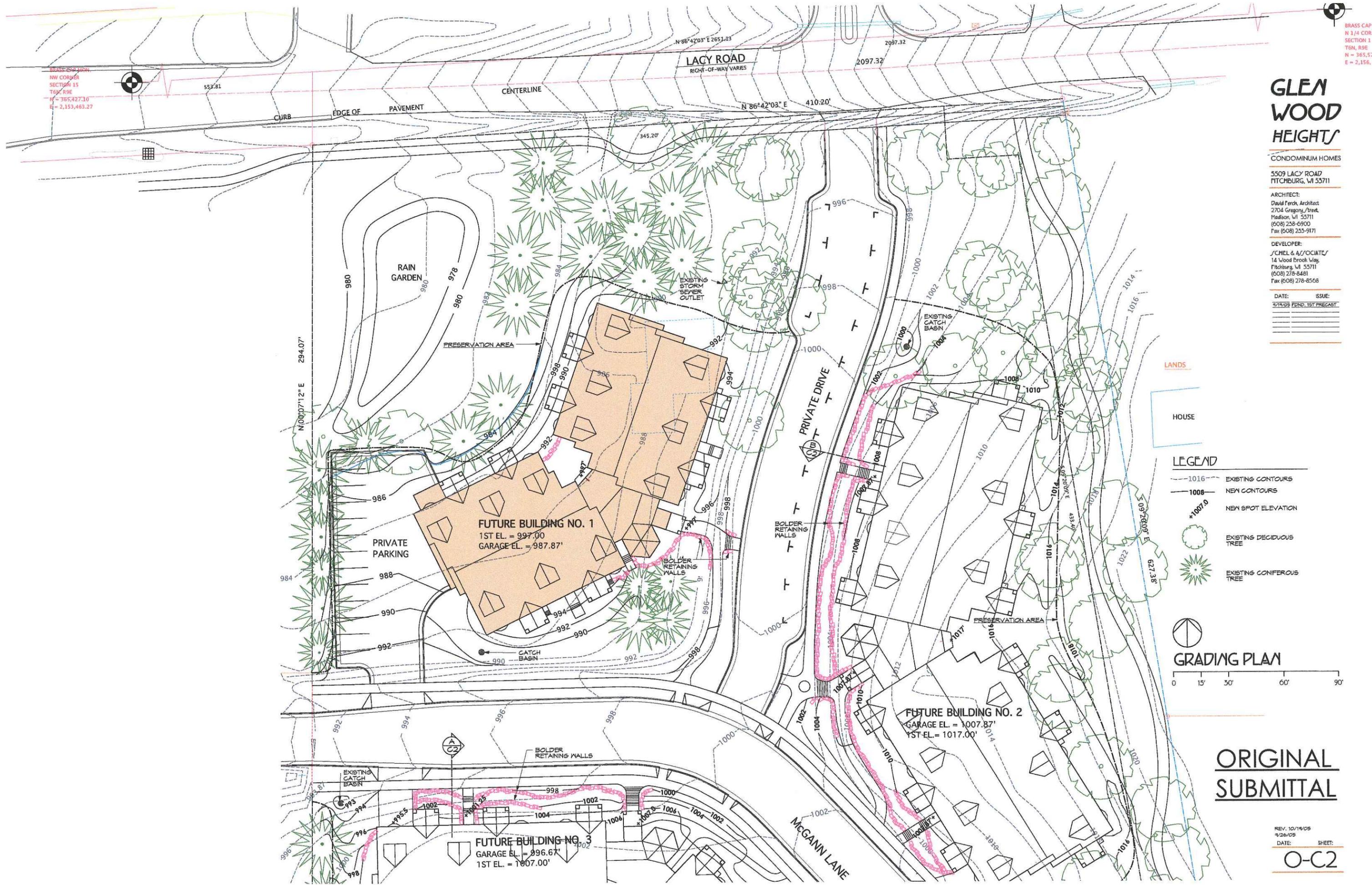
CONDOMINIUM HOMES

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DATE:	ISSUE:
9/19/05	FINAL 1ST PRECAST



ORIGINAL SUBMITTAL

REV. 10/19/05
9/26/05
DATE: SHEET:
O-C2

BRASS CAP
N 1/4 COR
SECTION 1
T6N, R9E
N = 365.5;
E = 2,156.

GLEN WOOD HEIGHTS

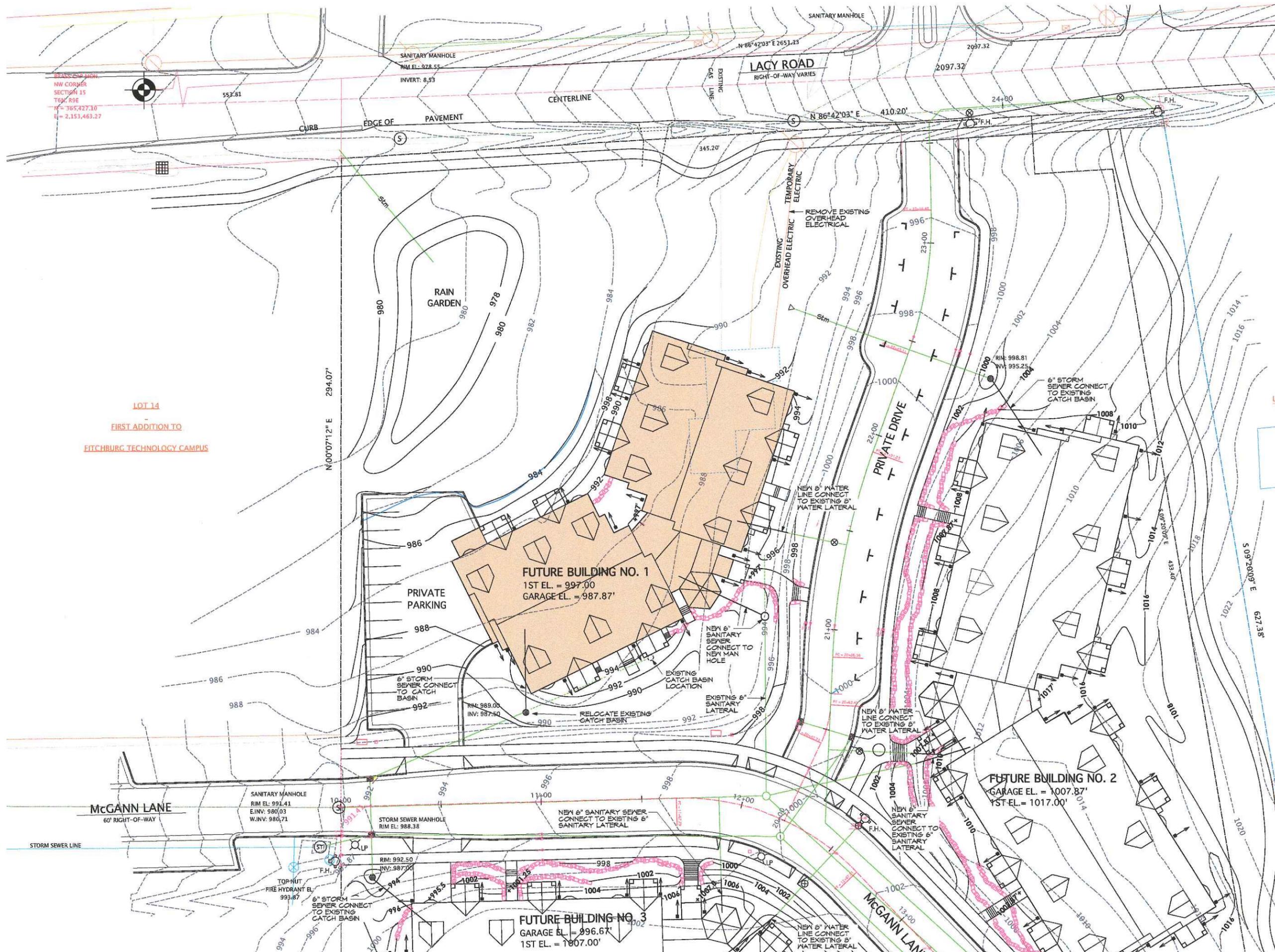
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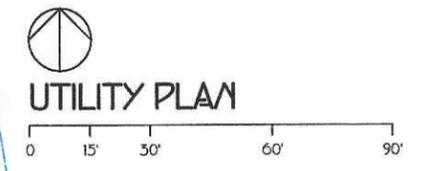
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4/14/05	FINAL 1ST PRECAST



LOT 14
FIRST ADDITION TO
FITCHBURG TECHNOLOGY CAMPUS

LANDS
HOUSE

- LEGEND**
- 1016 EXISTING CONTOURS
 - 1008 NEW CONTOURS
 - *1007.0 NEW SPOT ELEVATION
 - EXISTING DECIDUOUS TREE
 - EXISTING CONIFEROUS TREE
 - DOWNSPOUT WITH SURFACE DRAINAGE



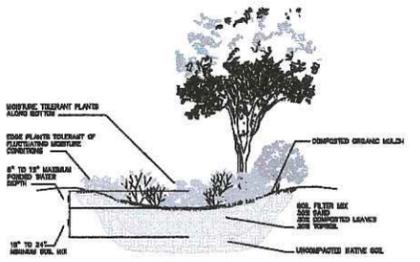
ORIGINAL SUBMITTAL

4/26/05
DATE: SHEET:
O-C3

PLANT LEGEND (entire site)			
KEY	QTY	COMMON NAME Latin name	SIZE/ROOT
	5	BLACK HILLS SPRUCE <i>Picea glauca conolata</i>	5' B&B
	6	SUGAR TYME CRABAPPLE <i>Malus 'Sutyzan'</i>	# 20 CG
	16	SARGENT VIBURNUM <i>Viburnum sargentii</i>	4' B&B
	50	HABS VIBURNUM <i>Viburnum trilobum 'Hahs'</i>	3' B&B
	11	COMPACT BURNING BUSH <i>Euconymus alatus 'Compactus'</i>	3' B&B
	20	BUFFALO JUNIPER <i>Juniperus sabinna 'Buffalo'</i>	#3 CG
	25	BAR HARBOR JUNIPER <i>Juniperus horizontalis 'Bar Harbor'</i>	#3 CG
	91	TAUNTON YEW <i>Taxus media 'Tauntonii'</i>	18' B&B
	20	ANNABELLE HYDRANGEA <i>Hydrangea arborescens 'Annabelle'</i>	#1 CG
	51	DW BUSH-HONEYSUCKLE <i>Lonicera dioica</i>	#2 CG
	115	ALPINE CURRANT <i>Ribes alpinum</i>	#2 CG
	69	MAGKERRY SNOWBERRY <i>Symphoricarpos x 'Magkerry'</i>	2 BB
	68	RUMBA WEIGELA <i>Weigela florida 'Rumba'</i>	#3 CG
	47	CAREFREE WONDER ROSE <i>Rosa 'Meipiaz'</i>	#2 CG
	175	NEON FLASH SPIREA <i>Spiraea japonica 'Neon Flash'</i>	#2 CG
	82	VARIGATED HOSTA <i>Hosta species</i>	#1 CG
		ASSORTED PERENNIALS Spacing varies	#1 CG
	11	SWAMP WHITE OAK <i>Quercus bicolor</i>	2' B&B

PLAN NOTES

- All topsoil to be in place to within + or - 1" before finish landscaper starts
- Finish landscaper:
 - A) All lawn areas to be fine graded, fertilized w/ a 10-10-10 fertilizer at a rate of 1 lb N / 1000 sq ft, and seeded w/ Odeis Velvetweed seed blend at a rate of 4 lbs. per 1000 sq ft and mulched w/ chopped wheat straw.
 - B) Individual trees and shrub groupings found along perimeter of property as well as those found within lawn areas to receive bark mulch rings (3' wide around specimen trees).
 - C) Plant beds adjacent to building foundation to be mulched with 1.5" local washed gravel, spread to a 2-3" depth over fabric weed barrier and edged with Dimex edging.
 - D) Plant beds in outer bed areas and perennial beds to be mulched with shredded bark mulch 3" deep.
 - E) Spring planting only unless otherwise noted by Landscape Architect



TYPICAL RAIN GARDEN SECTION
NTS

RAIN GARDEN PLANT LIST			
QTY	SIZE/ROOT	Latin Name	COMMON NAME
2.5'	18\"/>	<i>Cornus alternifolia</i>	Panicle Dogwood
2.5'	18\"/>	<i>Asplenium platyneuron</i>	Rock (Thromb) Asplenium
2.5'	18\"/>	<i>Adiantum species</i>	Blue Spotted Adiantum
2.5'	18\"/>	<i>Lilium superbum</i>	Tiger's Claw Lily
2.5'	18\"/>	<i>Verbena speciosa</i>	White Foxglove
2.5'	18\"/>	<i>Salvia nemorosa</i>	Clary Sage
2.5'	18\"/>	<i>Asplenium platyneuron</i>	Rock (Thromb) Asplenium
2.5'	18\"/>	<i>Adiantum species</i>	Blue Spotted Adiantum
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2.5'	18\"/>	<i>Lilium superbum</i>	Tiger's Claw Lily
2.5'	18\"/>	<i>Verbena speciosa</i>	White Foxglove
2.5'	18\"/>	<i>Salvia nemorosa</i>	Clary Sage
2.5'	18\"/>	<i>Asplenium platyneuron</i>	Rock (Thromb) Asplenium
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2.5'	18\"/>	<i>Lilium superbum</i>	Tiger's Claw Lily
2.5'	18\"/>	<i>Verbena speciosa</i>	White Foxglove
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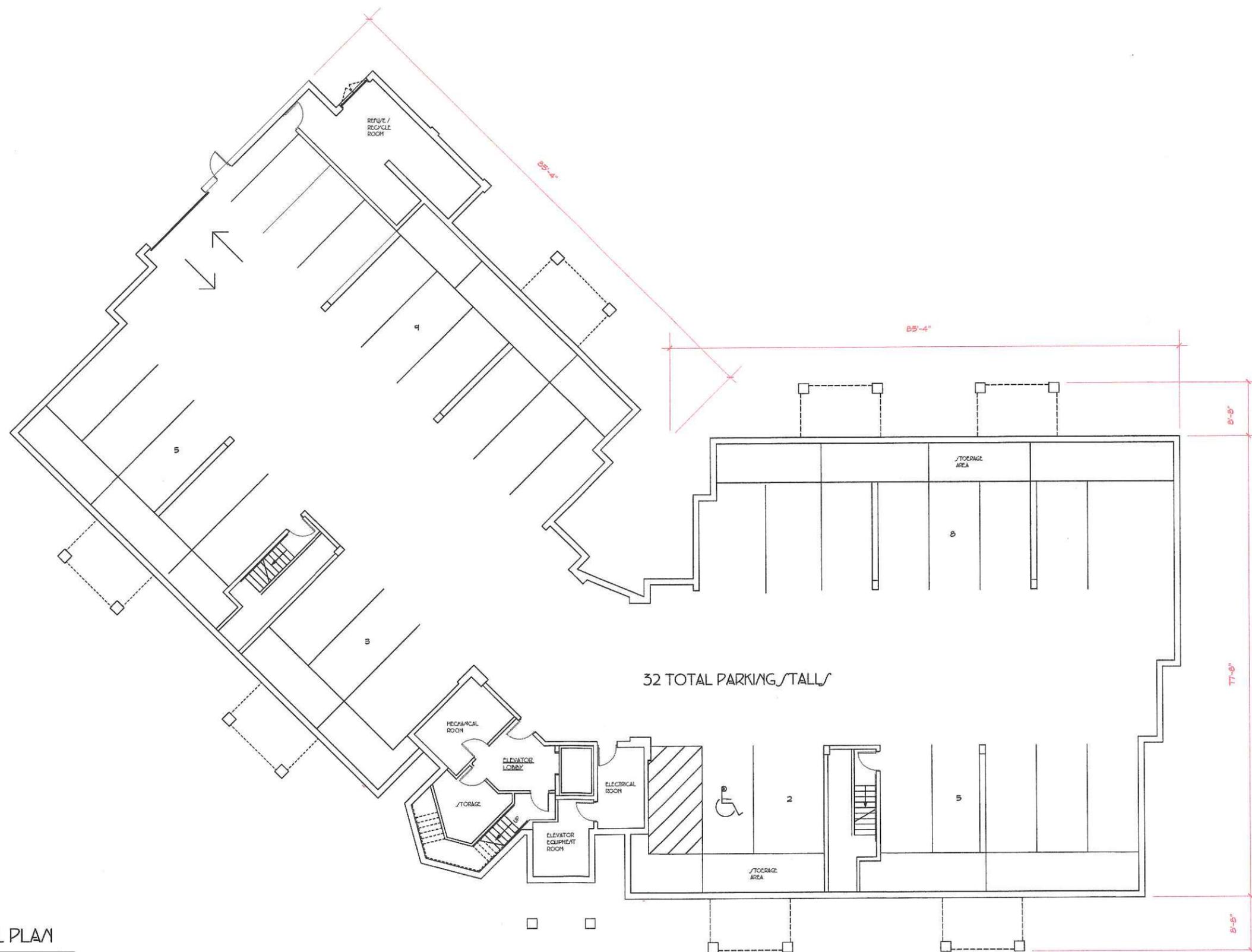
GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

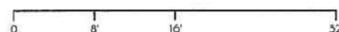
5509 LACY ROAD
FITCHBURG, WI 53711

ARCHITECT:
David Perch, Architect
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WI 53711
(608) 258-0900
Fax (608) 255-9171

DEVELOPER:
SCHILL & ASSOCIATES
14 Wood Brook Way,
Fitchburg, WI 53711
(608) 278-8481
Fax (608) 278-8568



LOWER LEVEL PLAN



32 TOTAL PARKING STALLS

BUILDING #1

**ORIGINAL
SUBMITTAL**

9/26/05

DATE: SHEET:

O-A4

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

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FIRST FLOOR PLAN
0 5 10 32

**ORIGINAL
SUBMITTAL**

9/26/05
DATE: SHEET:

BUILDING #1

O-A5

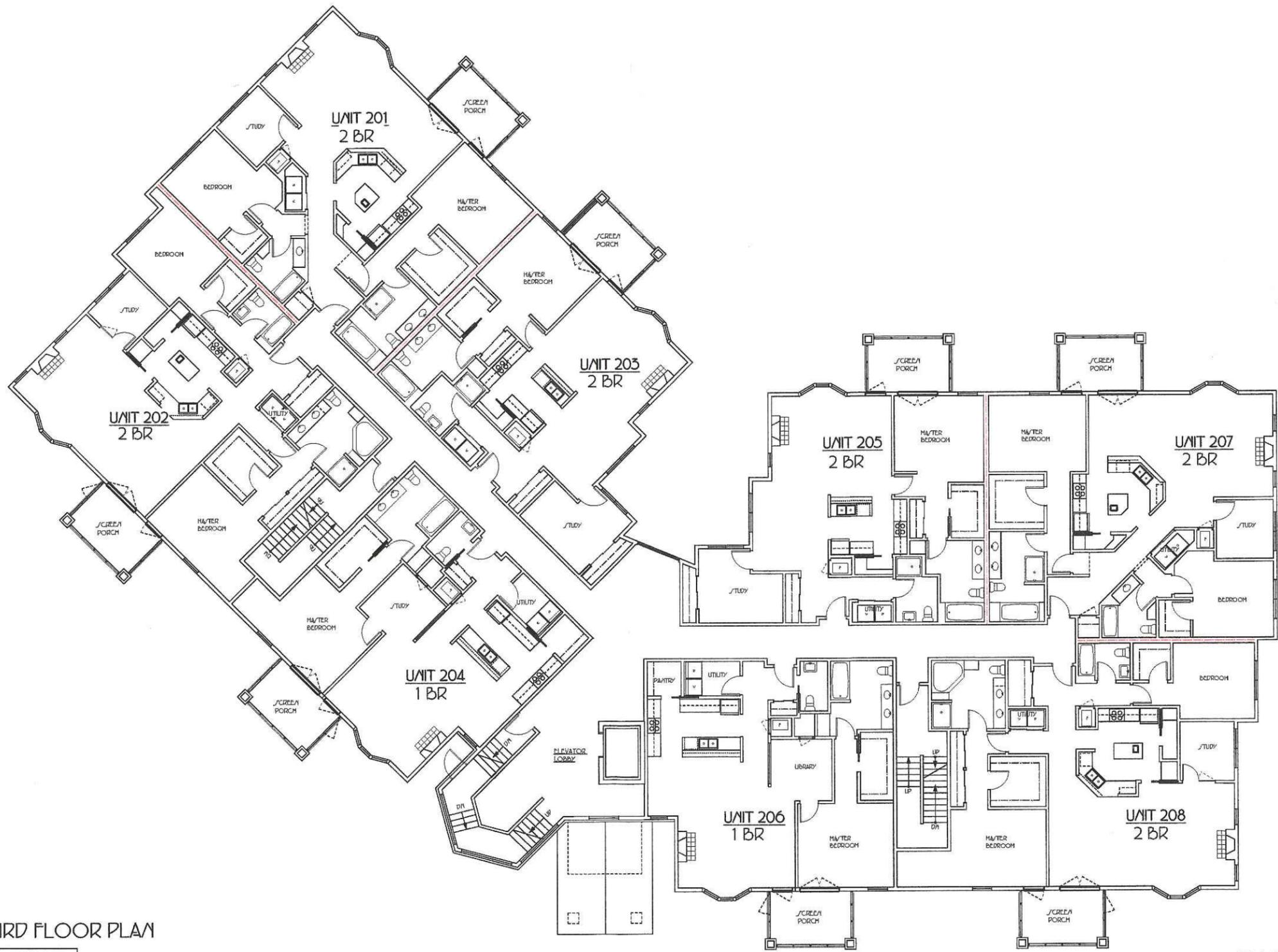
GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

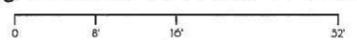
5509 LACY ROAD
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SECOND & THIRD FLOOR PLAN



**ORIGINAL
SUBMITTAL**

BUILDING #1

9/26/05

DATE: SHEET:

O-A6

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

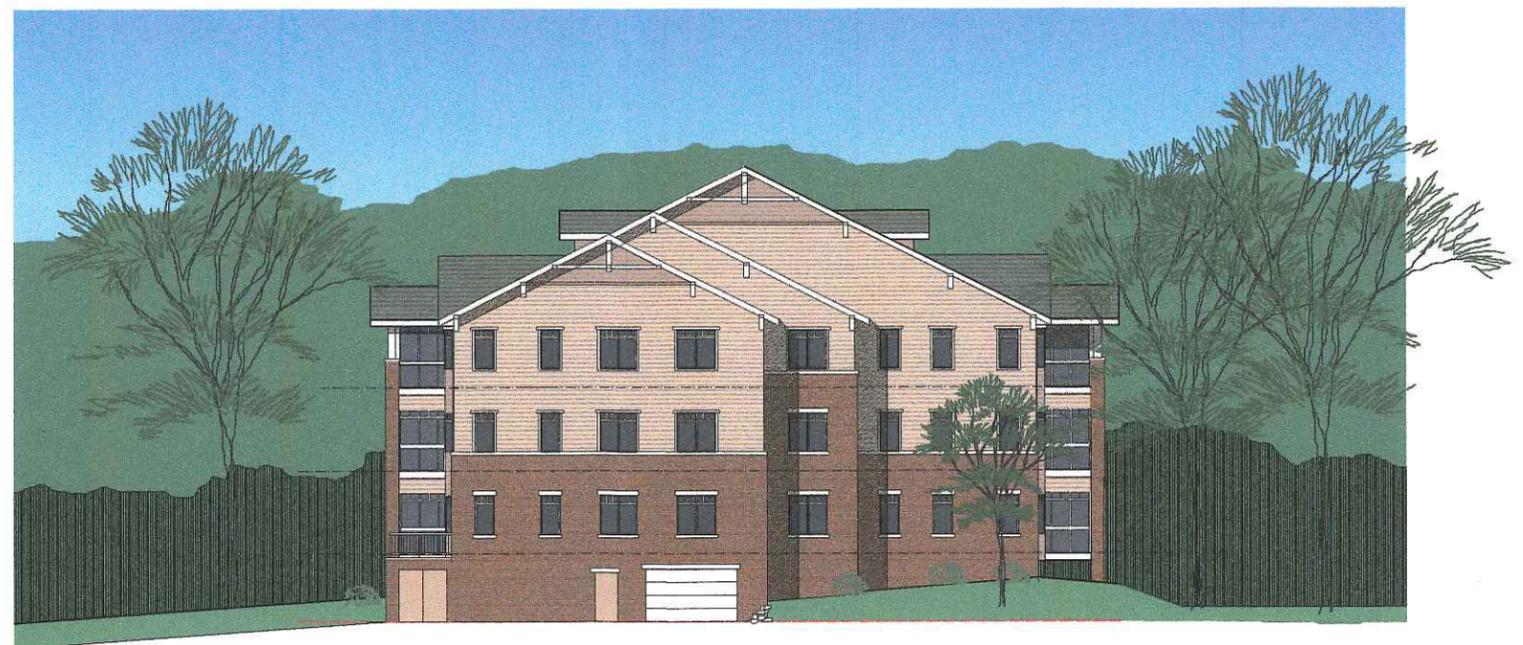
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REAR ELEVATION - BLDG #1



SOUTH ELEVATION

ORIGINAL
SUBMITTAL

BUILDING #1

9/26/05
DATE: SHEET:
O-A10

RECEIVED
11/3/2015

Application: RZ-2091-15
Property Address: 11 Glen Brook Way
Review Date: October 27, 2015
Applicant: Bill Schiel

11/2/2015

Response to Staff Comments

Regarding the rezone request to amend the PDD-SIP zoning as well as ADR for 11 Glen Brook Way, submitted October 20, 2015, Architect David Ferch, Attorney Robert Kuehling and I have reviewed the staff comments and responded accordingly.

1. The developer is meeting with the Owners on November 4, 2015. I suspect that the plans will be well received. The condominium is still under Declarant control and a vote of the membership is not required. However, suggestions from the current owners were taken into account during the planning process. For example. The tree line along Glen Brook Way and McGann lane as well as the landscaped berm at the corner of Glen Brook Way and McGann Ln and the exercise/community room and outdoor patio/grilling area are a direct result of requests from the current residents.
2. We have taken staff comments into account and added additional masonry to key areas of the building. At the front entry we have revised the window placement on the 2nd & 3rd floors and added some additional wood shakes. Please see revised plans.
3. The original approved plans were for a 3-story building. A two story building footprint, like the other two buildings of this development, would require an additional 35 feet in length. This additional length would make it necessary to remove all the mature trees along Lacy Road. A 3-story building better matches the massing of the other two buildings in the development in that the roof lines of the three story building would be approximately the same height as the existing buildings whose 1st floor sits a full story above the street.
4. The discrepancy has been corrected on the revised plans.
5. The project has street parking on both McGann Lane and Glen Brook Way. There is an abundance of street parking. Plus, the parking garage was increased to allow for 2 parking spots per unit, thus reducing the demand for street parking. Buildings 1 & 2 also have 2 understructure parking stalls per unit. This is consistent with the plan to contain the parking under the structures to allow for additional green space.
6. The entry drive for the parking garage was originally off of McGann Lane. There was a steep grade drop off this garage entry. Consequently, the garage entrance was revised to be at the low end of the site rather than the high end to provide much safer access to the garage. The change required the two street parking stalls on the private drive, Glen Brook Way to be removed. The Declarant reserved the right to amend the easement for the purpose of ingress and egress to the building. In addition, the condominium has not expanded into the 3rd phase. Once the plans are approved, the condominium will be expanded and the approved plans will be shown on the final condominium plat and recorded with Dane County.

7. The change to all 2 bedroom units does not impact the current owners. The Declarant reserved the right to expand the condominium plat into the 3rd phase. Once the plans are approved, the Declarant will expand the condominium plat and the plat will be recorded with Dane County.
8. A color board showing the exterior color and materials will be presented at the Planning Commission Meeting.

Application: RZ-2091-15
Property Address: 11 Glen Brook Way
Review Date: October 27, 2015
Applicant: Bill Schiel

11/2/2015

Response to Public Works comments.

General Comments

1. The refuse and recycling containers have been added to Sheet A1. The containers shown are the same size and number currently in the other two building 24 unit buildings in the development.
2. The applicant will submit a Construction & Demolition Reuse/Recycling Plan to Public Works prior to any demolition.
3. A street tree waiver will be signed by the Owner/Applicant for street trees to be planted by the City along Lacy Rd.
4. The curb and gutter along Lacy Rd has been revised to reflect current conditions.

Transportation Comments

1. Driveway permits will be obtained for the removal of the driveways on Lacy Rd and McGann Ln. prior to the start of construction. A note has been added to sheet C1.
2. The revised plans note that a permit will be needed if there is any storage of, materials or other use within the public right-of-way. A general note has been added to sheet C1.
3. The areas of sidewalk along McGann Lane that are cracked and damaged will be replaced. Notes have been added to sheet C1.
4. The detectable warning fields will be replaced at all four curb ramps in the development. Notes have been added to sheet C1.
5. Four outdoor bike stalls for guests have been added to the site at the main entry. One indoor bike stall for each unit has been indicated in the secure storage areas for each owner. These are located in the lower level parking garage. Owners also have the option to add additional wall hung bike racks in front of their assigned parking stalls.

Water Main and Sanitary Sewer

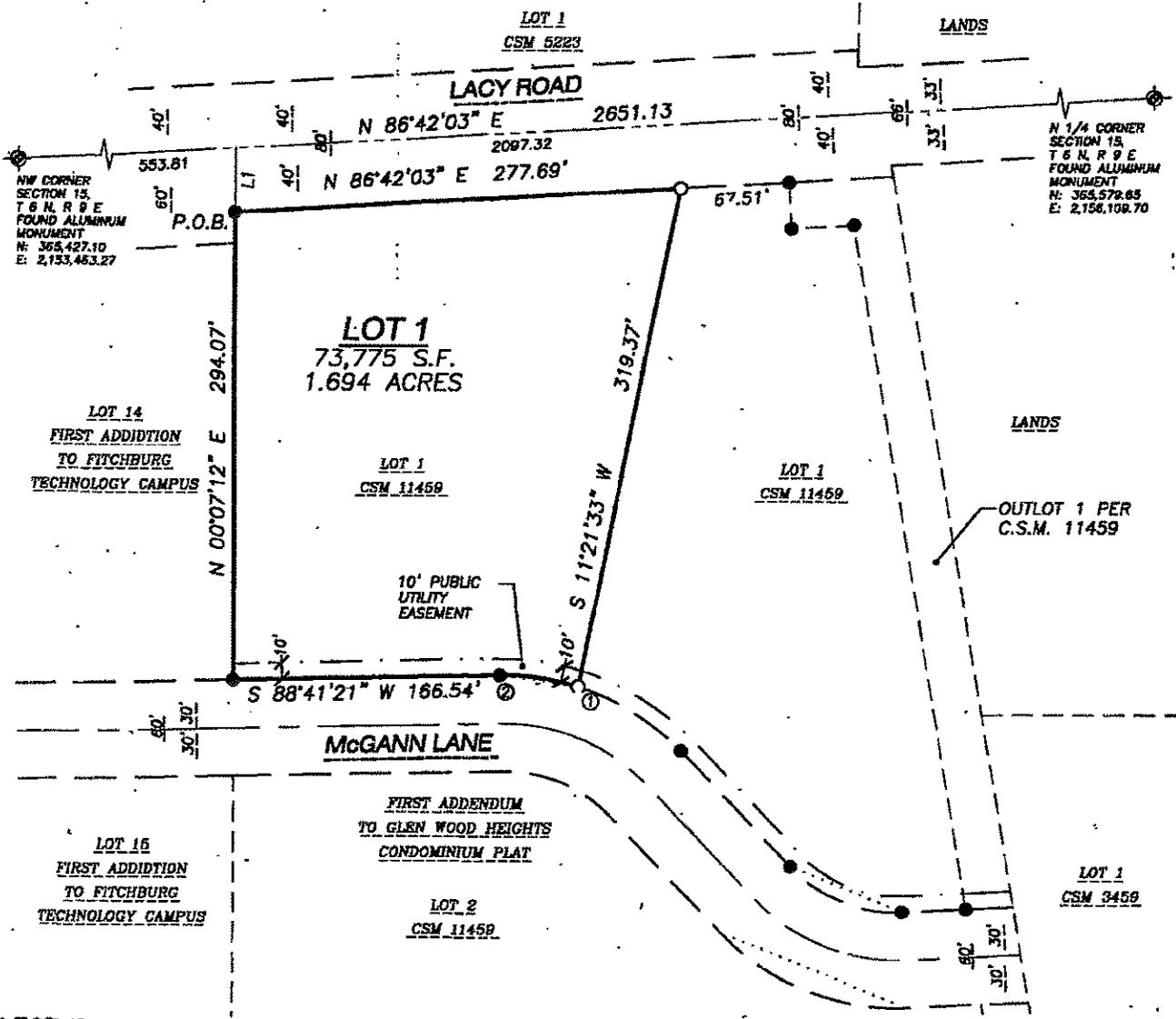
1. Awaiting comments from the Utility Engineer.

Erosion Control and Storm water Management (ECSWM) Comments

1. A new ECSWM permit application will be submitted to the Public Works Department for review and approval. JSD Professional Services will be the civil engineer for the project.
2. A storm water maintenance agreement will be prepared and submitted to Public Works for review and approval.

CERTIFIED SURVEY MAP NO. 12952

PART OF LOT ONE (1) OF CERTIFIED SURVEY MAP NO. 11459, RECORDED IN VOLUME 69 OF CERTIFIED SURVEY MAPS ON PAGES 316-318 AS DOCUMENT NO. 4079647, LOCATED IN THE NORTHWEST QUARTER (NW 1/4), OF THE NORTHWEST QUARTER (NW 1/4), SECTION FIFTEEN (15), TOWN SIX NORTH (T6N), RANGE NINE EAST (R9E), CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

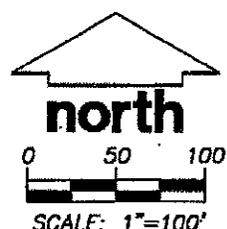
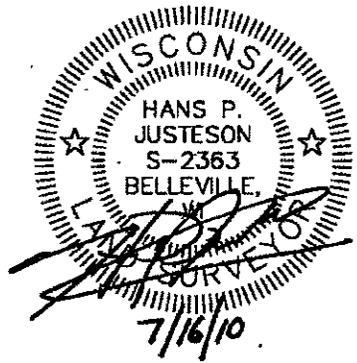


LEGEND

- 3/4" REBAR SET (1.50 LBS/LF)
- ⊕ GOVERNMENT CORNER
- 3/4" REBAR FOUND
- PARCEL BOUNDARY
- - - RIGHT-OF-WAY LINE
- - - CENTERLINE
- - - PLATTED LOT LINE
- - - EASEMENT LINE
- CHORD LINE
- ////// PARKING EASEMENT

NOTES:

1. BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 18, T6N, R9E, RECORDED AS NORTH 85°42'03" EAST.
2. FIELD WORK FOR THIS SURVEY WAS PERFORMED BY JENKINS SURVEY & DESIGN ON AUGUST 30, 2004.
3. CSM No. 11459 HAS APPROVED PLANNED DEVELOPMENT DISTRICT GENERAL IMPLEMENTATION PLAN ZONING IN ACCORDANCE WITH CITY OF FITCHBURG ORDINANCE 2004-0-27. THIS CSM PDD ZONING WAS AMENDED BY ORDINANCE 2010-0-12 TO ALLOW THIS LAND DIVISION.
4. LOT ONE SHALL HAVE NO VEHICULAR ACCESS TO LACY ROAD EXCEPT THROUGH THE INGRESS EGRESS EASEMENT SHOWN HEREON.
5. INGRESS-EGRESS EASEMENT AND PARKING EASEMENT WERE RECORDED ON OCTOBER 8, 2004 AS DOCUMENT NUMBER 3976775, AMENDED PER DOCUMENT No. 4675713



CURVE TABLE							LINE TABLE		
CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	DISTANCE	LINE	BEARING	DISTANCE
1-2	150.00'	49.15'	18°46'23"	24.80'	N 81°55'28" W	48.93'	L1	S 00°07'12" W	40.07'

PREPARED BY: JSD Professional Services, Inc. <small>Engineers • Surveyors • Planners</small> 181 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 PHONE: (800)848-3080	SURVEYED FOR: LACY RIDGE LLC. BILL SCHIEL 2927 S. FISH HATCHERY ROAD FITCHBURG, WI 53711	PROJECT NO: 04-1660 FILE NO: B-178 FIELDBOOK/PG: 161/52 SHEET NO: 1 OF 4	SURVEYED BY: SO DRAWN BY: MSQ CHECKED BY: JK APPROVED BY: HPJ
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C.S.M. NO. 12952
 DOC. NO. 4676239
 VOL. 82 PAGE 258

J:\2004\041660\orig\041660_F_CSM(2).dwg

**Planned Development District
Amending Specific Implementation Plan
Zoning for Lot 1 CSM 12952 Relative to
Parking and Building Modifications.**

Legal Description:

Lot 1 CSM 12952

Return to: Fitchburg City Clerk
5520 Lacy Road
Fitchburg, WI 53711

Parcel No's: 060915285502

Plan Commission
Initiated By

Planning/Zoning
Drafted By

11/17/2015
Date

**ORDINANCE NO. 2015-O-XX
ZONING ORDINANCE AMENDMENT AMENDING SPECIFIC IMPLEMENTATION PLAN
ZONING FOR LOT 1 CSM 12952 RELATIVE TO PARKING AND BUILDING
MODIFICATIONS**

WHEREAS, pursuant to Fitchburg Ordinance No. 87-0-06, Section 3, Zoning District Maps were adopted within the corporate limits of the City of Fitchburg until expressly altered by the City Council, and

WHEREAS, William Schiel, agent for 5509, LLC, has submitted an application (RZ-2091-15) to amend Planned Development District Specific Implementation Plan (PDD-SIP) zoning for Lot 1 CSM 12952, to eliminate surface parking, increase both the building footprint and underground parking, and for building and site modifications, and

WHEREAS, PDD-SIP zoning was originally granted by Ordinance No. 2005-O-39 (Rezoning request RZ-1335-04SIP), and amended by Ordinance 2010-O-12 to recognize a land division on the property, and

WHEREAS, the Plan Commission has reviewed the application in accord with ordinance standards and recommends approval of the PDD-SIP zoning amendment for Lot 1 CSM 12952.

NOW THEREFORE the City Council of the City of Fitchburg, Dane County, Wisconsin does ordain as follows:

- (A) PDD-SIP zoning is hereby amended to allow modifications to the site and building plans for Lot 1 CSM 12952 in accord with submitted plans and information which accompanied the rezoning application received on October 20, 2015 and responses and revised plans provided on November 3, 2015 (plans dated November 2, 2015), which is hereby made a part of this ordinance, and with the following additional requirements:
1. No other permit or approval is waived or deemed satisfied except for the approval provided herein.
 2. All aspects of Ordinance 2005-O-39 and 2010-O-12 remain in place, except for the amendments provided herein to modify specific development parameters as detailed in the submittal materials of October 20, 2015 and revised on November 3, 2015 (plans dated November 2, 2015).
 3. Approval is for three-story multi-family building consisting of 24 two-bedroom units with 47 underground parking stalls in Building 1, as represented in submitted plans.

(B) This ordinance shall take effect following its publication, or the consent of the property owner, whichever occurs last. However, in accord with section 22-596 of the zoning code, owners shall consent within 30 days of approval for the PDD-GIP zoning to take effect.

(C) Applicant shall pay cost of publication to avoid a two Council meeting approval process.

The above and foregoing ordinance was duly adopted by the City Council of the City of Fitchburg, at a regular meeting held on the _____ day of _____, 2015.

Patti Anderson, City Clerk

Approved: _____

Stephen L. Arnold, Mayor

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this ____ day of _____, 2015, the above named Patti Anderson, and Stephen L. Arnold to me known to be the City Clerk and Mayor (respectively) of the City of Fitchburg, and the persons who executed the foregoing instrument and acknowledged the same.

Notary Public, State of Wisconsin

Printed Name of Notary Public _____

My Commission Expires: _____

Consent of the Property Owner

Name: _____

Date: _____

Title _____

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this ____ day of _____, 2015, the above named _____ to me known to be _____, of _____ and the person who executed the foregoing instrument and acknowledged the same.

Notary Public, State of Wisconsin

Printed Name of Notary Public _____

My Commission Expires: _____

Consent of Mortgage Holder:

_____ Date: _____
Mortgage Holder

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this ____ day of _____, 2015, the above named
_____ to me known to be the _____
of _____ and the person who executed the foregoing instrument
and acknowledged the same.

Notary Public, State of Wisconsin

Printed Name of Notary Public _____
My Commission Expires: _____



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

REZONING APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the GIP district to the SIP district the following described property:

1. **Location of Property/Street Address:** Lot 1 Avalon Senior Campus (2875 Fish Hatchery Road)

Legal Description - (Metes & Bounds, or Lot No. And Plat):

LOT 1 CSM 12135 CS75/11 & 18-5/112007 F/KIA LOTS 23, 24 & PRT LOTS 21, 25, 27, 28 MAPLE LAWN HEIGHTS DESCR AS SEC 3-6-9 PRT NE1/4NE1/4 & PRT NW1/4NE1/4 (1.383 ACRES)

***Also submit in electronic format (MS WORD or plain text) by email to: planning@fitchburgwi.gov

2. **Proposed Use of Property - Explanation of Request:**

Mixed Use I Commercial Center

3. **Proposed Development Schedule:** Late Fall 2015 Construction Start. Spring 2016 Opening

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@fitchburgwi.gov. Additional information may be requested.

Type of Residential Development (If Applicable): Not Applicable

Total Dwelling Units Proposed: N / A **No. Of Parking Stalls:** N / A

Type of Non-residential Development (If Applicable): Restaurant / Retail / Bank

Proposed Hours of Operation: 6:00 AM to 12:00 AM **No. Of Employees:** TBD

Floor Area: 8274 / 9000 **No. Of Parking Stalls:** 68

Sewer: Municipal Private **Water:** Municipal Private

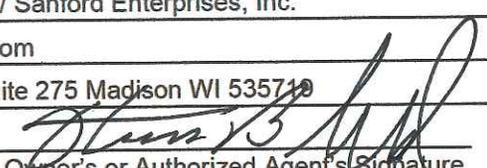
Current Owner of Property: Homeville Fitchburg LLC, c/o Bill Clemens

Address: P.O. Box 457, Waunakee WI 53597 **Phone No:** 608-575-8642

Contact Person: Tom Sanford / Sanford Enterprises, Inc.

Email: Tom@SEICommercial.com

Address: 555 D'Onofrio Dr., Suite 275 Madison WI 53571 **Phone No:** 608-347-8299

Respectfully Submitted By:  **Tom Sanford**
 Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 9/22/15 **Publish:** _____ and _____
Ordinance Section No. _____ **Fee Paid:** \$ 825.00
Permit Request No. R2-2082-15 Receipt #1 - 10367



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

LAND DIVISION APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby submits ten (10) copies of the attached maps, one (1) copy no larger than 11" x 17", and one (1) pdf document of the complete submittal (planning@fitchburgwi.gov) for approval under the rules and requirements of the Fitchburg Land Division Ordinance.

- 1. Type of Action Requested:**
- Certified Survey Map Approval
 - Preliminary Plat Approval
 - Final Plat Approval
 - Replat
 - Comprehensive Development Plan Approval

- 2. Proposed Land Use (Check all that Apply):**
- Single Family Residential
 - Two-Family Residential
 - Multi-Family Residential
 - Commercial/Industrial

3. No. of Parcels Proposed: Two

4. No. Of Buildable Lots Proposed: Two

5. Zoning District: SIP / PDD

6. Current Owner of Property: Homeville Fitchburg LLC, c/o Bill Clemens

Address: P.O. Box 457 **Phone No:** 608-575-8642

7. Contact Person: Tom Sanford / Sanford Enterprises, Inc

Email: Tom@SEICommercial.com

Address: 555 D'Onofrio, Suite 275, Madison, WI 535719 **Phone No:** 608-347-8299

8. Submission of legal description in electronic format (MS Word or plain text) by email to: planning@fitchburgwi.gov

Pursuant to Section 24-2 (4) of the Fitchburg Land Division Ordinance, all Land Divisions shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

Respectfully Submitted By: *Tom B. Sanford* Tom Sanford
 Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 9/22/2015

Ordinance Section No. _____ **Fee Paid:** \$845.00

Permit Request No. CS-2083-15 Receipt # 1-10367



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Tom Sanford

Address: 555 D'Onofrio Dr. Ste 275 Phone Number of Contact Person: 608 347 8299

City, State, Zip Code: Madison WI 53719 Email of Contact Person: tom@SEI Commercial.com

Project Address: lot 1 Avalon Sr Campus Lot: 1 Subdivision: _____

Project Type: _____ Multi-Family Commercial _____ Industrial _____ Other

New _____ Addition

Impervious Surface Ratio (ISR): 85% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures.
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

Landscaping:

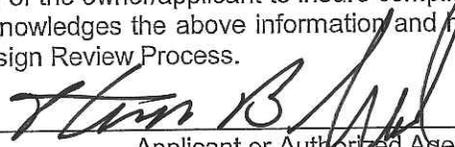


1. Location, species, size of existing trees, shrubs, and plantings.
2. Location, species, size of proposed plantings.
3. Location and size of all paved, seeded/sodded and gravelled areas.
4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed:  Date: 22 Sept 2015
Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: 9/22/2015 Plan Commission Date: _____

Comments:

Emailed to T Sanford
& B Clemens 10/28/15



CITY OF FITCHBURG
PLANNING DEPARTMENT
5520 LACY ROAD
FITCHBURG, WI 53711
(608) 270-4200
FAX: (608) 270-4275
EMAIL: planning@city.fitchburg.wi.us

Application: RZ-2082-15, CS-2083-15 & ADR
Property Address: Fish Hatchery Road
Property Location: Lot 1 CSM 12135
Review Date: September 28, 2015
Planning Staff Review #1
Planning Staff Review #2

Planning staff has reviewed your submitted pre-application request for a land division, rezoning and ADR on Lot 1 CSM 12135, submitted on September 22, 2015. The following comments are based on this review. Please respond to these comments with a detailed narrative response, along with appropriate revised plans, by 4:00 p.m. on Thursday, October 8, 2015. Further comments or questions may arise as additional review occurs.

Certified Survey Map:

1. Identify required ingress and egress and shared parking easements. **See attached CSM.**
2. Will you be releasing the existing ingress and egress easement by all parties including Lot 2 CSM 12135? **Yes, when the Pike Drive extension constructed and the new ingress / egress to Pike Drive extension.** *CSM not needed since all old easements were removed & replaced with new easement.*

Architectural Design Review: **NOTE: The Architectural Review is for the North Building. The South Building will only submit for the SIP.**

1. What is exterior laminate material? **Please see of the attached Trespa Brochure.**
2. Please provide a colors/materials board at the Plan Commission meeting. **Understood.**
3. Signage shall follow Chapter 26 of City Ordinances. **Understood**
4. What is the dashed type line over the door on the south elevation of the south building? There is a minimum 5' setback required and this is located within the 5' setback. **The dashed line indicate a canopy over the door**
Review #2: While perhaps allowed by state building code, the small setback was noted as not being suitable to adjoining owner.
5. Please provide design details on the trash enclosures. **Submitted**
6. Is there an easement for the north building trash enclosure to be on lot 2 CSM 12135? **Yes, the easement shows on the revised CSM (attached).**
7. What is the location of the mechanical units? **Roof top for both building utilize screening / parapet on the roof to hide mechanical**
8. Bike parking. **Yes – per plan**
9. What is the Impervious Surface Ratio (ISR) for each site and for both sites combined? **The Impervious Surface Ratio for both Parcel A & Parcel B equal 83.53%.**

will check w/ TSB & review w/ door canopy

Resubmit

Team's
w/only on
tree +
with
documents.
w/ll find
them.

10. Please provide the signed and recorded cross access agreements with the property owner to the north (car wash). We submitted an easement with the SIP. Is that OK or you asking a specific cross access agreement other than the easement..?

Review #2: Documents were not signed by the parties and did not relate to their specific site.

11. Parking: The approved GIP provided 33 parking stalls for the bank site; only 30 are being provided. The approved GIP provided 35 parking stalls for the north building; the proposed plan is now providing 36 stalls. Why the difference? The plan was slightly modify to accommodate safely traffic flowing within the site, including the easily access to the private drive to the future.

12. The plan set is missing the east building elevation for the south building. The east elevation for the south building is submitted on October 20th with the remaining.

13. Review #2: Show water main easement on all site plans. UW Credit Union Canopy may conflict with the water main easement – adjust canopy to give total clear area above easement if there is a conflict.

14. Review #2: Update site plan to show KL engineering future road – dash in, rather than full line.

15. Review #2: Applicant takes risk as there are no guarantees they will get access to Pike Drive extension and no guarantee a building will not be constructed north of Pike Drive.

16. Review #2: Submit executed agreements required by GIP. See memo

17. Review #2: Are you using KL engineering plan noted as "with site plans" for your submitted site plans?

Show Poss-46
Pike Dr
Access
Arrow 16

w/only to
Pike

Rezone:

1. What are the proposed uses for the north building? Please provide specific details. Under the approved GIP food/beverage uses are limited to 1,940 sq ft. The north building has a coffee shop for the drive-thru tenant space. At this time, the developer does have not specific tenants for the other commercial space. The developer understands that a food tenant for the remaining commercial space will require a condition use. The second floor will be comprises office uses.
2. Please resubmit traffic generation information that assumes the?
3. Which Alternate from the GIP submittal Trip General tables are your pursuing? The Table 1 (2 Story Retail & Office) will be the utilize.
4. What is the gross square footage of the 1st floor of the North building? 4,480 sq ft on the 1st floor
5. What is the gross square footage of the 1st floor of the South building? The South Building gross square footage on the 1st floor is 4,500.
6. The GIP shows the bank being a 2-story building with a minimum 2,250 sq ft second floor; the submitted SIP only provides a 779 sq ft second floor. Please contact David Ewanowski from KEE Architectural - 608-255-9202.

Review #2: Please provide this information. Staff should not have to contact your architect to obtain a response.

RECEIVED
10/20/15



CITY OF FITCHBURG
PLANNING DEPARTMENT
5520 LACY ROAD
FITCHBURG, WI 53711
(608) 270-4200
FAX: (608) 270-4275
EMAIL: planning@city.fitchburg.wi.us

Application: RZ-2082-15, CS-2083-15 & ADR
Property Address: Fish Hatchery Road
Property Location: Lot 1 CSM 12135
Review Date: September 28, 2015
Planning Staff Review #1

Planning staff has reviewed your submitted pre-application request for a land division, rezoning and ADR on Lot 1 CSM 12135, submitted on September 22, 2015. The following comments are based on this review. Please respond to these comments with a detailed narrative response, along with appropriate revised plans, by 4:00 p.m. on Thursday, October 8, 2015. Further comments or questions may arise as additional review occurs.

Certified Survey Map:

1. Identify required ingress and egress and shared parking easements. **See attached CSM.**
2. Will you be releasing the existing ingress and egress easement by all parties including Lot 2 CSM 12135? **Yes, when the Pike Drive extension constructed and the new ingress / egress to Pike Drive extension.**

Architectural Design Review: **NOTE: The Architectural Review is for the North Building. The South Building will only submit for the SIP.**

1. What is exterior laminate material? **Please see of the attached Trespa Brochure.**
2. Please provide a colors/materials board at the Plan Commission meeting. **Understood.**
3. Signage shall follow Chapter 26 of City Ordinances. **Understood**
4. What is the dashed type line over the door on the south elevation of the south building? There is a minimum 5' setback required and this is located within the 5' setback. **The dashed line indicate a canopy over the door**
5. Please provide design details on the trash enclosures. **Submitted**
6. Is there an easement for the north building trash enclosure to be on lot 2 CSM 12135? **Yes, the easement shows on the revised CSM (attached).**
7. What is the location of the mechanical units? **Roof top for both building utilize screening / parapet on the roof to hide mechanical**
8. Bike parking. **Yes – per plan**
9. What is the Impervious Surface Ratio (ISR) for each site and for both sites combined? **The Impervious Surface Ratio for both Parcel A & Parcel B equal 83.53%.**
10. Please provide the signed and recorded cross access agreements with the property owner to the north (car wash). **We submitted an easement with the SIP. Is that OK or you asking a specific an cross access agreement other than the easement..?**

11. Parking: The approved GIP provided 33 parking stalls for the bank site; only 30 are being provided. The approved GIP provided 35 parking stalls for the north building; the proposed plan is now providing 36 stalls. Why the difference? **The plan was slightly modify to accommodate safely traffic flowing within the site, including the easily access to the private drive to the future.**
12. The plan set is missing the east building elevation for the south building. **The east elevation for the south building is submitted on October 20th with the remaining.**

Rezone:

1. What are the proposed uses for the north building? Please provide specific details. Under the approved GIP food/beverage uses are limited to 1,940 sq ft. **The north building has a coffee shop for the drive-thru tenant space. At this time, the developer does have not specific tenants for the other commercial space. The developer understands that a food tenant for the remaining commercial space will require a condition use. The second floor will be comprises office uses.**
2. Please resubmit traffic generation information that assumes the?
3. Which Alternate from the GIP submittal Trip General tables are your pursuing? **The Table 1 (2 Story Retail & Office) will be the utilize.**
4. What is the gross square footage of the 1st floor of the North building? **4,477 sq ft on the 1st floor**
5. What is the gross square footage of the 1st floor of the South building? **The South Building gross square footage on the 1st floor is 4,480**
6. The GIP shows the bank being a 2-story building with a minimum 2,250 sq ft second floor; the submitted SIP only provides a 779 sq ft second floor. **Please contact David Ewanowski from KEE Architectural - 608-255-9202.**

**Lot 1 CSM 12135 - Avalon Senior Campus
2875 Fish Hatchery Road
Public Works Review #3**

The following comments are based on the plans submitted for a rezone, CSM, and ADR request for Lot 1 CSM 12135, Avalon Senior Campus (2875 Fish Hatchery Road), dated September 22, 2015. RE, 9-29-15; GV, 9-29-15; AB, 10-01-15; TF 9-30-15; CH 10-2-15. Additional comments beyond these may be required on future reviews.

General Comments

1. Please confirm that refuse and recycling container(s) are located and sized properly. **The refuse and recycling containers will be sized for the amount of trash generate by both tenants for the north building. The credit union is a small trash generator - typical paper products.**
2. The applicant will need to submit a Construction & Demolition Reuse/Recycling Plan to Public Works. **Prior of Building Permit**
3. A street tree waiver will need to be signed by the Owner for street trees to be planted by the City along Fish Hatchery Road. **Prior of Building Permit**
4. Please note on the plans that street opening permits are required for all work within the public rights of way. **On the Plan**

Transportation Comments

1. The Traffic Impact Analysis (TIA) that was completed in 2014 for the redevelopment of the Church property on the west side of Fish Hatchery Rd included some traffic analysis for the future redevelopment of the Avalon and Bowman property. The uses were based off of the April 2014 rezone request. The table below provides a comparison for the trip generation assumptions for Lot 1 of CSM 12135 between the 2014 TIA and the new proposal:

	2014 TIA Trip Assumptions Lot 1, CSM 12135	New Proposal Trip Generation
AM Peak	254 trips	240-320 trips
PM Peak	155 trips	230-275 trips

The new proposal results in higher PM peak trips than was assumed with the TIA. The TIA analysis resulted in Level of Service (LOS) D, in year 2025, for the side street approaches (Pike Drive extension) during peak hours. For this reason, staff favors the lower-volume scenarios identified in Tables 1 and 2 of the report.

It should also be noted that the Valley View access on Fish Hatchery Road will likely need to be restricted to a right-in/right-out operation with a new driveway access constructed to the north to connect with the Pike Drive extension. This will add additional volume to the signalized intersection. The 2014 TIA also determined that a new signalized intersection on Fish Hatchery Road will increase delay on Fish Hatchery Road by as much as 45% at full-build out in 2025. Controlling the trip generation to not exceed the values that were used in the 2014 TIA is strongly advised to avoid significant traffic delays and congestion along the Fish Hatchery Road corridor. **Noted**

Lot 1 CSM 12135 - Avalon Senior Campus
2875 Fish Hatchery Road
Public Works Review #3

2. With the traffic volumes that are projected with this redevelopment, it will be even more important to connect the Pike Drive extension east to Index Road. This street connection will increase access and minimize the need to use Fish Hatchery Road for all access to the redeveloped area. **Agreed**
3. Convenient bike and pedestrian access should be provided from the Avalon senior housing complex to the site. Review accessible routes to accommodate that. **Understood**
4. Provide outdoor bicycle parking near the front entrances for patrons. Outdoor parking should follow the standards of the City's Bicycle and Pedestrian Plan (on the city's website at: <http://www.city.fitchburg.wi.us/departments/cityHall/publicWorks/transportation/BicycleTransportation.php>) with regards to location and style. Indoor parking should be considered to accommodate convenient bicycle storage for those choosing to commute by bike. Identify the location and quantity of outdoor bicycle parking at each building. **On the Plan**
5. The exit at the north end of the site (to the shared access with the property to the north) looks very tight for getting vehicles turned through the curb opening, especially larger vehicles. Review the turning movements at that exit. **Noted**
6. Driveways should follow the Commercial Driveway Standards of the City of Fitchburg, consisting of a concrete apron and straight tapers to meet the public street. This drawing can be found in the City's Standard Specifications document, available on our website: <http://www.city.fitchburg.wi.us/departments/cityHall/publicWorks/documents/StandardSpecifications.pdf> The text states that the driveway location on Fish Hatchery Road would be shifted to the north AFTER the Pike Drive extension is completed. However, the site plan does not appear to work with the existing driveway location and access drive that exists for the Avalon Senior Housing complex. Confirm the Fish Hatchery Road driveway location and how it will work with the site. **The driveway would be shifted to the north prior to the construction for the credit union site.**

Water Main and Sanitary Sewer

1. A private water main easement will need to be recorded for the water main that will service multiple lots. Water main easement is mislabeled as "20' Public Utility Easement." Easement needs to be labeled as "20' private water main easement." This comment needs to be addressed. There is an existing water main now shown on the north end of Parcel A that needs to be within a 20' private water main easement. The City recommends that this existing main be rerouted to only service the lot to the east and that the existing connection be utilized to service the proposed building. See attached sketch. **OK**

**Lot 1 CSM 12135 - Avalon Senior Campus
2875 Fish Hatchery Road
Public Works Review #3**

2. A water access agreement will need to be recorded that gives Fitchburg Utility rights to operate service valves to each building on the property. Access agreement needs to be submitted. If the owner would prefer to have separate services for Parcel B and the lot to the east to avoid an access agreement, please call Tracy Foss at 270-4272 to discuss. **OK – the document provided was drafted for a condominium... Please revise.**
3. Water impact fees will need to be paid prior to release of any building permits. These fees will be included with the permit fee. Please provide the total number of employee hours per week at the proposed facilities for use to calculate these fees. This information needs to be provided. **Noted**
4. MMSD fees are paid for this lot. **Noted**
5. The Existing Site Plan does not label the existing water main from Fish Hatchery Road to be removed, however the General Development Plan does. Please coordinate. **Noted**
6. The plans note to remove and reuse existing water main, however do not show where it is to be relocated to. Show the location of this relocated main on the plans. Note that Avalon is serviced from Fish Hatchery Road, not Index. An 8" valve needs to be added east of the service to Parcel B as shown in the attached sketch. **Noted**
7. The City's sanitary televising report indicates that there is a lateral wye capped 88' south of the manhole in front of Parcel A. For Parcel B, please note on the plans to connect to this existing wye verses adding a new connection. **Noted**
8. Private water mains between the public water main up to and including private hydrants are required to be 8" in diameter and installed per the latest edition of the City of Fitchburg Standard Specifications for Public Works Construction. Private hydrants are required to have a valve on the lead. Please modify and note accordingly. A 6" lead and valve is noted on the plans, this needs to be changed to 8"- see attached sketch. **Noted**

Erosion Control and Stormwater Management (ECSWM) Comments

1. A new Erosion Control & Storm Water Management permit application will need to be submitted to the Fitchburg Public Works Department for review and approval (The ECSWM application and information on requirements can be found at: <http://www.fitchburgwi.gov/231/ECSWM-Requirements>. **Noted**
2. A stormwater maintenance agreement (recorded at the Dane County Register of Deeds office) will be required for the necessary private stormwater management practices approved by the City (e.g. private storm sewer, rain gardens, etc.). The owner(s) would be eligible for up to a 50% reduction in stormwater utility rates for the proposed stormwater practices. The following link: <http://www.fitchburgwi.gov/230/Credit-Opportunities> provides the application form and details on this program. **Noted**

DIMENSION IV

Madison Design Group

architecture · engineering · interior design

6515 Grand Teton Plaza, Suite 120, Madison, Wisconsin 53719
p608.829.4444 f608.829.4445 dimensionivmadison.com

Lot 1 Avalon Senior Campus

2901 Fish Hatchery Rd., Fitchburg, WI



List of Drawings

Quam Engineering:

CSM

CSM Description

Existing Site Plan

GECP Plan

Site Plan

Utility Plan

Landscape Plan

Lighting Plan

Dimension IV Madison:

A1.1 North Building 1st Floor Plan

A1.2 North Building 2nd Floor Plan

A2.0 Elevations

A3.0 Perspective Views

A4.0 Trash Enclosure Details

KEE Architecture:

A201 South Building 1st Floor Plan

A202 South Building 2nd Floor Plan

A301 South Building Elevations

Owner:

Homeville Fitchburg LLC
c/o Bill Clemens P.O. Box 457, Waunakee, WI 53597
608-575-8642

Architecture :

Dimension IV - Madison Design Group
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
608.829.4444 www.dimensionivmadison.com

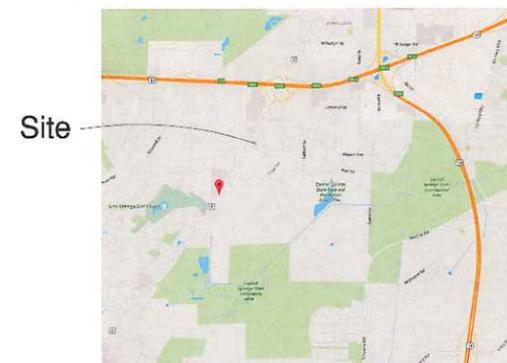
KEE Architecture
621 Williamson St., Madison, WI, 53703
608.255.9202

Civil Engineering:

Quam Engineering
4893 Larson Beach Rd., McFarland, WI 53719
608-838-7750

Project Contact Person:

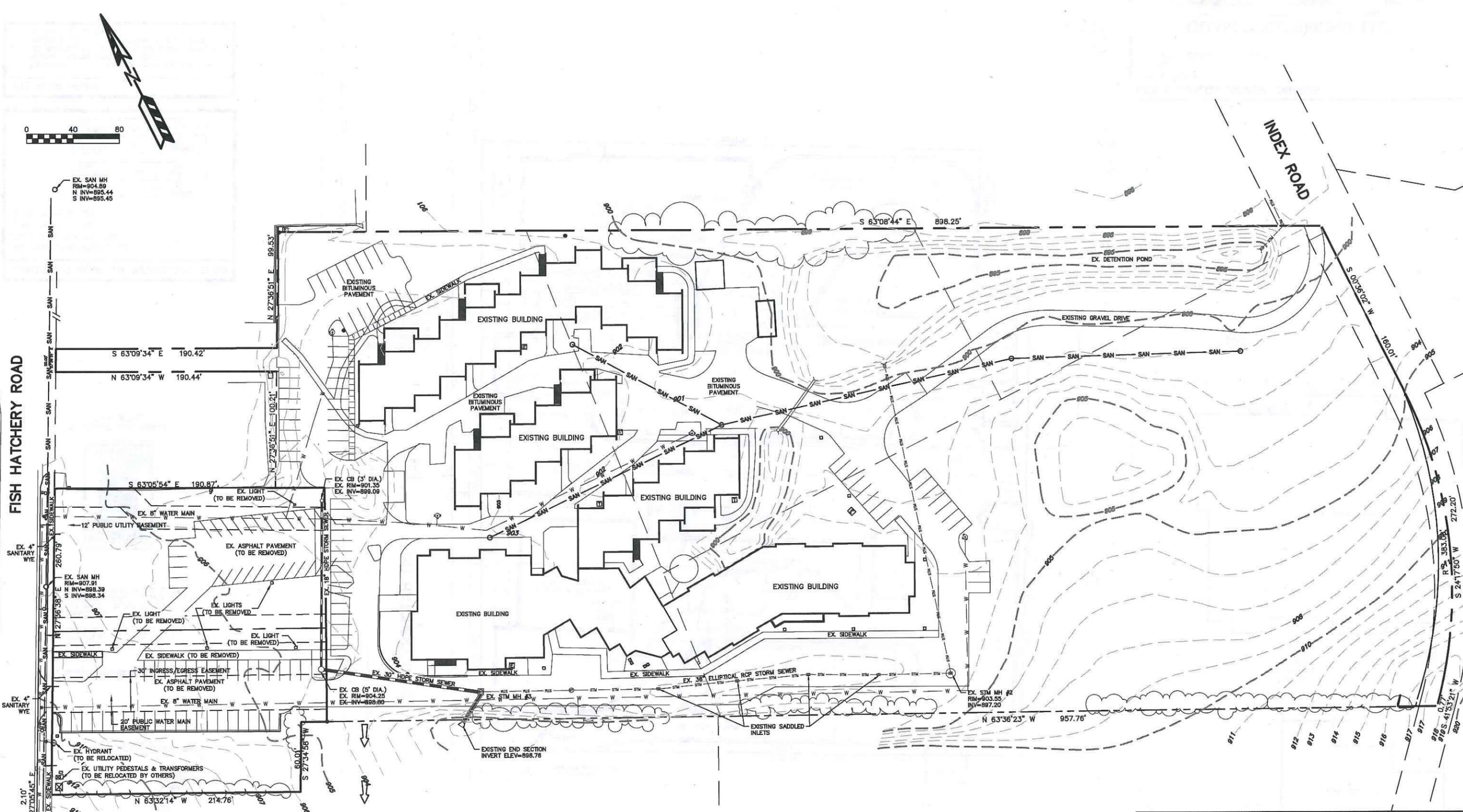
Tom Sanford, Sanford Enterprises, Inc.
555 D'Onofrio Dr., Ste 275, Madison, WI 53703
608-347-8299



Vicinity Map



Location Map



FISH HATCHERY RETAIL - 2875 FISH HATCHERY ROAD

EXISTING SITE PLAN
PAGE: 1 OF 5
DATED: SEPTEMBER 24, 2015

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants

4604 Siggeikow Road, Suite A; McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752

EROSION NOTES:

- 1.) THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY.
- 2.) EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- 3.) SILT FENCE AND STOCKPILES SHALL BE FIELD LOCATED BY THE ENGINEER.
- 4.) CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
- 5.) EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

TIME SCHEDULE:

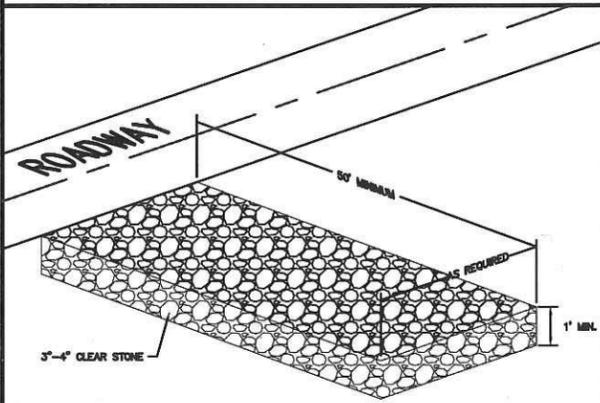
OCTOBER 1, 2015	INSTALL INITIAL EROSION CONTROL DEVICES.
OCT. 1 - 15, 2015	SAWCUT AND REMOVE EXISTING PARKING LOT.
OCT. 16 - MAY 1, 2016	CONSTRUCT BUILDING UTILITIES, PARKING LOT.
MAY 1-15, 2016	PERMANENTLY RESTORE ALL PVIOUSLY DISTURBED AREAS.

RESTORATION NOTES:

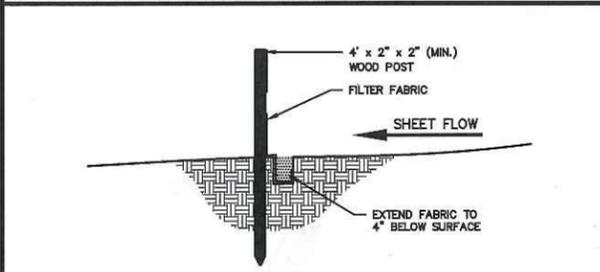
ALL DISTURBED AREAS WITHIN THE LOT, EXCEPT STREET PAVEMENT, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. ALL DISTURBED AREAS WITHIN THE CITY RIGHT-OF-WAY, EXCEPT SIDEWALK AND STREET PAVEMENT, SHALL RECEIVE A MINIMUM OF SIX (6) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

OWNER:
BILL CLEMENS
200 MEADOW OAK TRAIL
WAUNAKEE, WI 53597

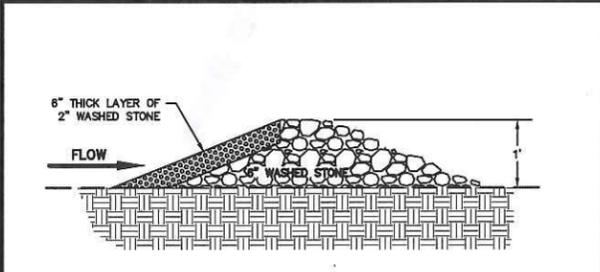
ENGINEER:
QUAM ENGINEERING, LLC
ATTN: RYAN QUAM
4604 SIGGELKOW ROAD
MCFARLAND, WI 53558



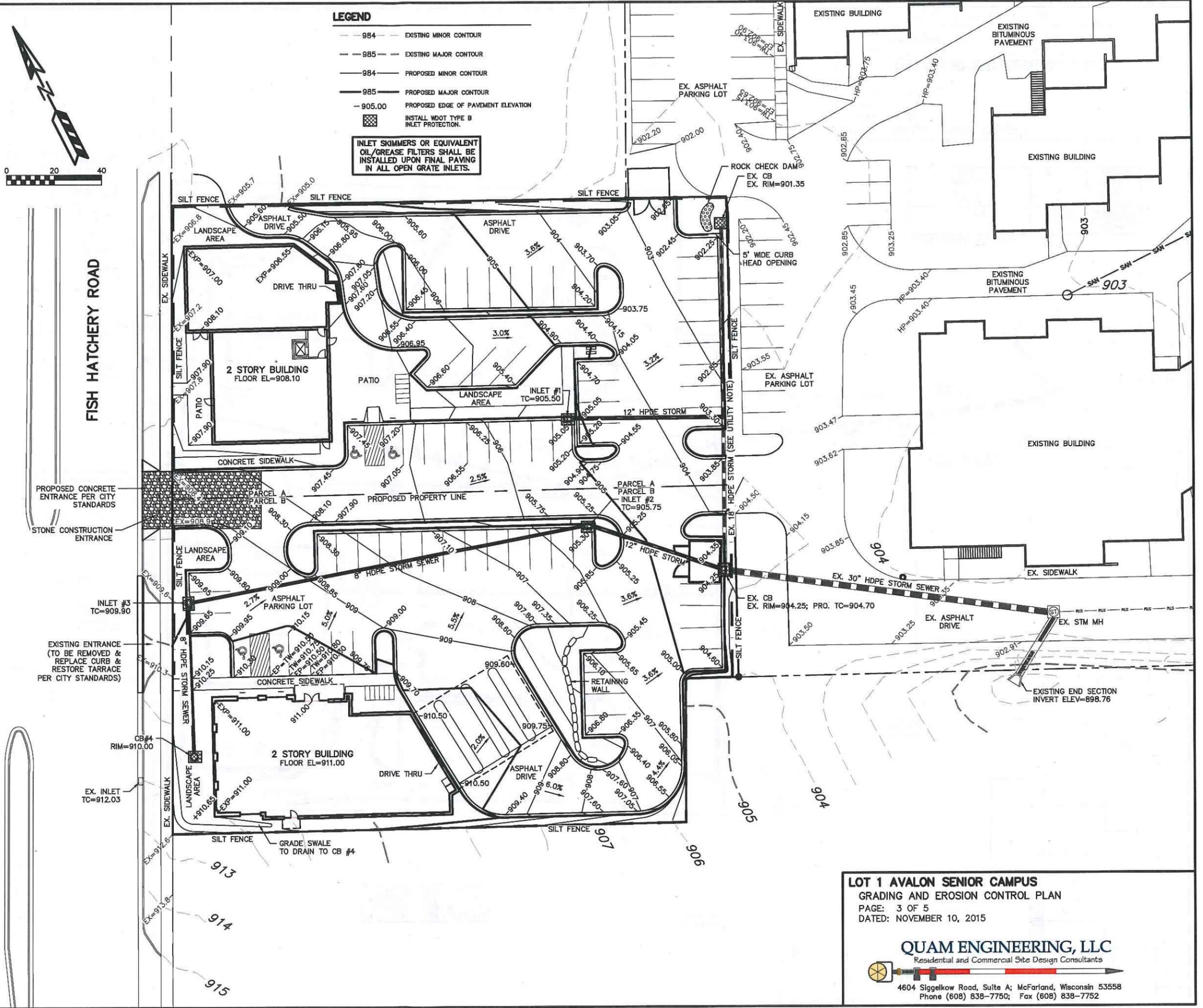
STONE CONSTRUCTION ENTRANCE



SILT FENCE CONSTRUCTION (SHEET FLOW)



ROCK CHECK DAM DETAIL



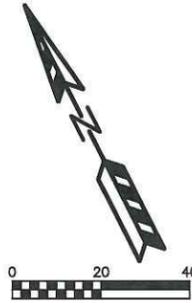
LEGEND

- - - 984 - - - EXISTING MINOR CONTOUR
- - - 985 - - - EXISTING MAJOR CONTOUR
- - - 984 - - - PROPOSED MINOR CONTOUR
- - - 985 - - - PROPOSED MAJOR CONTOUR
- - - 905.00 - - - PROPOSED EDGE OF PAVEMENT ELEVATION
- [Hatched Box] - - - INSTALL WOOD TYPE B INLET PROTECTION.

INLET SKIMMERS OR EQUIVALENT OIL/GREASE FILTERS SHALL BE INSTALLED UPON FINAL PAVING IN ALL OPEN GRATE INLETS.

LOT 1 AVALON SENIOR CAMPUS
GRADING AND EROSION CONTROL PLAN
PAGE: 3 OF 5
DATED: NOVEMBER 10, 2015

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
4604 Siggelkow Road, Suite A; McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752



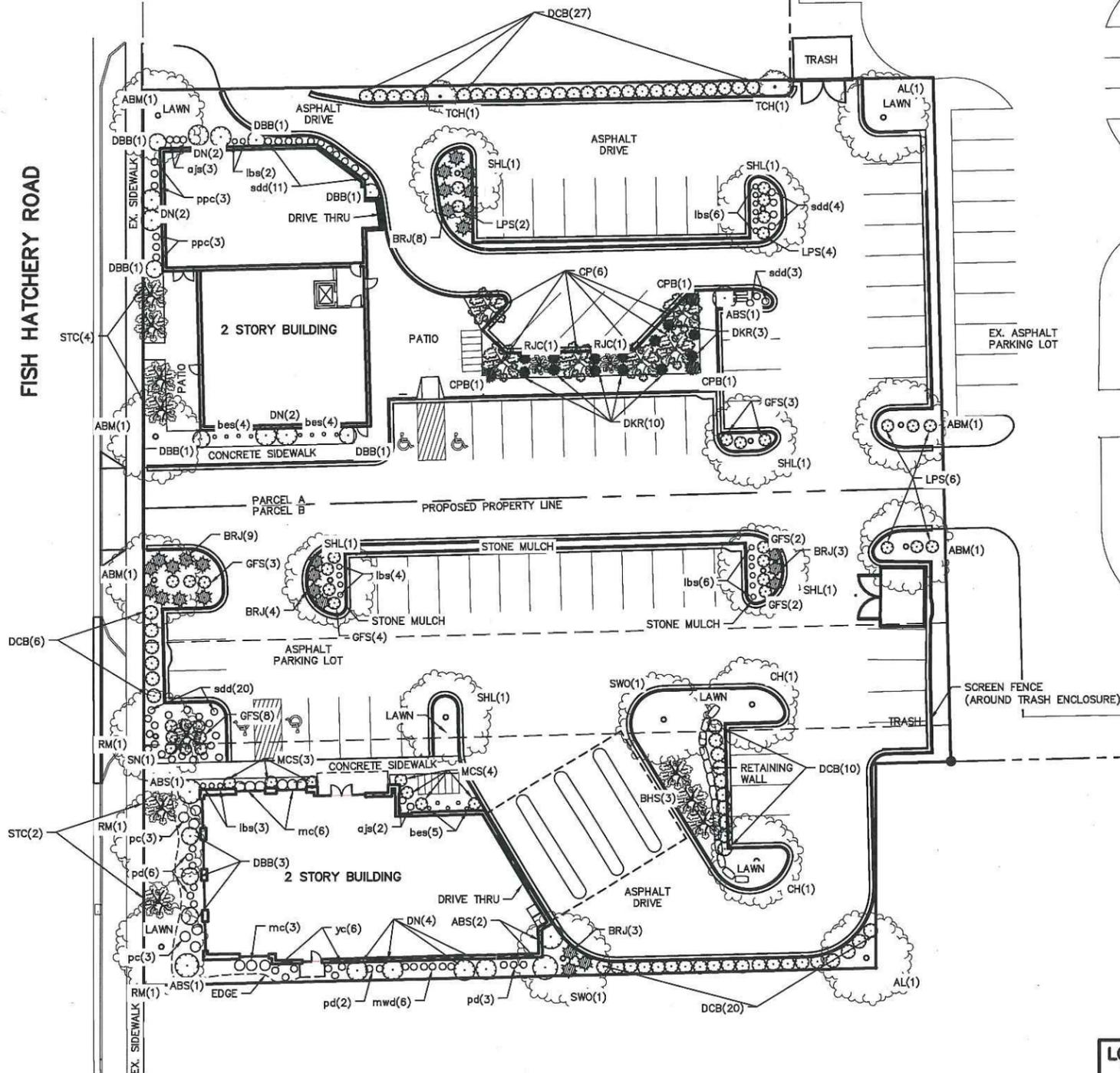
PLANT LIST

KEY	SIZE	QUAN	COMMON NAME	Botanical Name	ROOT
ABM	2 1/2"	5	Autumn Blaze Maple	Acer Fremanni	BB
AL	2 1/2"	2	American Linden	Tilia Americana	BB
CH	2 1/2"	2	Common Hackberry	Cetis Occidentalis	BB
RM	2 1/2"	3	Red Maple	Acer Rubrum	BB
SHL	2 1/2"	6	Skyline Honeylocust	Gleditsia T Inermis	BB
SWO	2 1/2"	2	Swamp White Oak	Quercus Bicolor	BB
ABS	6"	5	A B Serviceberry	Amelanchier Grandiflora	BB
CP	2"	6	Cleveland Select Pear	Pyrus C 'Cleveland Select'	BB
RJC	2"	2	Red Jade Crab	Malus Red Jade	BB
STC	2"	6	Sargent Tina Crab	Malus Sargentii 'Tina'	BB
SN	1 1/2"	1	Spring Snow Crab	Malus 'Spring Snow'	BB
TCH	6"	2	Thornless Hawthorn	Crataegus Crusgalli Inermis	BB
BHS	6"	3	Black Hills Spruce	Picea Pungens Densata	BB
BRJ	2 G	27	Blue Rug Juniper	Juniperus Horizontalis	Con
CPB	15"	3	Crimson Pygmy Barberry	Berberis	Pot
DBB	24"	9	Dwarf Burning Bush	Euonymus Alatus	Pot
DCB	24"	63	Dwf Cran Viburnum	Viburnum	Pot
DKR	2 G	13	Double Knockout Rose	Rosa	Con
DN	24"	10	Diablo Ninebark	Physocarpus	Pot
GFS	18"	22	Gold Flame Spirea	Spirea	Pot
LPS	18"	12	Little Princess Spirea	Spirea	Pot
MCS	15"	7	Magic Carpet Spirea	Spirea	Pot
ajs	1 G	5	Autumn Joy Sedum		Con
bes	1 G	13	Black Eyed Susan		Con
lbs	1 G	21	Little Bluestem		Con
mwd	1 G	6	Midnight Wine Daylily		Con
mc	1 G	9	Moonbeam Coreopsis		Con
pd	1 G	11	Prairie Dropseed		Con
pc	1 G	6	Purple Coneflower		Con
ppc	1 G	6	Purple Palace Coral Bells		Con
sdd	1 G	38	Stela de Oro Daylily		Con
yc	1 G	6	Yellow Coneflower		Con

NOTES:

- 1) Sodded lawn areas to receive a minimum of 4" of topsoil, starter fertilizer, and # 1 locally grown bluegrass sod.
- 2) Sodded lawn areas to be irrigated by an automated underground sprinkler system (turf and planting beds).
- 3) Foundation planting beds and planting beds labeled as 'stone mulch' to be mulched with 1 1/2" washed stone mulch spread to a depth of 3" over weed barrier fabric.
- 4) Planting beds labeled as 'bark mulch' to be mulched with shredded hardwood bark mulch spread to a depth of 3".
- 5) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".
- 6) Designated planting beds to be separated from lawn areas with 5" black vinyl bed edging (Valley View Black Diamond or equal.)

FISH HATCHERY ROAD



LOT 1 AVALON SENIOR CAMPUS

LANDSCAPE PLAN

PAGE: 5 OF 5

DATED: NOVEMBER 10, 2015

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 4604 Siggelkow Road, Suite A; McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

RECEIVED
11/10/2015

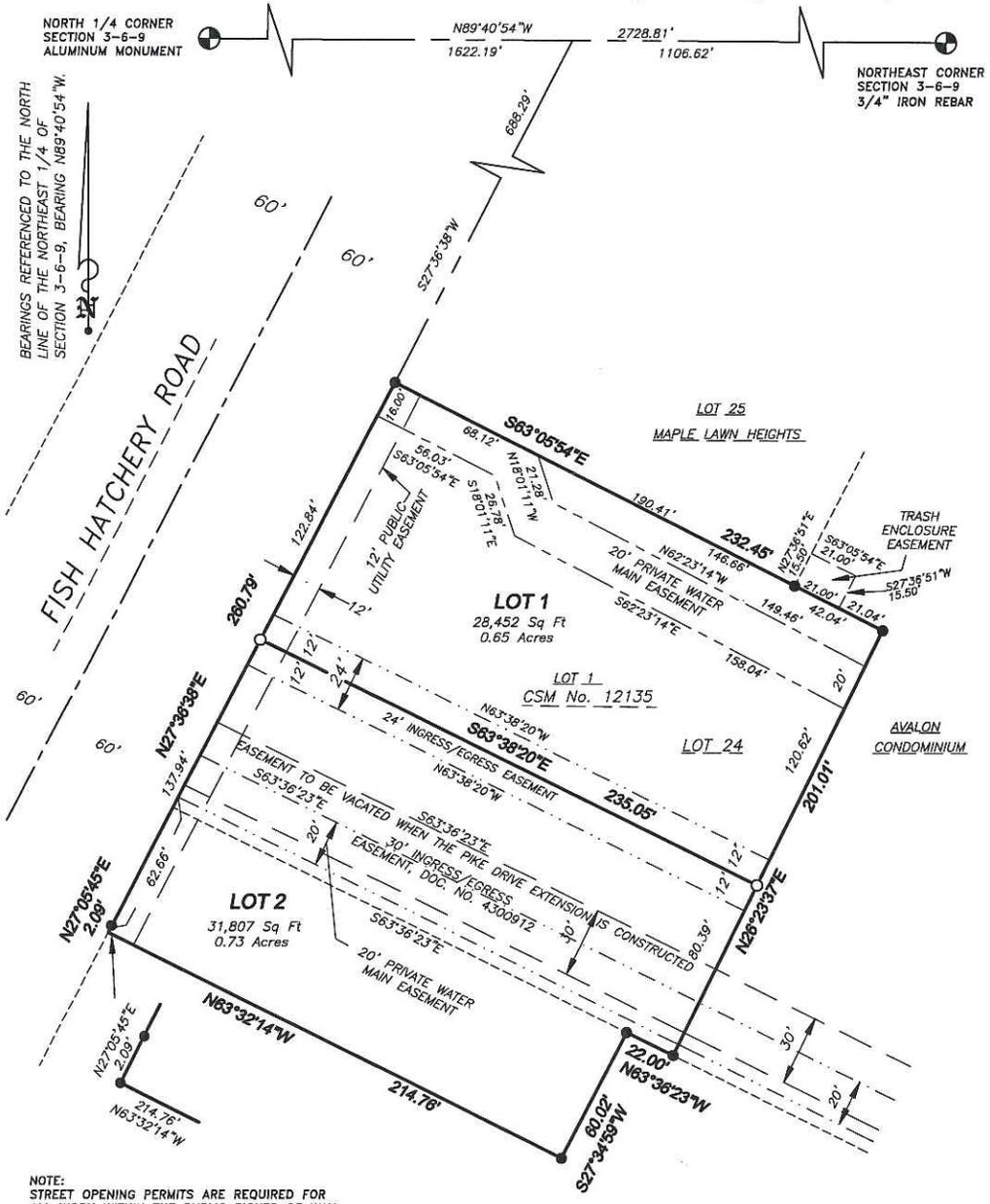


**BIRRENKOTT
SURVEYING, INC.**

P.O. Box 237
1677 N. Bristol Street
Sun Prairie, WI. 53590
Phone (608) 837-7463
Fax (608) 837-1081

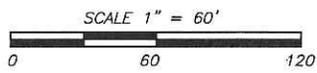
CERTIFIED SURVEY MAP

All of Lot 1, Certified Survey Map No. 12135, recorded as Document No. 4304437 in Vol. 75, Pg. 11 of Dane County records. Also being a Part of Lot 21, Maple Lawn Heights, located in the Northeast 1/4 of the Northeast 1/4 and the Northwest 1/4 of the Northeast 1/4 of Section 3, T6N, R9E, City of Fitchburg, Dane County.



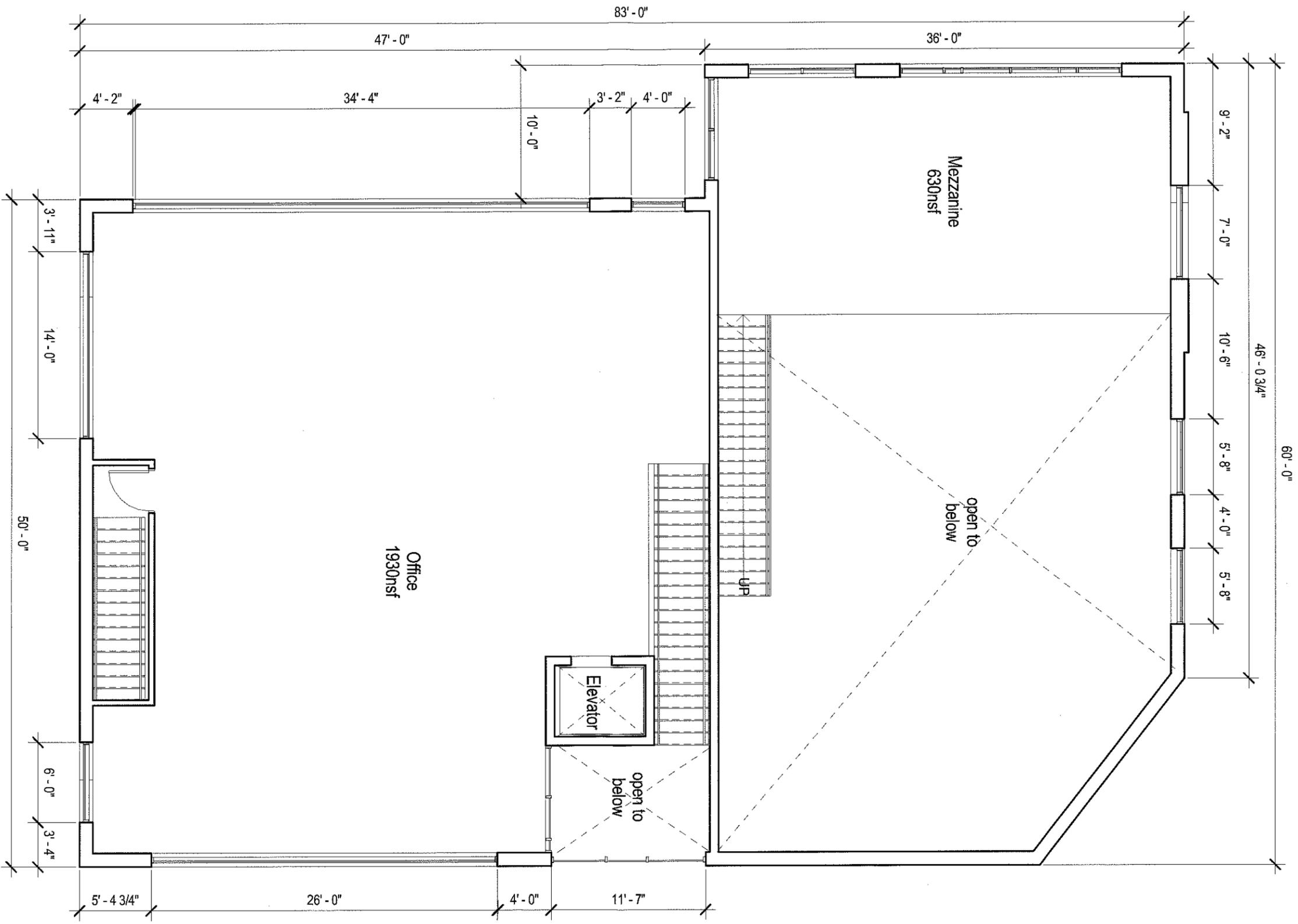
NOTE:
STREET OPENING PERMITS ARE REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHTS OF WAY.

- Legend:**
- = FOUND IRON STAKE
 - = SET 1"x24" IRON PIPE
MIN. WGT. 1.68 LBS/FT



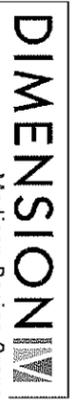
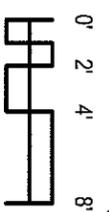
L:\2005\050421\070070_CSM
J:\2005\050421
Sheet 1 of 2
Office Map No. **150638**

CERTIFIED SURVEY MAP NO. _____
VOLUME _____ PAGE _____
DOCUMENT NO. MAPLE LAWN HEIGHTS



1 02-SECOND FLOOR
1/8" = 1'-0"

North Building A1.2



Madison Design Group
architecture · engineering · interior design
6515 Grand Teton Plaza, Suite 120, Madison, Wisconsin 53719
608.829.4444 608.829.4445 dimension@madison.com

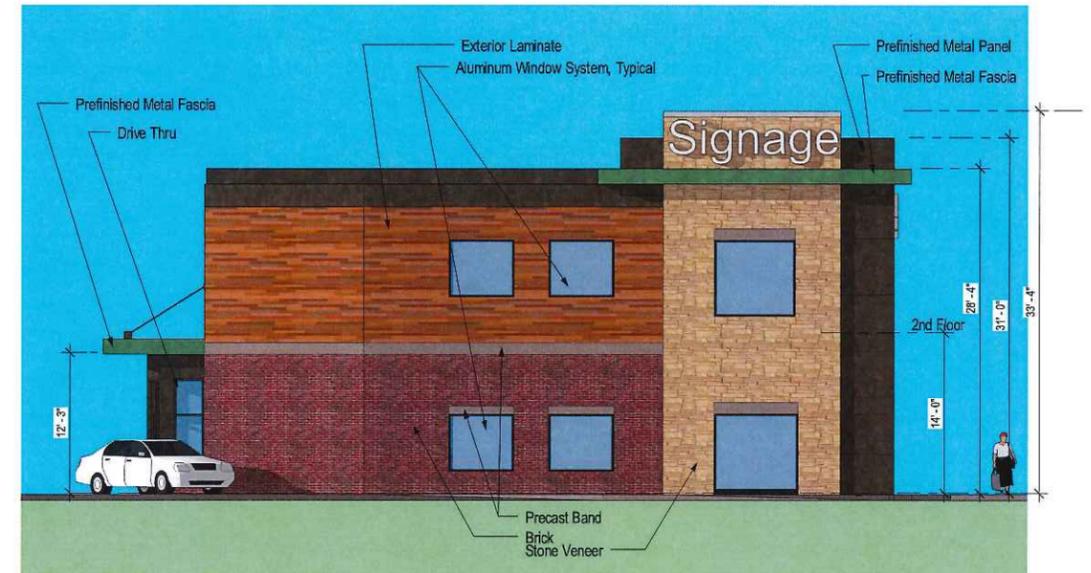
Fish Hatchery Rd. Commercial

Fish Hatchery Rd., Fitchburg, WI

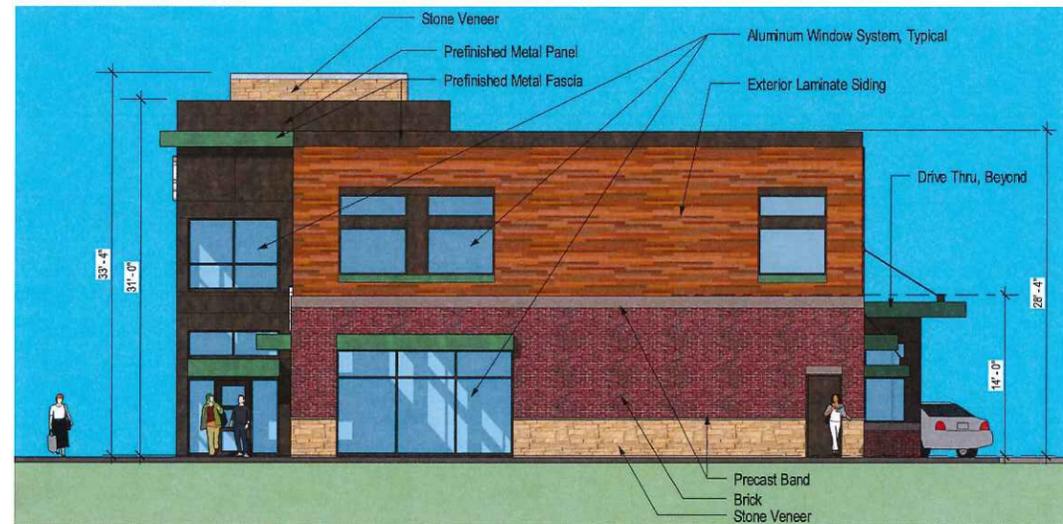
2nd Floor Plan
15 September 2015
13070



4 Elevation West.
1/8" = 1'-0"



2 Elevation North.
1/8" = 1'-0"



3 Elevation South.
1/8" = 1'-0"



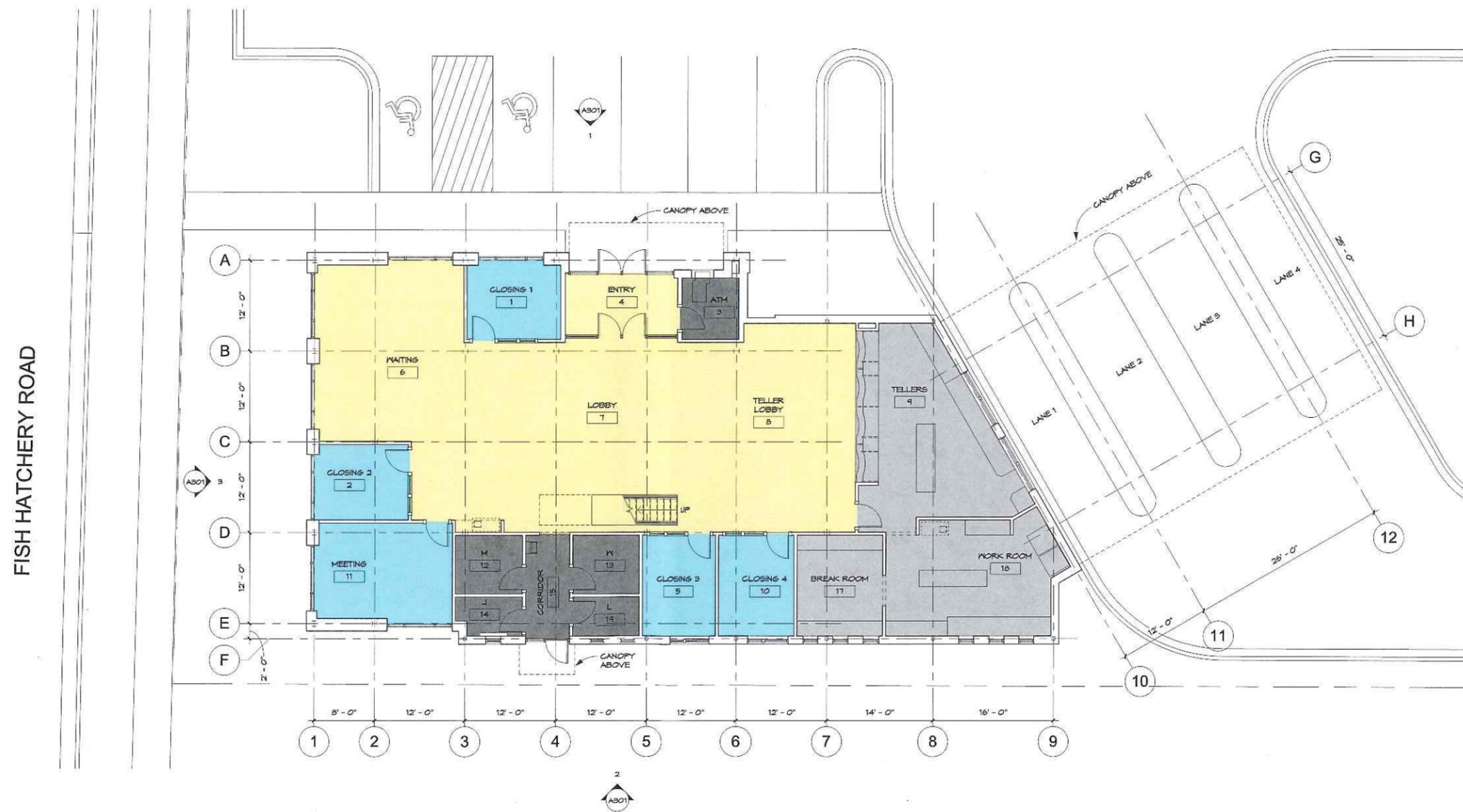
1 Elevation East.
1/8" = 1'-0"



2 Perspective View.
3/32" = 1'-0"



1 Perspective View SE.
3/32" = 1'-0"



FISH HATCHERY ROAD

1 FIRST FLOOR PLAN
A201
1/8" = 1'-0"

SIP SUBMITTAL
SEPTEMBER 18, 2015
NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE

RETAIL BUILDING
LOT 1 AVALON SENIOR CAMPUS
FITCHBURG, WI

Z909E



SIP SUBMITTAL

SEPTEMBER 18, 2015

NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE
-----	-------------	------

	RETAIL BUILDING	
	LOT 1 AVALON SENIOR CAMPUS	
	FITCHBURG, WI	

Z909E

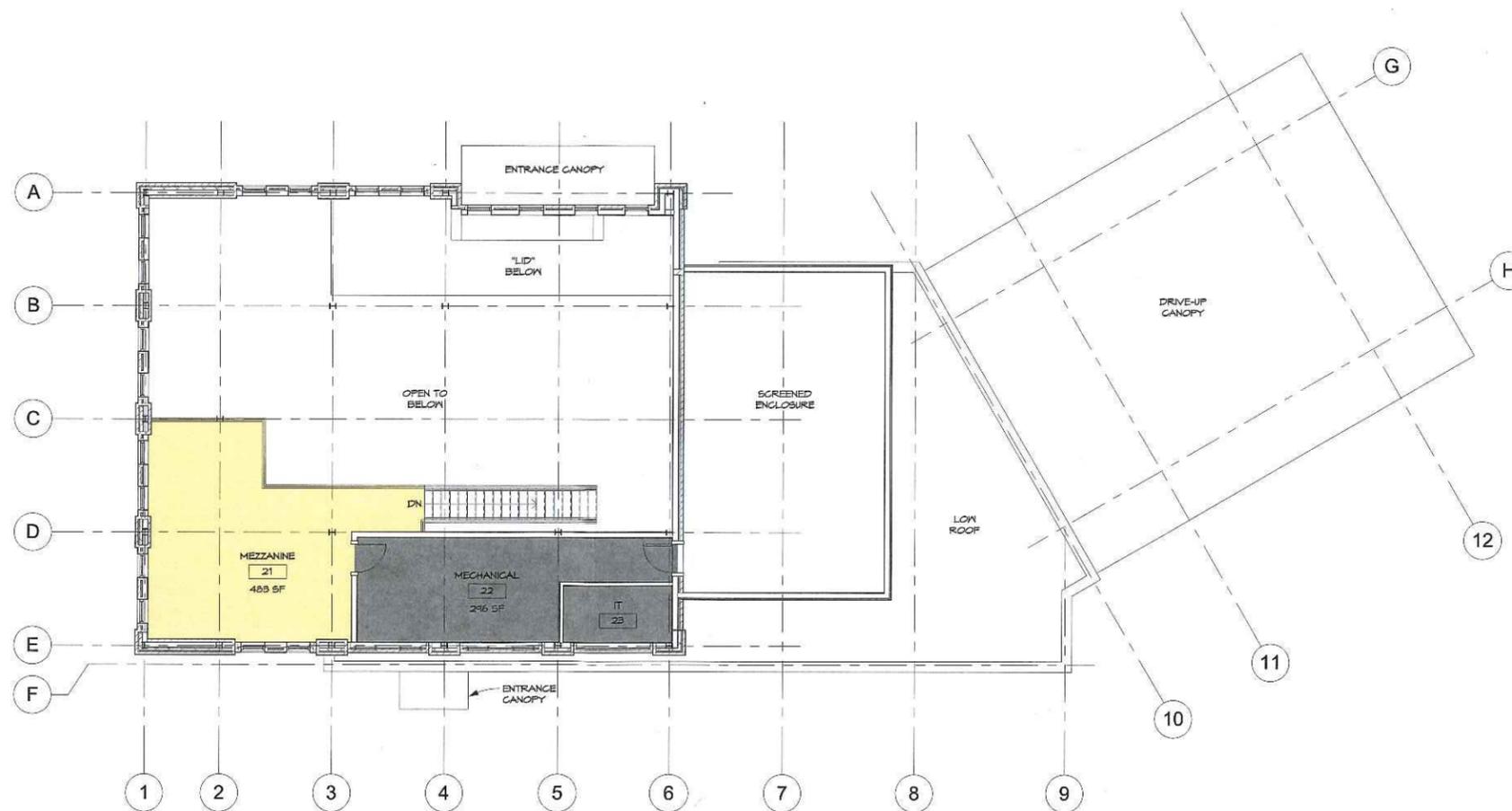
KEE
architecture

621 Williamson Street, Madison WI 53703

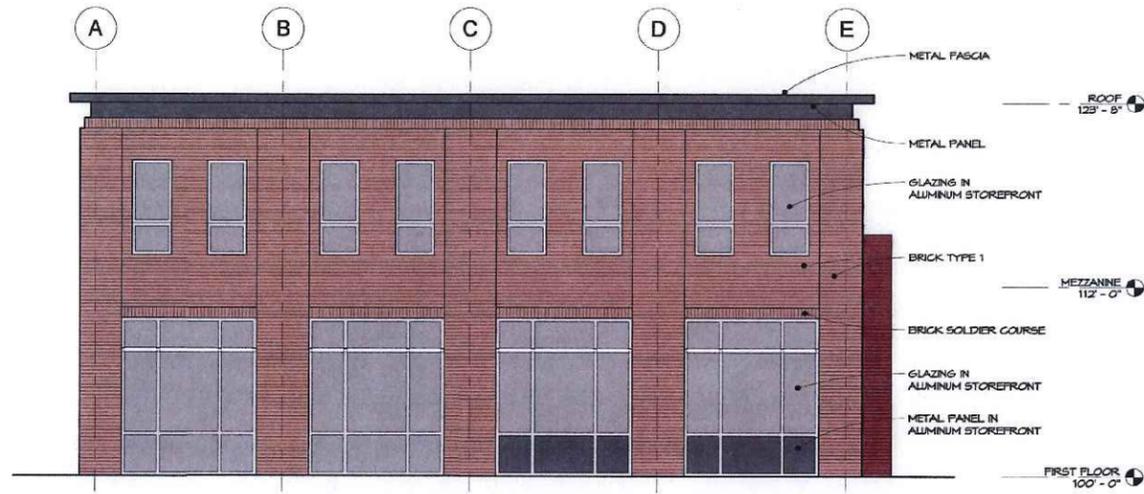
South Building

A202

MEZZANINE PLAN



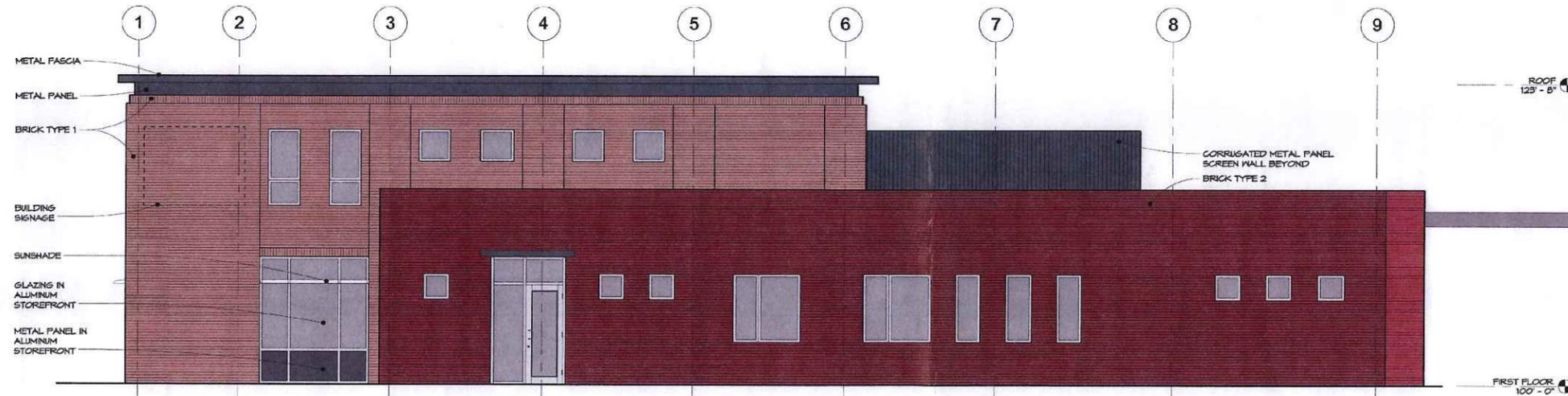
1 MEZZANINE FLOOR PLAN
A202 1/8" = 1'-0"



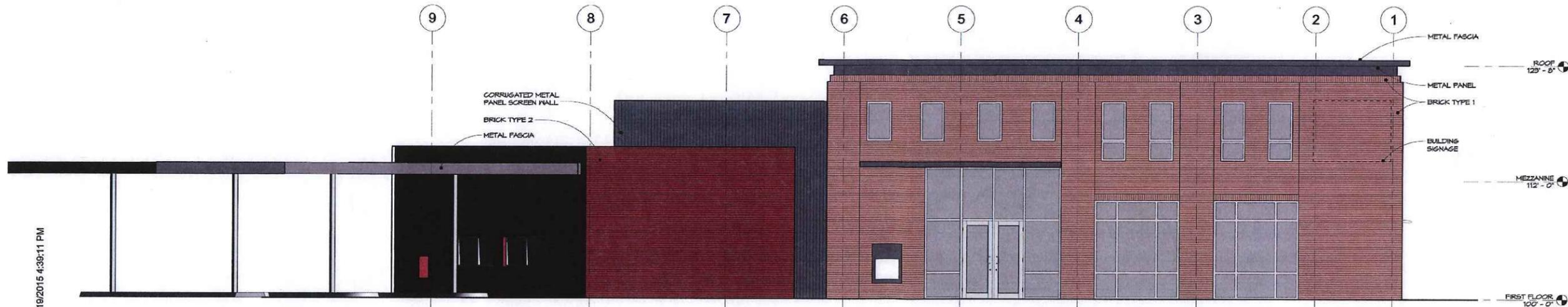
3 WEST ELEVATION
A301 3/16" = 1'-0"



4 EAST ELEVATION
A301 3/16" = 1'-0"



2 SOUTH ELEVATION
A301 3/16" = 1'-0"



1 NORTH ELEVATION
A301 3/16" = 1'-0"

SIP SUBMITTAL

SEPTEMBER 18, 2015
REV: OCTOBER 19, 2015

NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE
Z909E		

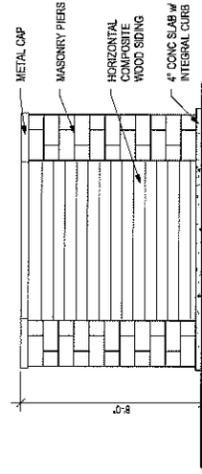
RETAIL BUILDING
LOT 1 AVALON SENIOR CAMPUS
FITCHBURG, WI

Z909E

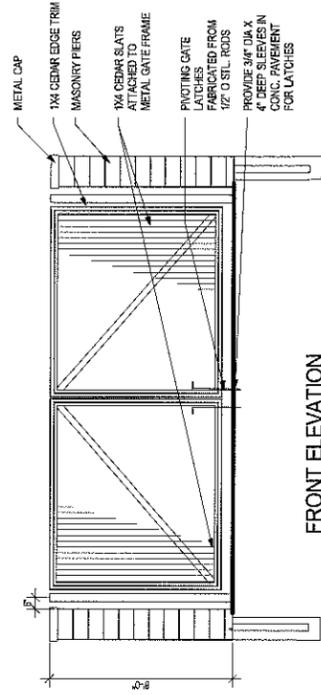
KEE
architecture

611 Wisconsin Street, Madison, WI 53703

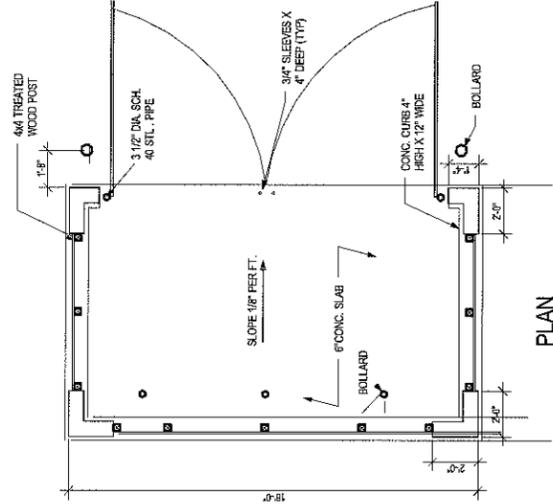
A301 BUILDING ELEVATIONS



SIDE ELEVATION



FRONT ELEVATION



PLAN
TRASH ENCLOSURE

1 1/8" = 1'-0"

Planned Development District
General Implementation Plan (GIP) Submittal
Lot 1 Avalon Senior Campus

1. Introduction

The Owner, Homeville Fitchburg LLC, is submitting an application for rezoning the existing PDD-GIP for Lot 1 Avalon Senior Campus.

2. Project Description

Proposed Development: Homeville Fitchburg LLC proposes to develop the property as an upscale mixed use commercial center. The owner is in the process of negotiating on the purchase of contiguous property to the south. If that property is acquired the project scope will remain the same but the size of the property will increase by approximately 6,362 square feet based on current assumptions. Therefore, two alternates will be submitted for consideration and approval.

The property may be subdivided prior to submittal of the SIP. The existing CSM may be modified to show a new land division through subdivision. The proposed land division would run east – west (please see attached Site Plans and Land Use Tables). If the land division does occur, any required maintenance agreement for stormwater and easement for cross access will be submitted with the SIP.

Alternate 1: Utilizing the existing property, the project will consist of two (2) commercial buildings with structural 2nd floors and requisite parking. Building A (the north building) will consist of a 4,477 square foot first floor with a 3,797 sq ft second storey. Optionally, Building A could have an 1,898 sq ft mezzanine - half of the second floor square footage - in lieu of a full structural second floor. Building B (the south building) will consist of a 4,500 square foot main floor with 4,500 square foot second storey which also would have the option of a 2,250 square foot mezzanine rather than a full structural second floor.

Alternate 2: Combining a portion of the property to the south will allow Building B to shift south and closer to the proposed Pike Drive extension. This will allow for an additional row of (covered) parking stalls on Lot A, which in turn will allow for the construction of a third storey for Building A, which will be approximately 1,900 sq ft. Building B will remain the same as in Alternate 1 except for its relocation to the south.

Proposed Uses: Building A will consist of two commercial tenant spaces on the ground floor: the north tenant space will be a coffee shop with drive-thru, the other will either be fast food or retail use. The second floor will consist of up to 5 apartments, offices or a combination of both, except that Alternate 2 will be two-storey apartments only utilizing the second and third floors. The proposed use for Building B is a credit union.

Existing Conditions: The property consists of a ±1.38 acre parcel of land that has approximately 260 feet of frontage on Fish Hatchery Road, with the rear lot line contiguous to the western property line of the Avalon Senior Campus.

Currently the site is undeveloped but contains the entrance drive to Avalon Senior Campus, parking spaces along the entrance drive, and open space.

Existing Redevelopment Restrictions:

Please see Zoning Ordinance Amendment (attached)

Proposed Redevelopment Restrictions:

"The frontage parcel along Fish Hatchery Road (Lot 1) is intended primarily for development as a commercial lot for retail businesses or agencies that will provide goods or services that serve the residents of Fitchburg and the greater Madison metro area. Allowable uses include those generally permitted in the B-P and B-G districts including, but not limited to; restaurants, fast food, coffee shops, hair salons, general office, banks, credit unions and financial institutions, medical / dental and other general retail businesses and commercial services. Apartments will also be permitted as part of a mixed-use development. One automobile drive-thru will be allowed for each building for food, coffee, bank, credit or financial institution use. A bank, credit union or financial institution may include up to four (4) drive lanes, including the drive-thru window located on the building, as part of its drive-thru.

The Specific Implementation Plan (SIP) will be submitted for consideration by the Plan Commission and Common Council at a later session.

3. Neighborhood Input

Within the last year, all adjacent property owners have been notified of the Owner's intention of developing the property. This includes Tom Chambasian, the owner of the lube / car wash to the north; Bowman Farms, the owner of a parcel of land contiguous to the south; and Ridgeline Management, the owner of Avalon Assisted Living. Additionally, Chuck Chvala, who is redeveloping the Fitchburg Christian Fellowship property on the west side of Fish Hatchery for commercial use, has also been contacted.

4. Rationale for Change of Zoning Restrictions

1. Because of its convenient location to Fitchburg residents and greater Madison, the zoning change will allow for a variety of commercial uses including neighborhood supporting retail and banking services.
2. The rezoning and subsequent completion of the mixed use commercial center will compliment the other proposed commercial uses along the north Fish Hatchery Road corridor and is the highest and best use for the property.
3. The parcel, which has continued to sit vacant for many years, will greatly enhance the attractiveness of the streetscape by creating tall buildings set close to the road with parking in the rear. This is in stark contrast to the myriad of existing one story buildings that sit back off of the street and have parking in the front.
4. The current PDD Zoning requires a structural second floor and the proposed amended zoning embraces that requirement.

5. Social, Environmental and Economic Impacts

- The project will generate substantial tax revenues for the City of Fitchburg and will provide much needed employment opportunities for local residents in an area with double digit unemployment.
- The development is expected to have minimal environmental impacts. The soil conditions and topography are suitable for development and the project will utilize the existing storm water management area designated as Outlot 1 on the Avalon Senior Campus General Development Plan.
- In keeping with the North Fish Hatchery Road Opportunity Analysis & Concept Planning study, the development will create a sense of place instead of just being an area that people drive past. The retail portion will provide for a coffee shop and possible restaurant, which in turn will serve as a much needed social center and gathering place for local residents, seniors and area businesses. Additionally, many local residents will be able to walk or bike to the development.
- This commercial development will be especially appealing to the existing Valley View apartment complex as well as the brand new 286 unit Vue at Pinnacle Park apartment homes just east of the property.

6. Traffic Flow and Trip Analysis

Initially, the proposed mixed use building will be served by the existing private entrance drive to Avalon Assisted Living Community that runs through the subject property off of Fish Hatchery Rd. There is an existing median break on Fish Hatchery at the point where the existing private roadway intersects with Fish Hatchery Road.

If the proposed Pike Drive extension is constructed on the Bowman property, which lies contiguous and to the south of the subject property, then the main access for the subject property as well as Avalon Assisted Living Community will be off of the new Pike Drive extension. Once the road improvements have been completed, along with a signalized intersection, the existing private entrance drive to Avalon will be relocated along Fish Hatchery Road approximately 60 feet to the north. The entrance drive will no longer service the Avalon Assisted Living Community but will be utilized solely by the mixed use development. The relocated Avalon entrance drive will then become a right turn in – right turn out only. Drivers wishing to make a left hand turn (south) onto Fish Hatchery Rd from the proposed development will do so at the signalized intersection of Pike Drive and Fish Hatchery Rd.

Construction of the Credit Union (Building B) on the south end of the subject property is conditioned up assurance from the Owner and the City of Fitchburg that the signalized intersection and Pike Drive extension will be constructed within the next two years. If the Pike Drive extension is not constructed another use for that portion of the property will most likely be required and Owner will resubmit for an amended PDD-GIP.

There is an easement agreement with the property that is contiguous to the north (2857 Fish Hatchery Rd) which will allow cars leaving the drive-thru to exit north onto Fish Hatchery Road

via the adjacent property's existing curb cut. There will be cross easements for shared parking benefiting the owners of each parcel. City Staff has requested a trip analysis as part of the GIP submittal, which is attached to this submittal.

7. Parking Requirements

A total of 68 parking spaces will be provided for the Alternate 1 and 78 for Alternate 2. Although both alternates allow for restaurant or retail in addition to coffee for Building A, parking for the commercial tenant spaces has been calculated using restaurant parking ratios of 6 stalls / 1,000 square feet of gross building area. Office and apartment parking for Alternate 1 has been calculated using 3 stalls per 1,000 square feet of gross building area. This equates to 2.2 parking stalls per dwelling unit in Alternate 1. The parking ratio is 2.00 stalls per dwelling unit for Alternate 2. All parking will be shared parking throughout the development, regardless of whether the property is subdivided.

8. Storm Water Management: The pond located on Outlot 1 of the Avalon Senior Campus that will be utilized for Stormwater Management will be modified and / or expanded to accommodate additional impervious areas.

9. Appendix A

- Contact List
- Zoning Ordinance
- Land Use Table
- Trip Analysis
- Location Map
- Existing Site Plan
- Proposed Site Plan
- Grading Plan

**Planned Development District
Amending General Implementation Plan
Zoning for Lot 1 CSM 12135**

Legal Description: Lot 1 CSM 12135

Return to: Fitchburg City Clerk
5520 Lacy Road
Fitchburg, WI 53711

Parcel No's: 060903113052

Plan Commission
Initiated By

Thomas D. Hovel
Drafted By

4/15/2014
Date

**ORDINANCE NO. 2014-O-14
ZONING ORDINANCE AMENDMENT
AMENDING GENERAL IMPLEMENTATION PLAN ZONING
FOR Lot 1 CSM 12135, AVALON SENIOR CAMPUS**

WHEREAS, pursuant to Fitchburg Ordinance No. 87-0-06, Section 3, Zoning District Maps were adopted within the corporate limits of the City of Fitchburg until expressly altered by the City Council, and

WHEREAS, Homeville Fitchburg, LLC has submitted an application (RZ-2004-14) to amend Planned Development District General Implementation Plan (PDD-GIP) zoning for lot 1 CSM 12135, and

WHEREAS, PDD-GIP zoning was originally granted by Ordinance No. 2007-O-09 (Rezoning request RZ-1649-07) recorded as document #4335531, and

WHEREAS, the Plan Commission has reviewed the application in accord with ordinance standards and recommends approval of the amending PDD-GIP zoning for lot 1 CSM 12135.

NOW THEREFORE the City Council of the City of Fitchburg, Dane County, Wisconsin does ordain as follows:

- (A) PDD-GIP zoning is hereby amended for lot 1 CSM 12135 in accord with submitted plans and information which accompanied the rezoning application received on March 18, 2014, and as amended by additional information in response to staff comments received on April 1, 2014 which is hereby made a part of this ordinance, and with the following additional requirements:

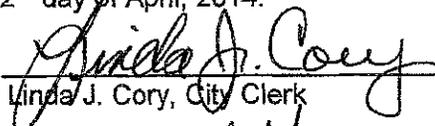
1. The site shall provide for a minimum Open Space Ratio (OSR) as set forth in the Land Use Table received April 1, 2014. This is a decrease in open space from the originally approved 35%. At this time no specific calculations have been submitted to indicate the sufficiency of the storm water management system to handle the decrease in OSR, and an increase in the Impervious Surface Ratio (ISR). Verification of storm water sufficiency will required with the Planned Development District Specific Implementation zoning application. Alterations to the site plan may be necessary depending upon the results of the storm water calculations.
2. The current drive access to Fish Hatchery Road allows both left and right turns onto Fish Hatchery Road, but a potential extension of Pike Drive east of Fish Hatchery Road through the property south of Lot 1 CSM 12135 may affect driveway access. In particular, if the Pike Drive extension is built, and this property (Lot 1 CSM 12135) obtains access to the Pike Drive extension, left turns from the current drive onto Fish Hatchery Road may be prohibited.
3. In no case shall there be more than 6800 gross sq. ft. of building area dedicated to food service or restaurant use. One drive-up facility is allowed for lot 1 CSM 12135.
4. Cross easement agreement to allow the use of the property to the north of lot 1 CSM 12135 shall be recorded, if not already done so, and a copy of the recorded agreement provided to the City of Fitchburg Planning Department.
5. This approval involves two buildings on lot 1 CSM 12135. The north building shall be two stories, with a first floor of 8200 sq. ft., and a second floor of between 3200 and 6400 sq ft. However, any building area between 3200 sq. ft. and 6400 sq. ft. that does not have a second floor shall provide mezzanine space making it a functional two-story use and construction (further definition of the mezzanine space shall occur at the time of the Planned Development District Specific Implementation Plan). The south building shall be at 2000 sq. ft. first floor and a second floor between 500 and 1000 sq. ft.
6. Uses for each building, and parking for each building shall be as noted within the revised Land Use Table and as further refined in the Trip Analysis received April 1, 2014.
7. Building height of two stories is allowed, but height shall not exceed 35 feet.
8. If a land division is approved dividing the site into two properties, an option retained by the owner in the submitted information, the site information as described herein in relation to lot 1 CSM 12135 shall carry forward.

(B) This ordinance shall take effect following its publication, or the consent of the property owner, whichever occurs last. However, in accord with section 22-596 of the zoning code, owners shall consent within 30 days of approval for the PDD-GIP zoning to take effect.

(C) Applicant shall pay cost of publication to avoid a two Council meeting approval process.

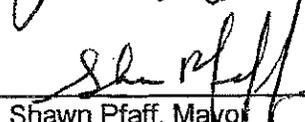
The above and foregoing ordinance was duly adopted by the City Council of the City of Fitchburg, at a regular meeting held on the 22nd day of April, 2014.

Published: 4/29/2014



Linda J. Cory, City Clerk

Approved: 4-28-14

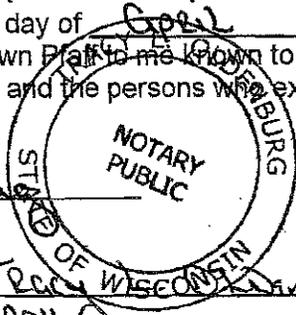


Shawn Pfaff, Mayor

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this 20th day of April, 2014, the above named Linda J. Cory, and Shawn Platt to me known to be the City Clerk and Mayor (respectively) of the City of Fitchburg, and the persons who executed the foregoing instrument and acknowledged the same.

Tracy J. Aldenburg
Notary Public, State of Wisconsin



Printed Name of Notary Public Tracy J. Aldenburg
My Commission Expires: Dec. 18, 2016

Consent of the Property Owner

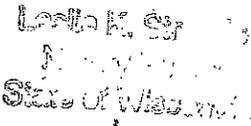
Name: William R. Clemens
Title owner

Date: 5/9/14

STATE OF WISCONSIN)ss.
COUNTY OF DANE

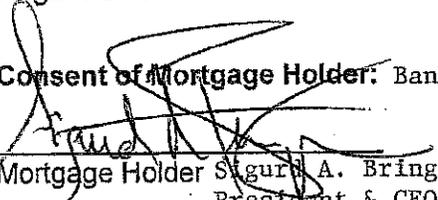
Personally came before me this 19th day of May, 2014, the above named William R. Clemens to me known to be owner of Lot C1 CSM 12135 and the person who executed the foregoing instrument and acknowledged the same.

Leslie K. Stroede
Notary Public, State of Wisconsin



Printed Name of Notary Public Leslie K. Stroede
My Commission Expires: 10th of Feb 2018

Consent of Mortgage Holder: Bank of Deerfield


Mortgage Holder Sigurd A. Bringe
President & CEO

Date: May 20, 2014

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this 20th day of May, 2014, the above named

Sigurd A. Bringe to me known to be the President & CEO

of Bank of Deerfield and the person who executed the foregoing instrument
and acknowledged the same.



Notary Public, State of Wisconsin

Printed Name of Notary Public Christopher Z. Reithmeyer
My Commission Expires: March 29, 2015



Land Use Table - Lot 1 Avalon Senior Campus (Alternate 1)

Item	Existing	Proposed		
		Combined	Lot A	Lot B
1 Lot Area (Square Feet)	60,259	60,259	28,802	32,257
2 Maximum Allowable Impervious Area:	65% 39,168	85% 50,951	82% 23,613	85% 27,337
3 Min Open Space Requirement	35% 21,091	15% 9,309	15% 4,389	15% 4,920
4 Actual Impervious / Actual Open Space Area	37,811 / 22,448		23,613 / 4,389	27,337 / 4,920
5 Actual ISR / OSR	63% / 37%	85% / 15%	82% / 15%	85% / 15%
6 Use				
7 Existing	Parking	Parking	Parking	Parking
8 Proposed	Commercial	Commercial	Commercial	Commercial
9 Development Phase				
	Future	-	-	-
10 Max Footprint Area				
11 Max Building Area	7,350	8,977	4,477	4,500
12 Floor Area Ratio	12,900	17,274	8,274	9,000
13 Number of Storeys	21% - 34%	29%	29%	28%
	2 to 3	2	2	2
14 Tenant Spaces (approximate)				
	-	8	7	1
15 Parking				
16 Existing	46 Surface	0	0	0
17 Required	43 @ 1:300	65	38	27
18 Proposed Restaurant/Retail - 6:1000	-	27	27	0
Office 3:1000 / 5 Apartments	-	11	11	0
Credit Union 3:1000	-	27	0	27
19 Total Proposed	43	65	38	27
20 Banked	0	3	-3 **	6
Total	43	68	35	33
21 Setbacks				
22 Front Setback	15	5 / 15	5 / 15	15
23 Sideyard Setback	15	5 / 15	15	5
24 Rear Yard Setback	10	10	10	10
25		** Deficit Illiminated Using 3 Shared Parking Spaces From Lot B		



Land Use Table - Lot 1 Avalon Senior Campus (Alternate 2)

Item	Existing	Proposed		
		Combined	Lot A	Lot B
1 Lot Area (Square Feet)	60,259	66,549	37,355	29,194
2 Maximum Allowable Impervious Area:	65% 39,168	84% 55,666	86% 31,952	81% 23,714
3 Min Open Space Requirement	35% 21,091	16% 10,883	14% 5,403	19% 5,480
4 Actual Impervious / Actual Open Space Area	37,811 / 22,448		31,952 / 5,480	23,714 / 5,480
5 Actual ISR / OSR	63% / 37%	84% / 16%	86% / 14%	81% / 19%
6 Use				
7 Existing	Parking	Parking	Parking	Parking
8 Proposed	Commercial	Commercial	Commercial	Commercial
9 Development Phase				
	Future	-	-	-
10 Max Footprint Area				
11 Max Building Area	7,350	8,977	4,477	4,500
12 Floor Area Ratio	12,900	19,174	10,174	9,000
13 Number of Storeys	21% - 34%	29%	27%	31%
	2 to 3	2 / 3	3	2
14 Tenant Spaces (approximate)				
	-	12	11	1
15 Parking				
16 Existing	46 Surface	0	0	0
17 Required	43 @ 1:300	72	45	27
18 Proposed Restaurant/Retail sq ft 6:1000	-	27	27	0
Apartment: 9 Units	-	18	18	0
Credit Union 3:1000	-	27	0	27
19 Total Proposed	43	72	45	27
20 Banked	0	6	0	6
Total	43	78	45	33
21 Setbacks				
22 Front Setback	15	5 / 15	5 / 15	15
23 Sideyard Setback	15	5 / 15	15	5
24 Rear Yard Setback	10	10	10	10
25				

Trip Generation Summary

The trip generation for the proposed mixed use development is based on the size and type of proposed land uses, and on trip data published in the Institute of Transportation Engineer's (ITE's) *Trip Generation, 9th Edition (2014)*.

Alternate 1 Development (2 Story Retail & Office)

The expected trip generation for Alternate 1 (2 Story Retail & Office) is shown in Table 1.

**Table 1
Alternate 1 (2 Story Retail and Office) Trip Generation**

Land Use	ITE Land Use Code	Size	Daily Trips	Weekday AM Peak Hour Trips			Weekday PM Peak Hour Trips			Saturday Midday Peak Hour Trips		
				In	Out	Total	In	Out	Total	In	Out	Total
Coffee Shop with Drive Through	937	1,940 SF	1,590	100	95	195	45	40	85	85	80	165
Retail	820	1,945 SF	85	5	0	5	0	5	5	5	5	10
Office	710	3,000 SF	35	5	0	5	0	5	5	0	0	0
Bank	912	4 Drive-in Lanes	555	20	15	35	65	70	135	55	60	115
Total Development Trips			2,265	130	110	240	110	120	230	145	145	290

As shown in Table 1, Alternate 1 (2 Story Retail & Office) development is expected to generate 240 total trips during the weekday morning peak hour, 230 total trips during the weekday evening peak hour and 290 total trips during the Saturday midday peak hour.

Alternate 1 Development (2 Story Retail & Apartments)

The expected trip generation for Alternate 1 (2 Story Retail & Apartments) is shown in Table 2

**Table 2
Alternate 1 (2 Story Retail & Apartments) Trip Generation**

Land Use	ITE Land Use Code	Size	Daily Trips	Weekday AM Peak Hour Trips			Weekday PM Peak Hour Trips			Saturday Midday Peak Hour Trips		
				In	Out	Total	In	Out	Total	In	Out	Total
Coffee Shop with Drive Through	937	1,940 SF	1,590	100	95	195	45	40	85	85	80	165
Retail	820	1,945 SF	85	5	0	5	0	5	5	5	5	10
Apartments	220	5 Units	35	0	5	5	5	0	5	5	0	5
Bank	912	4 Drive-in Lanes	555	20	15	35	65	70	135	55	60	115
Total Development Trips			2,265	125	115	240	115	115	230	150	145	295

As shown in Table 2, Alternate 1 (2 Story Retail & Apartments) development is expected to generate 240 total trips during the weekday morning peak hour, 230 total trips during the weekday evening peak hour and 295 total trips during the Saturday midday peak hour.

Trip Analysis - Lot 1 Avalon Senior Campus

Mixed Use Development

Fitchburg, Wisconsin

Alternate 1 Development (2 Story Fast Food & Office)

The expected trip generation for Alternate 1 (2 story Fast Food & Office) is shown in Table 3.

Table 3
Alternate 1 (2 Story Fast Food & Office)

Land Use	ITE Land Use Code	Size	Daily Trips	Weekday AM Peak Hour Trips			Weekday PM Peak Hour Trips			Saturday Midday Peak Hour Trips		
				In	Out	Total	In	Out	Total	In	Out	Total
Coffee Shop with Drive Through	937	1,940 SF	1,590	100	95	195	45	40	85	85	80	165
Fast Food Restaurant without Drive Through	933	1,945 SF	1395	50	35	85	25	25	50	45	45	90
Office	710	3,000 SF	35	5	0	5	0	5	5	0	0	0
Bank	912	4 Drive-in Lanes	555	20	15	35	65	70	135	55	60	115
Total Development Trips			3,575	175	145	320	135	140	275	185	185	370

As shown in Table 3, Alternate 1 (2 Story Fast Food & Office) development is expected to generate 320 total trips during the weekday morning peak hour, 275 total trips during the weekday evening peak hour and 370 total trips during the Saturday midday peak hour.

Alternate 1 Development (2 Story Fast Food & Apartments)

The expected trip generation for Alternate 1 (2 Story Fast Food & Apartments) is shown in Table 4.

Table 4
Alternate 1 (2 Story Fast Food & Apartments) Trip Generation

Land Use	ITE Land Use Code	Size	Daily Trips	Weekday AM Peak Hour Trips			Weekday PM Peak Hour Trips			Saturday Midday Peak Hour Trips		
				In	Out	Total	In	Out	Total	In	Out	Total
Coffee Shop with Drive Through	937	1,940 SF	1,590	100	95	195	45	40	85	85	80	165
Fast Food Restaurant without Drive Through	933	1,945 SF	1395	50	35	85	25	25	50	45	45	90
Apartments	220	5 Units	35	0	5	5	5	0	5	5	0	5
Bank	912	4 Drive-in Lanes	555	20	15	35	65	70	135	55	60	115
Total Development Trips			3,575	170	150	320	140	135	275	190	185	375

As shown in Table 4, Alternate 1 (2 Story Fast Food & Apartments) development is expected to generate 320 total trips during the weekday morning peak hour, 275 total trips during the weekday evening peak hour and 375 total trips during the Saturday midday peak hour.

Trip Analysis - Lot 1 Avalon Senior Campus

Mixed Use Development

Fitchburg, Wisconsin

Alternate 2 Development (3 story Retail & Apartments)

The expected trip generation for Alternate 2 (3 Story Retail & Apartments) is shown in Table 5.

Table 5
Alternate 2 (3 Story Retail and Apartments) Trip Generation

Land Use	ITE Land Use Code	Size	Daily Trips	Weekday AM Peak Hour Trips			Weekday PM Peak Hour Trips			Saturday Midday Peak Hour Trips		
				In	Out	Total	In	Out	Total	In	Out	Total
Coffee Shop with Drive Through	937	1,940 SF	1,590	100	95	195	45	40	85	85	80	165
Retail	820	1,945 SF	85	5	0	5	0	5	5	5	5	10
Apartments	220	9 Units	60	0	5	5	5	0	5	5	0	5
Bank	912	4 Drive-in Lanes	555	20	15	35	65	70	135	55	60	115
Total Development Trips			2,290	125	115	240	115	115	230	150	145	295

As shown in Table 5, Alternate 2 (3 Story Retail & Apartments) development is expected to generate 240 total trips during the weekday morning peak hour, 230 total trips during the weekday evening peak hour and 295 total trips during the Saturday midday peak hour.

Alternate 2 Development (3 Story Fast Food & Apartments)

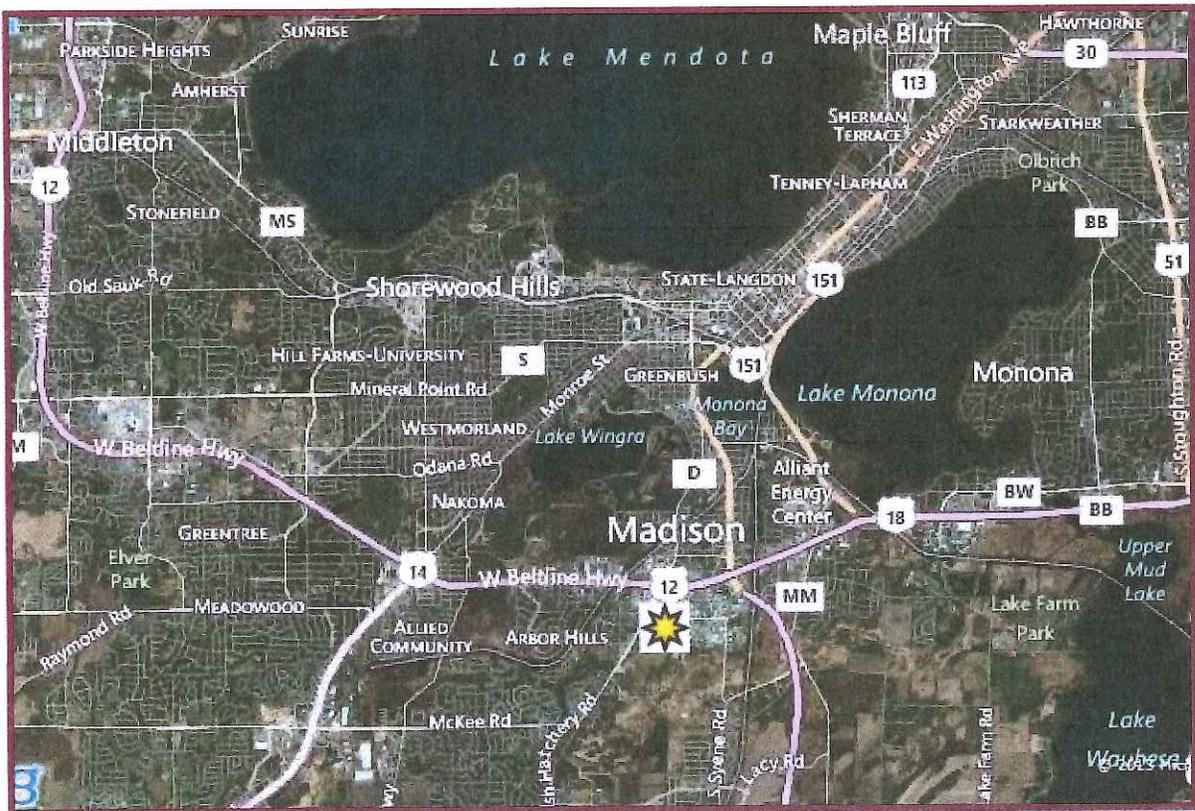
The expected trip generation for Alternate 2 (3 Story Fast Food & Apartments) is shown in Table 6.

Table 6
Alternate 2 (3 Story Fast Food & Apartments) Trip Generation

Land Use	ITE Land Use Code	Size	Daily Trips	Weekday AM Peak Hour Trips			Weekday PM Peak Hour Trips			Saturday Midday Peak Hour Trips		
				In	Out	Total	In	Out	Total	In	Out	Total
Coffee Shop with Drive Through	937	1,940 SF	1,590	100	95	195	45	40	85	85	80	165
Fast Food Restaurant without Drive Through	933	1,945 SF	1395	50	35	85	25	25	50	45	45	90
Apartments	220	9 Units	60	0	5	5	5	0	5	5	0	5
Bank	912	4 Drive-in Lanes	555	20	15	35	65	70	135	55	60	115
Total Development Trips			3,600	170	150	320	140	135	275	190	185	375

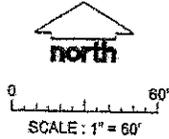
As shown in Table 6, Alternate 2 (3 Story Fast Food & Apartments) development is expected to generate 320 total trips during the weekday morning peak hour, 275 total trips during the weekday evening peak hour and 375 total trips during the Saturday midday peak hour.

FITCHBURG COMMERCIAL LOCATION MAP



POINT OF CROSS ACCESS

PART OF THE NE 1/4 OF THE NE 1/4, SECTION 3, TOWN 6 NORTH RANGE 9 EAST
CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



LEGEND

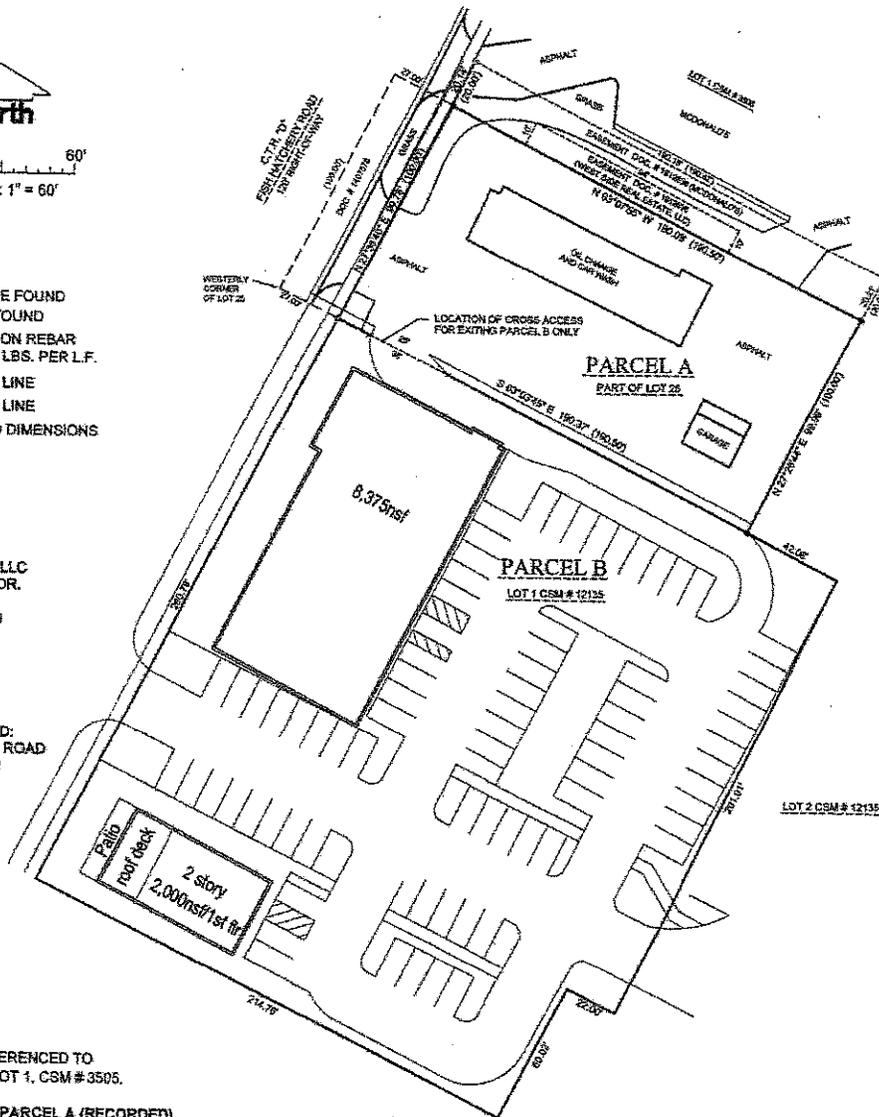
- 1" IRON PIPE FOUND
- MAG NAIL FOUND
- 3/4" x 24" IRON REBAR SET @ 1.50 LBS. PER L.F.
- PROPERTY LINE
- - - EASEMENT LINE
- (100.00') RECORDED DIMENSIONS

SURVEYED BY:
MOORE SURVEYING, LLC
2918 MARKETPLACE DR.
SUITE 108
FITCHBURG, WI 53719
(608) 268-1880

SURVEYED FOR:
WILLIAM R. CLEMENS

PROPERTY SURVEYED:
2857 FISH HATCHERY ROAD
FITCHBURG, WI 53719

DATE OF SURVEY:
SEPTEMBER 10, 2013
PROJECT: 2000



NOTES

1. BEARINGS ARE REFERENCED TO THE SOUTH LINE OF LOT 1, CSM # 3505.

LEGAL DESCRIPTION PARCEL A (RECORDED)

PART OF LOT 25 OF MAPLE LAWN HEIGHTS, LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 3, T6N, R9E, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WESTERLY CORNER OF SAID LOT 25; THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT, 217 1/2 FEET; THENCE NORTHEASTERLY AT RIGHT ANGLES TO SAID LOT LINE 100 FEET; THENCE PARALLEL WITH SAID LOT LINE 217 1/2 FEET TO NORTHWESTERLY LINE; THENCE SOUTHWESTERLY ALONG NORTHWESTERLY LINE OF SAID LOT 100 FEET TO THE POINT OF BEGINNING, EXCEPT THAT PART CONVEYED TO THE COUNTY OF DANE BY WARRANTY DEED RECORDED IN VOLUME 529 OF RECORDS, PAGE 150 AS DOCUMENT NO. 1407578.

SAID PARCEL CONTAINS 18,996 SQUARE FEET OR 0.43613 ACRES.

LEGAL DESCRIPTION PARCEL B (RECORDED)

PART OF LOT 21, LOTS 23 AND 24, AND PARTS OF LOTS 25, 27, AND 28, MAPLE LAWN HEIGHTS, ALL LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 3, T6N, R9E, CITY OF FITCHBURG, DANE COUNTY WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

LOT 1 CSM # 12135.

POINT OF CROSS ACCESS

PART OF LOT 25 OF MAPLE LAWN HEIGHTS, LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 3, T6N, R9E, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

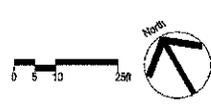
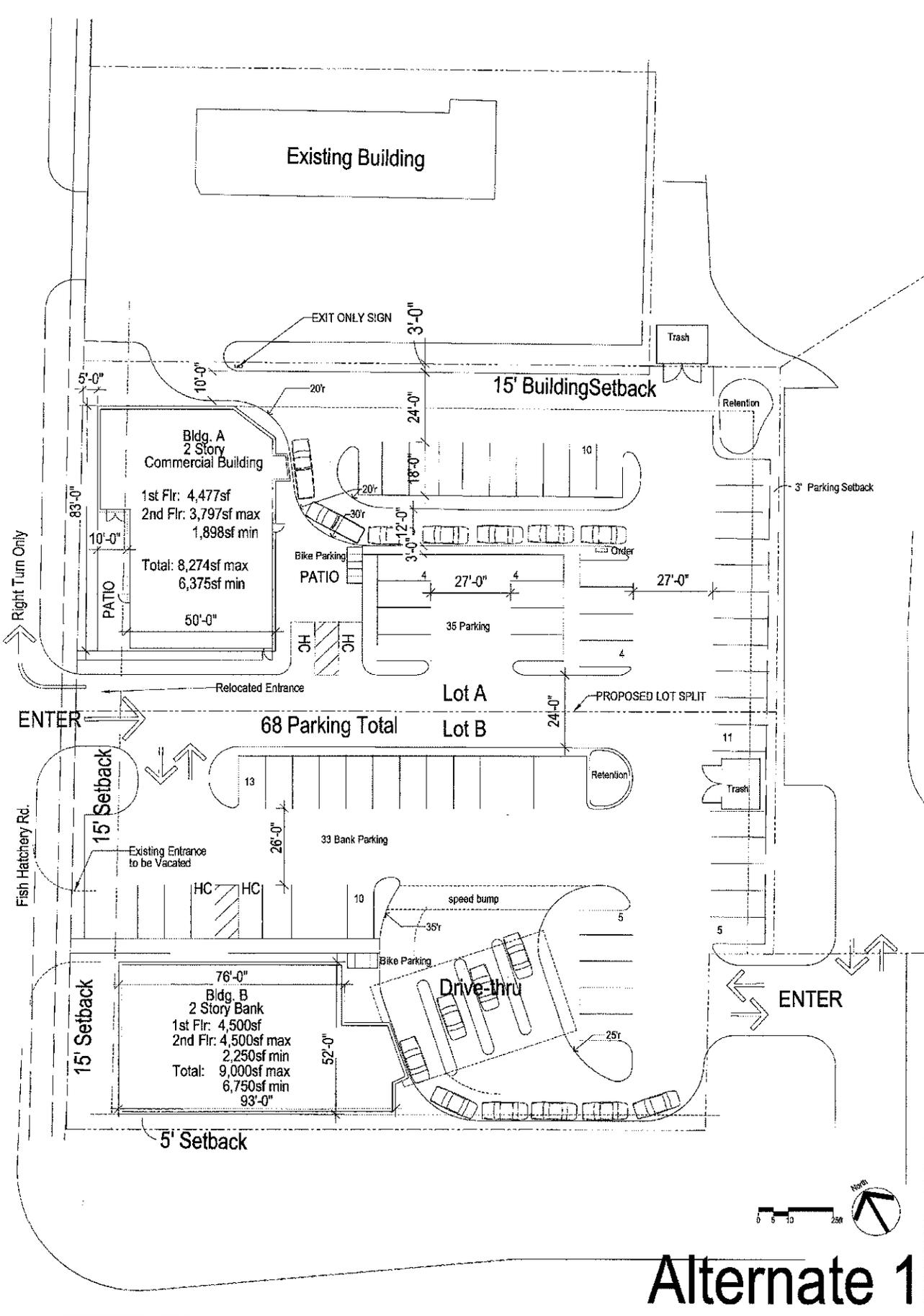
COMMENCING AT THE WESTERLY CORNER OF LOT 25; THENCE S 63°03'45" E 42.00' TO THE POINT OF BEGINNING; THENCE CONTINUING S 63°03'45" E 36.00' TO THE POINT OF TERMINATION.

SURVEYOR'S CERTIFICATE

I, TIMOTHY J. MOORE, REGISTERED LAND SURVEYOR, HEREBY CERTIFY THAT THIS MAP IS A TRUE AND ACCURATE REPRESENTATION OF THE ABOVE-DESCRIBED PARCEL TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

TIMOTHY J. MOORE S-1830





Alternate 1

Fish Hatchery Rd Commercial

Fish Hatchery Rd., Fitchburg, WI

Site Plan Study

1.1.16.2013

last submission

11/16/2012 10:00 AM

**EXHIBIT A
LEGAL DESCRIPTION
GRANTOR PARCEL**

LEGAL DESCRIPTION PARCEL A

PART OF LOT 25 OF MAPLE LAWN HEIGHTS, LOCATED IN THE NORTHEAST $\frac{1}{4}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 3, T6N, R9E, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WESTERLY CORNER OF SAID LOT 25; THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT, 217 $\frac{1}{2}$ FEET; THENCE NORTHEASTERLY AT RIGHT ANGLES TO SAID LOT LINE 100 FEET; THENCE PARALLEL WITH SAID LOT LINE 217 $\frac{1}{2}$ FEET TO THE NORTHWESTERLY LINE; THENCE SOUTHWESTERLY ALONG NORTHWESTERLY LINE OF SAID LOT 100 FEET TO THE POINT OF BEGINNING, EXCEPT THAT PART CONVEYED TO THE COUNTY OF DANE BY WARRANTY DEED RECORDED IN VOLUME 529 OF RECORDS, PAGE 160 AS DOCUMENT NO. 1407576.

SAID PARCEL CONTAINS 18,996 SQUARE FEET OR 0.43613 ACRES.



**EXHIBIT B
LEGAL DESCRIPTION
GRANTEE PARCEL**

LEGAL DESCRIPTION PARCEL B

PART OF LOT 21, LOTS 23 AND 24, AND PARTS OF LOTS 25, 27, AND 28, MAPLE LAWN HEIGHTS, ALL LOCATED IN THE NORTHEAST $\frac{1}{4}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 3, T6N, R9E, CITY OF FITCHBURG, DANE COUNTY WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

LOT 1 CSM # 12135.



EXHIBIT C
LEGAL DESCRIPTION
EASEMENT AREA

LEGAL DESCRIPTION EASEMENT AREA

PART OF LOT 25 OF MAPLE LAWN HEIGHTS, LOCATED IN THE NORTHEAST $\frac{1}{4}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 3, T6N, R9E, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WESTERLY CORNER OF LOT 25; THENCE S $63^{\circ}03'45''$ E 42.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING S $63^{\circ}03'45''$ E 36.00 FEET TO THE POINT OF TERMINATION.

**Planned Development District
Issuing Specific Implementation Plan
Zoning for Lot 1 CSM 12135 for a
Commercial Development Consisting of
Two 2-Story Buildings**

Legal Description:

Lot 1 CSM 12135

Return to: Fitchburg City Clerk
5520 Lacy Road
Fitchburg, WI 53711

Parcel No's: 060903113052

Plan Commission
Initiated By

Planning/Zoning
Drafted By

11/17/2015
Date

**ORDINANCE NO. 2015-O-XX
ZONING ORDINANCE AMENDMENT ISSUING SPECIFIC IMPLEMENTATION PLAN
ZONING FOR LOT 1 CSM 12135 FOR A COMMERCIAL DEVELOPMENT CONSISTING OF
TWO 2-STORY BUILDINGS**

WHEREAS, pursuant to Fitchburg Ordinance No. 87-0-06, Section 3, Zoning District Maps were adopted within the corporate limits of the City of Fitchburg until expressly altered by the City Council, and

WHEREAS, Tom Sanford, agent for Homeville Fitchburg LLC/Bill Clemens, has submitted an application (RZ-2082-15) to issue Planned Development District Specific Implementation Plan (PDD-SIP) zoning for Lot 1 CSM 12135, to be divided into two lots, to allow for a commercial development consisting of two 2-story buildings, and

WHEREAS, PDD-GIP zoning was originally granted by Ordinance No. 2007-O-09 (Rezoning request RZ-1649-07), with amendments granted by Ordinance 2014-O-14 and 2015-O-21; and

WHEREAS, the Plan Commission has reviewed the application in accord with ordinance standards and recommends approval of issuing PDD-SIP zoning for Lot 1 CSM 12135, which is proposed to be divided into two lots.

NOW THEREFORE the City Council of the City of Fitchburg, Dane County, Wisconsin does ordain as follows:

(A) PDD-SIP zoning is hereby issued in accord with submitted plans and information which accompanied the rezoning application and plans submitted on September 22, 2015, revised on October 20, 2015 and certain sheets (CSM, site plan, grading, utility and landscaping plan) revised on November 10, 2015, which are hereby made a part of this ordinance, and with the following additional requirements:

1. No other permit or approval is waived or deemed satisfied except for the approval provided herein.
2. The submitted proposal increases the Impervious Surface Ratio (ISR) of the site from 63% that was allowed in the 2007 approval, up to 85% (as detailed in the submission). At this time no specific calculations have been submitted to indicated sufficiency of the storm water system to handle the increase in impervious surface. Verification of storm water sufficiency, including any calculations as may be required by the City Engineer, shall be submitted prior to the PDD-SIP zoning taking effect. Depending upon the results of the storm water analysis, site plan changes may be required.
3. Applicant shall obtain, prior to the issuance of any permit, an Erosion Control and Storm Water Management Permit.
4. This approval allows 30 parking stalls for the south building site, in lieu-of- the 33 identified in the GIP.
5. This approval allows for: (a) South building as a financial institution or office space with up to four drive-through lanes for the financial institution. Per the PDD-GIP approved alternate 1 plan, submitted by applicant and dated 1 June 2013, the south building (financial institution) shall have a second floor space totaling at least 2,250 sq ft, but not to exceed 4,500 sq ft. (b) For the North building the only food, restaurant or beverage use specifically approved is 1940 sq ft for a coffee shop, not including the mezzanine space, with one drive-through lane. Additional square footage may be occupied by retail or office.
6. Maintain provision of potential access to a future Pike Drive extension.
7. Prior to any City execution of the PDD-SIP zoning request or CSM, the following executed documents, which are to have been approved as to content by the Public Works Department, shall have been recorded: (a) Private water main easement; (b) a water access agreement for municipal or utility employees to operate valves for each building on the property. The City Attorney and City Engineer are hereby authorized to approve and have the appropriate officials execute such agreement; and (c) waiver for street trees.
8. Water impact fees shall be required to be paid prior to receipt of any building permit.
9. Building height shall not exceed 45 feet. Proper screening of mechanical equipment shall be provided on the PDD-SIP rezoning submission.
10. Satisfaction of Public Works (Review #4) comments.
11. Signage shall follow Chapter 26 as existing or amended.
12. Provide an executed alternate electric easement and agreement to relocate utilities due to the conflict with the proposed drive-thru canopy associated with the south building.

(B) This ordinance shall take effect following its publication, or the consent of the property owner, whichever occurs last. However, in accord with section 22-596 of the zoning code, owners shall consent within 30 days of approval for the PDD-GIP zoning to take effect.

(C) Applicant shall pay cost of publication to avoid a two Council meeting approval process.

The above and foregoing ordinance was duly adopted by the City Council of the City of Fitchburg, at a regular meeting held on the _____ day of _____, 2015.

Patti Anderson, City Clerk

Approved: _____

Stephen L. Arnold, Mayor

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this ____ day of _____, 2015, the above named Patti Anderson, and Stephen L. Arnold to me known to be the City Clerk and Mayor (respectively) of the City of Fitchburg, and the persons who executed the foregoing instrument and acknowledged the same.

Notary Public, State of Wisconsin

Printed Name of Notary Public _____

My Commission Expires: _____

Consent of the Property Owner

Name: _____

Date: _____

Title _____

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this ____ day of _____, 2015, the above named _____ to me known to be _____, of _____ and the person who executed the foregoing instrument and acknowledged the same.

Notary Public, State of Wisconsin

Printed Name of Notary Public _____

My Commission Expires: _____

Consent of Mortgage Holder:

Mortgage Holder

Date: _____

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this ____ day of _____, 2015, the above named

_____ to me known to be the _____

of _____ and the person who executed the foregoing instrument
and acknowledged the same.

Notary Public, State of Wisconsin

Printed Name of Notary Public _____

My Commission Expires: _____

10472-10/21/15

RB

	City of Fitchburg Planning/Zoning Department 5520 Lacy Road Fitchburg, WI 53711 (608-270-4200)	<h1>LAND DIVISION APPLICATION</h1>
---	--	------------------------------------

The undersigned owner, or owner's authorized agent, of property herein described hereby submits ten (10) copies of the attached maps, one (1) copy no larger than 11" x 17", and one (1) pdf document of the complete submittal (planning@fitchburgwi.gov) for approval under the rules and requirements of the Fitchburg Land Division Ordinance.

- 1. Type of Action Requested:**
- Certified Survey Map Approval
 - Preliminary Plat Approval
 - Final Plat Approval
 - Replat
 - Comprehensive Development Plan Approval

- 2. Proposed Land Use (Check all that Apply):**
- Single Family Residential
 - Two-Family Residential
 - Multi-Family Residential
 - Commercial/Industrial

3. No. of Parcels Proposed: 5

4. No. Of Buildable Lots Proposed: 1

5. Zoning District: SC-NC

6. Current Owner of Property: Goldleaf Fitchburg, LLC; Contact: Mike Filkouskie

Address: 2379 University Ave., Madison, WI 53726 **Phone No:** 608-834-8141

7. Contact Person: Michael S. Marty, P.L.S.; Vierbicher Associates, Inc.

Email: mmar@vierbicher.com

Address: 999 Fourier Drive, Suite 201, Madison, WI 53717 **Phone No:** 608-821-3955

8. Submission of legal description in electronic format (MS Word or plain text) by email to: planning@fitchburgwi.gov

Pursuant to Section 24-2 (4) of the Fitchburg Land Division Ordinance, all Land Divisions shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

Respectfully Submitted By: Michael S. Marty Michael S. Marty, P.L.S.
 Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 10/20/15

Ordinance Section No. _____ **Fee Paid:** \$1,110.00

Permit Request No. FP-2090-15

LITTLE CREEK – FINAL PLAT DESCRIPTION

Part of the NE¼ - NW¼ and the SE¼ - NW¼ of Section 14, Township 06 North, Range 09 East, City of Fitchburg, Dane County, Wisconsin, more fully described as follows:

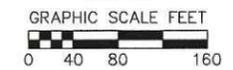
All of Outlot 2 and all of Outlot 3, NORTH PARK FITCHBURG, as recorded in Volume 60-030A of Plats, on Pages 154-156, as Document Number 5087380, Dane County Registry. Said description contains 1,018,111 square feet or 23.37 acres more or less

FIRST ADDITION TO NORTH PARK FITCHBURG

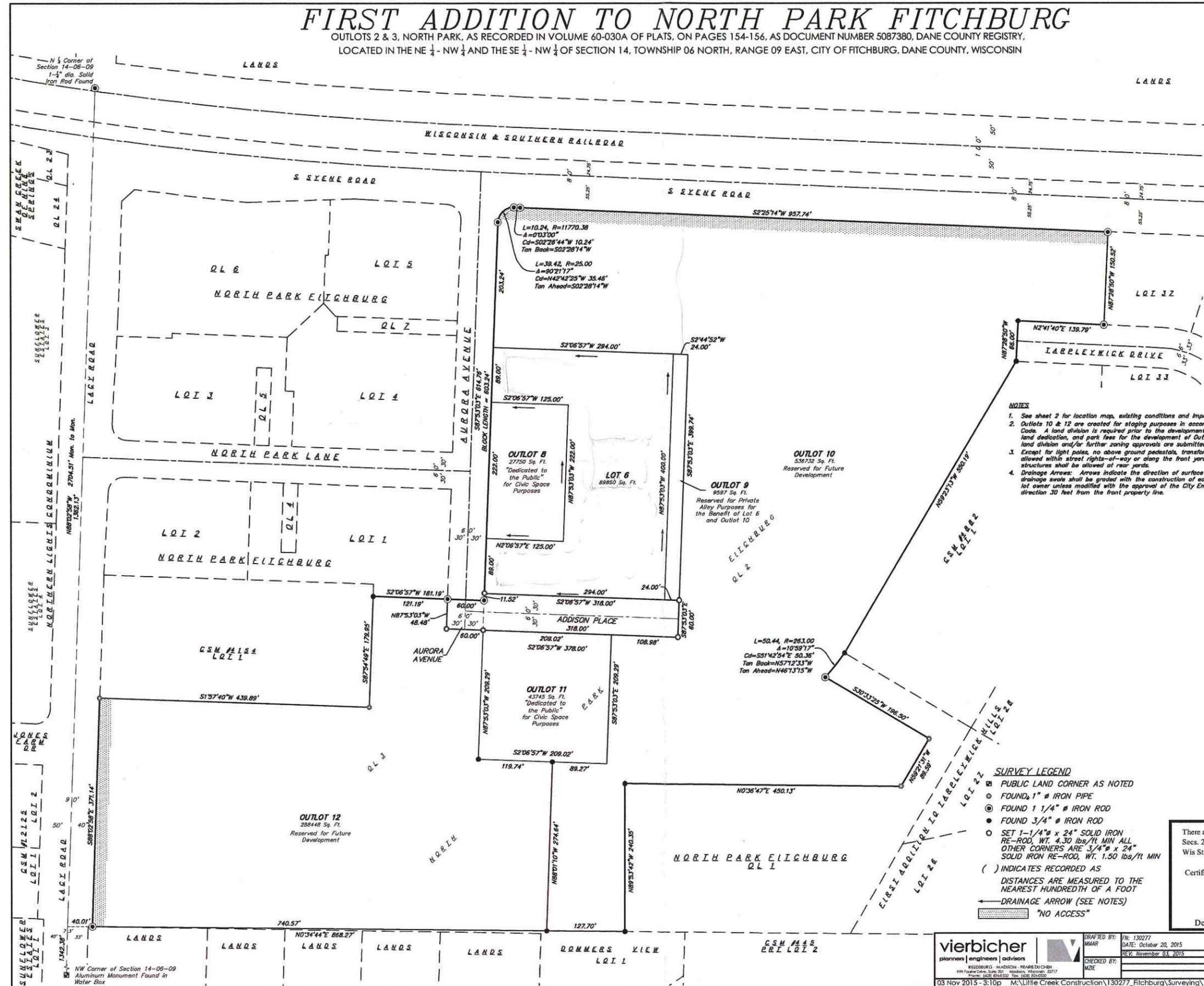
OUTLOTS 2 & 3, NORTH PARK, AS RECORDED IN VOLUME 60-030A OF PLATS, ON PAGES 154-156, AS DOCUMENT NUMBER 5087380, DANE COUNTY REGISTRY,
 LOCATED IN THE NE 1/4 - NW 1/4 AND THE SE 1/4 - NW 1/4 OF SECTION 14, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



BEARINGS ARE BASED UPON THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, WISCONSIN, THE NORTH LINE OF THE NW 1/4 OF SEC. 14-06-09 MEASURED AS BEARING N88°02'58"W



SURVEY PREPARED BY:
 VIERBICHER ASSOCIATES, INC.
 BY: MICHAEL S. MARTY
 999 FOURIER DRIVE,
 SUITE 201
 MADISON, WI 53717
 (608)-821-3955
 mmarty@vierbicher.com



NOTES

1. See sheet 2 for location map, existing conditions and improvements, easements and additional notes.
2. Outlots 10 & 12 are created for staging purposes in accord with Section 24-2(1) of the Municipal Code. A land division is required prior to the development of the respective Outlots. Additional park land dedication, and park fees for the development of Outlots will be calculated at the time a new land division and/or further zoning approvals are submitted to the City for approval.
3. Except for light poles, no above ground pedestals, transformers or other switch equipment shall be allowed within street rights-of-way or along the front yards of the Lots. Said above ground structures shall be allowed at rear yards.
4. Drainage Arrows: Arrows indicate the direction of surface drainage at individual property lines. Said drainage swales shall be graded with the construction of each principal structure and maintained by the lot owner unless modified with the approval of the City Engineer. Lots with two arrows typically change direction 30 feet from the front property line.

SURVEY LEGEND

- PUBLIC LAND CORNER AS NOTED
- FOUND 1" # IRON PIPE
- FOUND 1 1/4" # IRON ROD
- FOUND 3/4" # IRON ROD
- SET 1-1/4" # x 24" SOLID IRON RE-ROD, WT. 4.30 lbs/ft MIN ALL OTHER CORNERS ARE 3/4" # x 24" SOLID IRON RE-ROD, WT. 1.50 lbs/ft MIN
- () INDICATES RECORDED AS DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT
- ← DRAINAGE ARROW (SEE NOTES)
- ▬ "NO ACCESS"

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__



Department of Administration

vierbicher
 planners | engineers | advisors
 BEESBURG, MADISON, FRANKENSHOH
 999 Fourier Drive, Suite 201 Madison, Wisconsin 53717
 Phone: (608) 654-9339 Fax: (608) 654-9338

DRAFTED BY: MMAR
 DATE: October 20, 2015
 CHECKED BY: MDE
 DATE: November 03, 2015

SURVEYED FOR:
 Goldleaf Fitchburg, LLC
 c/o Mike Fikowski
 2379 University Avenue
 Madison, WI 53726

SHEET 1 OF 3

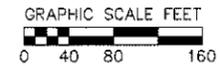
RECEIVED 11/14/2015

FIRST ADDITION TO NORTH PARK FITCHBURG

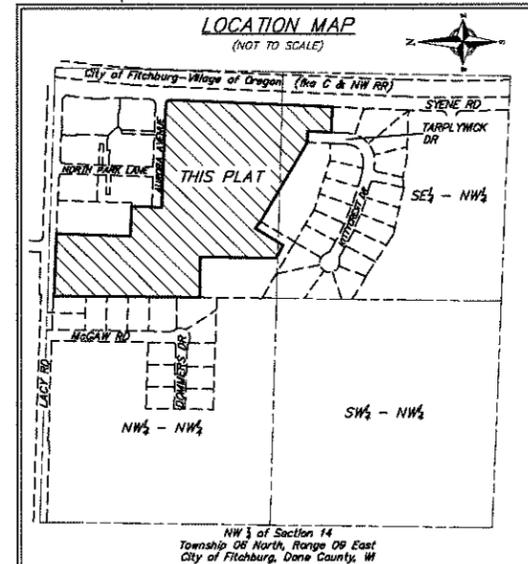
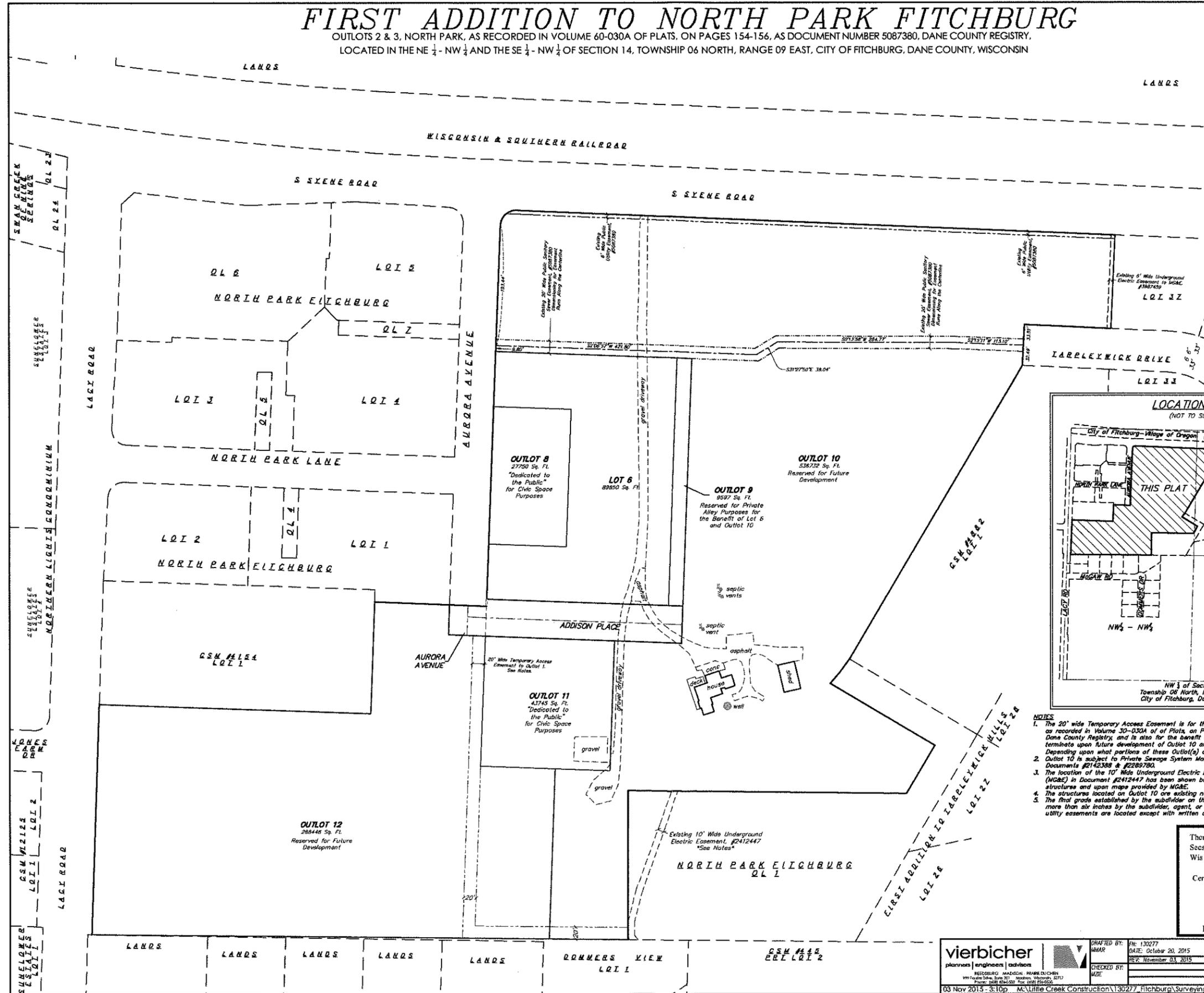
OUTLOTS 2 & 3, NORTH PARK, AS RECORDED IN VOLUME 60-030A OF PLATS, ON PAGES 154-156, AS DOCUMENT NUMBER 5087380, DANE COUNTY REGISTRY,
 LOCATED IN THE NE 1/4 - NW 1/4 AND THE SE 1/4 - NW 1/4 OF SECTION 14, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



BEARINGS ARE BASED UPON THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, WISCONSIN, THE NORTH LINE OF THE NW 1/4 OF SEC. 14-06-09 MEASURED AS BEARING N89°02'58" W



SURVEY PREPARED BY:
 VERBICHER ASSOCIATES, INC.
 BY: MICHAEL S. MARTY
 999 FOURIER DRIVE,
 SUITE 201
 MADISON, WI 53717
 (608)-821-3955
 mmarty@verbicher.com



- NOTES**
- The 20' wide Temporary Access Easement is for the benefit of Lots 1-5, North Park Fitchburg, as recorded in Volume 30-030A of Plats, on Pages 154-156, as Document Number 5087380, Dane County Registry; and is also for the benefit of Lot 6 of this Plat. This easement terminates upon future development of Outlot 10 and/or Outlot 12 by Plat or Certified Survey Map. Depending upon what portions of these Outlot(s) are developed, a new easement may be required.
 - Outlot 10 is subject to Private Sewage System Maintenance Agreement Covenant recorded in Documents #2142388 & #2289780.
 - The location of the 10' Wide Underground Electric Easement to Madison Gas and Electric Company (MGE) in Document #2412447 has been shown based upon the location of existing field located structures and upon maps provided by MGE.
 - The structures located on Outlot 10 are existing non-conforming.
 - The final grade established by the subdivider on the utility easements shall not be altered by more than six inches by the subdivider, agent, or subsequent owners of the lots on which such utility easements are located except with written consent of the utility or utilities involved.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__



Department of Administration

vierbicher planners engineers architects REGISTRATION: MADISON, WISCONSIN 999 FOURIER DRIVE, SUITE 201, MADISON, WISCONSIN 53717 PHONE: (608) 821-3955 FAX: (608) 821-3956	DRAFTED BY: MMAR	FILE: 130277 DATE: October 20, 2015	SURVEYED FOR: Goldleaf Fitchburg, LLC c/o Mike Fikowski 2379 University Avenue Madison, WI 53726	SHEET 2 OF 3
	CHECKED BY: MZE	REV: November 03, 2015		
	DATE: 03 Nov 2015 - 3:10p	M:\Little Creek Construction\130277_Fitchburg_Surveying\130277_FPlat-First Addition.dwg	by: mmx	

FIRST ADDITION TO NORTH PARK FITCHBURG

OUTLOTS 2 & 3, NORTH PARK, AS RECORDED IN VOLUME 60-030A OF PLATS, ON PAGES 154-156, AS DOCUMENT NUMBER 5087380, DANE COUNTY REGISTRY,
LOCATED IN THE NE 1/4 - NW 1/4 AND THE SE 1/4 - NW 1/4 OF SECTION 14, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, Michael S. Marty, Professional Land Surveyor No. 2452 hereby certify that in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the City of Fitchburg and under the direction of Goldleaf Fitchburg, LLC, owner of said land, I have surveyed, divided, and mapped FIRST ADDITION TO NORTH PARK FITCHBURG; that such plat correctly represents all exterior boundaries and the subdivision of the lands surveyed; and that this land is part of the NE 1/4 - NW 1/4 and the SE 1/4 - NW 1/4 of Section 14, Township 06 North, Range 09 East, City of Fitchburg, Dane County, Wisconsin, more fully described as follows:

All of Outlot 2 and all of Outlot 3, NORTH PARK FITCHBURG, as recorded in Volume 60-030A of Plats, on Pages 154-156, as Document Number 5087380, Dane County Registry. Said description contains 1,018,111 square feet or 23.37 acres more or less.

Vierbicher Associates Inc.
By: Michael S. Marty, P.L.S. No. 2452

Dated this ____ day of _____, 201__

Signed:

Michael S. Marty, P.L.S. No. 2452

CITY OF FITCHBURG TREASURER'S CERTIFICATE

As duly appointed City Treasurer of the City of Fitchburg, Dane County, Wisconsin, I hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments affecting any of the lands included in the plat of FIRST ADDITION TO NORTH PARK FITCHBURG as of this ____ day of _____, 201__

Norma DeHaven, City of Fitchburg Treasurer

CITY OF FITCHBURG APPROVAL

Resolved, that the plat of FIRST ADDITION TO NORTH PARK FITCHBURG, located in the City of Fitchburg, Dane County, Wisconsin, was hereby approved by Resolution Number _____ adopted on this ____ day of _____, 201__, and further resolved that the conditions of said approval were fulfilled on this ____ day of _____, 201__, and that said Resolution further provided for the acceptance of those lands dedicated and rights conveyed by said plat of FIRST ADDITION TO NORTH PARK FITCHBURG to the City of Fitchburg for public use.

Linda J. Cory, City Clerk
City of Fitchburg, Dane County, Wisconsin

OWNER'S CERTIFICATE:

Goldleaf Fitchburg, LLC, as owner, does hereby certify that they caused the land described on this plat to be surveyed, divided, mapped, and dedicated as represented on this plat.

Goldleaf Fitchburg, LLC, does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Department of Administration
Common Council, City of Fitchburg
Dane County Zoning and Natural Resources Committee

IN WITNESS WHEREOF, Goldleaf Fitchburg, LLC, has caused these presents to be signed by _____, its _____, at Madison, Wisconsin, on this ____ day of _____, 201__.

Goldleaf Fitchburg, LLC
by:

State of Wisconsin)
County of Dane)ss.

Personally came before me this ____ day of _____, 201__, _____, its _____, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, Wisconsin

My commission expires/is permanent: _____

DANE COUNTY TREASURER'S CERTIFICATE:

I, Adam Gallagher, being the duly elected, qualified, and acting Treasurer of the County of Dane, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments affecting any of the lands included in the plat of FIRST ADDITION TO NORTH PARK FITCHBURG, as of this ____ day of _____, 201__.

Adam Gallagher, Dane County Treasurer

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration



SURVEY PREPARED BY:
Vierbicher Associates, Inc.
999 Fourier Drive, Suite 201
Madison, WI 53717
By: Michael S. Marty, P.L.S.
mmar@vierbicher.com
608.821.3935 direct
608.209.5284 mobile

CERTIFICATE OF REGISTER OF DEEDS

RECORDING DATA

Received for recording this ____ day of _____, 20__ at _____ o'clock ____ m. and recorded in Volume _____ of Plats, on Pages _____

Kristi Chlebowski, Dane County Register of Deeds

vierbicher
planners | engineers | advisors
REGISTRATION: MADISON - FRANKLIN COUNTY
999 Fourier Drive, Suite 201, Madison, Wisconsin 53717
Phone: 608.821.3935 Fax: 608.209.5284

DRAFTED BY: JRMAR
DATE: October 20, 2015
REV: November 03, 2015
CHECKED BY: MZE

SURVEYED FOR:
Goldleaf Fitchburg, LLC
c/o Mike Filkowski
2379 University Avenue
Madison, WI 53726

SHEET 3 OF 3

vierbicher
planners | engineers | advisors



RECEIVED
11/3/2015

999 Fourier Drive, Suite 201
Madison, Wisconsin 53717
(608) 826-0532 phone
(608) 826-0530 FAX
www.vierbicher.com

Responses to City of Fitchburg Planning Department Staff Review #1 of First Addition to North Park Final Plat

Application: FP-2090-15

Initial Final Plat Submittal Date: October 20, 2015

City Review Date: October 27, 2015



CITY OF FITCHBURG
PLANNING DEPARTMENT
5520 LACY ROAD
FITCHBURG, WI 53711
(608) 270-4200
FAX: (608) 270-4275
EMAIL: planning@fitchburgwi.gov

Application: FP-2090-15
Property Address: First Addition to North Park
Review Date: October 27, 2015
Planning Staff Review #1

Planning staff has reviewed your submitted final plat request for the First Addition to North Park, submitted on October 20, 2015. The following comments are based on this review. Please respond to these comments with a detailed narrative response, along with appropriate revised plans, by 4:00 p.m. on Tuesday, November 3, 2015. It works best if you could respond below to each specific item with a written response. Further comments or questions may arise as additional review occurs.

RESPONSES IN BLUE

1. You should divide lot 6 into two lots as originally represented and as per the preliminary plat, and if you are connecting the structures you can take advantage of the zero-lot line provision of the T5 SmartCode.
RESPONSE: A single lot is desired by the developer, however we did make a slight tweak to the east line such that it shifted west to match the approved Preliminary Plat. Per meeting between City Staff, Vierbicher and KBA on 11-03-2015, a single lot will require changes to the preliminary site plan.
2. Park fees will be reviewed at the time of the article 5 plan.
RESPONSE: Noted
3. Can you run OL 9 north to abut that future street? This will allow the alley to have access from each end when that other street is constructed.
RESPONSE: Extending Outlot 9 to the south (type-o in comment) is not desired as it would prevent any adjustments/tweaks to the widths of the residential lots on the south and east side of the alley in Outlot 9. The southerly extension of the Outlot will be created and the loop will be closed at the time the residential lots are platted and the street is extended.

vierbicher
planners | engineers | advisors



999 Fourier Drive, Suite 201
Madison, Wisconsin 53717
(608) 826-0532 phone
(608) 826-0530 FAX
www.vierbicher.com

Responses to City of Fitchburg Public Works Staff Review #1 of First Addition to North Park Final Plat

Application: FP-2090-15

Initial Final Plat Submittal Date: October 20, 2015

City Review Date: October 27, 2015

First Addition to North Park Final Plat Public Works Review #1

The following comments are based on the Final Plat (FP 2090-15) submitted by Vierbicher Associates dated October 20, 2015 for Final Plat. EJE 10-27-15; AB 10-26-15; GV 10-26-15; CH 10-27-15. Additional comments beyond these may be required on future reviews.

RESPONSES IN BLUE

General Comments

1. A developer agreement will be needed for the public improvements.
RESPONSE: Noted
2. Concurrence from utilities (gas, electric, cable, phone) needs to be provided with regards to the utility easement locations shown on the plat. A letter from the utilities would be sufficient.
RESPONSE: The utilities have been contacted to coordinate easement needs and locations. Letters will be provided upon receipt.
3. Given underground installation for electric and communications, a restriction shall be recorded with the Final Plat stating that the final grade shall not be altered by more than six (6) inches without written consent of the utilities involved.
RESPONSE: Restriction is already noted on Sheet 2, Note 5 of the Plat.
4. Provide gas/electric/telephone/cable preliminary plans for review of utility easements.
RESPONSE: The utilities have been contacted to coordinate easement needs and locations. Plans will be provided upon receipt.

Transportation Comments

1. The vertical crest at STA 34+21 falls at a horizontal curve causing a visibility problem especially at night. It is suggested that increasing the length of vertical curve to 250' would help this issue.
RESPONSE: The intersection of Addison Rd and the Alley in Outlot 9 has been lowered approximately 5 ft to an elevation of 935. The length of vertical curve has also been lengthened to 200'. These changes result in the elevation of the centerline around the horizontal curve not exceeding 936.22.

Water Main and Sanitary Sewer

1. The Utility Engineer is on vacation this week. Comments will be supplied after the Utility Engineer returns from vacation.
RESPONSE: Noted

Erosion Control and Stormwater Management (ECSWM) Comments

1. A new Erosion Control & Storm Water Management permit application will need to be submitted to the Fitchburg Public Works Department for review

**First Addition to North Park
Final Plat
Public Works Review #1**

and approval prior to any grading or placement of impervious areas. The ECSWM application and information on requirements can be found at:

<http://www.fitchburgwi.gov/231/ECSWM-Requirements>.

RESPONSE: Noted

2. A stormwater maintenance agreement (recorded at the Dane County Register of Deeds office) will be required for the necessary private stormwater management practices approved by the City (e.g. private storm sewer, rain gardens, etc.). The owner(s) would be eligible for up to a 50% reduction in stormwater utility rates for the proposed stormwater practices. The following link: <http://www.fitchburgwi.gov/230/Credit-Opportunities> provides the application form and details on this program.

RESPONSE: Noted

3. Sheet C-3.0 of the Preliminary Construction Plans show connecting a new 12" storm sewer into the existing 24" storm sewer. Is this a mistake? Please provide storm sewer sizing calculations.

RESPONSE: The proposed storm pipe should be 24" diameter to match existing pipe stubbed out of the existing manhole.

vierbicher
planners | engineers | advisors



999 Fourier Drive, Suite 201
Madison, Wisconsin 53717
(608) 826-0532 phone
(608) 826-0530 FAX
www.vierbicher.com

**Responses to City of Fitchburg Parks, Recreation and Forestry Department
Staff Review #1 of First Addition to North Park Final Plat**

Application: FP-2090-15

Initial Final Plat Submittal Date: October 20, 2015

City Review Date: October 27, 2015



Scott Endl, Director
Parks, Recreation and Forestry
Phone: (608)270-4288
Scott.Endl@city.fitchburgwi.Gov

Memo

To: Susan Badtke – Planning
 From: Endl – PRF
 Ref.: FP-2090-15 – First Addition to North Park
 Date: November 27, 2015

- Parkland Dedication per Ordinance 24-2(d)(2)(a);
 - 120,928 sq. ft. of parkland was dedicated with original plat (63,109 was needed) – leaving a balance of 57,819 sq. ft.
 - With Lot #6 being 96,948 sq. ft. in size (2.225 acres x 12 units per acre) 26,707 sq. ft. parkland dedication is required. With the parkland dedication of outlot #8 (27,750 sq. ft.) a 1,043 sq. ft. credit of dedication is realized.

Summary of parkland dedication to date:

	Parkland dedication needed	Parkland dedication made	Balance +/-
Original plat	63,109 sq. ft.	120,928 sq. ft.	Plus 57,819 sq. ft.
First Addition	26,707 sq. ft.	27,750 sq. ft.	Plus 1,043 sq. ft.
Up to date balance	89,816 sq. ft.	148,678 sq. ft.	Plus 58,862 sq. ft. available for future dwelling units.

- Parkland Improvement fee: Per Smart Code District Section 24-15(d)(5).
 - These fees will be calculated when the final number of dwelling units are determined.

➤ Additional comments:

RESPONSES IN BLUE

- 20' easement for access to McGaw Park for future residents is noted.
RESPONSE: Noted.

- The July 2014 Subdivision Improvement Agreement states that the developer shall provide Civic Space and Playgrounds as required by the SmartCode, with the development of outlot 2 of the plat. The approved Article 3 plan shows the playground located on land that is not being dedicated with this proposed plat. This playground should be provided at this time with this plat to allow for facilities for new residents.

RESPONSE: Per meeting between City Staff, Vierbicher and KBA on 11-03-2015, this is a requirement for approval of this final plat and it is not a suggestion, therefore Outlot 3 from the preliminary plat, will be added to the First Addition Final Plat and "Dedicated to the Public" for Civic Space Purposes. A playground will be constructed on this outlot.

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
 Direct Referral Approved by:

Date Referred: **October 27, 2015** Ordinance Number:
 Date to Report Back: **Nov 24, 2015** Resolution Number: **R-121-15**

Sponsored by: Mayor Drafted by: Public Works

**TITLE: Approving Grant of Highway Easement to Wisconsin
 Department of Transportation (WisDOT) Over the Military
 Ridge Path Corridor at County PD/McKee Road**

Background: This resolution grants a Highway and Temporary Limited Easement across the Military Ridge Path corridor to WisDOT for the reconstruction work that they are doing on McKee Road as part of the Verona Road – Stage 2 improvements. The McKee Road improvements include the road expansion and sidewalks.

Attached is a map, titled “Parcel 1”, which illustrates the location for the easements. The Highway Easement document and Purchase Agreement document have also been included in the packet.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Board of Public Works	Horton	November 2, 2015	
2	Plan Commission	Hovel	November 17, 2015	
3	Finance	Dodge	November 24, 2015	
4				

Amendments:

Steve Arnold, Mayor

Public Works

Introduced by

Prepared by

Plan Commission, Board of Public Works, Finance Committee

October 27, 2015

Referred to

Date

RESOLUTION R-121-15

Approving Grant of Highway Easement to Wisconsin Department of Transportation (WisDOT) Over the Military Ridge Path Corridor at County PD/McKee Road

WHEREAS, WisDOT has requested a Highway Easement (HE) and Temporary Limited Easement (TLE) across the Military Ridge Path corridor at the intersection with McKee Road to accommodate the reconstruction work that they are completing as part of the Verona Road – Stage 2 project, and

WHEREAS, the improvements to McKee Road include the addition of travel lanes in each direction, an 8-ft wide sidewalk on the south side, and a 5-ft wide sidewalk on the north side, and

WHEREAS, the HE provides benefit to Fitchburg by maintaining bicycle and pedestrian accommodations along McKee Road and maintaining connections to the Military Ridge Path, and

WHEREAS, because of the mutual benefits received by the HE, the easements will be granted to WisDOT at no cost.

NOW, THEREFORE, BE IT HEREBY RESOLVED, by the Fitchburg Common Council that it approves granting a Highway Easement and Temporary Limited Easement to the Wisconsin Department of Transportation across the Military Ridge Path corridor at the intersection with McKee Road at no cost.

BE IT FURTHER RESOLVED, that it authorizes the City Clerk and Mayor to sign the Agreement for Purchase and Sale of Real Estate – Short Form and the Highway Easement drafted by the Wisconsin Department of Transportation.

Adopted this _____ day of _____, 2015.

Stephen L. Arnold, Mayor

Approved:

Patti Anderson, City Clerk

LEGEND

- PROPERTY LINE
- TEMPORARY LIMITED EASEMENT (TLE)
- HIGHWAY EASEMENT (HE)

SCALE, FEET 0 15 30

CITY OF FITCHBURG

TLE = 4,884 SF

HE = 2,096 SF

MILITARY RIDGE PATH

COUNTY PD/MCKEE ROAD

EXISTING R/W (TYP.)
SLOPE INTERCEPT (TYP.)

PARCEL 1

US 18/151 (VERONA ROAD)
STAGE 2, CTH PD TO RAYMOND ROAD
DESIGN I.D. 1206-07-05
PROJECT PLAT NO: 1206-07-25

HIGHWAY EASEMENT

Wisconsin Department of Transportation
RE1565 04/2015 Exempt from fee: s.77.25(2r) Wis. Stats.

THIS EASEMENT, made by **City of Fitchburg, a Wisconsin municipal corporation** GRANTOR, conveys an easement, as described below, for highway purposes to the **State of Wisconsin, Department of Transportation**, GRANTEE, for the sum of **One Dollar and Other Valuable Considerations (\$ 1.00)**

Any person named in this easement may make an appeal from the amount of compensation within six months after the date of recording of this easement as set forth in s.32.05(2a) Wisconsin statutes. For the purpose of any such appeal, the amount of compensation stated on the easement shall be treated as the award, and the date the easement is recorded shall be treated as the date of taking and the date of evaluation.

Other persons having an interest of record in the property: None

This **is not** homestead property.

LEGAL DESCRIPTION IS ATTACHED AND MADE A PART OF THIS DOCUMENT BY REFERENCE.

This space is reserved for recording data

Return to
Laura H.S. Sadler
TerraVenture Advisors
4641 West Forest Home Ave
Milwaukee, WI 53219

Parcel Identification Number/Tax Key Number
225/0609-064-9740-1, 225/0609-071-8516-6

City of Fitchburg, a Wisconsin municipal corporation

Signature Date

By: _____
Print Name, Title

Signature Date

By: _____
Print Name, Title

Signature Date

Print Name

Signature Date

Print Name

Date

State of Wisconsin
_____) ss.
County

On the above date, this instrument was acknowledged before me by the named person(s).

Signature, Notary Public, State of Wisconsin

Print Name, Notary Public, State of Wisconsin

Date Commission Expires



Project ID
1206-07-25

This instrument was drafted by
Wisconsin Department of Transportation

Parcel No.
1

LEGAL DESCRIPTION

Parcel 1 of Transportation Project Plat 1206-07-25 - 4.02 recorded as Document No. 5099029, at the Register of Deeds office in Dane County, Wisconsin.

Property interests and rights of said Parcel 1 consist of:

HIGHWAY EASEMENT

This highway easement includes the right to ingress and egress to construct and maintain McKee Road roadway and sidewalk.

TEMPORARY LIMITED EASEMENT

Also, Parcel 1 of Transportation Project Plat 1206-07-25 - 4.03 recorded as Document No. 5099030, at the Register of Deeds office in Dane County, Wisconsin.

Property interests and rights of said Parcel 1 consist of:

HIGHWAY EASEMENT

This highway easement includes the right to ingress and egress to construct and maintain McKee Road roadway and sidewalk.

TEMPORARY LIMITED EASEMENT

Also, Parcel 1 of Transportation Project Plat 1206-07-25 - 4.07 recorded as Document No. 5099046, at the Register of Deeds office in Dane County, Wisconsin.

Property interests and rights of said Parcel 1 consist of:

HIGHWAY EASEMENT

This highway easement includes the right to ingress and egress to construct and maintain McKee Road roadway and sidewalk.

TEMPORARY LIMITED EASEMENT

Any interests or rights not listed above for said parcels but shown as required on said Transportation Project Plats are hereby incorporated herein by reference.

AGREEMENT FOR PURCHASE AND SALE OF REAL ESTATE - SHORT FORM

Wisconsin Department of Transportation
RE1895 04/2015

THIS AGREEMENT, made and entered into by and between City of Fitchburg, a Wisconsin municipal corporation, hereinafter called Seller, and the State of Wisconsin, Department of Transportation, hereinafter called WisDOT. If accepted, this offer can create a legally enforceable contract. Both parties should read this document carefully and understand it before signing.

Seller and WisDOT agree that WisDOT is purchasing this property for highway or other transportation related purposes, within the meaning of Chapter 84 of the Wisconsin Statutes.

Seller warrants and represents to WisDOT that Seller has no notice or knowledge of any of the following:

- 1) Planned or commenced public improvements which may result in special assessments which would otherwise materially affect the property, other than the planned transportation facility for which WisDOT is purchasing this property;
- 2) Government agency or court order requiring repair, alteration, or correction of any existing condition;
- 3) Shoreland or special land use regulations affecting the property; and,
- 4) Underground storage tanks and the presence of any dangerous or toxic materials or conditions affecting the property.

DESCRIPTION: The Seller agrees to sell and WisDOT agrees to buy, upon the terms and conditions hereinafter named, the following described real estate situated in Dane County, Wisconsin:

Legal description is attached hereto and made a part hereof by reference.

The purchase price of said real estate shall be the sum of One Dollar and other good and valuable consideration, (\$1.00 & OVC) ~~payable in full by check at closing.~~

~~General taxes shall be prorated at the time of closing based on the net general taxes for the current year, if known, otherwise on the net general taxes for the preceding year.~~

Seller shall, ~~upon payment of purchase price,~~ convey the property by warranty deed or other conveyance provided herein, free and clear of all liens and encumbrances, including special assessments, except recorded public utility easements and recorded restrictions on use running with the land or created by lawfully enacted zoning ordinances and N/A, provided none of the foregoing prohibit present use.

Legal possession of premises shall be delivered to WisDOT on the date of closing.

Physical occupancy of property shall be given to WisDOT on the date of closing. ~~Seller may not occupy property after closing unless a separate lease agreement is entered into between WisDOT and Seller.~~

SPECIAL CONDITIONS: The parties to this agreement acknowledge that the Wisconsin Department of Transportation is receiving this conveyance as a donation. Should seller appeal from the amount of compensation pursuant to S. 32.05(2a), Wisconsin Statutes, then the parties hereto agree that the value of the property described herein for purposes of such appeal shall be fair market value which has been determined by the parties to be the fair market value of the property based on appraisal. The appraisal valued the property at \$7,900.00. This interest acquired by this donation is a Temporary Limited Easement of 4,884 square feet and Highway Easement of 2,096 square feet.

This agreement is binding upon acceptance by WisDOT as evidenced by the signature of an authorized representative of WisDOT. If this agreement is not accepted by WisDOT within 30 days after Seller's signature, this agreement shall be null and void.



Q J 4 0 9 6 3 3

Project ID
1206-07-25

Parcel No.
1

LEGAL DESCRIPTION

Parcel 1 of Transportation Project Plat 1206-07-25 - 4.02 recorded as Document No. 5099029, at the Register of Deeds office in Dane County, Wisconsin.

Property interests and rights of said Parcel 1 consist of:

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This highway easement includes the right to ingress and egress to construct and maintain McKee Road roadway and sidewalk.

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TEMPORARY LIMITED EASEMENT

Any interests or rights not listed above for said parcels but shown as required on said Transportation Project Plats are hereby incorporated herein by reference.

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: 11/10/2015
Date to Report Back: 11/24/2015

Ordinance Number:
Resolution Number: R-122-15

Sponsored by: Mayor

Drafted by: Planning / Zoning

**TITLE: ACCEPTING TEMPORARY ACCESS EASEMENT FROM
SUB-ZERO GROUP**

Background: The agreement for provision of utility easements and road connectivity with Sub-Zero Group required them to provide a temporary easement. The access would use their drive from the time the new Bud's Drive west of the Badger Trail is open, until street connectivity east of the Badger Trail is provided. The easement will be held until a determination is made if it is needed.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	November 17, 2015	
2				

Amendments:

Stephen L. Arnold
Introduced by

Planning
Drafted by

Planning Commission
Committee

October 27, 2015
Date

RESOLUTION R-122-15

**A RESOLUTION ACCEPTING TEMPORARY ACCESS EASEMENT
FROM SUB-ZERO GROUP**

WHEREAS, The City of Fitchburg recently approved Resolutions which conditionally approved release of utility rights (R-65-2015) as well as discontinuance of Bud's Drive and a portion of Marketplace Drive (R-66-2015) to accommodate building expansion by Sub-Zero Group (Sub-Zero), and

WHEREAS, Fitchburg and Sub-Zero entered into an agreement is necessary to provide obligations for easements and public connectivity with due to discontinuance of the section of Marketplace Drive in R-66-2015,

WHEREAS, one condition of the approval of the public connectivity agreement was an easement to be provided by Sub-Zero for access from the opening of the new Bud's Drive until the access is available east of the Badger Trail to either Marketplace Drive or Seminole Highway.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Common Council of the City of Fitchburg that it approves the Temporary Access Agreement between Sub-Zero

BE IT FURTHER RESOLVED, that the Mayor and City Clerk are hereby authorized to sign the necessary documents relative to the above noted agreement

Adopted by the Common Council of the City of Fitchburg this ___day of November, 2015.

Approved By: _____
Stephen L. Arnold, Mayor

Attested By: _____
Patti Anderson, City Clerk

**TEMPORARY ACCESS
EASEMENT AGREEMENT**

Return to:

Fitchburg City Clerk
5520 Lacy Road
Fitchburg, WI 53711

Part of:

060908285752
060908385302
060908385602
060907481902

Parcel Number

TEMPORARY ACCESS EASEMENT AGREEMENT

THIS TEMPORARY ACCESS EASEMENT AGREEMENT (this "Agreement") is executed this ____ day of _____, 2015, by SUB-ZERO GROUP, INC. ("Owner") to THE CITY OF FITCHBURG, WISCONSIN (the "City").

RECITALS:

A. Owner is the fee holder of certain real property in the City of Fitchburg, County of Dane, State of Wisconsin, as more particularly described on the attached and incorporated Exhibit A and identified as "Easement " on Exhibit B (the "Property").

B. Owner desires to grant to the City, and the City desires to accept, a temporary access easement for use as a road for the benefit of the public in the area identified on Exhibit B as "Access Drive" located along the easterly property line of the Property from the current location of Marketplace Drive and the public road identified on Exhibit B as "Proposed Road" along the southerly property line of the Property which will be referred to as "Bud's Drive" once construction of the same is completed and dedicated to the City (the "Easement Area") to provide vehicular access along the Easement Area until the completion of construction and dedication of Marketplace Drive in the location identified on Exhibit A as Marketplace Drive and located East of the easterly property line of the Property , subject to the terms and conditions set forth below.

NOW THEREFORE, Owner and the City hereby agree as follows:

1. Grant of Easement. The Property shall be, and hereby is made subject to, a temporary access easement and right-of-way to the City for the benefit of the Public for vehicular access over the Easement Area until the earlier to occur of: (a) construction of the new location of Marketplace Drive is complete and such portion of Marketplace Drive is dedicated to the City or (b) a public street connection to Seminole Highway has been completed, in the approximate area shown as dotted lines on Exhibit B attached hereto.
2. Construction and Maintenance of Easement Area. Use of the Easement Area in accordance with the grant made in paragraph 1 above shall not commence until the construction of the Easement Area is complete. The City shall maintain and keep in good order and condition, including snow removal, the Easement Area so long as the same is used for the benefit of the City and the Public as set forth in this Agreement.
3. No Construction of Buildings; Reservation of Rights. Owner shall not construct above-ground buildings, structures, or fences within the Easement Area or otherwise interfere with the rights granted under this Agreement to the City for the benefit of the public, without the City's prior written consent. Owner reserves the right to use the Easement Area for purposes which will not interfere with the City's full enjoyment of the easement rights granted hereby, which may include temporary road closures if necessary to complete construction of any projects upon the Property, such road closures shall be limited in duration to only what is necessary for safe and efficient construction of the Owner's project.
4. Successors and Assigns. All the terms, conditions, covenants and other provisions contained in this Agreement, including the benefits and burdens, shall run with the land and shall be binding upon and inure to the benefit of and be enforceable by Owner and the City, and their respective successors and assigns. The City shall not assign this Agreement without written consent of the Owner or Owner's successors and assigns.
5. Governing Law. This Agreement shall be construed and enforced in accordance with the internal laws of the State of Wisconsin.

6. Partial Invalidity. If any term, covenant, or condition of this Agreement or the application thereof to any person or circumstance shall be deemed invalid or unenforceable, the remainder of this Agreement, or the application of such term, covenant or condition to persons or circumstances other than those to which it is held invalid or unenforceable shall not be affected thereby, and each term, covenant and condition shall be valid and enforceable to the fullest extent permitted by law.

7. Enforcement. Any party hereto may enforce this Agreement by appropriate action, and should it prevail in such litigation, that party shall be entitled to recover, as part of its costs, reasonable attorneys' fees.

8. Subrogation. The City and Owner each hereby waive all rights of subrogation that any has or may hereafter have against the other for any damage to the Easement Area or any other real or personal property or to persons covered by such party's insurance, but only to the extent of the waiving party's insurance coverage; provided, however, that the foregoing waivers shall not invalidate any policy of insurance now or hereafter issued, it being hereby agreed that such a waiver shall not apply in any case which would result in the invalidation of any such policy of insurance and that each party shall notify the other if such party's insurance would be so invalidated.

9. Easement Modification; Termination. This Agreement may not be modified or amended, except by a written instrument executed and delivered by the City and the Owner (or a party's successor and/or assign). This Agreement shall automatically terminate as set forth in paragraph 1 above.

10. Notices. Notices to the Owner shall be given to the Owner at the address to which property tax bills for the Property are to be sent. Notices to the City shall be given to the City to Fitchburg City Clerk, 5520 Lacy Road, Fitchburg, Wisconsin 53711. All notices shall be sent by registered or certified mail, return receipt requested.

11. Consideration. This Agreement is granted for good and sufficient consideration, the receipt and sufficiency which are hereby acknowledged by Owner and the City.

[Execution Pages Follow]

IN WITNESS WHEREOF, Owner has executed this Agreement effective as of the date first above written.

SUB-ZERO GROUP, INC.
("Owner")

By: _____
Scott LaFleur, Chief Operations Officer

ACKNOWLEDGMENT

STATE OF WISCONSIN)
) ss.
COUNTY OF DANE)

Personally came before me this ___ day of _____, 2015, the above-named Scott LaFleur, Chief Operations Officer of Sub-Zero Group, Inc., who executed the above instrument and acknowledged the same.

Name: _____
Notary Public, State of Wisconsin
My Commission: _____

This document was drafted by:

Melanie S. Lee
Reinhart Boerner Van Deuren s.c.
22 East Mifflin Street, Suite 600
Madison, WI 53703

EXHIBIT A

LEGAL DESCRIPTION OF THE PROPERTY

Lot One (1) and Lot Two (2), Certified Survey Map No. 10031 recorded in Volume 58 of Certified Survey Maps of Dane County, Wisconsin, Page 260, as Document No. 3312694, in the City of Fitchburg, Dane County, Wisconsin and, upon vacation, shall become the owner of certain real property legally described as: A portion Marketplace Drive located in the SW1/4 of the NW1/4 of Section 8, T9N, R8E, City of Fitchburg, Dane County, Wisconsin to-wit: Commencing at the West 1/4 corner of said Section 8; thence N88°50'14"E, 30.00 feet; thence S08°15'53"W, 14.19 feet; thence N88°50'14"E, 51.76 feet to the point of beginning; thence N01°26'48"E, 195.52 feet to a point of curve; thence southeasterly along a curve to the left which has a radius of 110.30 feet and a chord which bears S44°51'30"E, 159.50 feet; thence N88°50'14"E, 779.98 feet to a point of curve; thence northeasterly along a curve to the left which has a radius of 117.00 feet and a chord which bears N42°55'11"E, 168.09 feet; thence S02°59'52"E, 200.84 feet; thence S88°50'14"W, 1022.44 feet to the point of beginning. Containing 87,605 square feet (2.011 acres)

EXHIBIT B

DEPICTION OF THE PROPERTY AND THE EASEMENT AREA



City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
 Direct Referral Approved by:

Date Referred: **Nov. 10, 2015** Ordinance Number:
 Date to Report Back: **Nov. 24, 2015** Resolution Number: **R-124-15**

Sponsored by: Mayor Drafted by: Public Works

TITLE: APPROVING THE FUTURE VACATION OF EXCESS RIGHT-OF-WAY ON ANTON DRIVE

Background: The WisDOT – Stage 2 project includes the construction of Fitchrona Road, north of McKee Road to King James Way. With that extension, Anton Drive will be shifted south to line up with the Fitchrona Road alignment. City staff has reviewed the plans and is agreeable to the alignment changes on Anton Drive. However, these modifications cause an impact to the existing driveway and parking lot for 5206 Anton Drive, the Here We Grow Day Care Center. WisDOT is proposing the construction of a new driveway and parking within the excess right-of-way on Anton Drive that is generated with the southern shift of the road. The property owner has asked the City to provide some certainty that it will vacate the excess right-of-way to allow for these improvements to mitigate the impacts caused by the WisDOT project. WisDOT will construct both driveways, and is not subject to local ordinances. City staff has reviewed the driveway reconstruction plans and does not dispute the provision of a second-driveway to facilitate access to the site. The new east driveway will be ingress-only and low-volume, primarily being used by buses, trucks, and access to the parking stalls. The ISR increases from ~36% to 41% with the driveway reconstruction, so there is no issue with stormwater.

Staff recommends approval of Resolution R-124-15 to mitigate an impact to a local business owner who is affected by the Verona Road – Stage 2 construction project. The new Fitchrona Road street will be reconstructed by WisDOT, including the underground utilities to keep them within the new road right-of-way.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Board of Public Works	Horton	Nov. 16, 2015	
2	Plan Commission	Hovel	Nov. 17, 2015	
3				
4				

Amendments:

Steve Arnold, Mayor
Introduced by

Public Works
Prepared by

Board of Public Works, Plan Commission
Referred to

November 10, 2015
Date

RESOLUTION R-124-15

Approving the Future Vacation of Excess Right-of-Way on Anton Drive

WHEREAS, the Verona Road – Stage 2 Reconstruction project includes the extension of Fitchrona Road north from McKee Road to the intersection of Anton Drive and King James Way, and

WHEREAS, the existing alignment of Anton Drive will be modified as part of the reconstruction to provide a continuous alignment with the Fitchrona Road extension, and

WHEREAS, WisDOT is acquiring additional right-of-way for the Fitchrona Road extension, and

WHEREAS, the new alignment generates excess road right-of-way to the north of the reconstructed roadway adjacent to the properties of 5200 and 5206 Anton Drive, and

WHEREAS, the excess right-of-way can be used to resolve an impact to the local business owner at 5206 Anton Drive by mitigating the loss of parking stalls caused by the reconstruction and adds a second ingress-only driveway, to be constructed by WisDOT, to improve circulation of buses and large trucks, and

WHEREAS, the property owner of 5206 Anton Drive has been involved in meetings between the City and WisDOT and has agreed to the new parking lot configuration and has asked for certainty from the City that it will vacate the excess right-of-way to allow for the parking and will allow a second ingress-only driveway to the property.

NOW, THEREFORE, BE IT HEREBY RESOLVED, by the Fitchburg Common Council that, upon the completion and acceptance of the public improvements for Fitchrona Road, extended north of McKee Road to King James Way, the City will commence proceedings to vacate the excess Anton Drive right-of-way the properties of 5200 and 5206 Anton Drive as depicted on Exhibit A.

BE IT FURTHER RESOLVED, that it does not dispute the WisDOT construction of a second ingress-only driveway for the property at 5206 Anton Drive.

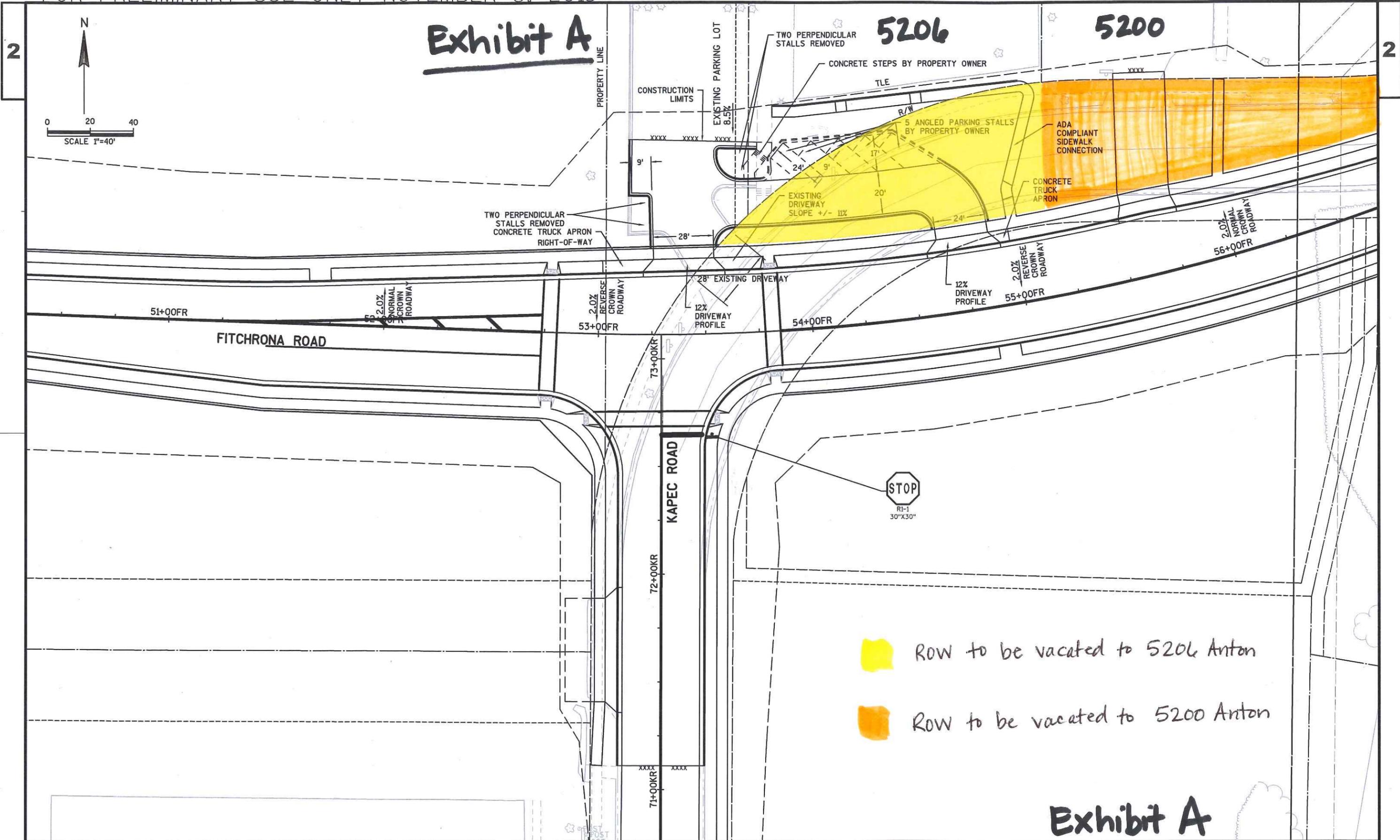
Adopted this _____ day of _____, 2015.

Stephen L. Arnold, Mayor

Approved:

Patti Anderson, City Clerk

Exhibit A



- ROW to be vacated to 5206 Anton
- ROW to be vacated to 5200 Anton

Exhibit A