



Administrative Offices
5520 Lacy Road
Fitchburg, WI 53711-5318
Phone: (608) 270-4200 Fax: (608) 270-4212
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**AGENDA
FITCHBURG COMMON COUNCIL
OCTOBER 27, 2015
7:30 P.M.
CITY HALL**

NOTICE IS HEREBY GIVEN that the Fitchburg Common Council will meet at 7:30 p.m. for a Meeting on Tuesday, October 27, 2015 in the Council Chambers of the City Hall, 5520 Lacy Road to consider and act on the following:

(Note: Full coverage of this meeting is available through FACTv and Streaming Video, accessible on the city web site at <http://factv.fitchburgwi.gov/Cablecast/Public/Main.aspx?ChannelID=3>)

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **PUBLIC APPEARANCES NON-AGENDA ITEMS / NEW APPOINTMENTS**
5. **CONSENT AGENDA**

ALL ITEMS LISTED UNDER THE CONSENT AGENDA are considered routine and will be enacted by one motion. There will be no separate discussion of these items unless a motion to amend is passed in which event the item will be removed from the Consent Agenda and considered on the agenda under the appropriate section.

 - A. **APPROVAL OF MINUTES**
 1. Common Council – October 13, 2015
 - B. **REFERRALS TO COMMISSIONS AND COMMITTEE**
 128. **Resolution R-110-15** Final Resolution Exercising Police Powers and Levying Special Assessments for 2015 Curb and Gutter Replacement in the City of Fitchburg, Wisconsin
 - a. Board of Public Works
 - b. Finance Committee
 129. **Resolution R-117-15** Designating Proposed Boundaries and Approving a Project Plan for Tax Incremental District No. 10, City of Fitchburg, Wisconsin
 - a. Plan Commission
 - b. Finance Committee
 130. **Resolution R-118-15** Recognizing the 2015 Build Application of the Anton Drive Infill Redevelopment Public Visioning and Committing to a Twenty Five Percent Local Match
 - a. Finance Committee
 131. **Resolution R-119-15** Approving Contract with MSA for Anton Drive Planning Study
 - a. Finance Committee

5. Consent Agenda (continued)

132. **Resolution R-120-15** A Resolution Recommending an Audit Firm for the City's 2015 Audit
 - a. Finance Committee

133. **Resolution R-121-15** Approving Grant of Highway Easement to Wisconsin Department of Transportation (WisDOT) over the Military Ridge Path Corridor at County PD/McKee Road
 - a. Board of Public Works
 - b. Plan Commission
 - c. Finance Committee

134. **Rezone Request RZ-2080-15** by Ronald Klaas, Agent for Fahey Land, LLC, to Rezone a Portion of Lot 2 CSM 9896 from the A-T (Transitional Agriculture) District to the A-X (Small Lot Agriculture), a Portion to the P-R (Parks & Recreation), a Portion to the R-H (Residential-High Density) and a Portion to the R-LM (Residential-Low to Medium Density) Districts
 - a. Plan Commission

135. **Final Plat Request FP-2081-15** by Ron Klaas, Agent for Fahey Land, LLC, for the Final Plat of Fahey Fields
 - a. Plan Commission

136. **Comprehensive Development Plan Amendment Request CDP(A)-2085-15** by Jim Spahr of Lionshare Group, Agent for William Dunn, for Amendment One to the Stoner Prairie Comprehensive Development Plan
 - a. Plan Commission

137. **Conditional Use Permit Request CU-2086-15** by Matt Hoefler, HAF Group, to Allow for an Expanded Restaurant Use at 2784 S. Fish Hatchery Road, Lot 1 CSM 12119
 - a. Plan Commission

138. **Conditional Use Permit Request CU-2087-15** by Chuck Chvala, Agent for Ronald & Gertrude Hersmeier, to Allow for a Church Use on Property Associated with 1911 Pike Drive, Lot 3 Hasz Subdivision
 - a. Plan Commission

139. **Conditional Use Permit Request CU-2088-15** by Chuck Chvala, Agent for Fitchburg Christian Fellowship, to Allow for a Hotel, Restaurant and Conference Center Use on Property Associated with 2924 Fish Hatchery Road
 - a. Plan Commission

140. **Conditional Use Permit Request CU-2089-15** by Robb Roos of Cardno, Agent for American Transmission Company, for a Transmission Line Rebuild Project
 - a. Plan Commission

141. **Final Plat Request FP-2090-15** by Michael Marty of Vierbicher, Agent for Goldleaf Fitchburg, LLC, for the Final Plat for First Addition to North Park.
 - a. Plan Commission

142. **Rezone Request RZ-2091-15** by Bill Schiel, Agent for 5509, LLC, to Amend the PDD-SIP Zoning Relative to Site Plan and Building Modifications, for 11 Glenbrook Way, Lot 1 CSM 12952
 - a. Plan Commission

5. **Consent Agenda (continued)**

143. **Preliminary Plat Request PP-2092-15** by Chris Ehlers of William Ryan Homes, Agent for O'Brien Family Limited Partnership, for the Stoner Prairie Preliminary Plat
- a. Plan Commission
 - b. Park Commission

C. **Public Safety & Human Services**

1. **Consideration of the Following Fermented Malt Beverage and Intoxicating Liquor Licenses: (Issuance Contingent upon Payment of all Fees owed to The City of Fitchburg) All are renewal applications.**

a. **"CLASS A" CIDER LICENSE**

Stop-N-Go of Madison, Inc., 2932 Fish Hatchery Road – DBA Stop-N-Go #285 – Andrew J. Bowman, Agent

6. **ADMINISTRATOR'S REPORT**

7. **COMMISSION/COMMITTEE REPORTS**

A. **Plan Commission**

1. **Ordinance 2015-O-27** An Ordinance Amending Chapter 22, Section 22-345(5) to Allow Landscape Sales in the R-D (Rural Development) District
2. **Ordinance 2015-O-32** Zoning Ordinance Amendment Specific Implementation Plan Zoning for Lot 15 Quarry Vista Relative to Building Addition for a Maintenance Facility, Picnic/Patio Areas and Exterior Building Modifications

B. **Board of Public Works**

1. **Ordinance 2015-O-28** An Ordinance Amending Chapter 27 Street and Public Ways – Section 27-402(b) Relative to Curb Opening Width For Commercial or Industrial Driveways
 - a. Plan Commission
2. **Resolution R-105-15** A Resolution Approving Third Party Financing and Ownership of Solar Photovoltaic Panels on the Fitchburg Public Library Roof
 - a. Finance Committee
 - b. Library Board
3. **Resolution R-115-15** Accepting Water Main Improvements on Lot 2 of CSM 10031 (Sub-Zero)

C. **Park Commission**

D. **Library Board**

E. **Commission on Aging**

F. **Resource Conservation Commission**

G. **Transportation & Transit Commission**

H. **Community & Economic Development Authority**

I. **Agriculture & Rural Affairs Committee**

J. **Reports from other Commissions and Committees**

8. **STANDING COMMITTEE REPORTS**
 - A. **Finance Committee**
 1. **APPROVAL OF BILLS –**
Review of Bills Under \$25,000 or Previously Pre-Approved (Council Action Not Required)
 - a. General Checks 112148 through 112222 dated October 22, 2015 Total \$473,677,16
 2. Approval of Bills for \$25,000 or more (Council Action Required)
 - a. Batch Dated October 22, 2015 - \$218,380.23
 3. **Resolution R-113-15** Approving Contract Amendment with SEH for Architectural/Engineering Services a Geo-Thermal System for the West Fire Station Building
 4. **Ordinance 2015-O-29** An Ordinance to Amend SEC. 35-3(a)1 – Permit Fees **(Tabled from 10/13/2015 Meeting)**(Finance, BPW)
 5. Approval of Fitch-Rona EMS 2016-2020 Capital Budgets
 6. Approval of Fitch-Rona EMS 2016 Operating Budget Including Mileage Rate Increase
 - B. **Personnel Committee**
 1. Resolution R-112-15 Approving the Employees Development Policies and Procedures
 - C. **Public Safety & Human Services**
 1. **Operator Licenses needing special attention where applicant must be present: (Issuance Contingent upon Payment of all Fees Owed to City of Fitchburg – Notes: N = New, All Others = Renewal)** Imani Satterfield - N
9. **MAYOR’S REPORT**
 - A. Alder District Reports
10. **UNFINISHED BUSINESS**
 1. Mayor Veto of Resolution R-107-15 A Resolution Establishing a Police and Municipal Building Oversight Committee to be Appointed by the Council President
11. **NEW BUSINESS**
12. **ANNOUNCEMENTS**
 - A. Next Committee of the Whole Meeting, October 28, 2015
 - B. Next Common Council Meeting, November 10, 2015
13. **ADJOURNMENT**



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**DRAFT MINUTES
FITCHBURG COMMON COUNCIL
OCTOBER 13, 2015
7:30 P.M.
CITY HALL**

1. **CALL TO ORDER** - Mayor Arnold called the meeting to order at 7:42 p.m.
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL:** Julia Arata-Fratta, Dan Carpenter, Jason Gonzalez, Tony Hartmann, Jake Johnson, Dorothy Krause, Carol Poole, Patrick Stern, and Mayor Arnold. Others Present: Patrick Marsh, City Administrator and Patti Anderson, City Clerk.
4. **PUBLIC APPEARANCES NON-AGENDA ITEMS / NEW APPOINTMENTS**
 - A. Public Hearing – Proposed 2016 Budget (Proposed Budget on the City website)
 1. Mayor Arnold opened the public hearing at 7:43 p.m.
 2. Registrants who spoke regarding the budget: Chris Jimieson, Sherrie Gruder, Randy Hess, Richard Bloomquist, Jody Zache, Steve Lipton, Tiffany Loomis, Eileen Kellor, Logan Wandrey, Glenn Unger, Jake Johnson, Marc Jones.
 3. Citizens who registered only: Donna Rosinski, Bill Camperlino, Kris Kellor, Kaye Cooke, Sam Cooke, Diane Streck.
 4. Public Hearing closed at 9:07 p.m.

9:07 pm – Motion by Stern, 2nd by Carpenter for unanimous consent to move item #11.1.

 11.
 1. Motion by Gonzalez, 2nd by Johnson to **approve Resolution R-111-15** Approving a Typical Section for the Lacy Road Reconstruction Project from the Community Center East to S. Syene Road – **Direct Referral (TTC, BPW)**
 - a. Registrants who spoke: Patrick Cheney, Matthew Jones, Eillen Kellor.
 - b. Citizens who registered only: Tom Marshall, Kaye Cooke, Sam Cooke, Steve Racchini, Dave Willborn, Kay Willborn, Nancy Gallagher, and Kris Kellor.
 - c. Roll Call Vote: All Ayes.
 - d. **Motion carried unanimously.**
5. **CONSENT AGENDA**
 - A. **APPROVAL OF MINUTES** - September 22, 2015
 - B. **REFERRALS TO COMMISSIONS AND COMMITTEE**
Ordinance 2015-O- 31 An Ordinance Amending Chapter 14 to Amend Article 3 Section 14-63(a) and Create Article 3 Section 14-63(a)(1) and Article 3 Section 14-63(a)(2) (*Personnel*)

Rezone Request, RZ-2079-15 by Craig Raddatz, Agent for Fiduciary Real Estate Development, Inc., to Amend the PDD-SIP (Planned Development District – Specific Implementation Plan) Zoning to Allow for the Addition of Two Picnic Areas with Grills, a Single-Story Maintenance Shop Building Addition as well as other Minor Exterior Modifications on Lot 15 Quarry Vista (*Plan*)

Rezone Request, RZ-2082-15 by Thomas Sanford, Agent for Homeville Fitchburg/Bill Clemens, to Rezone Lot 1 CSM 12135 from PDD-GIP (Planned Development District-General Implementation Plan) Zoning to PDD-SIP (Planned Development District - Specific Implementation Plan) Zoning to Allow for Commercial Development (*Plan*)

Certified Survey Map Request, CS-2083-15 by Thomas Sanford, Agent for Homeville Fitchburg/Bill Clemens, to Divide Lot 1 CSM 12135 into Two Lots (*Plan*)

Resolution R-112-15 Approving the Employees Development Policies and Procedures (*Personnel*)

Resolution R-113-15 Approving Contract Amendment with SEH for Architectural/Engineering Services a Geo-Thermal System for the West Fire Station Building (*Finance*)

Resolution R-115-15 Accepting Water Main Improvements on Lot 2 of CSM 10031 (Sub-Zero) (*BPW*)

C. **Public Safety & Human Services**

1. **Temporary Operator Licenses: (Issuance Contingent upon Payment of all Fees Owed to City of Fitchburg)** MadCity Velo - Erik D. Jensen, Peter C. Biermeier

2. **Consideration of the Following Application for Temporary Class “B”/”Class B” Retailers License “Picnic License” (Issuance Contingent upon Payment of all Fees Owed to City of Fitchburg)** MadCity Velo, 311 Wind Poppy Way, Waunakee, WI to hold a Cyclocross Bicycle Event on Sunday, October 25, 2015 from 10:00 a.m. to 4:30 p.m. at McGaw Park, 5236 Lacy Road, Fitchburg, WI - *For Sale of Fermented Malt Beverages only*

3. Motion by Poole, 2nd by Stern to **approve** the consent agenda.

4. **Motion carried.**

9:32 recess for 5 minutes

9:37 reconvene meeting

Gonzalez requested unanimous consent to take up item# 11.3

11. 3. Motion by Krause, 2nd by Stern to **approve as amended by the Board of Public Works** **Resolution R-116-15** Accepting Subdivision Improvements for Lots 1 through 15 and Utility Improvements on Outlots 1 and 5 in the Plat of Quarry Vista in the City of Fitchburg, Wisconsin – *Direct Referral (BPW)*
- a. **Motion carried.**

6. **ADMINISTRATOR’S REPORT**

Marsh presented the Administrators Report.

7. **COMMISSION/COMMITTEE REPORTS**

A. **Plan Commission**

B. **Board of Public Works**

1. Motion by Krause, 2nd by Poole to **approve** **Resolution R-103-15** A Resolution Approving Agreement Between Sub-Zero Wolf, Inc. and the City of Fitchburg Regarding Provision of Utility Easements and Road Connectivity

a. **Motion carried.**

2. Motion by Krause, 2nd by Stern to **approve** **Resolution R-108-15** Authorizing Purchase of Plow Truck Equipment (*Finance*)

a. **Motion carried.**

C. **Park Commission**

- D. **Library Board**
- E. **Commission on Aging**
- F. **Resource Conservation Commission**
- G. **Transportation & Transit Commission**
- H. **Community & Economic Development Authority**
- I. **Agriculture & Rural Affairs Committee**
- J. **Reports from other Commissions and Committees**

8. **STANDING COMMITTEE REPORTS**

A. **Finance Committee**

1. Stern reported that Finance reviewed a batch of bills **Under \$25,000 or Previously Pre Approved** General Checks 112033 through 112147 dated October 8, 2015 Total \$833,652.32 as well as P-Card Charges August 5, 2015 – September 4, 2015 Total \$182,629.92
2. Motion by Stern, 2nd by Carpenter to approve **Bills for \$25,000** or more, batch Dated October 8, 2015 - \$242,165.77
 - a. **Motion carried.**
3. Motion by Stern, 2nd by Poole to **Table to 10/27 meeting Ordinance 2015-O-29** An Ordinance to Amend SEC. 35-3(a)1 – Permit Fees (*BPW*)
 - a. **Motion carried.**

B. **Personnel Committee**

C. **Public Safety & Human Services**

1. Motion by Poole, 2nd by Stern to **approve Resolution R-107-15** A Resolution Establishing a Police and Municipal Building Oversight Committee to be Appointed by the Council President
 - a. Motion by Hartmann, 2nd by Johnson to amend the resolution to have the members of the Ad Hoc Committee be appointed by the Mayor.
 - b. **Motion failed.** (Carpenter recused from vote)
 - c. Motion by Poole, 2nd by Johnson to amend clause 4 to say “shall meet as needed to move the project forward, and amend clause 5 to say “and make a recommendation of construction year.
 - d. **Motion carried.** (Carpenter recused from vote)
 - e. Roll Call Vote on Main Motion. Ayes: Poole, Stern, Arata-Fratta, Gonzalez, Hartmann, Johnson Nay: Krause. (Carpenter recused from vote)
 - f. **Motion carried 6-1.**

9. **MAYOR’S REPORT**

- A. Mayor Arnold presented the Mayor’s report
- B. Alder District Reports

10. **UNFINISHED BUSINESS** - None

11. **NEW BUSINESS**

2. Motion by Stern, 2nd by Carpenter to **approve Resolution R-114-15** Adopting a Revised 2016 Annual City Budget Schedule – *Direct Referral (Finance)*
 - a. **Motion carried.**

12. **ANNOUNCEMENTS**
 - A. Next Common Council Meeting, October 27, 2015
 - B. Next Committee of the Whole Meeting, October 28, 2015

13. Motion by Carpenter, 2nd by Stern to **adjourn**.
 - A. **Motion carried.** Time: 10:53 p.m.

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **October 27, 2015** Ordinance Number:
Date to Report Back: **November 10, 2015** Resolution Number: **R-110-15**

Sponsored by: Mayor Drafted by: Public Works

TITLE: Final Resolution Exercising Police Powers and Levying
Special Assessments for 2015 Curb and Gutter
Replacement in the City of Fitchburg, Wisconsin

Background: The curb and gutter replacement work was completed in conjunction with the street resurfacing project. In order to levy the assessments, the Council has to adopt a final assessment resolution. The assessment report will be modified if Resolution R-110-15 is approved at the November 10, 2015 council meeting.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Board of Public Works	Horton	November 2, 2015	
2	Finance	Dodge	November 10, 2015	
3				
4				

Amendments:

**2015 STREET RESURFACING
CURB & GUTTER REPLACEMENT
FINAL ASSESSMENT REPORT
PROJECT NO. 15-SR-101-0**



THE CITY OF
Fitchburg
PUBLIC WORKS

**City of Fitchburg
Department of Public Works
5520 Lacy Road
Fitchburg, WI 53711
Dane County
Wisconsin**

Introduction

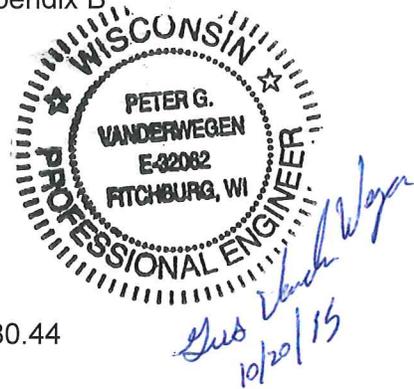
This report is required by the Common Council of the City of Fitchburg to fulfill its requirements to exercise its power under Wis. Stat. §66.0703(7) and 10.215 of the Fitchburg General Ordinances. It is submitted to the Common Council as a Final Assessment Report for the replacement of deficient curb and gutter fronting Monticello Way from S. Whitney Way to City Limits, Tanager Trail, Richmond Drive, Marledge Street from Raritan Road to 200' south of Barbara Drive, Osmundsen Road from Devoro Road to Lacy Road, and Osmundsen Road from Lacy Road to Stanbrook Road.

This report contains the following:

- 1) Project Costs Table 1
- 2) Final Assessment Schedule Exhibit A
- 3) Final Assessment Resolution R-110-15 Appendix A
- 4) Preliminary Assessment Report Appendix B

**TABLE 1
PROJECT COSTS
2015 STREET RESURFACING
CURB & GUTTER REPLACEMENT**

Construction Costs		
Estimated Construction Costs	\$32,560.88	
Less City Costs*	<u>\$ 16,280.44</u>	
Total Assessable Construction Costs		\$16,280.44
Technical Services		
Engineering 8%	\$1,298.44	
Administrative 2%	\$326.88	
Subtotal:		\$1,625.32
Total Assessable Project Cost		\$17,905.76



**The City is responsible for 50% of the curb and gutter costs per the assessment policy.*

ASSESSMENT RATE

In this project, properties will generally benefit in proportion to their linear footage of curb and gutter. Therefore, the linear footage method of assessment best assures that each property owner pays a proportionate share of the costs. Per the assessment policy, a property owner may not be charged for more than 40 linear feet.

The linear footage assessment rate is determined by dividing the total assessable project cost, as shown in Table 1, by the total assessable linear footage as shown in Exhibit A. For this project, the assessment rate is calculated to be \$19.72 per linear foot for curb and gutter.

Assessable Curb and Gutter Cost \$19.72 / Linear Foot

The assessments for each parcel are shown on Exhibit A. The total linear footage of assessable curb and gutter replacement is 908 LF.

**EXHIBIT A
FINAL ASSESSMENT SCHEDULE
2015 STREET RESURFACING, CURB AND GUTTER REPLACEMENT
PROJECT No. 15-SR-101-0**

PARCEL No. 225/0609	PARCEL	OWNER	MAILING ADDRESS		Final Cost							
	ADDRESS	NAME	Address	CITY, STATE, ZIP	Measured C&G	Assessable	Total Cost	Resident Assessment		City Portion		
					Linear FT	Linear FT	\$39.44	\$19.72		\$19.72		
093-6489-8	5739 Barbara Dr	Tanya & Joseph Lourigan	5739 Barbara Dr	Fitchburg, WI 53711	40	40	\$1,577.60	R	50%	\$788.80	50%	\$788.80
093-4477-6	5780 Lacy Rd	Fischer Living TR	5780 Lacy Rd	Fitchburg, WI 53711	11	11	\$433.84	R	50%	\$216.92	50%	\$216.92
093-6511-9	2701 Marledge St	David & Verna Carlson	2701 Marledge St	Fitchburg, WI 53711	24	24	\$946.56	R	50%	\$473.28	50%	\$473.28
093-6533-3	2706 Marledge St	Daniel Giesler & Jacqueline Ramin	2706 Marledge St	Fitchburg, WI 53711	24	24	\$946.56	R	50%	\$473.28	50%	\$473.28
093-6544-0	2712 Marledge St	Ryne & Phoebe Natzke	2712 Marledge St	Fitchburg, WI 53711	42	40	\$1,577.60	R	50%	\$788.80	50%	\$788.80
093-6478-1	2721 Marledge St	Rodney Bina & Coletta Mulvihill Bina	2721 Marledge St	Fitchburg, WI 53711	5	5	\$197.20	R	50%	\$98.60	50%	\$98.60
093-6577-1	2728 Marledge St	Richard & Joyce Nelson	2728 Marledge St	Fitchburg, WI 53711	5	5	\$197.20	R	50%	\$98.60	50%	\$98.60
093-6665-4	2744 Marledge St	Frank Novak & Kathleen Lange-Novak	2744 Marledge St	Fitchburg, WI 53711	23	23	\$907.12	R	50%	\$453.56	50%	\$453.56
093-6423-6	2745 Marledge St	Thomas & Patricia Farley	2745 Marledge St	Fitchburg, WI 53711	9	9	\$354.96	R	50%	\$177.48	50%	\$177.48
093-6401-2	2753 Marledge St	Cheryl Hamilton	2753 Marledge St	Fitchburg, WI 53711	9	9	\$354.96	R	50%	\$177.48	50%	\$177.48
062-6698-2	5744 Monticello Way	Jessica Smulka	5744 Monticello Way	Fitchburg, WI 53719	21	21	\$828.24	R	50%	\$414.12	50%	\$414.12
062-6062-0	5747 Monticello Way	David & Rebekah Krajnik	5747 Monticello Way	Fitchburg, WI 53719	11	11	\$433.84	R	50%	\$216.92	50%	\$216.92
062-6051-3	5748 Monticello Way	Kimberly Hurley	5748 Monticello Way	Fitchburg, WI 53719	11	11	\$433.84	R	50%	\$216.92	50%	\$216.92
062-6040-6	5752 Monticello Way	Wade & Shelley Whitmus	5752 Monticello Way	Fitchburg, WI 53719	11	11	\$433.84	R	50%	\$216.92	50%	\$216.92
062-6095-1	5759 Monticello Way	Christopher & Paige Jany	5759 Monticello Way	Fitchburg, WI 53719	31	31	\$1,222.64	R	50%	\$611.32	50%	\$611.32
062-6018-4	5760 Monticello Way	Mary Becker	5760 Monticello Way	Fitchburg, WI 53719	23	23	\$907.12	R	50%	\$453.56	50%	\$453.56
062-6106-7	5763 Monticello Way	Kimberly Knoche	5763 Monticello Way	Fitchburg, WI 53719	31	31	\$1,222.64	R	50%	\$611.32	50%	\$611.32
062-6007-7	5764 Monticello Way	James & Margaret Newberry	5764 Monticello Way	Fitchburg, WI 53719	12	12	\$473.28	R	50%	\$236.64	50%	\$236.64
062-4067-9	5767 Monticello Way	Jacqueline Captain	5767 Monticello Way	Fitchburg, WI 53719	29	29	\$1,143.76	R	50%	\$571.88	50%	\$571.88
062-4056-2	5768 Monticello Way	Jaime & Steven Karlic	5768 Monticello Way	Fitchburg, WI 53719	24	24	\$946.56	R	50%	\$473.28	50%	\$473.28
062-4023-1	5804 Monticello Way	Michael & Michele Van Hecker	5804 Monticello Way	Fitchburg, WI 53719	17	17	\$670.48	R	50%	\$335.24	50%	\$335.24
062-4559-4	5816 Monticello Way	Robert Helgren	5816 Monticello Way	Fitchburg, WI 53719	12	12	\$473.28	R	50%	\$236.64	50%	\$236.64
062-4416-6	5823 Monticello Way	Kirstin & Joseph Bugni	5823 Monticello Way	Fitchburg, WI 53719	40	40	\$1,577.60	R	50%	\$788.80	50%	\$788.80
062-4537-0	5824 Monticello Way	Jeffery Scarafia	1733 Waters Ridge Dr	Newburgh, IN 47630	15	15	\$591.60	R	50%	\$295.80	50%	\$295.80
062-4449-7	5835 Monticello Way	Alvin & Margo Barcheski	5835 Monticello Way	Fitchburg, WI 53719	26	26	\$1,025.44	R	50%	\$512.72	50%	\$512.72
062-4504-9	5836 Monticello Way	Lindzee & Shonn Gibson	5836 Monticello Way	Fitchburg, WI 53719	9	9	\$354.96	R	50%	\$177.48	50%	\$177.48
062-4460-2	5839 Monticello Way	Kenneth Olson & Susan Gilbertson	5839 Monticello Way	Fitchburg, WI 53719	14	14	\$552.16	R	50%	\$276.08	50%	\$276.08
062-4482-6	5844 Monticello Way	Charlene Crapser	5844 Monticello Way	Fitchburg, WI 53719	8	8	\$315.52	R	50%	\$157.76	50%	\$157.76
062-4471-9	5845 Monticello Way	Colin & Rebeca Schenck	5845 Monticello Way	Fitchburg, WI 53719	10	10	\$394.40	R	50%	\$197.20	50%	\$197.20
162-3115-1	2686 Osmundsen Rd	Randall Hess	2985 Triverton Pike Unit 200	Fitchburg, WI 53711	11	11	\$433.84	R	50%	\$216.92	50%	\$216.92
093-4598-0	2703 Osmundsen Rd	William & Linda Wilson	2703 Osmundsen Rd	Fitchburg, WI 53711	25	25	\$986.00	R	50%	\$493.00	50%	\$493.00
093-4609-6	2707 Osmundsen Rd	Michael & Kathleen Walker	2707 Osmundsen Rd	Fitchburg, WI 53711	5	5	\$197.20	R	50%	\$98.60	50%	\$98.60
093-4763-9	2725 Osmundsen Rd	Steven & Lynn Smilie	2725 Osmundsen Rd	Fitchburg, WI 53711	47	40	\$1,577.60	R	50%	\$788.80	50%	\$788.80
093-4774-6	2731 Osmundsen Rd	John & Susan Easterday	2731 Osmundsen Rd	Fitchburg, WI 53711	21	21	\$828.24	R	50%	\$414.12	50%	\$414.12
093-4274-1	2735 Osmundsen Rd	Jeffery & Krishna Erdahl	2735 Osmundsen Rd	Fitchburg, WI 53711	7	7	\$276.08	R	50%	\$138.04	50%	\$138.04
062-4045-5	2487 Tanager Trail	Allen & Mary Koscielniak	2487 Tanager Trl	Fitchburg, WI 53711	5	5	\$197.20	R	50%	\$98.60	50%	\$98.60

**EXHIBIT A
FINAL ASSESSMENT SCHEDULE
2015 STREET RESURFACING, CURB AND GUTTER REPLACEMENT
PROJECT No. 15-SR-101-0**

PARCEL		OWNER	MAILING ADDRESS		Final Cost							
PARCEL No. 225/0609	ADDRESS	NAME	Address	CITY, STATE, ZIP	Measured C&G	Assessable	Total Cost	Resident Assessment		City Portion		
					Linear FT	Linear FT	\$39.44	\$19.72	\$19.72			
062-6632-0	5722 Richmond Dr	Pedro Pinto & Ronni Rogers	5722 Richmond Dr	Fitchburg, WI 53719	27	27	\$1,064.88	R	50%	\$532.44	50%	\$532.44
062-6599-2	5734 Richmond Dr	Keith Rabiola & Jennifer Fenne	5734 Richmond Dr	Fitchburg, WI 53719	12	12	\$473.28	R	50%	\$236.64	50%	\$236.64
062-6588-5	5738 Richmond Dr	Jones TR	5738 Richmond Dr	Fitchburg, WI 53719	49	40	\$1,577.60	R	50%	\$788.80	50%	\$788.80
062-6163-8	5742 Richmond Dr	Goodison Living TR, Frank & Helga	5742 Richmond Dr	Fitchburg, WI 53719	45	40	\$1,577.60	R	50%	\$788.80	50%	\$788.80
062-6141-4	5750 Richmond Dr	Leland Lemens & Marilyn Franke-Lemens	5750 Richmond Dr	Fitchburg, WI 53719	34	34	\$1,340.96	R	50%	\$670.48	50%	\$670.48
062-6130-7	5754 Richmond Dr	Antonio Antezana	5754 Richmond Dr	Fitchburg, WI 53719	22	22	\$867.68	R	50%	\$433.84	50%	\$433.84
062-6119-2	5758 Richmond Dr	June Coleman	5758 Richmond Dr	Fitchburg, WI 53719	35	35	\$1,380.40	R	50%	\$690.20	50%	\$690.20
062-4232-8	5773 Richmond Dr	James Tewes & Elizabeth Blair	5773 Richmond Dr	Fitchburg, WI 53719	11	11	\$433.84	R	50%	\$216.92	50%	\$216.92
062-4155-2	5774 Richmond Dr	Gerard & Darlene Meinholz	5774 Richmond Dr	Fitchburg, WI 53719	16	16	\$631.04	R	50%	\$315.52	50%	\$315.52
062-4144-5	5778 Richmond Dr	Krystle & Joseph Marks	5778 Richmond Dr	Fitchburg, WI 53719	12	12	\$473.28	R	50%	\$236.64	50%	\$236.64
TOTAL C&G:					931	908	\$35,811.52			\$17,905.76		\$17,905.76

All property owners and mailing address information was obtained on September 29, 2015 from Access Dane Geographic and Land Information. Curb and gutter assessments may not be exceed 40 linear feet per policy.

Steve Arnold, Mayor
Introduced By

Public Works
Prepared by

Board of Public Works, Finance
Referred to

October 27, 2015
Date

RESOLUTION R-110-15
FINAL RESOLUTION EXERCISING POLICE POWERS AND LEVYING SPECIAL ASSESSMENTS FOR 2015 CURB AND GUTTER REPLACEMENT IN THE CITY OF FITCHBURG, WISCONSIN

WHEREAS, on March 24, 2015, the Common Council of the City of Fitchburg adopted resolution No R-33-15 declaring its intent to exercise its police power under Wis. Stat. §66.0703 (7), and section 10.213-10.216 of the Fitchburg General Ordinances to levy special assessments for special benefits conferred upon properties within the following Assessment District for the cost of replacing defective curb and gutter on streets in the 2015 Street Resurfacing contract in the City of Fitchburg.

ASSESSMENT DISTRICT

All properties with defective curb and gutter as identified by the City Engineer fronting Monticello Way from S. Whitney Way to City Limits, Tanager Trail, Richmond Drive, Marledge Street from Raritan Road to 200' south of Barbara Drive, Osmundsen Road from Devoro Road to Lacy Road, and Osmundsen Road from Lacy Road to Stanbrook Road.

WHEREAS, pursuant to said resolution a report was filed by the City Engineer in the office of the City Clerk, notice thereof was duly given to the public and to owners of affected properties, and the Board of Public Works on August 17, 2015, held a public hearing at the Fitchburg City Hall for purposes of hearing all persons interested concerning the preliminary resolution and report on the proposed assessments; and

WHEREAS, all work described in Resolution No. R-33-15 has been completed and a final report of the direct and indirect costs of the improvements and proposed final assessments has been filed in the office of the City Clerk by the City Engineer; and

WHEREAS, the report of the engineer shows that the final assessments do not exceed by ten percent (10%) or more the preliminary assessments in the preliminary report heard by the Board of Public Works on August 17, 2015, as above described;

NOW, THEREFORE BE IT HEREBY RESOLVED, the Common Council of the City of Fitchburg, Wisconsin, pursuant to the authority vested in it by Wis. Stat. 62.11(5) and 66.0703(7) hereby resolve as follows:

1. The final report of the City Engineer pertaining to the construction of 2015 Curb and Gutter Replacement in the above-described Assessment District is hereby adopted and approved.
2. Payment for the improvements described in paragraph 1 shall be made by assessing the costs to the properties and in the amounts indicated in the report as shown on Exhibit A attached hereto which is incorporated herein as if fully set forth.

3. The assessments shown on the attached Exhibit A represent an exercise of the police power and have been determined on a reasonable basis and are hereby confirmed.

4. The assessments may be paid to the City Clerk in cash within sixty (60) days from the adopted date of this resolution or in equal annual installments of principal as follows:

- a. If the assessment is less than \$500.00, the assessment shall be paid in one (1) annual installment.
- b. If the assessment is at least \$500.00 but less than \$999.00, the assessment shall be paid in three (3) installments.
- c. If the assessment is at least \$1000.00 but less than \$4,999.00, the assessment shall be paid in five (5) annual installments.
- d. If the assessment is greater than \$5000.00, the assessment shall be paid in seven (7) annual installments.

Upon sale or transfer of the property any outstanding balances are due. Deferred principal payments shall bear interest on the unpaid balance at the rate of 2.5% per annum from January 1, 2016. Installments not paid when due shall bear additional interest on the amount due at the rate of 18% per annum. Partial payments received on or before ninety days from the adopted date of this resolution shall be applied to the principal amount due and installments reduced pro-rata.

5. The unpaid balance of principal of any assessment levied hereby and interest thereon shall be a lien upon the assessed property from the date of adoption of this resolution.

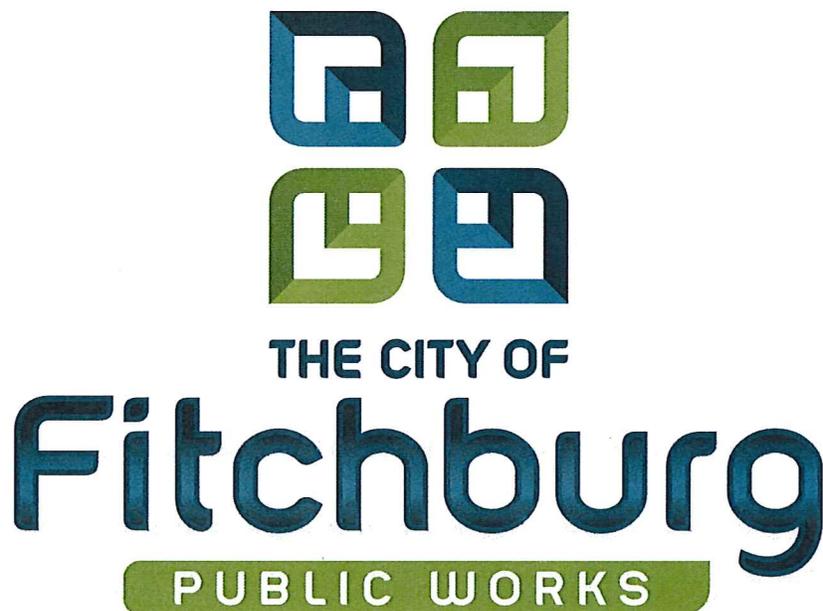
6. The City Clerk shall publish this resolution and an installment assessment notice as Class 1 Notices in the City's official newspaper and mail a copy of this resolution and a statement of the final assessment against each property, together with an installment assessment notice, to the owner of every property whose name appears on the assessment roll and whose post office address is known or can with reasonable diligence be ascertained.

Adopted this 10th day of November, 2015.

Approved By: _____
Stephen L. Arnold, Mayor

Attested By: _____
Patti Anderson, City Clerk

**2015 STREET RESURFACING
CURB & GUTTER REPLACEMENT
PRELIMINARY ASSESSMENT REPORT
PROJECT NO. 15-SR-101-0**



**City of Fitchburg
Department of Public Works
5520 Lacy Road
Fitchburg, WI 53711
Dane County
Wisconsin**

Introduction

This report is required by the Common Council of the City of Fitchburg as per Resolution Number R-33-15, declaring Intent to Exercise Special Assessment Powers. It is submitted to the Common Council as a Preliminary Assessment Report for the replacement of deficient curb and gutter fronting Monticello Way from S. Whitney Way to City Limits, Tanager Trail, Richmond Drive, Marledge Street from Raritan Road to 200' south of Barbara Drive, Osmundsen Road from Devoro Road to Lacy Road, and Osmundsen Road from Lacy Road to Stanbrook Road.

This report contains the following:

- 1) Statement of Benefits
- 2) Opinion of Project Costs..... Table 1
- 3) Preliminary Assessment ScheduleExhibit A
- 4) Preliminary Assessment Resolution R-33-15Appendix A
- 5) Assessment District Boundary Map..... Appendix B

I. Statement of Benefits

The improvements will abut the properties within the proposed assessment districts as shown and described in Appendices A and B, respectively.

By correcting deficiencies in the existing curb and gutter, this will benefit the properties where the improvements are to be installed.

II. Opinion of Project Costs

The Opinion of Project Costs shown in Table 1 contains the estimated construction, engineering, and administrative costs.

EXHIBIT A
PRELIMINARY ASSESSMENT SCHEDULE
2015 STREET RESURFACING, CURB AND GUTTER REPLACEMENT
PROJECT No. 15-SR-101-0

PARCEL No. 225/0609	PARCEL ADDRESS	OWNER NAME	MAILING ADDRESS		Measured C&G Linear FT	Assessable Linear FT	Total Cost \$39.44	Preliminary Assessment				
			Address	CITY, STATE, ZIP				Resident Assessment		City Portion		
								\$19.72		\$19.72		
093-6489-8	5739 Barbara Dr	Tanya & Joseph Lourigan	5739 Barbara Dr	Fitchburg, WI 53711	40	40	\$1,577.60	R	50%	\$788.80	50%	\$788.80
093-4477-6	5780 Lacy Rd	Fischer Living TR	5780 Lacy Rd	Fitchburg, WI 53711	11	11	\$433.84	R	50%	\$216.92	50%	\$216.92
093-6511-9	2701 Marledge St	David & Verna Carlson	2701 Marledge St	Fitchburg, WI 53711	24	24	\$946.56	R	50%	\$473.28	50%	\$473.28
093-6533-3	2706 Marledge St	Daniel Giesler & Jacqueline Ramin	2706 Marledge St	Fitchburg, WI 53711	24	24	\$946.56	R	50%	\$473.28	50%	\$473.28
093-6544-0	2712 Marledge St	Ryne & Phoebe Natzke	2712 Marledge St	Fitchburg, WI 53711	42	40	\$1,577.60	R	50%	\$788.80	50%	\$788.80
093-6478-1	2721 Marledge St	Rodney Bina & Coletta Mulvihill Bina	2721 Marledge St	Fitchburg, WI 53711	5	5	\$197.20	R	50%	\$98.60	50%	\$98.60
093-6577-1	2728 Marledge St	Richard & Joyce Nelson	2728 Marledge St	Fitchburg, WI 53711	5	5	\$197.20	R	50%	\$98.60	50%	\$98.60
093-6665-4	2744 Marledge St	Frank Novak & Kathleen Lange-Novak	2744 Marledge St	Fitchburg, WI 53711	23	23	\$907.12	R	50%	\$453.56	50%	\$453.56
093-6423-6	2745 Marledge St	Thomas & Patricia Farley	2745 Marledge St	Fitchburg, WI 53711	9	9	\$354.96	R	50%	\$177.48	50%	\$177.48
093-6401-2	2753 Marledge St	Cheryl Hamilton	2753 Marledge St	Fitchburg, WI 53711	9	9	\$354.96	R	50%	\$177.48	50%	\$177.48
062-6698-2	5744 Monticello Way	Jessica Smulka	5744 Monticello Way	Fitchburg, WI 53719	21	21	\$828.24	R	50%	\$414.12	50%	\$414.12
062-6062-0	5747 Monticello Way	David & Rebekah Kranjik	5747 Monticello Way	Fitchburg, WI 53719	11	11	\$433.84	R	50%	\$216.92	50%	\$216.92
062-6051-3	5748 Monticello Way	Kimberly Hurley	5748 Monticello Way	Fitchburg, WI 53719	11	11	\$433.84	R	50%	\$216.92	50%	\$216.92
062-6040-6	5752 Monticello Way	Wade & Shelley Whitmus	5752 Monticello Way	Fitchburg, WI 53719	11	11	\$433.84	R	50%	\$216.92	50%	\$216.92
062-6095-1	5759 Monticello Way	Christopher & Paige Jany	5759 Monticello Way	Fitchburg, WI 53719	31	31	\$1,222.64	R	50%	\$611.32	50%	\$611.32
062-6018-4	5760 Monticello Way	Mary Becker	5760 Monticello Way	Fitchburg, WI 53719	23	23	\$907.12	R	50%	\$453.56	50%	\$453.56
062-6106-7	5763 Monticello Way	Kimberly Knoche	5763 Monticello Way	Fitchburg, WI 53719	31	31	\$1,222.64	R	50%	\$611.32	50%	\$611.32
062-6007-7	5764 Monticello Way	James & Margaret Newberry	5764 Monticello Way	Fitchburg, WI 53719	12	12	\$473.28	R	50%	\$236.64	50%	\$236.64
062-4067-9	5767 Monticello Way	Jacqueline Captain	5767 Monticello Way	Fitchburg, WI 53719	29	29	\$1,143.76	R	50%	\$571.88	50%	\$571.88
062-4056-2	5768 Monticello Way	Jaime & Steven Karlic	5768 Monticello Way	Fitchburg, WI 53719	24	24	\$946.56	R	50%	\$473.28	50%	\$473.28
062-4023-1	5804 Monticello Way	Michael & Michele Van Hecker	5804 Monticello Way	Fitchburg, WI 53719	17	17	\$670.48	R	50%	\$335.24	50%	\$335.24
062-4559-4	5816 Monticello Way	Robert Helgren	5816 Monticello Way	Fitchburg, WI 53719	12	12	\$473.28	R	50%	\$236.64	50%	\$236.64
062-4416-6	5823 Monticello Way	Kirstin & Joseph Bugni	5823 Monticello Way	Fitchburg, WI 53719	40	40	\$1,577.60	R	50%	\$788.80	50%	\$788.80
062-4537-0	5824 Monticello Way	Jeffery Scarafia	5824 Monticello Way	Fitchburg, WI 53719	15	15	\$591.60	R	50%	\$295.80	50%	\$295.80
062-4449-7	5835 Monticello Way	Alvin & Margo Barcheski	5835 Monticello Way	Fitchburg, WI 53719	26	26	\$1,025.44	R	50%	\$512.72	50%	\$512.72
062-4504-9	5836 Monticello Way	Lindzee & Shonn Gibson	5836 Monticello Way	Fitchburg, WI 53719	9	9	\$354.96	R	50%	\$177.48	50%	\$177.48
062-4460-2	5839 Monticello Way	Kenneth Olson & Susan Gilbertson	5839 Monticello Way	Fitchburg, WI 53719	14	14	\$552.16	R	50%	\$276.08	50%	\$276.08
062-4482-6	5844 Monticello Way	Charlene Crapser	5844 Monticello Way	Fitchburg, WI 53719	8	8	\$315.52	R	50%	\$157.76	50%	\$157.76
062-4471-9	5845 Monticello Way	Colin & Rebeca Schenck	5845 Monticello Way	Fitchburg, WI 53719	10	10	\$394.40	R	50%	\$197.20	50%	\$197.20
162-3115-1	2686 Osmundsen Rd	Randall Hess	2985 Triverton Pike Unit 200	Fitchburg, WI 53711	11	11	\$433.84	R	50%	\$216.92	50%	\$216.92
093-4598-0	2703 Osmundsen Rd	William & Linda Wilson	2703 Osmundsen Rd	Fitchburg, WI 53711	25	25	\$986.00	R	50%	\$493.00	50%	\$493.00
093-4609-6	2707 Osmundsen Rd	Michael & Kathleen Walker	2707 Osmundsen Rd	Fitchburg, WI 53711	5	5	\$197.20	R	50%	\$98.60	50%	\$98.60
093-4763-9	2725 Osmundsen Rd	Steven & Lynn Smilie	2725 Osmundsen Rd	Fitchburg, WI 53711	47	40	\$1,577.60	R	50%	\$788.80	50%	\$788.80
093-4774-6	2731 Osmundsen Rd	John & Susan Easterday	2731 Osmundsen Rd	Fitchburg, WI 53711	21	21	\$828.24	R	50%	\$414.12	50%	\$414.12
093-4274-1	2735 Osmundsen Rd	Jeffery & Krishna Erdahl	2735 Osmundsen Rd	Fitchburg, WI 53711	7	7	\$276.08	R	50%	\$138.04	50%	\$138.04
062-4045-5	2487 Tanager Trail	Allen & Mary Koscielniak	2487 Tanager Trl	Fitchburg, WI 53711	5	5	\$197.20	R	50%	\$98.60	50%	\$98.60

EXHIBIT A
PRELIMINARY ASSESSMENT SCHEDULE
2015 STREET RESURFACING, CURB AND GUTTER REPLACEMENT
PROJECT No. 15-SR-101-0

Page 2 of 2

PARCEL		OWNER	MAILING ADDRESS		Preliminary Assessment							
PARCEL No. 225/0609	ADDRESS	NAME	Address	CITY, STATE, ZIP	Measured C&G Linear FT	Assessable Linear FT	Total Cost \$39.44		Resident Assessment \$19.72		City Portion \$19.72	
062-6632-0	5722 Richmond Dr	Pedro Pinto & Ronni Rogers	5722 Richmond Dr	Fitchburg, WI 53719	27	27	\$1,064.88	R	50%	\$532.44	50%	\$532.44
062-6599-2	5734 Richmond Dr	Keith Rabiola & Jennifer Fenne	5734 Richmond Dr	Fitchburg, WI 53719	12	12	\$473.28	R	50%	\$236.64	50%	\$236.64
062-6588-5	5738 Richmond Dr	Jones TR	5738 Richmond Dr	Fitchburg, WI 53719	49	40	\$1,577.60	R	50%	\$788.80	50%	\$788.80
062-6163-8	5742 Richmond Dr	Goodison Living TR, Frank & Helga	5742 Richmond Dr	Fitchburg, WI 53719	45	40	\$1,577.60	R	50%	\$788.80	50%	\$788.80
062-6141-4	5750 Richmond Dr	Leland Lemens & Marilyn Franke-Lemens	5750 Richmond Dr	Fitchburg, WI 53719	34	34	\$1,340.96	R	50%	\$670.48	50%	\$670.48
062-6130-7	5754 Richmond Dr	Antonio Antezana	5754 Richmond Dr	Fitchburg, WI 53719	22	22	\$867.68	R	50%	\$433.84	50%	\$433.84
062-6119-2	5758 Richmond Dr	June Coleman	5758 Richmond Dr	Fitchburg, WI 53719	35	35	\$1,380.40	R	50%	\$690.20	50%	\$690.20
062-4232-8	5773 Richmond Dr	Steven Peterson	5773 Richmond Dr	Fitchburg, WI 53719	11	11	\$433.84	R	50%	\$216.92	50%	\$216.92
062-4155-2	5774 Richmond Dr	Gerard & Darlene Meinholz	5774 Richmond Dr	Fitchburg, WI 53719	16	16	\$631.04	R	50%	\$315.52	50%	\$315.52
062-4144-5	5778 Richmond Dr	Krystle & Joseph Marks	5778 Richmond Dr	Fitchburg, WI 53719	12	12	\$473.28	R	50%	\$236.64	50%	\$236.64
TOTAL C&G:					931	908	\$35,811.52			\$17,905.76		\$17,905.76

All property owners and mailing address information was obtained on August 5, 2015 from Access Dane Geographic and Land Information. Curb and gutter assessments may not be exceed 40 linear feet per policy.

Shawn Pfaff, Mayor
Introduced By

Public Works
Prepared by

Board of Public Works, Finance
Referred to

March 10, 2015
Date

**RESOLUTION R-33-15
PRELIMINARY ASSESSMENT RESOLUTION FOR
2015 RESURFACING CURB AND GUTTER REPLACEMENT**

Preliminary Resolution Declaring Intent to Exercise Special Assessment Police Powers Under Municipal Police Powers pursuant to §66.0701 Wisconsin Statutes, and Fitchburg Code of Ordinances Section 10-215 for the cost of replacing defective curb and gutter on streets in the 2015 Street Improvements contract in the City of Fitchburg.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Common Council of the City of Fitchburg, Dane County, Wisconsin that

1. The Common Council hereby declares its intention to exercise its police power under Sec. 66.0703 Wis. Stats. as incorporated in Section 10-215 of the Fitchburg Ordinances, to levy special assessments upon property in the assessment district hereafter described for benefits conferred upon such property by replacement of defective curb and gutter.
2. The property to be assessed lies within the following described assessment district:

ASSESSMENT DISTRICT

All properties with defective curb and gutter as identified by the City Engineer fronting Monticello Way from S. Whitney Way to City Limits, Tanager Trail, Richmond Drive, Marledge Street from Raritan Road to 200' south of Barbara Drive, Osmundsen Road from Devoro Road to Lacy Road, and Osmundsen Road from Lacy Road to Stanbrook Road.

3. The City Council hereby determines that the improvements constitute an exercise of the police power for the health, safety and welfare of the public.
4. The total amount assessed against the properties in the defined assessment district shall not exceed 100% of the City's direct and indirect costs of the improvements including, but not limited to, actual construction costs and related costs of engineering and legal services, administrative expense and borrowing costs related to the project.
5. The assessment against any parcel may be paid in cash or equal annual installments in accordance with schedule below, with interest on the unpaid balance at one percent (1%) over the City's borrowing rate. If the installment method is selected the remaining balance is due at time of transfer or sale of ownership of parcel.
Assessment Schedule:
 - a. If the assessment is less than \$500.00, the assessment shall be paid in one (1) annual installment.
 - b. If the assessment is at least \$500.00 but less than \$999.00, the assessment shall be paid in up to three (3) annual installments.

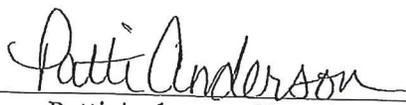
Appendix B

APPENDIX A

- c. If the assessment is at least \$1000.00 but less than \$4,999.00, the assessment shall be paid in up to five (5) annual installments.
 - d. If the assessment is greater than \$5000.00, the assessment may be paid in seven (7) or more annual installments.
6. The City Engineer shall prepare a Preliminary Assessment Report which shall consist of:
 - a. Plans and specifications for the improvements.
 - b. An estimate of the entire direct and indirect cost of the improvements.
 - c. A schedule of the proposed assessments as to each parcel of property within the defined assessment district.
 - d. A statement that the respective properties against which the assessments are proposed are benefitted.
7. When the Preliminary Assessment Report is completed, the City Engineer shall file a copy of the Report with the City Clerk for public inspection.
8. Upon receiving the report of the City Engineer, the Clerk shall cause notice to be given pursuant to § 66.0703(7) Wisconsin Statutes, stating the nature of the proposed improvement, the general boundary lines of the proposed assessment district, the time and place at which the report may be inspected, and the time and place of the public hearing on the matter contained in the Preliminary Resolution and the Report. The notice shall be published as a Class 1 notice under Wis. Stat. Ch. 985 and a copy shall be mailed at least ten (10) days before the hearing, to every interested person whose post office address is known or can be ascertained with reasonable diligence.
9. The hearing shall be held before the Board of Public Works April 6, 2015 or at a later date at a time set by the City Clerk in accordance with § 66.0703(7) Wis. Stats.

Adopted this 24th day of March, 2015.

Approved By: 
Shawn Pfaff, Mayor

Attested By: 
Patti Anderson, City Clerk

Steve Arnold, Mayor
Introduced By

Public Works
Prepared by

Board of Public Works, Finance
Referred to

October 27, 2015
Date

RESOLUTION R-110-15
FINAL RESOLUTION EXERCISING POLICE POWERS AND LEVYING SPECIAL
ASSESSMENTS FOR 2015 CURB AND GUTTER REPLACEMENT IN THE CITY OF
FITCHBURG, WISCONSIN

WHEREAS, on March 24, 2015, the Common Council of the City of Fitchburg adopted resolution No R-33-15 declaring its intent to exercise its police power under Wis. Stat. §66.0703 (7), and section 10.213-10.216 of the Fitchburg General Ordinances to levy special assessments for special benefits conferred upon properties within the following Assessment District for the cost of replacing defective curb and gutter on streets in the 2015 Street Resurfacing contract in the City of Fitchburg.

ASSESSMENT DISTRICT

All properties with defective curb and gutter as identified by the City Engineer fronting Monticello Way from S. Whitney Way to City Limits, Tanager Trail, Richmond Drive, Marledge Street from Raritan Road to 200' south of Barbara Drive, Osmundsen Road from Devoro Road to Lacy Road, and Osmundsen Road from Lacy Road to Stanbrook Road.

WHEREAS, pursuant to said resolution a report was filed by the City Engineer in the office of the City Clerk, notice thereof was duly given to the public and to owners of affected properties, and the Board of Public Works on August 17, 2015, held a public hearing at the Fitchburg City Hall for purposes of hearing all persons interested concerning the preliminary resolution and report on the proposed assessments; and

WHEREAS, all work described in Resolution No. R-33-15 has been completed and a final report of the direct and indirect costs of the improvements and proposed final assessments has been filed in the office of the City Clerk by the City Engineer; and

WHEREAS, the report of the engineer shows that the final assessments do not exceed by ten percent (10%) or more the preliminary assessments in the preliminary report heard by the Board of Public Works on August 17, 2015, as above described;

NOW, THEREFORE BE IT HEREBY RESOLVED, the Common Council of the City of Fitchburg, Wisconsin, pursuant to the authority vested in it by Wis. Stat. 62.11(5) and 66.0703(7) hereby resolve as follows:

1. The final report of the City Engineer pertaining to the construction of 2015 Curb and Gutter Replacement in the above-described Assessment District is hereby adopted and approved.

2. Payment for the improvements described in paragraph 1 shall be made by assessing the costs to the properties and in the amounts indicated in the report as shown on Exhibit A attached hereto which is incorporated herein as if fully set forth.

3. The assessments shown on the attached Exhibit A represent an exercise of the police power and have been determined on a reasonable basis and are hereby confirmed.

4. The assessments may be paid to the City Clerk in cash within sixty (60) days from the adopted date of this resolution or in equal annual installments of principal as follows:

- a. If the assessment is less than \$500.00, the assessment shall be paid in one (1) annual installment.
- b. If the assessment is at least \$500.00 but less than \$999.00, the assessment shall be paid in three (3) installments.
- c. If the assessment is at least \$1000.00 but less than \$4,999.00, the assessment shall be paid in five (5) annual installments.
- d. If the assessment is greater than \$5000.00, the assessment shall be paid in seven (7) annual installments.

Upon sale or transfer of the property any outstanding balances are due. Deferred principal payments shall bear interest on the unpaid balance at the rate of 2.5% per annum from January 1, 2016. Installments not paid when due shall bear additional interest on the amount due at the rate of 18% per annum. Partial payments received on or before ninety days from the adopted date of this resolution shall be applied to the principal amount due and installments reduced pro-rata.

5. The unpaid balance of principal of any assessment levied hereby and interest thereon shall be a lien upon the assessed property from the date of adoption of this resolution.

6. The City Clerk shall publish this resolution and an installment assessment notice as Class 1 Notices in the City's official newspaper and mail a copy of this resolution and a statement of the final assessment against each property, together with an installment assessment notice, to the owner of every property whose name appears on the assessment roll and whose post office address is known or can with reasonable diligence be ascertained.

Adopted this 10th day of November, 2015.

Approved By: _____
Stephen L. Arnold, Mayor

Attested By: _____
Patti Anderson, City Clerk

October 15, 2015 **DRAFT**

Project Plan for the Creation of Tax Incremental District No. 10 (Hotel & Conference Center Site)



Organizational Joint Review Board Meeting Held:	Scheduled for: October 19, 2015
Public Hearing Held:	Scheduled for: October 20, 2015
Adoption by Plan Commission:	Scheduled for: October 20, 2015
Consideration for Adoption by Common Council:	Scheduled for: November 24, 2015
Approval by the Joint Review Board:	Scheduled for: TBD



Tax Incremental District No. 10 Creation Project Plan

City of Fitchburg Officials

Common Council

Steve Arnold	Mayor
Dorothy Krause	Council Member
Carol Poole	Council Member
Julia Arata-Fratta	Council Member
Patrick Stern	Council Member
Jason Gonzalez	Council Member
Dan Carpenter	Council Member
Jake Johnson	Council Member
Tony Hartmann	Council Member

City Staff

Patti Anderson	City Clerk
Patrick Marsh	City Administrator
Michael Zimmerman	Economic Development Director
Thomas Hovel	Zoning Administrator – City Planner
Susan Badtke	Community Planner
Mark Sewell	City Attorney

Plan Commission

Bill Tishler	Carol Poole
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SECTION 1: Executive Summary

Description of District

Type of District, Size and Location

Tax Incremental District (“TID”) No. 10 (the “TID” or “District”) would consist of approximately 4.75 acres located east of Fish Hatchery Road and west of Pike Drive. It is proposed to be created by the City of Fitchburg (“City”) as a rehabilitation - conservation district. A map of the proposed District boundaries is located in Section 3 of this plan.

Estimated Total Project Expenditures.

The City anticipates making total project expenditures of approximately \$2,470,000 to undertake the projects listed in this Project Plan. The City anticipates completing the projects in a single phase. The Expenditure Period of this District is 22 years from the date of adoption of the authorizing Resolution of the Common Council (the “Creation Resolution”). The projects to be undertaken pursuant to this Project Plan are expected to be financed with a Municipal Revenue Obligation (PAYGO Note) issued by the City, however, the City may use other alternative financing methods which may provide overall lower costs of financing, preserve debt capacity, mitigate risk to the City, or provide other advantages as determined by the Common Council. A discussion and listing of other possible financing mechanisms, as well as a summary of total project financing, is located in Section 10 of this plan.

Economic Development

As a result of the creation of this District, the City projects that additional land and improvements value of approximately \$14,802,000 will be created as a result of new development, redevelopment, and appreciation in the value of existing properties. This additional value will be a result of the improvements made and projects undertaken within the District. A table detailing assumptions as to the timing of new development and redevelopment and associated values is located in Section 10 of this Plan. In addition, creation of the District is expected to result in other economic benefits as detailed in the Summary of Findings hereafter.

Expected Termination of District

Based on the Economic Feasibility Study located in Section 10 of this plan, this District would be expected to generate sufficient tax increments to recover all project costs by the year 2027; 16 years earlier than the 27 year maximum life of this District.

Summary of Findings

As required by Wisconsin Statutes Section 66.1105, and as documented in this Project Plan and the exhibits contained and referenced herein, the following findings are made:

1. **That “but for” the creation of this District, the development projected to occur as detailed in this Project Plan: 1) would not occur; or 2) would not occur in the manner, at the values, or within the timeframe desired by the City.** In making this determination, the City has considered the following information:

- The City expects to conduct an independent review of the intended developer's sources and uses proforma for the initial proposed development and/or redevelopment project. Prior to the issuance of the PAYGO Note, this review will need to conclude that a public investment of approximately \$2,500,000 is required to enable the development to occur in the manner desired by the City, while providing the developer a fair and reasonable return on their investment.
 - Given that the sites have not developed as would have been expected under normal market conditions, it is the judgment of the City that the use of Tax Incremental Financing ("TIF") may be required to provide the necessary infrastructure and inducements to encourage development on the sites consistent with that desired by the City.
 - In order to make the areas included within the District suitable for development and/or redevelopment, the City will need to make a substantial investment to pay for the costs of: property, right-of-way and easement acquisition, site preparation, installation of utilities; installation of streets and related streetscape items; development incentive payments, and other associated costs. . Due to the extensive initial investment in public infrastructure that is required in order to allow development and/or redevelopment to occur, the City has determined that redevelopment of the area will not occur solely as a result of private investment. Accordingly, the City finds that absent the use of TIF, redevelopment of the area is unlikely to occur.
 - The redevelopment proposed for this area is consistent with the City's master plan for this neighborhood.
2. **The economic benefits of the Tax Incremental District, as measured by increased employment, business and personal income, and property value, are sufficient to compensate for the cost of the improvements.** In making this determination, the City has considered the following information:
- As demonstrated in the Economic Feasibility Section of this Project Plan, the tax increments projected to be collected are more than sufficient to pay for the proposed project costs. On this basis alone, the finding is supported.
 - The development expected to occur is likely to generate approximately ___ jobs over the life of the District, with an average wage of between \$_____ and \$_____ (*source: to be supplied by developer*).
 - The development expected to occur within the District would create additional hotel and conference space thereby enhancing the City's ability to serve existing and potential businesses within the community.
3. **The benefits of the proposal outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions.**
- If approved, the District's creation would become effective for valuation purposes as of January 1, 2015. As of this date, the values of all existing development would be frozen and the property taxes collected on this base value would continue to be distributed amongst the various taxing entities as they currently are now. Taxes levied on any additional value established within the District due to new construction, renovation or appreciation of property values occurring after January 1, 2015 would be collected by the TID and used to repay the costs of TIF-eligible projects undertaken within the District.

- Since the development expected to occur is unlikely to take place or in the same manner without the use of TIF (see Finding #1) and since the District will generate economic benefits that are more than sufficient to compensate for the cost of the improvements (see Finding #2), the City reasonably concludes that the overall benefits of the District outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions. It is further concluded that since the “but for” test is satisfied, there would, in fact, be no foregone tax increments to be paid in the event the District is not created. As required by Section 66.1105(4)(i)4., a calculation of the share of projected tax increments estimated to be paid by the owners of property in the overlying taxing jurisdictions has been made and can be found in Appendix A of this plan.
4. Not less than 50% by area of the real property within the District is in need of rehabilitation - conservation work within the meaning of Wisconsin Statutes Section 66.1337(2m)(b). Furthermore, any property standing vacant for the entire seven years preceding adoption of the Creation Resolution does not comprise more than 25% of the area in the District in compliance with Wisconsin Statutes Section 66.1105(4)(gm)1.
 5. Based upon the findings, as stated above, the District is declared to be a rehabilitation - conservation District based on the identification and classification of the property included within the District.
 6. The project costs relate directly to promoting the rehabilitation of the area consistent with the purpose for which the District is created.
 7. The improvement of such area is likely to enhance significantly the value of substantially all of the other real property in the District.
 8. The equalized value of taxable property of the District, plus the value increment of all existing tax incremental districts within the City, does not exceed 12% of the total equalized value of taxable property within the City.
 9. The City estimates that less than 35% of the territory within the District will be devoted to retail business at the end of the District’s maximum expenditure period, pursuant to Wisconsin Statutes Sections 66.1105(5)(b) and 66.1105(6)(am)1.
 10. The Project Plan for the District in the City is feasible, and is in conformity with the master plan of the City.

SECTION 2: Type and General Description of District

The District is being created by the City under the authority provided by Wisconsin Statutes Section 66.1105. The District is created as a “Rehabilitation - conservation District” based upon a finding that at least 50%, by area, of the real property within the District is in need of rehabilitation - conservation work. In Section 5 of this Plan, the City has identified those properties within the District that meet the criteria of “rehabilitation - conservation areas” as defined in Wisconsin Statutes Section 66.1337(2m)(a) and relies on these characterizations as the basis for making the above finding.

Property standing vacant for seven years immediately preceding adoption of the Creation Resolution for this District will not comprise more than 25% of the area in the District in compliance with Wisconsin Statutes Section 66.1105(4)(gm)1. A calculation demonstrating compliance with this test is found as part of the Preliminary Parcel List in Section 5 of this plan.

A map depicting the boundaries of the District is found in Section 3 of this Plan. A map depicting the proposed uses of the District is found in Section 8 of this plan. The City intends that TIF will be used to assure that private development occurs within the District consistent with the City's development and redevelopment objectives. This will be accomplished by installing public improvements, and making necessary related expenditures, to promote development and redevelopment within the District. The goal is to increase the tax base and to provide for and preserve employment opportunities within the City. The project costs included in this Plan relate directly to the rehabilitation - conservation of areas in the District consistent with the purpose for which the District is created.

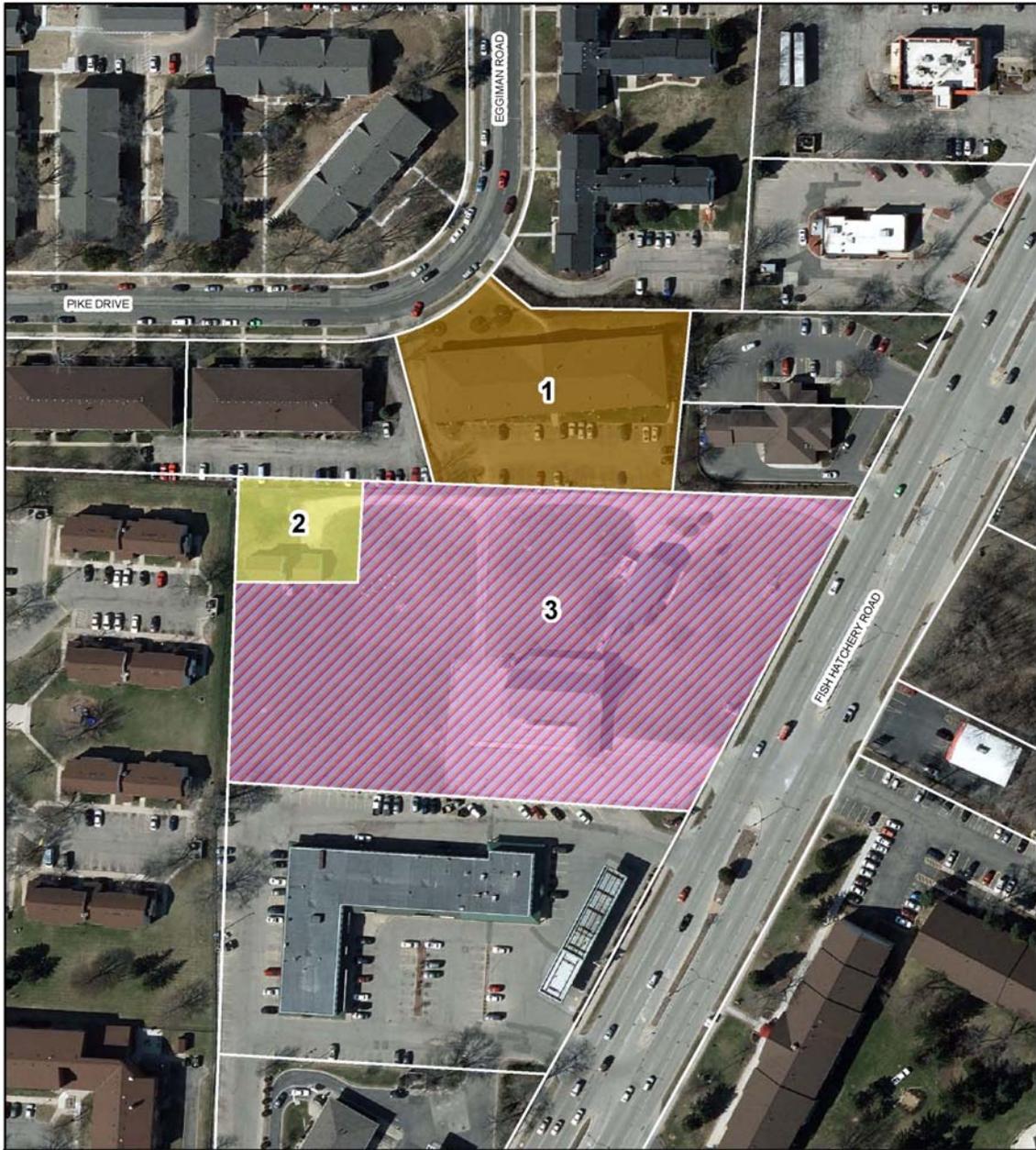
Based upon the findings, as stated within this Plan, the District is declared to be a rehabilitation - conservation District based on the identification and classification of the property included within the district.

SECTION 3: Preliminary Map of Proposed District Boundary



SECTION 4: Maps Showing Existing Uses and Conditions





Current Land Use - TID #10 Tax Parcels

FITCHBURG TID #10 -

- 1 - Multi-family residence
- 2 - Single-family residence
- 3 - Religious facility

CURRENT LAND USE

Note - Numbers identified in map refer to Map Key in data table.



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SOURCE: PLANNING & ZONING DEPARTMENT AND DANE COUNTY LIO

SECTION 6: Equalized Value Test

The following calculations demonstrate that the City is in compliance with Wisconsin Statutes Section.66.1105(4)(gm)4.c., which requires that the equalized value of the taxable property in the proposed District, plus the value increment of all existing tax incremental districts, does not exceed 12% of the total equalized value of taxable property within the City.

The equalized value of the increment of existing tax incremental districts within the City, plus the base value of the proposed District, totals \$279,499,121. This value is less than the maximum of \$325,368,204 in equalized value that is permitted for the City of Fitchburg. The City is therefore in compliance with the statutory equalized valuation test and may proceed with creation of this District.

City of Fitchburg, Wisconsin						
Tax Increment District #10 (Hotel & Conference Center)						
Valuation Test Compliance Calculation						
Creation Date			11/24/2015			
			Valuation Data	Dollar	Percent	Valuation Data
			Currently Available	Charge	Change	Est. Creation Date
			2015			
Total EV (TID In)			2,711,401,700			2,711,401,700
12% Test			325,368,204			325,368,204
Increment of Existing TIDs						
TID #4			165,243,700			165,243,700
TID #6			106,831,500			106,831,500
TID #7			6,225,900			6,225,900
TID #8			0			0
TID #9			0			0
Total Existing Increment			278,301,100			278,301,100
Projected Base of New or Amended District			1,198,021			1,198,021
Total Value Subject to 12% Test			279,499,121			279,499,121
Compliance			PASS			PASS

SECTION 7: Statement of Kind, Number and Location of Proposed Public Works and Other Projects

The following is a list of public works and other TIF-eligible projects that the City expects to implement in conjunction with this District. Any costs necessary or convenient to the creation of the District or directly or indirectly related to the public works and other projects are considered "Project Costs" and eligible to be paid with tax increment revenues of the District.

Property, Right-of-Way and Easement Acquisition

Property Acquisition for Development **and/or** Redevelopment

In order to promote and facilitate development and/or redevelopment the City may acquire property within the District. The cost of property acquired, and any costs associated with the transaction, are eligible Project Costs. Following acquisition, other Project Costs within the categories detailed in this Section may be incurred in order to make the property suitable for development and/or redevelopment. Any revenue received by the City from the sale of property acquired pursuant to the execution of this Plan will be used to reduce the total project costs of the District. If total Project Costs incurred by the City to acquire property and make it suitable for development and/or redevelopment exceed the revenues or other consideration received from the sale or lease of that property, the net amount shall be considered "real property assembly costs" as defined in Wisconsin Statutes Section 66.1105(2)(f)1.c., and subject to recovery as an eligible Project Cost.

Acquisition of Rights-of-Way

The City may need to acquire property to allow for installation of streets, driveways, sidewalks, utilities, stormwater management practices and other public infrastructure. Costs incurred by the City to identify, negotiate and acquire rights-of-way are eligible Project Costs.

Acquisition of Easements

The City may need to acquire temporary or permanent easements to allow for installation and maintenance of streets, driveways, sidewalks, utilities, stormwater management practices and other public infrastructure. Costs incurred by the City to identify, negotiate and acquire easement rights are eligible Project Costs.

Relocation Costs

Although not currently contemplated, iff relocation expenses are incurred in conjunction with the acquisition of property, those expenses are eligible Project Costs. These costs may include, but are not limited to: preparation of a relocation plan; allocations of staff time; legal fees; publication of notices; obtaining appraisals; and payment of relocation benefits as required by Wisconsin Statutes Sections 32.19 and 32.195.

Site Preparation Activities

Environmental Audits and Remediation

There have been no known environmental studies performed within the proposed District. If, however, it becomes necessary to evaluate any land or improvement within the District, any cost incurred by the City related to environmental audits, testing, and remediations are eligible Project Costs.

Demolition

In order to make sites suitable for development and/or redevelopment, the City may incur costs related to demolition and removal of structures or other land improvements, to include abandonment of wells or other existing utility services.

Site Grading

Land within the District may require grading to make it suitable for development and/or redevelopment, to provide access, and to control stormwater runoff. The City may need to remove and dispose of excess material, or bring in fill material to provide for proper site elevations. Expenses incurred by the City for site grading are eligible Project Costs.

Utilities

Sanitary Sewer System Improvements

There are inadequate sanitary sewer facilities serving areas of the District. To allow development and/or redevelopment to occur, the City may need to construct, alter, rebuild or expand sanitary sewer infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: collection mains; manholes and cleanouts; service laterals; force mains; interceptor sewers; lift stations; and all related appurtenances. To the extent sanitary sewer projects undertaken within the District provide direct benefit to land outside of the District, the City will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the City construct, alter, rebuild or expand sanitary sewer infrastructure located outside of the District. That portion of the costs of sanitary sewer system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Water System Improvements

There are inadequate water distribution facilities serving areas of the District. To allow development and/or redevelopment to occur, the City may need to construct, alter, rebuild or expand water system infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: distribution mains; manholes and valves; hydrants; service laterals; pumping stations; and all related appurtenances. To the extent water system projects undertaken within the District provide direct benefit to land outside of the District, the City will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the City construct, alter, rebuild or expand water system infrastructure located outside of the District. That portion of the costs of water system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Stormwater Management System Improvements

Development and/or redevelopment within the District will cause stormwater runoff and pollution. To manage this stormwater runoff, the City may need to construct, alter, rebuild or expand stormwater management infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: stormwater collection mains; inlets, manholes and valves; service laterals; ditches; culvert pipes; box culverts; and infiltration, filtration and detention Best Management Practices (BMP's). To the extent stormwater management system projects undertaken within the District provide direct benefit to land outside of the District, the City will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District,

and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the City construct, alter, rebuild or expand stormwater management infrastructure located outside of the District. That portion of the costs of stormwater management system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Electric Service

In order to create sites suitable for development and/or redevelopment, the City may incur costs to provide, relocate or upgrade electric services. Relocation may require abandonment and removal of existing poles or towers, installation of new poles or towers, or burying of overhead electric lines. Costs incurred by the City to undertake this work are eligible Project Costs.

Gas Service

In order to create sites suitable for development and/or redevelopment, the City may incur costs to provide, relocate or upgrade gas mains and services. Costs incurred by the City to undertake this work are eligible Project Costs.

Communications Infrastructure

In order to create sites suitable for development and/or redevelopment, the City may incur costs to provide, relocate or upgrade infrastructure required for voice and data communications, including, but not limited to: telephone lines, cable lines and fiber optic cable. Costs incurred by the City to undertake this work are eligible Project Costs.

Streets and Streetscape

Street Improvements

There are inadequate street improvements serving areas of the District. To allow development and/or redevelopment to occur, the City may need to construct and/or reconstruct streets, highways, alleys, access drives and parking areas. Eligible Project Costs include, but are not limited to: excavation; removal or placement of fill; construction of road base; asphalt or concrete paving or repaving; installation of curb and gutter; installation of sidewalks and bicycle lanes; installation of culverts, utility relocation,; street lighting; installation of traffic control signage and traffic signals; pavement marking; right-of-way restoration; installation of retaining walls; and installation of fences, berms, and landscaping.

Streetscaping and Landscaping

In order to attract development and/or redevelopment consistent with the objectives of this Plan, the City may install amenities to enhance development sites, rights-of-way and other public spaces. These amenities include, but are not limited to: landscaping; lighting of streets, sidewalks, parking areas and public areas; installation of planters, benches, clocks, tree rings, trash receptacles and similar items; and installation of brick or other decorative walks, terraces and street crossings. These and any other similar amenities installed by the City are eligible Project Costs.

CDA or RDA Type Activities

Contribution to Community Development or Redevelopment Authority

As provided for in Wisconsin Statutes Sections 66.1105(2)(f)1.h and 66.1333(13), the City may provide funds to its CDA OR RDA to be used for administration, planning operations, and capital costs, including but not limited to real property acquisition, related to the purposes for which it was established in furtherance of any redevelopment or urban renewal project. Funds provided to the CDA OR RDA for this purpose are eligible Project Costs.

Miscellaneous

Cash Grants (Development Incentives)

The City may enter into agreements with property owners, lessees, or developers of land located within the District for the purpose of sharing costs to encourage the desired kind of improvements and assure tax base is generated sufficient to recover project costs. No cash grants will be provided until the City executes a developer agreement with the recipient of the cash grant. Any payments of cash grants made by the City are eligible Project Costs.

Professional Service and Organizational Costs

The costs of professional services rendered, and other costs incurred, in relation to the creation, administration and termination of the District, and the undertaking of the projects contained within this Plan, are eligible Project Costs. Professional services include, but are not limited to: architectural; environmental; planning; engineering; legal, audit; financial; and the costs of informing the public with respect to the creation of the District and the implementation of the Plan.

Administrative Costs

The City may charge to the District as eligible Project Costs reasonable allocations of administrative costs, including, but not limited to, employee salaries. Costs allocated will bear a direct connection to the time spent by City employees in connection with the implementation of the Plan.

Financing Costs

Interest expense, debt issuance expenses, redemption premiums, and any other fees and costs incurred in conjunction with obtaining financing for projects undertaken under this Plan are eligible Project Costs.

With all projects the costs of engineering, design, survey, inspection, materials, construction, restoring property to its original condition, apparatus necessary for public works, legal and other consultant fees, testing, environmental studies, permits, updating City ordinances and plans, judgments or claims for damages and other expenses are included as Project Costs.

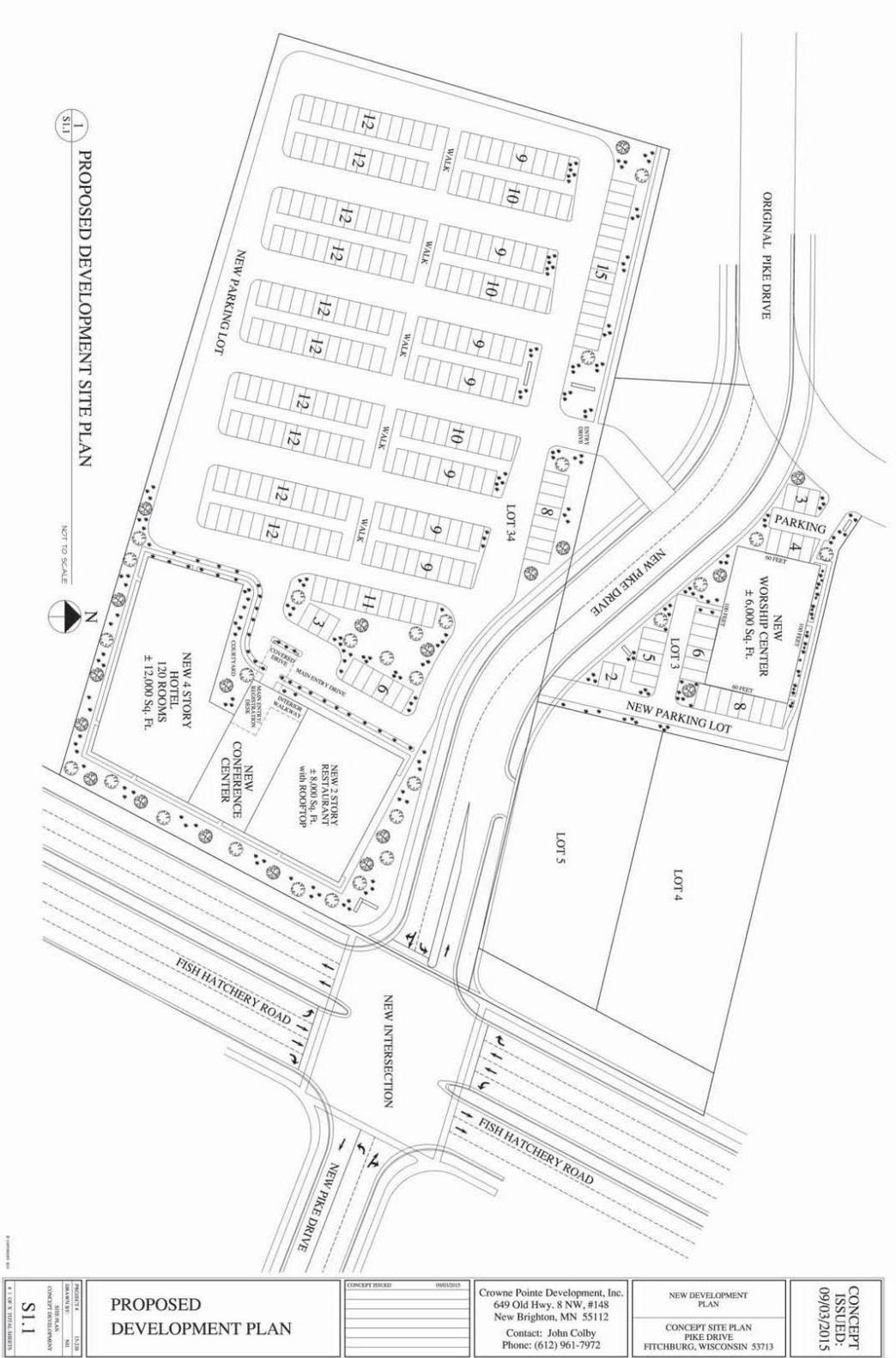
In the event any of the public works project expenditures are not reimbursable out of the special TIF fund under Wisconsin Statutes Section 66.1105, in the written opinion of counsel retained by the City for such purpose or a court of record so rules in a final order, then such project or projects shall be deleted herefrom and the remainder of the projects hereunder shall be deemed the entirety of the projects for purposes of this Project Plan.

The City reserves the right to implement only those projects that remain viable as the Plan period proceeds.

Project Costs are any expenditure made, estimated to be made, or monetary obligations incurred or estimated to be incurred, by the City and as outlined in this Plan. Project Costs will be diminished by any income, special assessments or other revenues, including user fees or charges. To the extent the costs benefit the municipality outside the District, a proportionate share of the cost is not a Project Cost. Costs identified in this Plan are preliminary estimates made prior to design considerations and are subject to change after planning is completed. Prorations of costs in the Plan are also estimates and subject to change based upon implementation, future assessment policies and user fee adjustments.

SECTION 8: Maps Showing Proposed Improvements and Uses

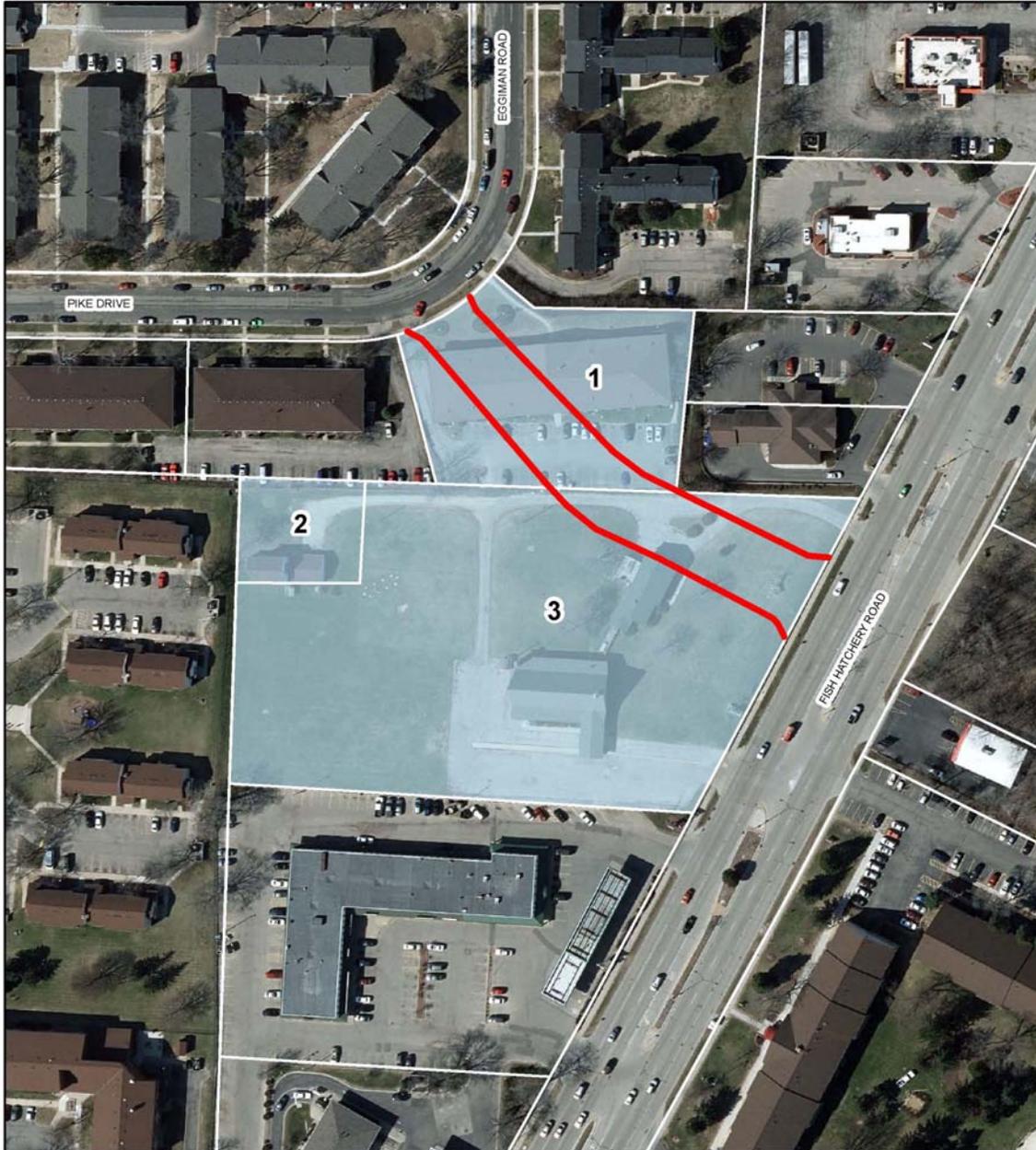




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S1.1
PROPOSED DEVELOPMENT SITE PLAN
NOT TO SCALE

PREPARED BY: [] DESIGNED BY: [] DRAWN BY: [] CHECKED BY: [] DATE: [] S1.1	PROPOSED DEVELOPMENT PLAN	CONCEPT DESIGN: 09/03/2015	NEW DEVELOPMENT PLAN	CONCEPT SITE PLAN PIKE DRIVE FITCHBURG, WISCONSIN 53713	CONCEPT ISSUED: 09/03/2015
		Crowne Pointe Development, Inc. 649 Old Hwy. 8 NW, #148 New Brighton, MN 55112 Contact: John Colby Phone: (612) 961-7972	NEW DEVELOPMENT PLAN CONCEPT SITE PLAN PIKE DRIVE FITCHBURG, WISCONSIN 53713		





FITCHBURG TID #10 -

- TID #10 Tax Parcels
- Proposed New Street (Approximate)

IMPROVEMENTS



Note - Numbers identified in map refer to Map Key in data table.

CREATED BY: PLANNING & ZONING DEPARTMENT 09/2015
 SOURCE: PLANNING & ZONING DEPARTMENT AND DANE COUNTY LIO

SECTION 9: Detailed List of Project Costs

All costs are based on 2015 prices and are preliminary estimates. The City reserves the right to increase these costs to reflect inflationary increases and other uncontrollable circumstances between 2015 and the time of construction. The City also reserves the right to increase certain project costs to the extent others are reduced or not implemented without amending the Plan. The tax increment allocation is preliminary and is subject to adjustment based upon the implementation of the Plan.

This Plan is not meant to be a budget nor an appropriation of funds for specific projects, but a framework within which to manage projects. All costs included in the Plan are estimates based on best information available. The City retains the right to delete projects or change the scope and/or timing of projects implemented as they are individually authorized by the Common Council, without amending the Plan.

City of Fitchburg, Wisconsin				
Tax Increment District #10 (Hotel & Conference Center)				
Estimated Project List				
Project ID	Project Name/Type	Phase I Year		Total (Note 1)
1	1911 Pike Dr. Purchase and Acquisition Costs		1,450,000	1,450,000
2	Demolition of 1911 Pike Dr.		125,000	125,000
3	Road Construction (including sidewalk, sewer, etc.		435,000	435,000
4	Professional fees		110,000	110,000
5	Site Preparation		60,000	60,000
6	TID Admin Costs		50,000	50,000
7	Capitalized Interest		240,000	240,000
8				0
9				0
10				0
11				0
12				0
13				0
14				0
15				0
Total Projects			2,470,000	2,470,000
Notes:				
Note 1	Project costs submitted by Charles Chvala on behalf of Developer and are estimates subject to modification			

SECTION 10: Economic Feasibility Study, Financing Methods, and the Time When Costs or Monetary Obligations Related are to be Incurred

The information and exhibits contained within this Section demonstrate that the proposed District is economically feasible insofar as:

- The City has available to it the means to secure the necessary financing required to accomplish the projects contained within this Plan. A listing of “Available Financing Methods” follows.
- The City expects to complete the projects in one or multiple phases, and can adjust the timing of implementation as needed to coincide with the pace of private development and/or redevelopment. A discussion of the phasing and projected timeline for project completion is discussed under “Plan Implementation” within this Section. A table identifying the financing method for each phase and the time at which that financing is expected to be incurred is included.
- The development anticipated to occur as a result of the implementation of this Plan will generate sufficient tax increments to pay for the cost of the projects. Within this Section are tables identifying: 1) the development and/or redevelopment expected to occur, 2) a projection of tax increments to be collected resulting from that development and other economic growth within the District, and 3) a cash flow model demonstrating that the projected tax increment collections and all other revenues available to the District will be sufficient to pay all Project Costs.

Available Financing Methods

The following is a list of the types of obligations the City may choose to utilize.

General Obligation (G.O.) Bonds or Notes

The City may issue G.O. Bonds or Notes to finance the cost of projects included within this Plan. The Wisconsin State Constitution limits the principal amount of G.O. debt that the community may have outstanding at any point in time to an amount not greater than five percent of its total equalized value (TID IN). As of the date of this plan, the City has a G.O. debt limit of \$135,570,085, of which \$89,735,085 is currently unused and could be made available to finance Project Costs.

Bonds Issued to Developers (“Pay as You Go” Financing)

The City may issue a bond or other obligation to one or more developers who provide financing for projects included in this Plan. Repayment of the amounts due to the developer under the bonds or other obligations are limited to an agreed percentage of the available annual tax increments collected that result from the improvements made by the developer. To the extent the tax increments collected are insufficient to make annual payments, or to repay the entire obligation over the life of the District, the City’s obligation is limited to not more than the agreed percentage of the actual increments collected. Bonds or other obligations issued to developers in this fashion are not general obligations of the City and, therefore, do not count against the City’s statutory borrowing capacity.

Tax Increment Revenue Bonds

The City has the authority to issue revenue bonds secured by the tax increments to be collected. These

bonds may be issued directly by the City, or as a form of lease revenue bond by a Community Development Authority (CDA). Tax Increment Revenue Bonds and Lease Revenue Bonds are not general obligations of the City and therefore do not count against the City's statutory borrowing capacity. To the extent tax increments collected are insufficient to meet the annual debt service requirements of the revenue bonds, the City may be subject to either a permissive or mandatory requirement to appropriate on an annual basis a sum equal to the actual or projected shortfall.

Utility Revenue Bonds

The City can issue revenue bonds to be repaid from revenues of the its various systems, including revenues paid by the City that represent service of the system to the City. There is neither a statutory nor constitutional limitation on the amount of revenue bonds that can be issued, however, water rates are controlled by the Wisconsin Public Service Commission and the City must demonstrate to bond purchasers its ability to repay revenue debt with the assigned rates. To the extent the City utilizes utility revenues other than tax increments to repay a portion of the bonds, the City must reduce the total eligible Project Costs in an equal amount.

Special Assessment "B" Bonds

The City has the ability to levy special assessments against benefited properties to pay part of the costs for street, curb, gutter, sewer, water, storm sewers and other infrastructure. In the event the City determines that special assessments are appropriate, the City can issue Special Assessment B bonds pledging revenues from special assessment installments to the extent assessment payments are outstanding. These bonds are not counted against the City's statutory borrowing capacity. If special assessments are levied, the City must reduce the total eligible Project Costs under this Plan in an amount equal to the total collected.

Plan Implementation

Projects identified will provide the necessary anticipated governmental services to the area. A reasonable and orderly sequence is outlined on the following page. However, public debt and expenditures should be made at the pace private development or redevelopment occurs to assure increment is sufficient to cover expenses.

It is anticipated developer agreements between the City and property owners will be in place prior to major public expenditures. These agreements can provide for development guarantees or a payment in lieu of development. To further assure contract enforcement, these agreements might include levying of special assessments against benefited properties.

The order in which public improvements are made should be adjusted in accordance with development and execution of developer agreements. The City reserves the right to alter the implementation of this Plan to accomplish this objective.

Interest rates projected are based on current market conditions. Municipal interest rates are subject to constantly changing market conditions. In addition, other factors such as the loss of tax-exempt status of municipal bonds or broadening the purpose of future tax-exempt bonds would affect market conditions. Actual interest expense will be determined once the methods of financing have been approved and securities or other obligations are issued.

If financing as outlined in this Plan proves unworkable, the City reserves the right to use alternate financing solutions for the projects as they are implemented.

Implementation and Financing Timeline

City of Fitchburg, Wisconsin Tax Increment District #10 (Hotel & Conference Center) Estimated Financing Plan						
				Municipal Revenue Obligation (MRO) Year		Totals
Projects						
Phase I				2,470,000		2,470,000
Total Project Funds				2,470,000		2,470,000
Estimated Finance Related Expenses						
Financial Advisor						
Bond Counsel						
Rating Agency Fee						
Paying Agent						
Underwriter Discount			10.00			
Debt Service Reserve						
Capitalized Interest						
Total Financing Required				2,470,000		
Estimated Interest			0.25%			
Assumed spend down (months)			6			
Rounding				0		
Net Issue Size				2,470,000		2,470,000
Notes:						

Development Assumptions

City of Fitchburg, Wisconsin Tax Increment District #10 (Hotel & Conference Center) Development Assumptions						
Construction Year		Actual	Hotel, Conf Center & Restaurant	Area B	Annual Total	Construction Year
1	2016	(1,198,021)	16,000,000		14,801,979	2016 1
2	2017				0	2017 2
3	2018				0	2018 3
4	2019				0	2019 4
5	2020				0	2020 5
6	2021				0	2021 6
7	2022				0	2022 7
8	2023				0	2023 8
9	2024				0	2024 9
10	2025				0	2025 10
11	2026				0	2026 11
12	2027				0	2027 12
13	2028				0	2028 13
14	2029				0	2029 14
15	2030				0	2030 15
16	2031				0	2031 16
17	2032				0	2032 17
18	2033				0	2033 18
19	2034				0	2034 19
20	2035				0	2035 20
21	2036				0	2036 21
22	2037				0	2037 22
23	2038				0	2038 23
24	2039				0	2039 24
25	2040				0	2040 25
26	2041				0	2041 26
Totals		(1,198,021)	16,000,000	0	14,801,979	

Notes: Value assumptions provided by Charles Chvala on behalf of Developer.

Cash Flow

City of Fitchburg, Wisconsin

Tax Increment District #10 (Hotel & Conference Center)

Cash Flow Projection

Year	Projected Revenues				Expenditures				Balances			Year	
	Tax Increments	Interest Earnings/ (Cost)	Less Administrative Expenses	Total Revenues	Municipal Revenue Obligation (MRO) 2,470,000			Total Expenditures	Bond Coverage	Annual	Cumulative		Principal Outstanding
					Dated Date:	Est. Rate	Interest						
					Principal	Est. Rate	Interest						
2016		0.20%		0		4.50%		0		0	0	2,470,000	2016
2017				0				0		0	0	2,470,000	2017
2018	353,009		(15,000)	338,009	160,000	4.50%	111,150	271,150	1.25	66,859	66,859	2,310,000	2018
2019	356,539	134	(15,300)	341,373	170,000	4.50%	103,950	273,950	1.25	67,423	134,282	2,140,000	2019
2020	360,104	269	(15,606)	344,767	180,000	4.50%	96,300	276,300	1.25	68,467	202,748	1,960,000	2020
2021	363,705	405	(15,918)	348,193	190,000	4.50%	88,200	278,200	1.25	69,993	272,741	1,770,000	2021
2022	367,342	545	(16,236)	351,651	200,000	4.50%	79,650	279,650	1.26	72,001	344,743	1,570,000	2022
2023	371,016	689	(16,561)	355,144	215,000	4.50%	70,650	285,650	1.24	69,494	414,237	1,355,000	2023
2024	374,726	828	(16,892)	358,662	225,000	4.50%	60,975	285,975	1.25	72,687	486,924	1,130,000	2024
2025	378,473	974	(17,230)	362,217	240,000	4.50%	50,850	290,850	1.25	71,367	558,291	890,000	2025
2026	382,258	1,117	(17,575)	365,800	250,000	4.50%	40,050	290,050	1.26	75,750	634,040	640,000	2026
2027	386,081	1,268	(17,926)	369,422	270,000	4.50%	28,800	298,800	1.24	70,622	704,663	370,000	2027
2028	389,941			389,941	370,000	4.50%	16,650	386,650	1.01	3,291	707,954	0	2028
2029	393,841			393,841		4.50%	0	0		393,841	1,101,795		2029
2030	397,779			397,779		4.50%	0	0		397,779	1,499,574		2030
2031	401,757			401,757		4.50%	0	0		401,757	1,901,331		2031
2032	405,775			405,775		4.50%	0	0		405,775	2,307,106		2032
2033	409,832			409,832		4.50%	0	0		409,832	2,716,938		2033
2034	413,931			413,931		4.50%	0	0		413,931	3,130,869		2034
2035	418,070			418,070		4.50%	0	0		418,070	3,548,939		2035
2036	422,251			422,251		4.50%	0	0		422,251	3,971,189		2036
2037	426,473			426,473		4.50%	0	0		426,473	4,397,662		2037
2038	430,738			430,738	0	4.50%	0	0		430,738	4,828,400		2038
2039	435,045			435,045				0		435,045	5,263,446		2039
2040	439,396			439,396				0		439,396	5,702,841		2040
2041	443,790			443,790				0		443,790	6,146,631		2041
2042	448,228			448,228				0		448,228	6,594,859		2042
2043	452,710			452,710				0		452,710	7,047,569		2043
Total	10,422,810	6,230	(164,246)	10,264,794	2,470,000		747,225	3,217,225					Total
Notes:	Increment Projections and costs are based upon estimates from Developer's representatives. Payment on the MRO is strictly contingent upon Incremental revenues being available.										Projected TID Closure		

SECTION 11: Annexed Property

There are no lands proposed for inclusion within the District that were annexed by the City on or after January 1, 2004.

SECTION 12: Estimate of Property to be Devoted to Retail Business

Pursuant to Wisconsin Statutes Sections 66.1105(5)(b) and 66.1105(6)(am)1, the City estimates that less than 35% of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period.

SECTION 13: Proposed Zoning Ordinance Changes

The City does not anticipate that the District will require any changes in zoning ordinances.

SECTION 14: Proposed Changes in Master Plan, Map, Building Codes and City of Fitchburg Ordinances

It is expected that this Plan will be complementary to the City's Master Plan. There are no proposed changes to the Master Plan, map, building codes or other City ordinances for the implementation of this Plan.

SECTION 15: Relocation

It is not currently anticipated there will be a need to relocate persons or businesses in conjunction with this Plan. In the event relocation or the acquisition of property by eminent domain becomes necessary at some time during the implementation period, the City will follow applicable Wisconsin Statutes Section chapter 32.

SECTION 16: Orderly Development or Redevelopment of the City of Fitchburg

The District contributes to the orderly development and redevelopment of the City by providing the opportunity for continued growth in tax base, job opportunities and general economic activity. The addition of hotel rooms, a conference center and restaurant will serve existing and future businesses and enhance the attractiveness of Fitchburg as a destination for business travelers and economic development.

SECTION 17: List of Estimated Non-Project Costs

Non-Project costs are public works projects that only partly benefit the District or are not eligible to be paid with tax increments, or costs not eligible to be paid with TIF funds.

Examples would include:

A public improvement made within the District that also benefits property outside the District. That portion of the total project costs allocable to properties outside of the District would be a non-project cost.

A public improvement made outside the District that only partially benefits property within the District. That portion of the total project costs allocable to properties outside of the District would be a non-project cost.

Projects undertaken within the District as part of the implementation of this Project Plan, the costs of which are paid fully or in part by impact fees, grants, special assessments, or revenues other than tax increments.

The City does not expect to incur any non-project costs in the implementation of this Project Plan.

SECTION 18:
Opinion of Attorney for the City of Fitchburg Advising
Whether the Plan is Complete and Complies with
Wisconsin Statutes 66.1105

October 15, 2015

SAMPLE

Mayor Steve Arnold
City of Fitchburg
5520 Lacy Road
Fitchburg, Wisconsin 53711

RE: City of Fitchburg, Wisconsin Tax Incremental District No. 10

Dear Mayor:

As City Attorney for the City of Fitchburg, I have reviewed the Project Plan and, in my opinion, have determined that it is complete and complies with Wisconsin Statutes Section 66.1105(4)(f).

Sincerely,

Attorney Mark Sewell
City of Fitchburg

Exhibit A:
**Calculation of the Share of Projected Tax Increments
 Estimated to be Paid by the Owners of Property in the
 Overlying Taxing Jurisdictions**

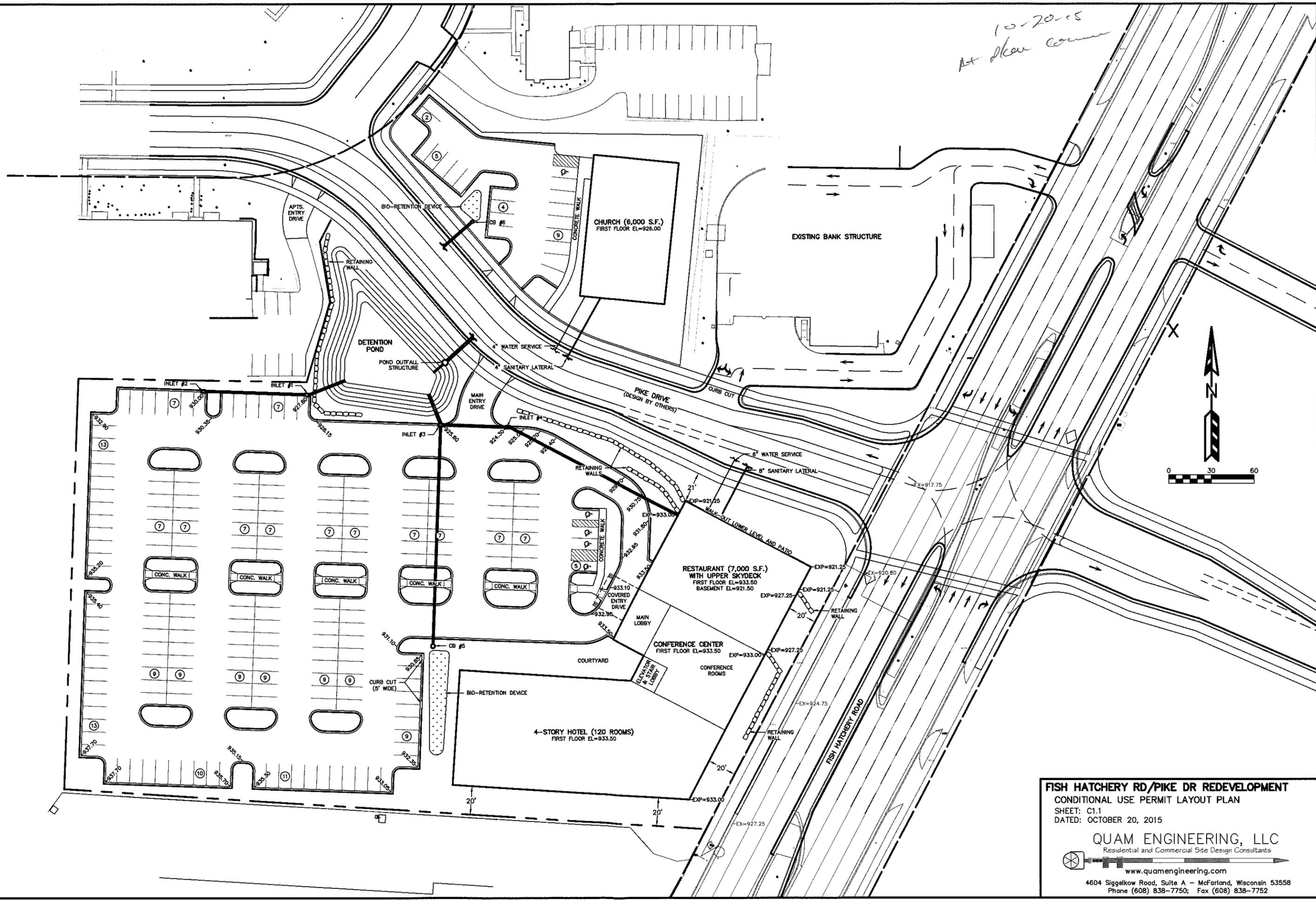
Estimated portion of taxes that owners of taxable property in each taxing jurisdiction overlaying district would pay by jurisdiction.						
Statement of Taxes Data Year:				2014		
					Percentage	
Dane County				7,690,783	16.24%	
City of Fitchburg				23,114,627	48.80%	
Madison Metropolitan School District				14,255,560	30.10%	
Madison Area Technical College				2,303,813	4.86%	
Total				47,364,783	100.00%	
Revenue Year	Dane County	City of Fitchburg	Madison Metropolitan School District	Madison Area Technical College	Total	Revenue Year
2018	57,319	172,273	106,246	17,170	353,009	2018
2019	57,892	173,996	107,309	17,342	356,539	2019
2020	58,471	175,736	108,382	17,515	360,104	2020
2021	59,056	177,493	109,466	17,691	363,705	2021
2022	59,647	179,268	110,560	17,867	367,342	2022
2023	60,243	181,061	111,666	18,046	371,016	2023
2024	60,846	182,871	112,783	18,227	374,726	2024
2025	61,454	184,700	113,911	18,409	378,473	2025
2026	62,069	186,547	115,050	18,593	382,258	2026
2027	62,689	188,412	116,200	18,779	386,081	2027
2028	63,316	190,296	117,362	18,967	389,941	2028
2029	63,949	192,199	118,536	19,156	393,841	2029
2030	64,589	194,121	119,721	19,348	397,779	2030
2031	65,235	196,063	120,918	19,541	401,757	2031
2032	65,887	198,023	122,128	19,737	405,775	2032
2033	66,546	200,003	123,349	19,934	409,832	2033
2034	67,211	202,004	124,582	20,133	413,931	2034
2035	67,883	204,024	125,828	20,335	418,070	2035
2036	68,562	206,064	127,086	20,538	422,251	2036
2037	69,248	208,124	128,357	20,744	426,473	2037
2038	69,940	210,206	129,641	20,951	430,738	2038
2039	70,640	212,308	130,937	21,161	435,045	2039
2040	71,346	214,431	132,247	21,372	439,396	2040
2041	72,060	216,575	133,569	21,586	443,790	2041
2042	72,780	218,741	134,905	21,802	448,228	2042
2043	73,508	220,928	136,254	22,020	452,710	2043
	<u>1,692,388</u>	<u>5,086,466</u>	<u>3,136,993</u>	<u>506,963</u>	<u>10,422,810</u>	

Notes:
 The projection shown above is provided to meet the requirements of Wisconsin Statute 66.1105(4)(i)4.

10-20-15
At the
Corner
mty



10-20-15
At Deer Creek



FISH HATCHERY RD/PIKE DR REDEVELOPMENT
 CONDITIONAL USE PERMIT LAYOUT PLAN
 SHEET: C1.1
 DATED: OCTOBER 20, 2015

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

PLAN COMMISSION RESOLUTION NO. PCR-05-15

**RESOLUTION DESIGNATING PROPOSED BOUNDARIES
AND APPROVING A PROJECT PLAN
FOR TAX INCREMENTAL DISTRICT NO. 10,
CITY OF FITCHBURG, WISCONSIN**

WHEREAS, the City of Fitchburg (the "City") has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the City; and

WHEREAS, Tax Incremental District No. 10 (the "District") is proposed to be created by the City as a rehabilitation - conservation district in accordance with the provisions of Wisconsin Statutes Section 66.1105 (the "Tax Increment Law"); and

WHEREAS, a Project Plan for the District has been prepared that includes:

- a. A statement listing of the kind, number and location of all proposed public works or improvements within the District, or to the extent provided in Wisconsin Statutes Sections 66.1105(2)(f)1.k. and 66.1105(2)(f)1.n., outside of the District;
- b. An economic feasibility study;
- c. A detailed list of estimated project costs;
- d. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
- e. A map showing existing uses and conditions of real property in the District;
- f. A map showing proposed improvements and uses in the District;
- g. Proposed changes of zoning ordinances, master plan, map, building codes and City ordinances;
- h. A list of estimated non-project costs;
- i. A statement of the proposed plan for relocation of any persons to be displaced;
- j. A statement indicating how the District promotes the orderly development of the City;
- k. An opinion of the City Attorney or of an attorney retained by the City advising that the plan is complete and complies with Wisconsin Statutes Section 66.1105(4)(f).

WHEREAS, prior to its publication, a copy of the notice of public hearing was sent to owners of all property in the proposed District, to the chief executive officers of Dane County, the Madison Metropolitan School District, and the Madison Area Technical College District, and any other entities having the power to levy taxes on property located within the District, in accordance with the procedures specified in the Tax Increment Law; and

WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on October 20, 2015 held a public hearing concerning the project plan and boundaries and proposed creation of the District, providing interested parties a reasonable opportunity to express their views thereon.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the City of Fitchburg that:

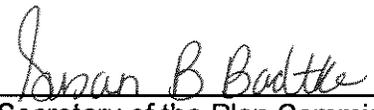
1. It recommends to the Common Council that Tax Incremental District No. 10 be created with boundaries as designated in Exhibit A of this Resolution.
2. It approves and adopts the Project Plan for the District, attached as Exhibit B, and recommends its approval to the Common Council.

3. Creation of the District promotes orderly development in the City.

Adopted this 20th day of October, 2015.



Plan Commission Chair



Secretary of the Plan Commission

**LEGAL BOUNDARY DESCRIPTION OR MAP OF
TAX INCREMENTAL DISTRICT NO. 10
CITY OF FITCHBURG**

THIS CAN BE FOUND IN THE PROJECT PLAN

PROJECT PLAN

THIS WILL BE HANDED OUT SEPARATELY

Plan Commission
Initiated By

Planning/Zoning
Drafted By

Plan Commission -direct referral, Finance
Committee

October 13, 2015
Date

RESOLUTION R-117-15

RESOLUTION APPROVING THE PROJECT PLAN AND ESTABLISHING THE BOUNDARIES FOR AND THE CREATION OF TAX INCREMENTAL DISTRICT NO. 10, CITY OF FITCHBURG, WISCONSIN

WHEREAS, the City of Fitchburg (the "City") has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the City; and

WHEREAS, Tax Incremental District No. 10 (the "District") is proposed to be created by the City as a rehabilitation - conservation district in accordance with the provisions of Wisconsin Statutes Section 66.1105 (the "Tax Increment Law"); and

WHEREAS, a Project Plan for the District has been prepared that includes:

- a. A statement listing of the kind, number and location of all proposed public works or improvements within the District, or to the extent provided in Wisconsin Statutes Sections 66.1105(2)(f)1.k. and 66.1105(2)(f)1.n., outside of the District;
- b. An economic feasibility study;
- c. A detailed list of estimated project costs;
- d. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
- e. A map showing existing uses and conditions of real property in the District;
- f. A map showing proposed improvements and uses in the District;
- g. Proposed changes of zoning ordinances, master plan, map, building codes and City ordinances;
- h. A list of estimated non-project costs;
- i. A statement of the proposed plan for relocation of any persons to be displaced;
- j. A statement indicating how the District promotes the orderly development of the City;
- k. An opinion of the City Attorney or of an attorney retained by the City advising that the plan is complete and complies with Wisconsin Statutes Section 66.1105(4)(f).

WHEREAS, prior to its publication, a copy of the notice of public hearing was sent to owners of all property in the proposed district, to the chief executive officers of Dane County, the Madison Metropolitan School District, and the Madison Area Technical College District, and any other entities having the power to levy taxes on property located within the District, in accordance with the procedures specified in the Tax Increment Law; and

WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on October 20, 2015 held a public hearing concerning the project plan and boundaries and proposed creation of the District, providing interested parties a reasonable opportunity to express their views thereon; and

WHEREAS, after said public hearing, the Plan Commission designated the boundaries of the District, adopted the Project Plan, and recommended to the Common Council that it create such District and approve the Project Plan and

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Fitchburg that:

1. The boundaries of the District that shall be named "Tax Incremental District No. 10, City of Fitchburg", are hereby established as specified in Exhibit A of this Resolution.
2. The District is created effective as of January 1, 2016.
3. The Common Council finds and declares that:
 - (a) Not less than 50% by area of the real property within the District is in need of rehabilitation - conservation work within the meaning of Wisconsin Statutes Section 66.1337(2m)(b). Furthermore any property standing vacant for the entire seven years preceding the adoption of this Resolution does not comprise more than 25% of the area in the District in compliance with Wisconsin Statutes Section 66.1105(4)(gm)1.
 - (b) Based upon the findings, as stated in 3.a. above, the District is declared to be a rehabilitation - conservation district based on the identification and classification of the property included within the District.
 - (c) The improvement of such area is likely to enhance significantly the value of substantially all of the other real property in the District.
 - (d) The equalized value of the taxable property in the District plus the value increment of all other existing tax incremental districts within the City, does not exceed 12% of the total equalized value of taxable property within the City.
 - (e) The City estimates that less than 35% of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period, pursuant to Wisconsin Statutes Section 66.1105(5)(b).
 - (f) The project costs relate directly to promoting the rehabilitation of the area consistent with the purpose for which the District is created.
4. The Project Plan for "Tax Incremental District No. 10, City of Fitchburg" (attached as Exhibit B) is approved, and the City further finds the Plan is feasible and in conformity with the master plan of the City.

BE IT FURTHER RESOLVED THAT the City Clerk is hereby authorized and directed to apply to the Wisconsin Department of Revenue, in such form as may be prescribed, for a "Determination of Tax Incremental Base", as of January 1, 2016, pursuant to the provisions of Wisconsin Statutes Section 66.1105(5)(b).

BE IT FURTHER RESOLVED THAT pursuant to Section 66.1105(5)(f) of the Wisconsin Statutes that the City Assessor is hereby authorized and directed to identify upon the assessment roll returned and examined under Wisconsin Statutes Section 70.45, those parcels of property which are within the District, specifying thereon the name of the said District, and the City Clerk is hereby authorized and directed to make similar notations on the tax roll made under Section 70.65 of the Wisconsin Statutes.

Adopted this _____ day of _____, 2015.

Stephen L. Arnold, Mayor

Patti Anderson, City Clerk

EXHIBIT A -

**LEGAL BOUNDARY DESCRIPTION OR MAP OF
TAX INCREMENTAL DISTRICT NO. 10
CITY OF FITCHBURG**

THIS CAN BE FOUND IN THE PROJECT PLAN

PROJECT PLAN

THIS WILL BE HANDED OUT SEPARATELY

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **October 27, 2015** Ordinance Number:
Date to Report Back: **Nov 10, 2015** Resolution Number: **R-118-15**

Sponsored by: Mayor Arnold Drafted by: Planning/Zoning

TITLE: Recognizing the 2015 Build Application of the Anton Drive Infill Redevelopment Public Visioning and Committing to a Twenty Five Percent Local Match

Background: The City Planning Department has submitted a 2015 BUILD application to Dane County for grant funding of the Anton Drive Infill Redevelopment Public Visioning process. Municipalities are required to provide a 25% local match for approved planning projects. The Redevelopment Public Visioning process is estimated to cost \$20,000. Staff requested \$15,000 from BUILD, which is the maximum amount available per project; the 25% project cost match is \$5,000. Staff recently received notice from Dane County that the BUILD request of \$15,000 was approved; no formal notice has been received but staff will pass along as soon as it is received.

The 2016-2020 Capital Improvement Plan for the Anton Drive Planning Study recognized a potential grant opportunity and has provided funds for the required match.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Finance	Dodge	November 10, 2015	

Amendments:



Office of the Mayor

5520 Lacy Road
Fitchburg, WI 53711-5318
Phone: (608) 270-4200
Fax: (608) 270-4212
www.fitchburgwi.gov

September 4, 2015

To: Ms. Pamela Andros, AICP, BUILD Coordinator
Dane County Planning and Development
City-County Building, Room 116
210 Martin Luther King Jr., Blvd.
Madison, WI 53703

Re: 2015 BUILD Application – City of Fitchburg – Anton Drive Infill Redevelopment Public Visioning

Dear Ms. Pamela Andros & BUILD Committee,

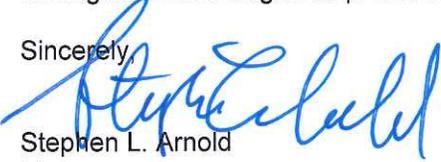
The City of Fitchburg is delighted for the opportunity to apply for BUILD funding, to be used for the Anton Drive Infill Redevelopment Public Visioning process. This process will engage stakeholders in a public dialogue and gather input on a range of redevelopment options for the planning area. The study area generally includes lands west of US Highway 151 (Verona Road) and north of County Highway PD (McKee Road), excluding the single-family residential neighborhoods.

The Wisconsin Department of Transportation is embarking on a major reconstruction project of Verona Road, which will span the urban boundaries of the City of Fitchburg from the northern city boundary to south of McKee Road. This project will drastically change how the corridor functions, specifically in regards to business visibility and access; in the same regard it also presents an opportunity for the area to redefine itself and establish a vision for future redevelopment.

The planning study for this area would promote redevelopment that captures and utilizes the existing infrastructure, transit opportunities and other community resources in the area. It is critical for this area to have a vision and master plan in place to guide and capture immediate and long-term redevelopment opportunities.

The City of Fitchburg is committed to bringing stakeholders together to participate in the planning process to reposition this area. Attached please find the submitted application materials for this project; the estimated cost of the Visioning process is \$20,000 for which the City is requesting \$15,000 of BUILD funding. We look forward to the opportunity to utilize BUILD funds to enhance opportunities for public engagement and explore placemaking strategies and strategies to promote investment in existing housing stock in the neighborhood.

Sincerely,


Stephen L. Arnold
Mayor

enclosures

City of Fitchburg 2015 BUILD Application

Anton Drive Infill Redevelopment Public Visioning

September 4, 2015



Description of Anton Drive Planning Area:

Project Boundaries

Located west of US Highway 151 (Verona Road) and north of County Highway PD (McKee Road), the Anton Drive Planning area is approximately 91 acres; the Wingra Stone Alternate Planning Area would be an additional 61 acres. Figure A shows the boundaries of the planning area.

Current Conditions of Buildings & Infrastructure



This area serves as a major highway commercial district for the City, given the close proximity to and visibility from Verona Road. The existing buildings in the area are comprised primarily of single-story older 1980s commercial/retail buildings along with some vacant commercial parcels. The area has an industrial feel with many sites containing metal buildings. There is also a multi-family residential project on the west side of Anton Drive. The Wingra Stone Quarry, which will be ripe for redevelopment, lies on the western edge of the boundary, and is identified as an alternate planning area as it may or may not be included in the plan depending on funding sources.



The main transportation infrastructure for the project area is Verona Road and McKee Road; however, while several sites front along and have strong visibility from Verona Road, many only have access off the local street network. Local roads in the planning area include Anton Drive, King James Way, Kapec Road and Williamsburg Way.

Need for Revitalization & Infill Development



The Wisconsin Department of Transportation (WisDOT) is embarking on a major reconstruction project of Verona Road, which will span the urban boundaries of the City of Fitchburg from the northern city boundary to south of McKee Road. The project, which is scheduled to begin in fall 2016 and continue through 2019, will drastically change the corridor, both in terms of infrastructure, access and travel patterns. The new infrastructure will include a single point interchange at Verona Road and McKee Road, an interchange at Verona Road and Williamsburg Way and associated improvements including significant retaining walls. This may enhance regional connectivity but will likely disconnect many of the established businesses from the rest of the corridor and will impact business visibility from Verona Road.

The Wingra Stone Quarry is in the final phases of quarrying much of the property. The WisDOT has planned a new 'backage' road from the Fitchrona Road signalized intersection through part of the quarry property to help circulate traffic on the north and south sides of McKee Road, both during and after construction; this new road also provides an opportunity

for redevelopment of the quarry property on the west side of the road extension. The Fitchburg Comprehensive Plan identified the future land use for the quarry as various levels of residential along with some park & conservancy. The changes in the corridor since adoption of the plan, along with the proposed reconstruction, may make the quarry more suitable for other land uses.

The corridor is currently experiencing land use changes due to the proposed reconstruction and the uncertainty of how such improvements will impact property. For example, one commercial site along Verona Road was recently rezoned to allow what was a retail building to become a warehouse/light industrial facility. The building owner indicated that several attempts were made to find a commercial user to locate in the building; however, the uncertainty of the future infrastructure was a barrier for retailers, despite the current visibility and proximity to Verona Road. At the same time, a site at the intersection of McKee Road and Verona Road is being considered for a two- or three- story Class A office/retail building with underground parking to replace the existing one-story highway business building. The City desires to create a coordinated well-thought-out redevelopment plan, built on strong public participation and visioning, to help guide future land use and development in the area.

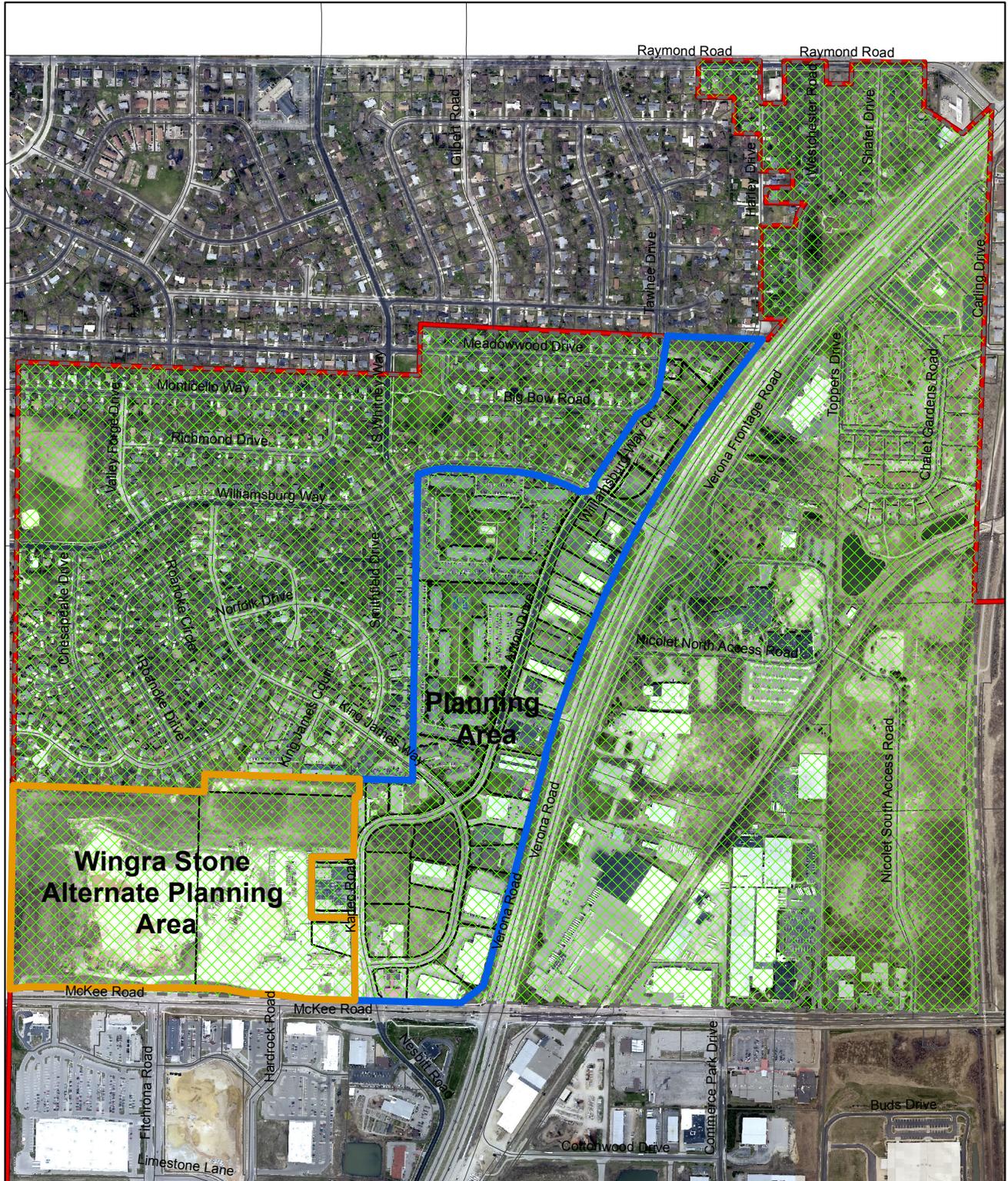
While the Verona Road reconstruction project will have significant impacts to properties located along and near the corridor with reduced visibility and impacts to accessibility, it also allows an opportunity to examine and potentially reshape the future vision of the area. The infill redevelopment public visioning component of the redevelopment plan will help enhance the overall planning study by providing an opportunity for more in-depth conversations with neighborhood residents, property owners, businesses and other stakeholders about potential redevelopment scenarios.

Description of the Population:

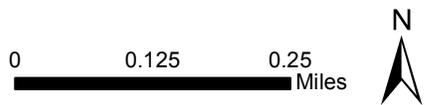
While the Plan will benefit the entire City, the area most directly impacted by the planning study includes properties in the planning area and those directly adjacent to the study area, including the Jamestown Neighborhood and lands to the east of Verona Road. The benefits will also extend beyond the City of Fitchburg into the City of Madison. The map on page 3 shows the “impact area”, which is the area that the City has identified as most directly impacted from the proposed planning project.

Per the 2010 Census, the impact area contains 4,174 persons, which is approximately 16.5% of the overall 2010 City population. The area contains 1,876 housing units, approximately 17.6% of the City’s housing units in 2010, and at the time of the 2010 Census there was a reported 7.8% vacancy rate.

Impact Area:



	Wingra Stone Alternate Planning Area		Impact Area
	Anton Drive Planning Area		Fitchburg City Limits



2015 BUILD: Anton Drive Infill Redevelopment Public Visioning

Population & Race	Impact Area		City of Fitchburg		Dane County	
Total Population	4,174	100%	25,260	100%	488,073	100%
White alone	2,554	61.20%	18,230	72.17%	413,631	84.75%
Black or African American alone	624	14.90%	2,633	10.42%	25,347	5.19%
American Indian & Alaska Native alone	18	0.40%	103	0.41%	1,730	0.35%
Asian alone	224	5.40%	1,233	4.88%	23,035	4.72%
Native Hawaiian & Other Pacific Islander alone	0	0.00%	10	0.04%	166	0.03%
Some other race alone	570	13.70%	2,234	8.84%	12,064	2.47%
Two or more races	184	4.40%	817	3.23%	12,100	2.48%

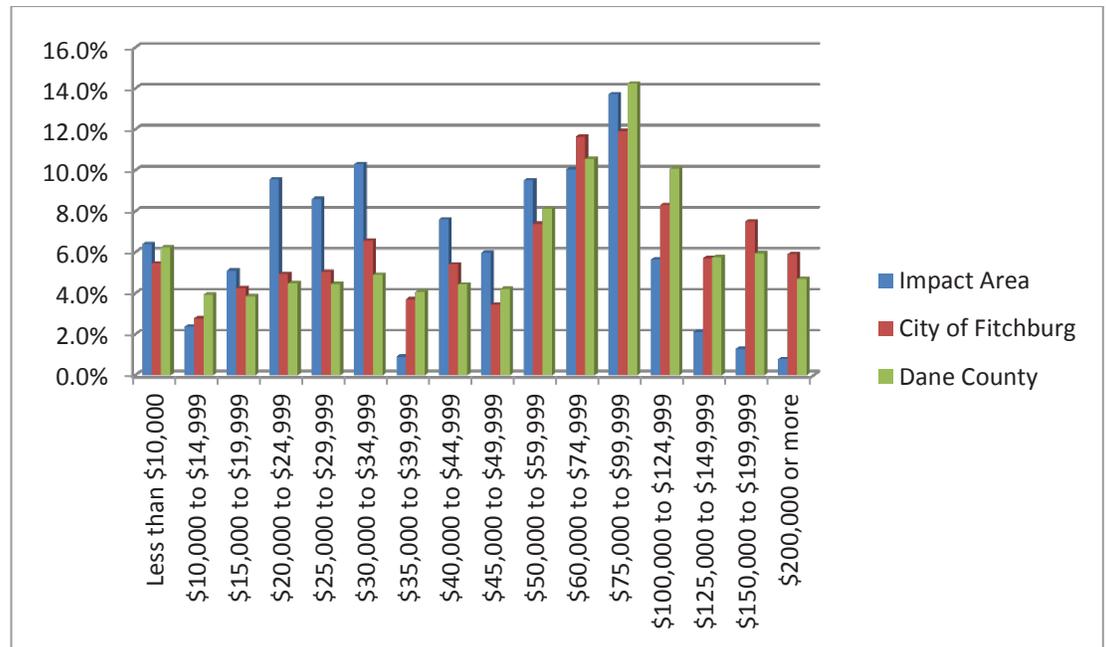
Source: U.S. Census Bureau, 2010 Census

Age	Impact Area		City of Fitchburg		Dane County	
Under 5 years	456	10.9%	2,029	8.0%	30,240	6.2%
5 to 9	328	7.9%	1,702	6.7%	29,874	6.1%
10 to 14	251	6.0%	1,499	5.9%	28,873	5.9%
15 to 19	245	5.9%	1,462	5.8%	32,869	6.7%
20 to 24	452	10.8%	1,894	7.5%	47,252	9.7%
25 to 29	549	13.2%	2,700	10.7%	42,441	8.7%
30 to 34	430	10.3%	2,237	8.9%	36,412	7.5%
35 to 39	320	7.7%	1,798	7.1%	32,196	6.6%
40 to 44	198	4.7%	1,621	6.4%	32,588	6.7%
45 to 49	245	5.9%	1,807	7.2%	34,927	7.2%
50 to 54	195	4.7%	1,660	6.6%	33,882	6.9%
55 to 59	198	4.7%	1,647	6.5%	31,594	6.5%
60 to 64	152	3.6%	1,274	5.0%	24,781	5.1%
65 to 69	58	1.4%	746	3.0%	15,900	3.3%
70 to 74	42	1.0%	427	1.7%	10,659	2.2%
75 to 79	28	0.7%	310	1.2%	8,585	1.8%
80 to 84	20	0.5%	249	1.0%	7,226	1.5%
85 +	7	0.2%	198	0.8%	7,774	1.6%
Totals	4,174	100.0%	25,260	100.0%	488,073	100.0%

Source: U.S. Census Bureau, 2010 Census

Housing	Impact Area		City of Fitchburg		Dane County	
Housing Units	1,876	100%	10,668	100%	216,022	100%
Occupied	1,730	92.2%	9,955	93.3%	203,750	94.3%
Vacant	146	7.8%	713	6.7%	12,272	5.7%

Source: U.S. Census Bureau, 2010 Census



(Source: U.S. Census Bureau, 2009-2013 5-Year American Community Survey)

Note: The lowest level of income data is the Census block group level, which includes some lands outside of the impact area and lands outside of the City of Fitchburg.

In 2015 Colliers International completed a marketing analysis for a commercial site located in Orchard Pointe, which is directly south of the planning area. Included in this analysis is demographics for a 1 mile, 3 mile and 5 mile trade ring.

	1 Mile	3 Miles	5 Miles
Population	7,331	67,319	146,180
Median Household Income	\$72,914	\$71,073	\$69,243
Number of Households	2,948	27,462	62,754
Daytime Population	5,339	65,959	182,937

Source: Colliers International, 2015

The planning area, within close proximity to Verona Road and within 2 miles of US Highway 12/18, has potential to capture a wide area of residents, customers and employees.

Verona Road and McKee Road are both highly traveled thoroughfares, presenting both an opportunity and a challenge. Traffic count data obtained from the Wisconsin Department of Transportation shows that McKee Road, west of Verona Road, had an Annual Average Daily Traffic (AADT) of 16,400 as of November 12, 2012. Verona Road, at a location just north of McKee Road, had an AADT of 41,100. The Anton Drive Planning Study will consider these volumes and work to produce a redevelopment plan that will enhance the transportation system.

Map of the proposed Planning Area:

Please see Exhibit A.

Advancement of Build Objectives:

The Anton Drive Planning Study, which may be adopted into the Fitchburg Comprehensive Plan, will help guide the City, developers and other stakeholders on future development and redevelopment. The Study will comprehensively examine the transportation, utilities (sanitary sewer, water, private utilities and stormwater), land use, as well as an economic and market analysis for the planning area, taking into account the proposed Verona Road reconstruction project. The Study will also detail implementation action items and a timeframe for completion.

The Anton Drive Infill Redevelopment Public Visioning Process will complement this planning effort by involving neighborhood residents and other stakeholders in a deeper and more thorough public process. The Anton Drive Planning Study, scheduled to begin late 2015, is focused on a series of specific, data-based inquiries about the study area, including stormwater management needs, traffic constraints on redevelopment, and market analysis.

With support from the BUILD program, the City will be able to engage stakeholders in a public dialogue about this area, and consider a range of development alternatives that might be viable within the identified infrastructure and market constraints and opportunities. The Public Visioning Process will also add the following tasks to the overall planning effort for this area:

- Explore and recommend placemaking strategies that define and draw attention to the neighborhood.
- Identify strategies to promote investment and renovation in existing (dated or 1980's) housing stock in the neighborhood and connect residents to employment opportunities in the adjacent commercial areas.
- Explore SmartCode zoning options for the study area to emphasize form-based development regulation and encourage Traditional Neighborhood Development patterns.

Through this process, including the Public Visioning tasks made possible through BUILD, the City seeks a plan that would:

- Maximize existing and proposed infrastructure and public transportation;
- Stabilize and enhance the Anton Drive Neighborhood;
- Enhance alternatives to auto trips by improving walking, biking and

- transit facilities and service in and to the planning area;
- Promote reinvestment in all parcels; and
- Avoid development on productive farmland by reinvesting and redeveloping land within the City's urban service area.

Adjoining Community Agreement

Attached is a letter from City of Madison District 10 Alder, Maurice Cheeks, who represents the adjacent Allied Drive Neighborhood in the Verona Road corridor. As a representative for the area directly to the north of the planning area, Alder Cheeks is supportive of Fitchburg's BUILD application and anticipated planning for the Anton Drive Planning Area.

The proposed BUILD application has also been shared with the Verona Road Business Coalition (VRBC), a non-profit 501c3 organization of Verona Road businesses and citizens concerned about the Verona Road construction project. The coalition represents businesses in Fitchburg, Madison and Verona along the Verona Road corridor. Attached please find a letter of support from Cindy Jaggi, Project Manager for the VRBC.

Jeff Rohlinger, President of the Jamestown Neighborhood Association, has also provided a letter of support for the project. While outside of the planning area, the Jamestown Neighborhood, as adjacent stakeholders, will be actively involved in the planning process.

Please see Exhibit B for letters of support.

Planning Project Work Plan & Timeline

The City, working with MSA Professional Services, Inc., who is a BUILD prequalified planning consultant, intends to begin the Anton Drive Planning Study in late fall 2015. The project will begin with analysis of existing conditions and data. If funded, the Anton Drive Infill Redevelopment Public Visioning Process would begin in early 2016 and would utilize data collected in 2015.

Desired Outcomes

The main goal of the Anton Drive Infill Redevelopment Public Visioning Process is to identify, through public engagement, a vision and specific strategies for redevelopment of the area that incorporates a broad spectrum of public input. This process, combined with engineering and market analysis studies, would lead to the following outcomes:

1. A facilitated public participation process that engages the private sector landowners, residents and businesses located within the neighborhood, other stakeholders like Verona Road Business Coalition (VRBC), the neighborhood associations, and the cities of Madison and Fitchburg to develop a long term vision for redevelopment, taking the changes anticipated with the Verona Road project into consideration.
2. Land use designations, with more detailed descriptions of the desired uses, intensity and site design.
3. Identification of priority redevelopment sites and when the City should actively engage redevelopment.
4. Description of anticipated build-out development density and intensity, expressed in map format with Floor Area Ratio (FAR) and Impervious Surface Ratio (ISR) calculations.
5. Parking locations and estimated number of stalls for motor vehicles and bikes.
6. Land use change over time predictions based on market analysis and case studies of comparable settings.
7. Predicated development scenarios for 2020 and 2025 with indication of any major renovations anticipated within each time period.
8. Reuse and redevelopment options for the existing fire station on King James Way.
9. Description of the socio-economic, cultural factors, and interaction with the Jamestown Neighborhood and the potential to link employee availability with employment opportunities in the planning area.
10. Strategies to enhance or refresh the housing stock in and immediately surrounding the study area.
11. Placemaking strategies to enhance and draw attention to the planning area.
12. Proposed Sector Plan and Community Unit Type designations for the planning area.
13. SmartCode exhibits for the final recommended scenario.
14. A perspective illustration of the location and viewpoint likely to see the most dramatic and “placemaking” change through redevelopment.

Previous Planning

City of Fitchburg Comprehensive Plan

The City’s 2009 Comprehensive Plan outlines several policies for encouraging and guiding redevelopment, including that the City should engage in redevelopment studies within areas showing blight, economic despair, and commercial areas with low floor area ratios.

Adjacent Area Plans

The Arrowhead Redevelopment Plan was accomplished in 2012 for lands on the east side of Verona Road. This plan works to:

1. Support the success and growth of existing businesses and major employers in this area;
2. Improve the quality and flexibility of transportation infrastructure and systems in this area;
3. Facilitate infill development of underutilized land; and
4. Improve and maintain the quality of utility service in this area, especially including water supply and stormwater management systems.

The Anton Drive Plan would complement this previous plan to ensure compatibility, specifically with regards to transportation and stormwater, between the east and west sides of the corridor.

Primary Contact

The project will be advanced by an interdepartmental team for the City; however, the primary contact is:

Susan Badtke
Community Planner
5520 Lacy Road
Fitchburg, WI 53711
(608) 270-4256
susan.badtke@fitchburgwi.gov

Master Plan Steering Committee

Membership & Duties

A steering committee has not yet been formally established for this project; however, the Mayor will invite a representative of the following stakeholder groups:

- City of Fitchburg District 1 Alder
- City of Fitchburg Plan Commission
- City of Madison
- Jamestown Neighborhood Association
- Multifamily housing landlords
- Multifamily housing tenants
- Orchard Pointe area businesses
- Verona Road Business Coalition Member
- Verona School District

Each representative would provide input on the vision for the area, and assist in crafting appropriate goals, objectives and policies and establish action steps to help move the vision from paper to reality.

Meeting Schedule

The schedule for the Anton Drive Planning Study has not yet been established, but is anticipated to include meetings with the Community Economic Development Authority (CEDA), Transportation & Transit Commission (TTC), Steering Committee, Plan Commission, Common Council as well as public meetings. The plan also includes several stakeholder interviews from those within the planning area.

The BUILD funds will help embellish the public participation process through the Infill Redevelopment Public Visioning Process which would include one additional public meeting, two steering committee meetings and an additional Plan Commission meeting.

Estimated Project Cost

The estimated overall cost of the Anton Drive Planning Study, including the Alternate Planning Study area of the Wingra Quarry, is \$134,400. The Public Visioning process, for which the City is requesting \$15,000 BUILD assistance, is \$20,000 of this overall cost.

Funding Commitment

The City understands that it will be responsible for a 25% match if the BUILD grant is received and that a resolution from the Common Council committing to this local share will be required to secure the grant funds. The City is in the process of drafting this resolution. The City has funds for the study, including the City's 25% match for the public visioning process, identified in the Capital Improvement Program but needs the BUILD grant dollars to fully engage the public visioning.

Physical Improvements

This request does not involve any physical improvements to specific parcels of private property.

Exhibit A: Anton Drive Planning Study Boundaries

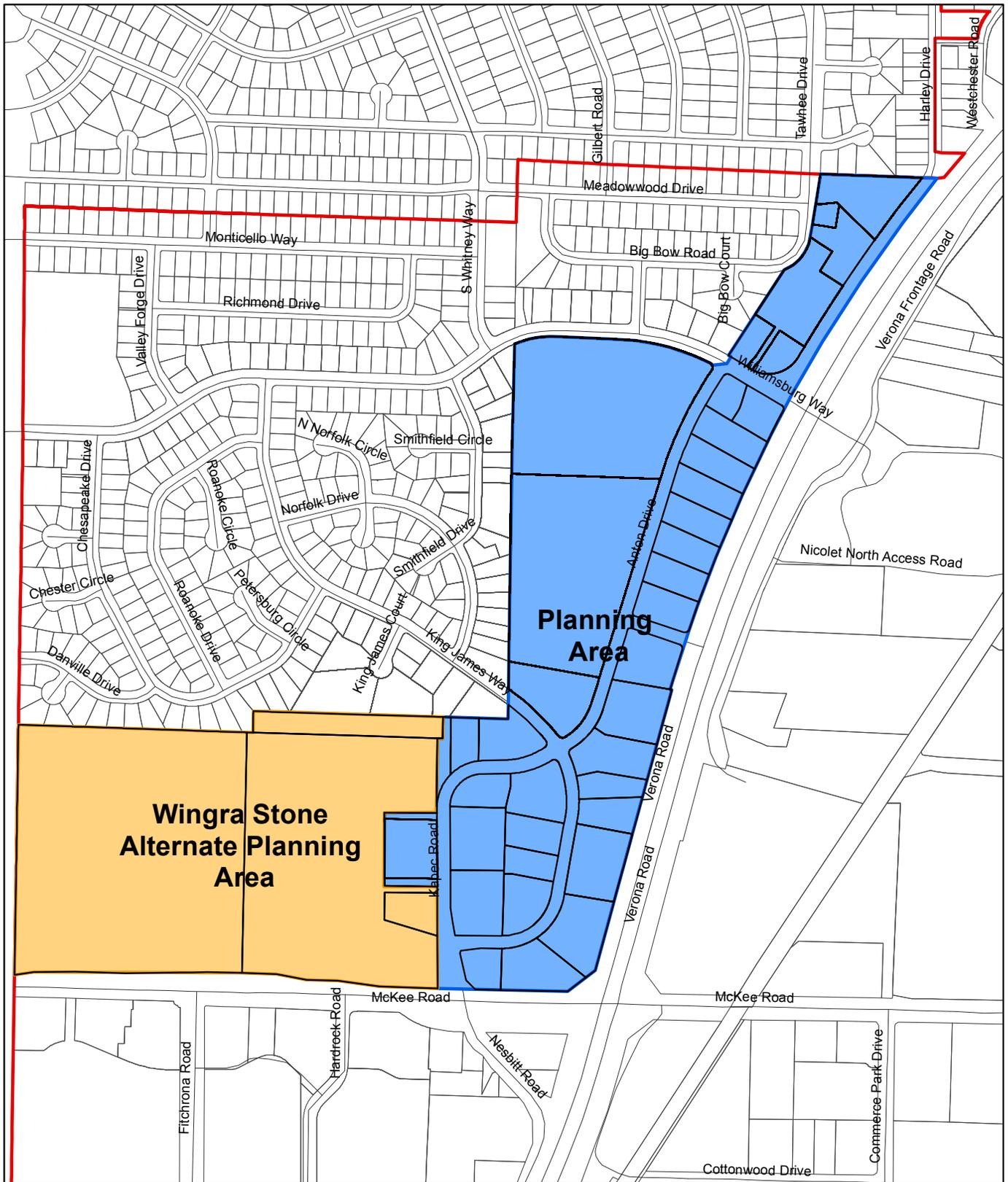


Exhibit B: Letters of Support



Office of the Common Council Alder Maurice Cheeks, District 10

City-County Building, Room 417
210 Martin Luther King, Jr. Boulevard
Madison, Wisconsin 53703
Phone (608) 266-4071
Fax (608) 267-8669
district10@cityofmadison.com
www.cityofmadison.com/council/district10

August 31, 2015

Ms. Pamela Andros
Dane County Planning and Development
210 Martin Luther King Jr. Boulevard, Room 421
Madison, WI 53709

Dear Ms. Andros & BUILD Committee:

I am in support of the City of Fitchburg's effort in applying for a BUILD Program Application for the Anton Infill Redevelopment Public Visioning process. The cities of Madison and Fitchburg share borders on the western boundary of Fitchburg and, as a stakeholder, I am pleased to see the City work towards a redevelopment plan for this area and strive for enhanced public participation in the visioning process.

I am willing to work with the City of Fitchburg as they plan for the changes to the Verona Road corridor and the future redevelopment of this area, and I look forward to working with the various stakeholders in making positive improvements that will benefit both communities. I hope that the BUILD Advisory Committee will look favorably on Fitchburg's application.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink that reads "M Cheeks".

Alder Maurice Cheeks
Madison Alderperson, District 10

BUILDING OUR FUTURE
VERONA ROAD BUSINESS COALITION
VeronaRoad.info

August 31, 2015

Ms. Pamela Andros
Dane County Planning and Development
210 Martin Luther King Jr. Blvd., Room 421
Madison, WI 53709

Dear Ms. Andros & BUILD Committee:

The Verona Road Business Coalition (VRBC) is in support of the City of Fitchburg's effort in applying for a BUILD Program Application for the Anton Infill Redevelopment Public Visioning process. The Coalition, which is a volunteer group of Verona Road businesses and citizens concerned about the Verona Road reconstruction, appreciates the City's efforts and desire for forward-thinking in redevelopment of the area. The City is actively involved with the VRBC to help the area come alive and thrive before, during and after construction. The Verona Road reconstruction project will bring significant changes to the corridor but also presents an opportunity to reshape the vision and establish some placemaking strategies for the area.

As stakeholders in the corridor, we are pleased to see the City's desire for an enhanced public visioning process as part of the study. The VRBC is committed to being involved in the planning process and providing input on the vision for the future redevelopment of this important area in the City.

Thank you for your consideration.

Sincerely,



Cynthia Jaggi, Project Manager
Verona Road Business Coalition.

August 30, 2015

Ms. Pamela Andros
Dane County Planning and Development
210 Martin Luther King Jr. Blvd., Room 421
Madison, WI 53709

Dear Ms. Andros & BUILD Committee:

The Jamestown Neighborhood Association is in support of the City of Fitchburg's effort in applying for a BUILD Program Application for the Anton Infill Redevelopment Public Visioning process. Our Neighborhood Association represents the residents who live in the proposed study area and we are concerned about the impacts of the Verona Road reconstruction. We appreciate the City's efforts and desire for forward-thinking in redevelopment of the area. The Jamestown Neighborhood Association is already actively involved with the Verona Road Business Coalition to help the area come alive and thrive before, during and after construction. The Verona Road reconstruction project will bring significant changes to the corridor but also presents an opportunity to reshape the vision and establish some place making strategies for the area.

We clearly see this time as a watershed moment for the neighborhood with regard to the future for the neighborhood and the city. As a neighborhood association we feel a deep interest in ensuring proper planning and coordination is done to maintain our property values.

As stakeholders in the corridor, we are pleased to see the city's desire for an enhanced public visioning process as part of the study. The Jamestown Neighborhood Association is committed to being involved in the planning process and providing input on the vision for the future redevelopment of this important area in the City.

Thank you for your consideration.

Sincerely,



Jeff Rohlinger, President
Jamestown Neighborhood Association

Steve Arnold, Mayor
Introduced by

Planning/Zoning
Prepared by

Finance
Referred to

October 27, 2015
Date

**RESOLUTION R-118-15
RECOGNIZING THE 2015 BUILD APPLICATION OF THE ANTON DRIVE INFILL
REDEVELOPMENT PUBLIC VISIONING AND COMMITTING TO A TWENTY FIVE
PERCENT LOCAL MATCH**

WHEREAS, the City of Fitchburg, as identified in its Comprehensive Plan, is committed to promoting infill, reinvestment and redevelopment of land and uses; and

WHEREAS, the Anton Drive Infill Redevelopment Public Visioning process would enhance the public engagement in the planning process for the Anton Drive area, which has several opportunities for redevelopment; and

WHEREAS, the City of Fitchburg Planning Department has submitted a 2015 BUILD application to Dane County for the Anton Drive Infill Redevelopment Public Visioning process; and

WHEREAS, the City of Fitchburg Planning Department was verbally informed by the Dane County BUILD staff that the BUILD Committee will fund the City of Fitchburg Anton Drive Infill Redevelopment Public Visioning process in the amount of \$15,000; and

WHEREAS, the BUILD application requires municipalities to provide a minimum 25 percent local match for approved planning projects; and

WHEREAS, the City is allocating \$5,000 of city funding to the Public Visioning process, which is 25% of the total cost of this process; and

WHEREAS, the 2016-2020 Capital Improvement Plan for the Anton Drive Planning study recognized a potential grant opportunity and has provided funds for the required match;

NOW, THEREFORE, BE IT HEREBY RESOLVED, by the Fitchburg Common Council that it recognizes the 2015 BUILD application for the Anton Drive Infill Redevelopment Public Visioning process and has committed to a local match of at least 25 percent of the total project costs for the Visioning process.

Adopted this _____ day of _____, 2015.

Approved:

Stephen L. Arnold, Mayor

Patti Anderson, City Clerk

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
 Direct Referral Approved by:

Date Referred: **October 27, 2015** Ordinance Number:
 Date to Report Back: **November 10, 2015** Resolution Number: **R-119-15**

Sponsored by: Mayor Drafted by: Public Works

TITLE: Approving Contract with MSA for Anton Drive Planning Study

Background: Staff sent out request for proposals for this project and received four responses. Negotiated with two firms to reduce scope and reduce project cost to fit within budget. MSA was the selected firm. As of this writing, staff has not heard if Wingra will participate, but agreement allows for that possibility.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Finance	Dodge	11/10/2015	
2				
3				
4				

Amendments:

Agreement for Planning Services

OWNER

City of Fitchburg
5520 Lacy Road
Fitchburg, Wisconsin 53711

FIRM

MSA Professional Services
2901 International Lane, Suite 300
Madison, WI 53704

PROJECT: Anton Drive Planning Study

DRAFT

1. Scope of Services

1.1 Planning Services

This agreement involves the provision of planning services by the FIRM, on behalf of the OWNER, for preparation of the Anton Drive Planning Study (hereafter "Plan") of the City of Fitchburg. Included in these services will be compliance with the Request for Proposal (RFP) issued by the City of Fitchburg dated April 13, 2015, and its one addendum dated May 1, 2015, the FIRM response (Proposal) to such RFP submitted May 11, 2015, but revised on June 26, 2015. This includes the Project Components (Basic Services) and the Infill Redevelopment Public Visioning. A Wingra Stone Alternate is identified within the project scope at a cost of \$28,600 and the city has until December 15, 2015 to select this alternate.

The FIRM office equipment and office facilities shall be provided as necessary to complete the services required under the Agreement. The FIRM has adequate staff and facilities for the services required under this Agreement.

1.2 Public Information Services

The FIRM shall provide public participation in accord with the project schedule in the June 26, 2015 response. The time frame as generally represented by the schedule shall be complied with to the extent practical. It is understood that meetings may occur on days different than those in the schedule, provided there is agreement between City staff and the FIRM on the revised days. Public meetings shall use a variety of methods to garner public input in a manner agreed to between City staff, and the FIRM.

FIRM shall coordinate with the OWNER regarding provision of digital (.pdf) or hard copy files for notices to be mailed by the OWNER for the public meetings provide appropriate agendas, minutes and notices for all relevant public meetings, and work and consult with appropriate City Staff regarding the notices for governmental meetings. FIRM shall provide information produced, as the project advances, in an electronic format acceptable to City for posting on the City web site.

1.3 Service Elements Not Included

The following services are not included under the scope of this Agreement:

- 1.3.1 If additional committee or commission meetings are required than those identified in the project budget of June 26, 2015 Proposal; the FIRM shall be subject to compensation at \$250 for meetings without a presentation, or \$750 for meetings with a presentation. FIRM shall notify the city within five business days of the meeting of the required meeting and intended amount to be charged.
- 1.3.2 If additional land use, storm water management, transportation engineering, or other studies that are not part of the project scope as identified in the RFP or as modified by the June 26, 2015 Proposal, that work shall be provided by an amendment to this Agreement or through a separate Agreement with the OWNER.

1.4 Extension of Services

This Agreement may be extended for additional services upon authorization by the OWNER. Extension of consulting services shall be provided on an hourly basis plus expenses. Hourly services shall be provided on the basis of time actually spent in performance of the additional services

1.5 Completion of Services

No services under this Agreement shall commence unless authorized by the OWNER in writing. It is expected that a draft of the Plan will be completed in accord with the schedule. Extensions may be agreed to between the FIRM and City staff for due cause. This Agreement shall terminate upon satisfactory completion of the Plan unless otherwise amended.

2. Compensation, Billing and Payment

2.1 Compensation

Compensation for the services set forth in Section 1.1 and 1.2 will be on hourly basis, with a cost not to exceed as set forth below. The FIRM will bill the OWNER monthly for fees and direct expenses of the FIRM for the service provided. The bill will provide a breakdown of services rendered according to the FIRM's **labor classifications shown on Exhibit A**. The total compensation for these services, including fees and direct expenses, shall be a sum not to exceed \$85,800 for basic services, the inclusion of the Public Visioning at \$20,000 (of which \$15,000 is anticipated to be funded by the Dane County BUILD grant) and a potential Wingra Stone alternate at \$28,600. Total compensation due without the Wingra Stone alternate is \$105,800, and if the Wingra Stone alternate is selected the total compensation shall be \$134,400. (Cost information is available on p. 32 of the June 26, 2015 Proposal.) Additional public meetings beyond

those identified in the June 26, 2015 Proposal shall be billed at the appropriate rate identified in section 1.3.1.

2.2 Billing and Payment

2.2.1 Timing/Format/Acceptance

FIRM will bill the OWNER monthly, with net payment due in 60 days. Unless OWNER provides FIRM with a written statement of any objections to the invoice within 30 days of receipt, OWNER shall be deemed to accept the invoice as submitted, provided, however, acceptance of the invoice shall not constitute OWNER's acceptance of improper, faulty, or defective work, shall not release FIRM of any of its obligations under this Agreement, and shall not constitute a waiver of any rights or provisions hereof by OWNER. Payment to FIRM by OWNER shall not be contingent on payment to OWNER by others. However, if any cost overruns are anticipated, FIRM shall notify OWNER of the cost overruns immediately, and provide the reason(s) for the cost overrun and the estimate of the cost overrun to the OWNER. City retains the right to pay by use of a purchase card (credit card). If the Wingra alternate is undertaken, FIRM shall break out the monthly invoice with an amount for the Basic and Public Visioning services, and a separate amount allocated to the Wingra alternate. The FRIM shall provide a copy of any invoice that has work allocated to the Wingra alternate to Robert Shea, Jr. of Wingra Stone.

2.2.2 Late Payments

Past due balances shall be subject to a service charge at the rate of 1 % (one percent) per month. Any amount that the OWNER has objected to shall not be considered due or past due until the objection has been resolved.

2.2.3 Delay/Adjustment

If services continue beyond estimates established herein, other compensation elements may be adjusted to reflect conditions existing at the time of provision of such extended services.

2.2.4 Billing Records

FIRM maintains accounting records of its costs in accordance with generally accepted accounting practices. Access to such records will be provided during normal business hours with reasonable notice. OWNER requests for copies of original source documents will be billed as additional services at the rates in effect at the time of the request.

2.2.5 Sales/Use Taxes

Any sale or use taxes imposed upon provision of professional services under this Agreement and in effect on the date of the invoice shall be in addition to the total compensation, and will be added to the invoice amount and billed to the OWNER.

2.2.6 Expenses

Expenses incurred on the PROJECT such as travel, computer, printing and telephone shall be considered incidental to the contract, and that are billed along with fees so that the total of fees and expenses do not exceed the sum of \$105,800 for the basic services and the Public Visioning, with an additional \$28,600 for the Wingra Stone alternate task. This is not inclusive of additional meetings that may be necessary (see paragraph 2.1).

3. **Standard Terms and Conditions**

3.1 Standard Of Care

Services shall be performed in accordance with the standard of professional practice ordinarily exercised by the profession at the time and within the locality where the services are performed. FIRM agrees to indemnify and hold OWNER harmless from all damages, claims, and liability, including attorney's fees arising directly from FIRM's failure to perform in accordance with such standard of care.

3.2 Change of Scope

The Scope of Services set forth in this Agreement is based on facts known at the time of execution of this Agreement, including, if applicable, information supplied by OWNER.

3.3 Safety

FIRM has established and maintains corporate programs and procedures for the safety of its employees. Unless specifically set forth in this Agreement. FIRM specifically disclaims any authority or responsibility for general job site safety and safety of persons other than FIRM employees, except any injuries arising from FIRM negligence.

3.4 and 3.5 are not used.

3.6 Termination for Cause

3.6.1 The OWNER may terminate this Agreement effective seven days after sending written notice to the FIRM upon the happening of the following events:

3.6.1.1 The FIRM fails to deliver any reports, drawings, or designs in final form reasonably acceptable to the

OWNER by the schedule set forth in the Proposal, unless an extension is granted by the OWNER due to process delays or other such effects.

3.6.1.2 The FIRM fails to perform any services required by this Agreement in a timely and professional manner or fails reasonably to cooperate with the OWNER.

3.6.2 The FIRM may terminate this Agreement effective seven days after sending written notice to the OWNER if the OWNER materially interferes with the performance of this Agreement by the FIRM.

3.7 Termination for Convenience

- a. OWNER may terminate this Agreement in whole or in part, at any time by written notice to FIRM, whether or not the FIRM is in default. Such termination for convenience shall be effective at the time and in the manner specified in OWNER's written notice to FIRM. If Wingra Stone decides to terminate its participation, all work on the Wingra alternate shall cease from that point. Wingra Stone land use shall revert to that identified in the Future Land Use Map of the City's Comprehensive Plan (last amended August 2015).
- b. Upon receipt of written notice from the OWNER of such termination for the OWNER's convenience, the FIRM shall:
 1. Cease work as directed by the OWNER in the notice;
 2. Take actions necessary, or that the OWNER may direct, to preserve work performed to date; and
 3. Terminate all existing consultancy agreements or purchase orders.
- c. Upon such termination for convenience, the FIRM shall be entitled to receive payment for work executed, and reasonable costs, as mutually agreed between OWNER and FIRM, incurred by FIRM due to such termination, but in no event including loss of anticipated profits for work not performed.

3.8 Suspension

In the event either party defaults in its obligations under this Agreement (including OWNER'S obligation to make the payments required hereunder), the non-defaulting party may, after 7 days written notice to the other party, suspend performance under this Agreement. Such written notice must state the party's intention to suspend performance under the Agreement if cure of such default is not commenced within such time limit contained in the written notice.

3.9 Insurance

FIRM shall maintain the following minimum insurance coverage/limits:

Comprehensive General Liability: \$1,000,000 occurrence/ \$2,000,000 aggregate

Automobile Liability \$1,000,000 occurrence/ aggregate

Worker's Compensation Statutory
/Employers Liability

Excess Liability \$1,000,000 occurrence/ aggregate

Professional Liability \$1,000,000 occurrence/ \$2,000,000 aggregate

3.10 Hold Harmless And Indemnification

The FIRM acknowledges and agrees that liability for both bodily injury, disability and/or death of FIRM's employees or any other person, or for damages to property caused in any way by the operations of the FIRM under this agreement shall be assumed by the FIRM, and the FIRM shall indemnify and hold OWNER harmless against all claims, actions, proceedings, direct damages and liabilities, including reasonable attorney's fees, arising from or connected with the FIRM's activities in connection with the services provided to the OWNER, including but not limited to, any acts, errors or omissions of the FIRM, its employees, agents, representatives and any other person doing business with the FIRM in connection with this agreement. However, in no event and under no circumstances shall the FIRM be liable to the OWNER for consequential, incidental, indirect, special, or punitive damages as incurred by OWNER due to OWNER'S direct acts and omissions. This section is not to be in conflict with Section 893.80 (4), Wis. Stats.

3.12 Access

Access to private property owned shall be secured by FIRM prior to entry.

3.13 Reuse of Documents

Reuse of any documents pertaining to this PROJECT by the OWNER on extensions of this PROJECT or on any other PROJECT shall be at the OWNER'S risk. The OWNER agrees to defend, indemnify, and hold harmless FIRM from all claims, damages, and expenses, including attorney's fees, arising out of such reuse of the documents by the OWNER or by others acting through the OWNER, except for any damages, claims, and liability arising directly from FIRM negligence. All documents prepared by FIRM for this PROJECT shall become the full ownership and control of the OWNER.

3.14 Amendment

This Agreement, upon execution by both parties hereto, can be amended only by a written instrument signed by both parties.

3.15 Assignment

Except for assignments (a) to entities which control, or are controlled by, the parties hereto or (b) resulting from operation of law, the rights and obligations of this Agreement cannot be assigned by either party without written permission of the other party.

3.16 Entire Agreement

This Agreement constitutes the entire agreement between the parties with respect to the matters covered herein and supersedes all prior discussions, understandings or agreements between the parties with respect to such matters.

3.17 No Waiver

No waiver by either party of any default by the other party in the performance of any particular section of this Agreement shall invalidate any other section of this Agreement or operate as a waiver of any future default, whether like or different in character.

3.18 No Third-Party Beneficiary

Nothing contained in this Agreement, nor the performance of the parties hereunder, is intended to benefit, nor shall inure to the benefit of, any third party, including OWNER'S contractors, if any. The FIRM understands, however, that payment for this project, while under full control and direction of the City, is coming from the Par Fore land owner group, and the payment by Par Fore shall in no way influence the project any more than for a non paying land owner.

3.19 Severability

The various terms, provisions and covenants herein contained shall be deemed to be separate and severable, and the invalidity or unenforceability of any of them shall not affect or impair the validity or enforceability of the remainder.

3.20 Authority

The persons signing this Agreement warrant that they have the authority to sign as, or on behalf of, the party for whom they are signing.

3.21 Notices

Any notice required hereunder shall be sent to the business address designated on the signature page of this Agreement and shall be deemed served if sent by registered or certified mail or hand-delivered to an officer or authorized representative of the party to whom the notice is directed.

3.22 and 3.23 not used

3.24 Laws to be Observed

The FIRM shall at all times observe and comply with all Federal and State Laws and administrative rules, local laws, ordinances, and regulations which in any manner affect the conduct of the PROJECT, and all orders or decrees, as exist at the present time or which may be enacted within the time frame of this agreement of bodies or tribunals having jurisdiction or authority over the PROJECT.

3.25 Affirmative Action

The FIRM agrees that qualified small and minority owned business enterprises shall have the maximum practicable opportunity to participate in the performance of DOT aid-assisted contracts and subcontracts.

In connection with the performance of services under this agreement, the FIRM agrees not to discriminate against any employee or applicant for employment because of age, race, creed, color, religion, handicap, sex, physical condition, marital status, national origin, ancestry, sexual orientation, developmental disability as defined in section 111.01(5), Wis. Stats., arrest record, conviction record, or membership in the National Guard, state defense force, or any other reserve component of the military forces of the United States or the State. This provision shall include, but not be limited to, the following: employment, upgrading, demotion or transfer, recruitment or recruiting advertising, lay-off or termination, rates of pay or other forms of compensation, selection for training, including apprenticeship. The FIRM agrees to post in a conspicuous place available for employees and applicants for employment notices to be provided by the FIRM setting forth the provisions of this non-discrimination clause.

3.26 Professional Services

The FIRM intends to serve as the OWNER'S professional representative for those services as defined in this Agreement and to provide advice and consultation to the OWNER as a professional. Any opinions of probable PROJECT costs, monetary values, approvals, and other decisions made by the FIRM for the OWNER are rendered on the basis of experience and qualifications and present the FIRM's professional judgment.

The FIRM acknowledges and agrees that it is an independent contractor of the City, that its business is independently owned and operated, that nothing in this contract shall be interpreted to cause or result in, directly or indirectly, any principal/agent or employer/employee relationship between the FIRM and the City, and that nothing in this agreement shall in any way whatsoever be construed as an agreement of partnership, general or limited, joint venture, or as an agency relationship, between the City and the FIRM. The FIRM agrees not to represent or advertise in any way that its relationship with the City is other than as provided in this paragraph.

3.27 Disputes

- a. OWNER and FIRM agree to initially attempt mediation regarding any dispute arising between OWNER and FIRM under this Agreement. If mediation fails, OWNER, in its sole discretion, may elect to demand arbitration with FIRM regarding any such dispute. OWNER shall endeavor, whenever possible, to elect arbitration. Such mediation and any arbitration proceedings shall be conducted in accordance with the then current Construction Industry Dispute Resolution procedures of the American Arbitration Association, unless the parties mutually agree otherwise. Such proceedings shall be held in Fitchburg, Wisconsin. At OWNER's option, any such dispute resolution proceeding will be consolidated with related dispute resolution proceedings involving OWNER, FIRM, or any other party. The foregoing Agreement to mediate or arbitrate shall be specifically enforceable under prevailing law. In any arbitration proceeding, the award rendered by the arbitrator shall be final, and judgment may be entered thereupon in accordance with the applicable law in any court having jurisdiction thereof.

- b. Nothing contained in the aforementioned paragraph shall be construed to relieve FIRM of any obligations it may have under Section 893.80, Wis. Stats.

3.28 Contacts

Primary contacts for the project shall be:

OWNER: Thomas D. Hovel
Zoning Administrator/City Planner
(608) 270-4255

FIRM: Jason Valerius
Project Manager
2901 International Lane, Suite 300
Madison, WI 53704

IN WITNESS WHEREOF the parties hereby have made and executed this Agreement.

FIRM:

BY: _____

Date

ATTEST: _____

Date

OWNER:

BY: _____

Stephen L. Arnold, Mayor

Date

ATTEST: _____

Patti Anderson, City Clerk

Date

APPROVED AS TO FORM:

Mark Sewell, City Attorney

Date

Provision has been made to pay the liability that will accrue with this agreement.

Misty Dodge, City's Financial Officer

Date

Steve Arnold, Mayor
Introduced by

Planning
Prepared by

Finance
Referred to

October 21, 2015
Date

**RESOLUTION R-119-15
APPROVING CONTRACT WITH MSA FOR ANTON DRIVE PLANNING STUDY**

WHEREAS, the city has funds allocated funds for an Anton Drive Planning Study to study land use and other planning items west of Verona Road and north of McKee Road due to the intended Verona Road reconstruction, and

WHEREAS, Staff has sent out a Request for Proposal and received four responses and has selected MSA Professional Services, and

WHEREAS, the Finance Committee has reviewed the contract and recommends approval.

NOW, THEREFORE, BE IT HEREBY RESOLVED, that the Common Council hereby approves the contract with MSA Professional Services for the Anton Drive Planning Study in the amount of \$105,800 for basic and public visioning services, and the potential additional amount of \$28,600 for the Wingra alternate.

BE IT FURTHER RESOLVED, that it authorizes the City Planner and City Attorney to negotiate any necessary amendments with MSA, and for the Mayor and City Clerk to sign.

Adopted this ____ day of October, 2015.

Approved: _____
Stephen L. Arnold, Mayor

Attested By: _____
Patti Anderson, City Clerk

City of Fitchburg Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **Oct 27, 2015**
Date to Report Back: **Nov 10, 2015**

Ordinance Number:
Resolution Number: **R-120-15**

Sponsored by: Mayor

Drafted by: Misty Dodge

TITLE: A Resolution Recommending an Audit Firm for the City's 2015
 Audit

Background:

The City is required to perform an external annual audit and issue an annual audited financial report. This resolution authorizes the City's continued agreement with the auditing firm Baker Tilly Virchow Krause.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Finance	Dodge	November 10, 2015	
2				
3				
4				

Amendments:



Baker Tilly Virchow Krause, LLP
Ten Terrace Ct, PO Box 7398
Madison, WI 53707-7398
tel 608 249 6622
fax 608 249 8532
bakertilly.com

December 9, 2013

Ms. Norma DeHaven
City of Fitchburg
5520 Lacy Road
Fitchburg, Wisconsin 53711-5318

Dear Ms. DeHaven:

Thank you for using Baker Tilly Virchow Krause, LLP ("Baker Tilly" "we" or "our") as your auditors.

The purpose of this letter is to confirm our understanding of the terms and objectives of our engagement and the nature of the services we will provide as independent accountants of the City of Fitchburg.

Services and Related Report

We will audit the basic financial statements of the City of Fitchburg as of and for the year ended December 31, 2013, and the related notes to the financial statements. Upon completion of our audit, we will provide the City of Fitchburg with our audit report on the financial statements and supplemental information referred to below. If, for any reasons caused by or relating to the affairs or management of the City of Fitchburg, we are unable to complete the audit or are unable to or have not formed an opinion, or if we determine in our professional judgment the circumstances necessitate, we may withdraw and decline to issue a report as a result of this engagement.

The following supplementary information accompanying the financial statements will also be subjected to the auditing procedures applied in our audit of the financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the financial statements or to the financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America, and our auditor's report will provide an opinion on it in relation to the financial statements as a whole.

Combining Balance Sheet - Nonmajor Governmental Funds
Combining Statement of Revenues, Expenditures and Changes in Fund Balances - Nonmajor
Governmental Funds
Statement of Cash Flows - Component Unit

Ms. Norma DeHaven
City of Fitchburg

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Accounting standards generally accepted in the United States of America provide for certain required supplementary information (RSI), such as management's discussion and analysis (MD&A), to supplement the City of Fitchburg's basic financial statements. Such information, although not a part of the basic financial statements, is required by the Governmental Accounting Standards Board who considers it to be an essential part of financial reporting for placing the basic financial statements in an appropriate operational, economic, or historical context. As part of our engagement, we will apply certain limited procedures to the City of Fitchburg's RSI in accordance with auditing standards generally accepted in the United States of America. These limited procedures will consist of inquiries of management regarding the methods of preparing the information and comparing the information for consistency with management's response to our inquiries, the basic financial statements, and other knowledge we obtained during our audit of the basic financial statements. We will not express an opinion or provide any assurance on the information because the limited procedures do not provide us with sufficient evidence to express an opinion or provide any assurance. The following RSI is required by generally accepted accounting principles and will be subjected to certain limited procedures, but will not be audited:

Management's Discussion and Analysis
Schedule of Revenues, Expenditures and Changes in Fund Balance - Budget and Actual - General Fund

Our Responsibilities and Limitations

The objective of a financial statement audit is the expression of an opinion on the financial statements. We will be responsible for conducting that audit in accordance with auditing standards generally accepted in the United States of America. These standards require that we plan and perform our audit to obtain reasonable, rather than absolute assurance about whether the financial statements are free of material misstatement, whether caused by error or fraud. Our audit will include examining, on a test basis, evidence supporting the amounts and disclosures in the financial statements, assessing accounting principles used and significant estimates made by management, and evaluating the overall financial statement presentation. Our audit does not relieve management and the audit committee or equivalent group charged with governance of their responsibilities.

The audit will include obtaining an understanding of the entity and its environment, including internal control, sufficient to assess the risks of material misstatement of the financial statements and to design the nature, timing and extent of further audit procedures. An audit is not designed to provide assurance on internal control or to identify deficiencies in internal control. However, during the audit, we will communicate to management and the audit committee or equivalent group charged with governance internal control matters that are required to be communicated under professional standards.

We may from time to time, and depending on the circumstances, use service providers (e.g., to observe inventory, act as a specialist, or audit an element of the financial statements) in serving your account. We may share confidential information about you with these service providers, but are committed to maintaining the confidentiality and security of your information.

Ms. Norma DeHaven
City of Fitchburg

December 9, 2013
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We will design our audit to obtain reasonable, but not absolute, assurance of detecting errors or fraud that would have a material effect on the financial statements as well as other illegal acts having a direct and material effect on financial statement amounts. An audit is not designed to detect errors or fraud that are immaterial to the financial statements. Our audit will not include a detailed audit of transactions, such as would be necessary to disclose errors or fraud that did not cause a material misstatement of the financial statements. It is important to recognize that there are inherent limitations in the auditing process. Audits are based on the concept of selective testing of the data underlying the financial statements, which involves judgment regarding the areas to be tested and the nature, timing, extent and results of the tests to be performed. Our audit is not a guarantee of the accuracy of the financial statements and, therefore, is subject to the limitation that material errors or fraud or other illegal acts having a direct and material financial statement impact, if they exist, may not be detected. Because of the characteristics of fraud, particularly those involving concealment through collusion, falsified documentation and management's ability to override controls, an audit designed and executed in accordance with auditing standards generally accepted in the United States of America may not detect a material fraud. Further, while effective internal control reduces the likelihood that errors, fraud or other illegal acts will occur and remain undetected, it does not eliminate that possibility. For these reasons, we cannot ensure that errors, fraud or other illegal acts, if present, will be detected. However, we will communicate to the City of Fitchburg, as appropriate, any such matters identified during our audit.

We are also responsible for determining that the audit committee or equivalent group charged with governance is informed about certain other matters related to the conduct of the audit, including (i) our responsibility under auditing standards generally accepted in the United States of America, (ii) an overview of the planned scope and timing of the audit, and (iii) significant findings from the audit, which include (a) our views about the qualitative aspects of the City of Fitchburg's significant accounting practices, accounting estimates, and financial statement disclosures; (b) difficulties encountered in performing the audit; (c) uncorrected misstatements and material corrected misstatements that were brought to the attention of management as a result of auditing procedures; and (d) other significant and relevant findings or issues (e.g., any disagreements with management about matters that could be significant to the City of Fitchburg's financial statements or our report thereon, consultations with other independent accountants, issues discussed prior to our retention as independent auditors, fraud and illegal acts, and all significant deficiencies and material weaknesses identified during the audit). Lastly, we are responsible for ensuring that the audit committee or equivalent group charged with governance receives copies of certain written communications between us and management including written communications on accounting, auditing, internal control or operational matters and representations that we are requesting from management.

The audit will not be planned or conducted in contemplation of reliance by any specific third party or with respect to any specific transaction. Therefore, items of possible interest to a third party will not be specifically addressed and matters may exist that would be assessed differently by a third party, possibly in connection with a specific transaction.

We will make reference to the audit of the Fitch-Rona EMS District in our report on your financial statements.

Management's Responsibilities

The City of Fitchburg's management is responsible for the financial statements referred to above. In this regard, management is responsible for establishing policies and procedures that pertain to the maintenance of adequate accounting records and effective internal controls over financial reporting, the selection and application of accounting principles, the authorization of receipts and disbursements, the safeguarding of assets, the proper recording of transactions in the accounting records, and for reporting financial information in conformity with accounting principles generally accepted in the United States of America.

Ms. Norma DeHaven
City of Fitchburg

December 9, 2013
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Management is also responsible for the design and implementation of programs and controls to prevent and detect fraud, and for informing us (i) about all known or suspected fraud affecting the entity involving: (a) management, (b) employees who have significant roles in internal control over financial reporting, and (c) others where the fraud or illegal acts could have a material effect on the financial statements; and (ii) of its knowledge of any allegations of fraud or suspected fraud affecting the entity received in communications from employees, former employees, analysts, grantors, regulators, or others.

You are responsible for the preparation of the supplementary information in conformity with accounting principles generally accepted in the United States of America. You agree to include our report on the supplementary information in any document that contains, and indicates that we have reported on, the supplementary information. You also agree to include the audited financial statements with any presentation of the supplementary information that includes our report thereon. Your responsibilities include acknowledging to us in the representation letter that (a) you are responsible for presentation of the supplementary information in accordance with GAAP; (b) that you believe the supplementary information, including its form and content, is fairly presented in accordance with GAAP; (c) that the methods of measurement or presentation have not changed from those used in the prior period (or, if they have changed, the reasons for such changes); and (d) you have disclosed to us any significant assumptions or interpretations underlying the measurement or presentation of the supplementary information.

Management is responsible for (i) adjusting the basic financial statements to correct material misstatements and for affirming to us in a management representation letter that the effects of any uncorrected misstatements aggregated by us during the current engagement and pertaining to the latest period under audit are immaterial, both individually and in the aggregate, to the basic financial statements taken as a whole, and (ii) notifying us of all material weaknesses, including other significant deficiencies, in the design or operation of your internal control over financial reporting that are reasonably likely to adversely affect your ability to record, process, summarize and report external financial data reliably in accordance with accounting principles generally accepted in the United States of America. Management also is responsible for identifying and ensuring that the City of Fitchburg complies with the laws and regulations applicable to its activities.

As part of management's responsibility for the financial statements and the effectiveness of its system of internal control over financial reporting, management is responsible for making available to us, on a timely basis, all of your original accounting records and related information and for the completeness and accuracy of that information and your personnel to whom we may direct inquiries. As required by auditing standards generally accepted in the United States of America, we will make specific inquiries of management and others about the representations embodied in the financial statements and the effectiveness of internal control over financial reporting. Auditing standards generally accepted in the United States of America also require that we obtain written representations covering audited financial statements from certain members of management. The results of our audit tests, the responses to our inquiries, and the written representations, comprise the evidential matter we intend to rely upon in forming our opinion on the financial statements.

Because of the importance of oral and written representations to an effective audit, the City of Fitchburg releases Baker Tilly and its current, former or future partners, principals, employees, and personnel from any and all claims, liabilities, costs and expenses attributable to any misrepresentation by management. The terms of this paragraph shall apply to any claims of any kind, including, but not limited to, contract, tort, or negligence of any party, including the City of Fitchburg or Baker Tilly.

Ms. Norma DeHaven
City of Fitchburg

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Non-Attest Services

Prior to or as part of our audit engagement, it may be necessary for us to perform certain non-attest services including, but not limited to, preparing drafts of your financial statements and proposing general, adjusting, or correcting journal entries to your financial statements. None of these non-attest services constitute an audit under generally accepted auditing standards including *Government Auditing Standards*. You are responsible for reviewing the entries and understanding the nature of any proposed entries and the impact they have on the financial statements. In addition, you will be required to review and approve the financial statements and approve that document prior to its issuance and have a responsibility in fact and appearance to make an informed judgment on that document.

We will not perform any management functions or make management decisions on your behalf with respect to any non-attest services we provide.

In connection with our performance of any non-attest services, you agree that you will:

- > Continue to make all management decisions and perform all management functions, including approving all journal entries and general ledger classifications when they are submitted to you.
- > Designate an employee with suitable skill, knowledge, and/or experience, preferably within senior management, to oversee the services we perform.
- > Evaluate the adequacy and results of the non-attest services we perform.
- > Accept responsibility for the results of our non-attest services.
- > Establish and maintain internal controls, including monitoring ongoing activities related to the non-attest function.

On a periodic basis, as needed, we will meet with you to discuss your accounting records and the management implications of your financial statements. We will notify you, in writing, of any matters that we believe you should be aware of and will meet with you upon request.

In addition to the audit services discussed above, we will compile the annual Financial Report Form to the Wisconsin Department of Revenue. See Addendum A attached, which is an integral part of this engagement letter.

Other Documents

Auditing standards generally accepted in the United States of America require that we read any annual report that contains our audit report. The purpose of this procedure is to consider whether other information in the annual report, including the manner of its presentation, is materially inconsistent with information appearing in the financial statements. We assume no obligation to perform procedures to corroborate such other information as part of our audit.

Ms. Norma DeHaven
City of Fitchburg

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If you intend to reproduce or publish the financial statements, and make reference to our firm name in connection therewith, you agree to publish the financial statements in their entirety. In addition, you agree to provide us, for our approval and consent, proofs before printing and final materials before distribution.

With regard to the electronic dissemination of audited financial statements, including financial statements published electronically on your Internet website, you understand that electronic sites are a means to distribute information and, therefore, we are not required to read the information contained in these sites or to consider the consistency of other information in the electronic site with the original document.

The documentation for this engagement, including the workpapers, is the property of Baker Tilly and constitutes confidential information. We may have a responsibility to retain the documentation for a period of time sufficient to satisfy any applicable legal or regulatory requirements for records retention. If we are required by law, regulation, or professional standards to make certain documentation available to Regulators, the City of Fitchburg hereby authorizes us to do so.

Legal Terms

In no event shall either party be liable for any punitive damages relating to Baker Tilly's services provided under this engagement letter.

Resolution of Disagreements

In the unlikely event that differences concerning our services or fees should arise that are not resolved by mutual agreement, both parties agree to attempt in good faith to settle the dispute. Each party shall bear their own expenses. Our services shall be evaluated on our substantial conformance with the terms expressly set forth herein, including all applicable professional standards.

Timing and Fees

Completion of our work is subject to, among other things, (i) appropriate cooperation from the City of Fitchburg's personnel, including timely preparation of necessary schedules, (ii) timely responses to our inquiries, and (iii) timely communication of all significant accounting and financial reporting matters. When and if for any reason the City of Fitchburg is unable to provide such schedules, information, and assistance, Baker Tilly and you will mutually revise the fee to reflect additional services, if any, required of us to complete the audit. Delays in the issuance of our audit report beyond the date that was originally contemplated may require us to perform additional auditing procedures which will likely result in additional fees.

Changes to our audit procedures resulting in increased hours and expense could result from the current credit crisis and economic conditions. Examples of issues we have seen include unexpected asset impairment analysis, liquidity and going concern evaluations, debt covenant violations, inventory lower of cost or market declines, customer credit risk issues, and increased risk of employee fraud, to name a few. If these issues or others are identified which increase our level of service effort and cause revisions in the scope of our work, we will discuss these with you before incurring additional time and effort. We will, of course, solicit the efforts of you and your staff to minimize the impact these incremental efforts will have on the fees.

Revisions to the scope of our work due to delays in the issuance of the audit report or increased procedures as a result of the current credit crisis and economic conditions will be set forth in the form of an "Amendment to Existing Engagement Letter."

Ms. Norma DeHaven
City of Fitchburg

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Fees for our audit services will be at our regular rates plus out-of-pocket expenses. Invoices for these fees will be rendered each month as work progresses and are payable on presentation. A charge of 1.5% per month shall be imposed on accounts not paid within 30 days of receipt of our statement for services provided. In accordance with our firm policies, work may be suspended if your account becomes 30 days or more overdue and will not be resumed until your account is paid in full. If we elect to terminate our services for nonpayment, our engagement will be deemed to have been completed upon written notice of termination, even if we have not completed our report. You will be obligated to compensate us for all time expended and to reimburse us for all out-of-pocket expenditures through the date of termination.

We may use temporary contract staff to perform certain tasks on your engagement and will bill for that time at the rate that corresponds to Baker Tilly staff providing a similar level of service. Upon request, we will be happy to provide details on training, supervision, and billing arrangements we use in connection with these professionals.

Our fees are based on known circumstances at the time of this agreement. Should circumstances change significantly during the course of this engagement, we will discuss with you the need for any revised audit fees. This can result from changes at your organization, such as the turnover of key accounting staff, the addition of new funds or significant federal or state programs, or changes that affect the amount of audit effort from external sources, such as new accounting and auditing standards that become effective that increase the scope of our audit procedures. This agreement currently includes all auditing standards through Statement on Auditing Standards (SAS) No. 127 – "Omnibus Statement on Auditing Standards - 2013," all accounting standards through Governmental Accounting Standards Board (GASB) No. 66 – "Technical Corrections - 2012 - an amendment of GASB Statement No. 10 and No. 62," and the current federal and state single audit guidance.

We would expect to continue to perform our services under the arrangements discussed above from year to year, unless for some reason you or we find that some change is necessary. We will, of course be happy to provide the City of Fitchburg with any other services you may find necessary or desirable.

Other Matters

Baker Tilly is owned by professionals who hold CPA licenses as well as by professionals who are not licensed CPAs. Depending on the nature of the services we provide, non-CPA owners may be involved in providing services to you now or in the future.

Any additional services that may be requested and we agree to provide will be the subject of separate arrangements.

Because the services we provide may prove to be useful to the City of Fitchburg in situations where the City of Fitchburg is involved in investigations or litigation that does not involve Baker Tilly, our assistance may be necessary. Therefore, in the event we are requested or authorized by the City of Fitchburg, or required by government regulation, subpoena, or other legal process to produce our working papers or our personnel as witnesses with respect to our engagement for the City of Fitchburg, the City of Fitchburg will, so long as we are not a party to the proceeding in which the information is sought, reimburse us for our reasonable professional time and expenses, as well as the reasonable fees and expenses of our counsel, incurred in responding to such a request.

Ms. Norma DeHaven
City of Fitchburg

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Neither this engagement letter, any claim, nor any rights or licenses granted hereunder may be assigned, delegated, or subcontracted by either party without the written consent of the other party. Either party may assign and transfer this engagement letter to any successor that acquires all or substantially all of the business or assets of such party by way of merger, consolidation, other business reorganization, or the sale of interest or assets, provided that the party notifies the other party in writing of such assignment and the successor agrees in writing to be bound by the terms and conditions of this engagement letter.

Baker Tilly Virchow Krause, LLP represents as follows: Baker Tilly Virchow Krause, LLP is a member of Baker Tilly International Limited. Each member firm of Baker Tilly International Limited is a separate and independent legal entity. Baker Tilly International Limited and its other members are not responsible or liable for any acts or omissions of Baker Tilly Virchow Krause, LLP. Baker Tilly Virchow Krause, LLP and its subsidiaries are not responsible for or liable for any acts or omissions of any other member of Baker Tilly International Limited. Baker Tilly International Limited does not render any professional services and does not have an ownership or partnership interest in Baker Tilly Virchow Krause, LLP.

Baker Tilly Virchow Krause, LLP further represents: Baker Tilly International Limited is an English Company. Neither Baker Tilly International Limited nor any other member firm has a right to exercise management control over any other member firm. Baker Tilly Virchow Krause, LLP is not Baker Tilly International Limited's agent and does not have authority to bind Baker Tilly International Limited or act on Baker Tilly International Limited's behalf.

This engagement letter reflects the entire agreement between us relating to the services covered by this letter. It replaces and supersedes any previous proposals, correspondence, and understandings, whether written or oral. The agreement contained in this engagement letter shall survive the completion or termination of this engagement. If because of a change in the City of Fitchburg's status or due to any other reason, any provision in this agreement would be prohibited by, or would impair our independence under, laws, regulations or published interpretations by governmental bodies, commissions, or other regulatory agencies, such provision shall, to that extent, be of no further force and effect and this agreement shall consist of the remaining portions.

The validity, construction and enforcement of this engagement letter shall be determined in accordance with the laws of the State of Wisconsin, without reference to its conflicts of laws principles, and any action arising under this engagement letter shall be brought exclusively in the State of Wisconsin.

We appreciate the opportunity to be of service to the City of Fitchburg.

Ms. Norma DeHaven
City of Fitchburg

December 9, 2013
Page 9

If there are any questions regarding the engagement letter, please contact Vicki Hellenbrand, the engagement partner on this engagement who is responsible for the overall supervision and review of the engagement and for determining that the engagement has been completed in accordance with professional standards. Vicki Hellenbrand is available at 608 240 2387.

Sincerely,

BAKER TILLY VIRCHOW KRAUSE, LLP

Baker Tilly Virchow Krause, LLP

Enclosures

The services and terms as set forth in the engagement letter are agreed to by:

Norma DeHaven
Official's Name

Norma DeHaven
Official's Signature

FINANCE DIRECTOR
Title

12-9-13
Date

ADDENDUM A

We will perform the following services:

1. We will compile, from information you provide, the annual Financial Report Form to the Wisconsin Department of Revenue, for the year ended December 31, 2013. Upon completion of the compilation of the annual Financial Report Form, we will provide the city with our accountants' compilation report. If, for any reason caused by or relating to affairs or management of the city, we are unable to complete the compilation or if we determine in our professional judgment the circumstances necessitate, we may withdraw and decline to submit the annual Financial Report Form to you as a result of this engagement.

Our report on the annual Financial Report Form of the City of Fitchburg is presently expected to read as follows:

We have compiled the 2013 Financial Report Form C for the year ended December 31, 2013 included in the accompanying prescribed form. We have not audited or reviewed the Financial Report Form C included in the accompanying prescribed form and, accordingly, do not express an opinion or any assurance about whether the Financial Report Form C is in accordance with the form prescribed by the Wisconsin Department of Revenue.

Management is responsible for the preparation and fair presentation of the Financial Report Form C included in the form prescribed by the Wisconsin Department of Revenue and for designing, implementing, and maintaining internal control relevant to the preparation and fair presentation of the Financial Report Form C.

Our responsibility is to conduct the compilation in accordance with *Statements on Standards for Accounting and Review Services* issued by the American Institute of Certified Public Accountants. The objective of a compilation is to assist management in presenting financial information in the form of the Financial Report Form C without undertaking to obtain or provide any assurance that there are no material modifications that should be made to the Financial Report Form C.

The Financial Report Form C included in the accompanying prescribed form is presented in accordance with the requirements of the Wisconsin Department of Revenue, and is not intended to be a presentation in accordance with accounting principles generally accepted in the United States of America.

This report is intended solely for the information and use of the Wisconsin Department of Revenue and is not intended to be and should not be used by anyone other than this specified party.

Our Responsibilities and Limitations

We will be responsible for performing the compilation in accordance with *Statements on Standards for Accounting and Review Services* established by the American Institute of Certified Public Accountants. The objective of a compilation is to assist management in presenting financial information in the form of financial statements. We will utilize information that is the representation of management without undertaking to obtain or provide any assurance that there are no material modifications that should be made to the financial statements in order for the statements to be in conformity with accounting principles generally accepted in the United States of America.

Our engagement cannot be relied upon to disclose errors, fraud, or other illegal acts that may exist and, because of the limited nature of our work, detection is highly unlikely. However, we will inform the appropriate level of management of any material errors, and of any evidence that fraud may have occurred. In addition, we will report to you any evidence or information that comes to our attention during the performance of our compilation procedures regarding illegal acts that may have occurred, unless they are clearly inconsequential. We have no responsibility to identify and communicate deficiencies in your internal control as part of this engagement.

Management's Responsibilities

The city's management is responsible for the financial statements referred to above. In this regard, management is responsible for (i) the preparation and fair presentation of the financial statements in accordance with accounting principles generally accepted in the United States of America, (ii) designing, implementing, and maintaining internal control relevant to the preparation and fair presentation of the financial statements, (iii) preventing and detecting fraud, (iv) identifying and ensuring that the entity complies with the laws and regulations applicable to its activities, and (v) making all financial records and related information available to us. Management also is responsible for identifying and ensuring that the city complies with the laws and regulation applicable to its activities.

Management is responsible for providing us with the information necessary for the compilation of the financial statements and the completeness and the accuracy of that information and for making city personnel available to whom we may direct inquiries regarding the compilation. We may make specific inquiries of management and others about the representations embodied in the financial statements.



Pre-Approval Request # 1026

Item Description: 12/31/15 Audit Services

Date: 10/15/2015

Rationale for Purchase:

Each year the City is required to perform an external annual audit. Some preliminary work is completed prior to the end of the year but the bulk of the service is provided in the following year. There are two new services included this year: preparation of a CAFR (discretionary) and a new GASB pronouncement (required).

Department: Finance
 Contact Person: Misty Dodge

Budget Amount: \$42,000 + \$18,000
 Budget Page Ref: TBD
 Funds Available: \$42,000 + \$18,000

Estimate/Quote/Bids Solicitations:

None

Estimates/Quotes/Bids Received:

Vendor	Description	Amount	Notes
Baker Tilly Virchow Krause LLP	Financial Audit Services	\$ 55,100.00	includes financial, utilities, and additional services

Recommended Vendor: Baker Tilly Vendor #: 83

Rationale for Recommendation or Sole Source:

Attach W-9 if a new vendor

This is the same audit firm that we have used for several years (at least since 1987) so they are familiar with our organization, our processes, and our financial reporting. The last time the City issued an RFP was in 2004. In 2013 the City signed a new engagement letter continuing the contract.

PURCHASE ORDER INFORMATION

Vendor Address :

Baker Tilly Virchow Krause, LLP
 10 Terrace Court; PO Box 7398
 Madison, WI 53707-7398

City Ship To Information:

City of Fitchburg
 5520 Lacy Road
 Fitchburg, WI 53711

QTY	UNIT PRICE	DESCRIPTION	VIN/BID LINES	AMOUNT	GL ACCOUNT	GL Actv #
		Financial Audit - General		36,050.00	100-5139-212	
	Add-on	Fixed Asset Maintenance		1,000.00	100-5139-212	
	New	CAFR Preparation		350.00	100-5139-212	
		Form C/Tax 16		750.00	100-5139-212	
	New	New GASB 68 Implementation		250.00	100-5139-212	
	Add-on	PSC Report Preparation		2,000.00	600-5923-100	
		Financial Audit - Utilities		4,866.67	600-5923-100	
	New	New GASB 68 Implementation		33.33	600-5923-100	
		Financial Audit - Utilities		4,866.67	600-5852-200	
	New	New GASB 68 Implementation		33.33	600-5852-200	
		Financial Audit - Utilities		4,866.67	601-5923-300	
	New	New GASB 68 Implementation		33.33	601-5923-300	

TOTAL: 55,100.00

Budget Amendment Needed? No *if budget amendment needed include memo to explain and request authority
 Disposition of previous item? n/a *if sold other than through auction, Finance Committee approval needed

Approvals - Initial and Date

Dept Head: MED 10-16 Finance Dir: MED 10-20-15 Committee: _____
 Administrator: PWA 10-20-15 (Fin Comm > \$25K; Council \$50K+)
 QA (Finance): KP 10/19 Mayor: DA 10-20-2015 Council: _____

**City of Fitchburg
 Audit Fee Tracking
 2015 Audit (primarily done 2016)**

<u>General City</u>	<u>Quote</u>
Financial Audit - General	36,050.00
Fixed Asset Maintenance	1,000.00
MD&A Preparation	-
CAFR Preparation	350.00
Form C/Tax 16	750.00
New GASB 68 Implementation	250.00
Single Audit	-
Subtotal	<u>38,400.00</u>
including new items	2.5%
apples-to-apples	0.9%

<u>Utilities</u>	
Financial Audit - Utilities	14,600.00
New GASB 68 Implementation	100.00
PSC Report Preparation	2,000.00
Subtotal	<u>16,700.00</u>
including new items	1.8%
apples-to-apples	1.2%

Subtotal Annual Audit	<u>55,100.00</u>
including new items	2.3%
apples-to-apples	1.0%

<u>Special Audits</u>	
TID #6 2nd 40% Audit	-
TID #7 Final Audit	-
Subtotal	<u>-</u>

Total	<u><u>55,100.00</u></u>
-------	-------------------------

100-5139-212	38,400.00
600-5923-100	6,900.00
600-5852-200	4,900.00
601-5923-300	4,900.00
406-5732-002	-
Total by G/L Account	<u><u>55,100.00</u></u>

check	-
-------	---

Mayor Steve Arnold
Introduced by

Misty Dodge
Prepared by

Finance Committee
Referred to

October 27, 2015
Date

RESOLUTION R-120-15

A RESOLUTION RECOMMENDING AN AUDIT FIRM FOR THE CITY'S 2015 AUDIT

WHEREAS, the City is required to undergo an annual external audit of our financial records and issue an audited financial report; and

WHEREAS, details of the recommended agreement for services is outlined on the attached pre-approval form; and

NOW BE IT HEREBY RESOLVED, By the Fitchburg Common Council that it approves Baker Tilly Virchow Krause, LLP as the audit firm for the City's 2015 audit and authorizes \$55,100 for these services to be paid as outlined on the attached pre-approval form.

Adopted this _____ day of _____, 20____.

Patti Anderson, City Clerk

Stephen L. Arnold, Mayor

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **October 27, 2015** Ordinance Number:
Date to Report Back: **Nov 24, 2015** Resolution Number: **R-121-15**

Sponsored by: Mayor Drafted by: Public Works

**TITLE: Approving Grant of Highway Easement to Wisconsin
Department of Transportation (WisDOT) Over the Military
Ridge Path Corridor at County PD/McKee Road**

Background: This resolution grants a Highway and Temporary Limited Easement across the Military Ridge Path corridor to WisDOT for the reconstruction work that they are doing on McKee Road as part of the Verona Road – Stage 2 improvements. The McKee Road improvements include the road expansion and sidewalks.

Attached is a map, titled “Parcel 1”, which illustrates the location for the easements. The Highway Easement document and Purchase Agreement document have also been included in the packet.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Board of Public Works	Horton	November 2, 2015	
2	Plan Commission	Hovel	November 17, 2015	
3	Finance	Dodge	November 24, 2015	
4				

Amendments:

LEGEND

- PROPERTY LINE
- TEMPORARY LIMITED EASEMENT (TLE)
- HIGHWAY EASEMENT (HE)

SCALE, FEET 0 15 30

CITY OF FITCHBURG

TLE = 4,884 SF

HE = 2,096 SF

MILITARY RIDGE PATH

COUNTY PD/MCKEE ROAD

EXISTING R/W (TYP.)
SLOPE INTERCEPT (TYP.)

PARCEL 1

US 18/151 (VERONA ROAD)
STAGE 2, CTH PD TO RAYMOND ROAD
DESIGN I.D. 1206-07-05
PROJECT PLAT NO: 1206-07-25

HIGHWAY EASEMENT

Wisconsin Department of Transportation
RE1565 04/2015 Exempt from fee: s.77.25(2r) Wis. Stats.

THIS EASEMENT, made by **City of Fitchburg, a Wisconsin municipal corporation** GRANTOR, conveys an easement, as described below, for highway purposes to the **State of Wisconsin, Department of Transportation**, GRANTEE, for the sum of **One Dollar and Other Valuable Considerations (\$ 1.00)**

Any person named in this easement may make an appeal from the amount of compensation within six months after the date of recording of this easement as set forth in s.32.05(2a) Wisconsin statutes. For the purpose of any such appeal, the amount of compensation stated on the easement shall be treated as the award, and the date the easement is recorded shall be treated as the date of taking and the date of evaluation.

Other persons having an interest of record in the property: None

This **is not** homestead property.

LEGAL DESCRIPTION IS ATTACHED AND MADE A PART OF THIS DOCUMENT BY REFERENCE.

This space is reserved for recording data

Return to
Laura H.S. Sadler
TerraVenture Advisors
4641 West Forest Home Ave
Milwaukee, WI 53219

Parcel Identification Number/Tax Key Number
225/0609-064-9740-1, 225/0609-071-8516-6

City of Fitchburg, a Wisconsin municipal corporation

Signature Date

By: _____
Print Name, Title

Signature Date

By: _____
Print Name, Title

Signature Date

Print Name

Signature Date

Print Name

Date

State of Wisconsin
_____) ss.
County

On the above date, this instrument was acknowledged before me by the named person(s).

Signature, Notary Public, State of Wisconsin

Print Name, Notary Public, State of Wisconsin

Date Commission Expires



Project ID
1206-07-25

This instrument was drafted by
Wisconsin Department of Transportation

Parcel No.
1

LEGAL DESCRIPTION

Parcel 1 of Transportation Project Plat 1206-07-25 - 4.02 recorded as Document No. 5099029, at the Register of Deeds office in Dane County, Wisconsin.

Property interests and rights of said Parcel 1 consist of:

HIGHWAY EASEMENT

This highway easement includes the right to ingress and egress to construct and maintain McKee Road roadway and sidewalk.

TEMPORARY LIMITED EASEMENT

Also, Parcel 1 of Transportation Project Plat 1206-07-25 - 4.03 recorded as Document No. 5099030, at the Register of Deeds office in Dane County, Wisconsin.

Property interests and rights of said Parcel 1 consist of:

HIGHWAY EASEMENT

This highway easement includes the right to ingress and egress to construct and maintain McKee Road roadway and sidewalk.

TEMPORARY LIMITED EASEMENT

Also, Parcel 1 of Transportation Project Plat 1206-07-25 - 4.07 recorded as Document No. 5099046, at the Register of Deeds office in Dane County, Wisconsin.

Property interests and rights of said Parcel 1 consist of:

HIGHWAY EASEMENT

This highway easement includes the right to ingress and egress to construct and maintain McKee Road roadway and sidewalk.

TEMPORARY LIMITED EASEMENT

Any interests or rights not listed above for said parcels but shown as required on said Transportation Project Plats are hereby incorporated herein by reference.

AGREEMENT FOR PURCHASE AND SALE OF REAL ESTATE - SHORT FORM

Wisconsin Department of Transportation
RE1895 04/2015

THIS AGREEMENT, made and entered into by and between City of Fitchburg, a Wisconsin municipal corporation, hereinafter called Seller, and the State of Wisconsin, Department of Transportation, hereinafter called WisDOT. If accepted, this offer can create a legally enforceable contract. Both parties should read this document carefully and understand it before signing.

Seller and WisDOT agree that WisDOT is purchasing this property for highway or other transportation related purposes, within the meaning of Chapter 84 of the Wisconsin Statutes.

Seller warrants and represents to WisDOT that Seller has no notice or knowledge of any of the following:

- 1) Planned or commenced public improvements which may result in special assessments which would otherwise materially affect the property, other than the planned transportation facility for which WisDOT is purchasing this property;
- 2) Government agency or court order requiring repair, alteration, or correction of any existing condition;
- 3) Shoreland or special land use regulations affecting the property; and,
- 4) Underground storage tanks and the presence of any dangerous or toxic materials or conditions affecting the property.

DESCRIPTION: The Seller agrees to sell and WisDOT agrees to buy, upon the terms and conditions hereinafter named, the following described real estate situated in Dane County, Wisconsin:

Legal description is attached hereto and made a part hereof by reference.

The purchase price of said real estate shall be the sum of One Dollar and other good and valuable consideration, (\$1.00 & OVC) ~~payable in full by check at closing.~~

~~General taxes shall be prorated at the time of closing based on the net general taxes for the current year, if known, otherwise on the net general taxes for the preceding year.~~

Seller shall, ~~upon payment of purchase price,~~ convey the property by warranty deed or other conveyance provided herein, free and clear of all liens and encumbrances, including special assessments, except recorded public utility easements and recorded restrictions on use running with the land or created by lawfully enacted zoning ordinances and N/A, provided none of the foregoing prohibit present use.

Legal possession of premises shall be delivered to WisDOT on the date of closing.

Physical occupancy of property shall be given to WisDOT on the date of closing. ~~Seller may not occupy property after closing unless a separate lease agreement is entered into between WisDOT and Seller.~~

SPECIAL CONDITIONS: The parties to this agreement acknowledge that the Wisconsin Department of Transportation is receiving this conveyance as a donation. Should seller appeal from the amount of compensation pursuant to S. 32.05(2a), Wisconsin Statutes, then the parties hereto agree that the value of the property described herein for purposes of such appeal shall be fair market value which has been determined by the parties to be the fair market value of the property based on appraisal. The appraisal valued the property at \$7,900.00. This interest acquired by this donation is a Temporary Limited Easement of 4,884 square feet and Highway Easement of 2,096 square feet.

This agreement is binding upon acceptance by WisDOT as evidenced by the signature of an authorized representative of WisDOT. If this agreement is not accepted by WisDOT within 30 days after Seller's signature, this agreement shall be null and void.



Project ID
1206-07-25

Parcel No.
1

LEGAL DESCRIPTION

Parcel 1 of Transportation Project Plat 1206-07-25 - 4.02 recorded as Document No. 5099029, at the Register of Deeds office in Dane County, Wisconsin.

Property interests and rights of said Parcel 1 consist of:

HIGHWAY EASEMENT

This highway easement includes the right to ingress and egress to construct and maintain McKee Road roadway and sidewalk.

TEMPORARY LIMITED EASEMENT

Also, Parcel 1 of Transportation Project Plat 1206-07-25 - 4.03 recorded as Document No. 5099030, at the Register of Deeds office in Dane County, Wisconsin.

Property interests and rights of said Parcel 1 consist of:

HIGHWAY EASEMENT

This highway easement includes the right to ingress and egress to construct and maintain McKee Road roadway and sidewalk.

TEMPORARY LIMITED EASEMENT

Also, Parcel 1 of Transportation Project Plat 1206-07-25 - 4.07 recorded as Document No. 5099046, at the Register of Deeds office in Dane County, Wisconsin.

Property interests and rights of said Parcel 1 consist of:

HIGHWAY EASEMENT

This highway easement includes the right to ingress and egress to construct and maintain McKee Road roadway and sidewalk.

TEMPORARY LIMITED EASEMENT

Any interests or rights not listed above for said parcels but shown as required on said Transportation Project Plats are hereby incorporated herein by reference.

Steve Arnold, Mayor
Introduced by

Public Works
Prepared by

Plan Commission, Board of Public
Works, Finance Committee
Referred to

October 27, 2015
Date

RESOLUTION R-121-15
**Approving Grant of Highway Easement to Wisconsin Department of
Transportation (WisDOT) Over the Military Ridge Path Corridor at County
PD/McKee Road**

WHEREAS, WisDOT has requested a Highway Easement (HE) and Temporary Limited Easement (TLE) across the Military Ridge Path corridor at the intersection with McKee Road to accommodate the reconstruction work that they are completing as part of the Verona Road – Stage 2 project, and

WHEREAS, the improvements to McKee Road include the addition of travel lanes in each direction, an 8-ft wide sidewalk on the south side, and a 5-ft wide sidewalk on the north side, and

WHEREAS, the HE provides benefit to Fitchburg by maintaining bicycle and pedestrian accommodations along McKee Road and maintaining connections to the Military Ridge Path, and

WHEREAS, because of the mutual benefits received by the HE, the easements will be granted to WisDOT at no cost.

NOW, THEREFORE, BE IT HEREBY RESOLVED, by the Fitchburg Common Council that it approves granting a Highway Easement and Temporary Limited Easement to the Wisconsin Department of Transportation across the Military Ridge Path corridor at the intersection with McKee Road at no cost.

BE IT FURTHER RESOLVED, that it authorizes the City Clerk and Mayor to sign the Agreement for Purchase and Sale of Real Estate – Short Form and the Highway Easement drafted by the Wisconsin Department of Transportation.

Adopted this _____ day of _____, 2015.

Stephen L. Arnold, Mayor

Approved:

Patti Anderson, City Clerk

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
 Direct Referral Approved by:

Date Referred: **October 27, 2015** Ordinance Number: 2015-O-XX
 Date to Report Back: **November 24, 2015** Resolution Number:

Sponsored by: Mayor Drafted by: Planning / Zoning

TITLE: Rezone Request, RZ-2080-15, by Ronald Klaas, Agent for Fahey Land, LLC, to Rezone a Portion of Lot 2 CSM 9896 from the A-T (Transitional Agriculture) District to the A-X (Small Lot Agriculture), a Portion to the P-R (Parks & Recreation), a Portion to the R-H (Residential – High Density) and a Portion to the R-LM (Residential – Low to Medium Density) Districts

Background: Applicant is requesting approval for to rezone lot 2 CSM 9896 out of agriculture to various districts. A map showing the proposed district boundaries is included in the submittal materials.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	November 17, 2015	
2				

Amendments:



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

Rec. 10363 9/23/15
REZONING APPLICATION *RB*

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the A-T district to the _____ district the following described property: R-LM, R-H, A-T

1. Location of Property/Street Address: West of McGaw Park, South of Waterford Glen and East of Fitch. Tech Camp

Legal Description - (Metes & Bounds, or Lot No. And Plat):

See attached

***Also submit in electronic format (MS WORD or plain text) by email to: planning@fitchburgwi.gov

2. Proposed Use of Property - Explanation of Request:

Property will be used as a single and multi-family use subdivision with areas set aside for park and stormwater management.

3. Proposed Development Schedule: 2016-2019

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@fitchburgwi.gov. Additional information may be requested.

Type of Residential Development (If Applicable): Single and Multi-Family

Total Dwelling Units Proposed: 115 **No. Of Parking Stalls:** _____

Type of Non-residential Development (If Applicable): _____

Proposed Hours of Operation: NA **No. Of Employees:** NA

Floor Area: NA **No. Of Parking Stalls:** NA

Sewer: Municipal Private **Water:** Municipal Private

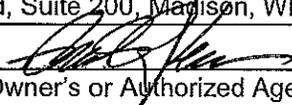
Current Owner of Property: Fahey Land, LLC

Address: 702 N. High Point Road, Suite 200, Madison, WI 53717 **Phone No:** 608 235-9220

Contact Person: Tony Heinrichs

Email: tonyheinrichs@aol.com

Address: 702 N. High Point Road, Suite 200, Madison, WI 53717 **Phone No:** 608 235-9220

Respectfully Submitted By:  *RONALD R. KLAAS*
 Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 9/22/2015 **Publish:** _____ and _____
Ordinance Section No. _____ **Fee Paid:** \$580.00
Permit Request No. RZ-2080-15

R-HFAHEY FIELDS - ZONING DESCRIPTIONS

LANDS TO BE ZONED A-S (SMALL LOT AGRICULTURE)

Part of Lot 2, Certified Survey Map No. 9896, recorded in Volume 57 of Certified Survey Maps on pages 237-238 as Document Number 3271318 and lands located in the NE1/4 and the NW1/4 of the SE1/4 and the SW1/4 of the NE1/4 of Section 15, T6N, R9E, City of Fitchburg, Dane County, Wisconsin to-wit: Beginning at the East 1/4 corner of said Section 15; thence S01°03'52"W, 296.08 feet; thence S87°29'16"W, 2653.06 feet; thence N00°27'55"E, 295.90 feet; thence N87°32'50"E, 624.57 feet; thence N87°28'11"E, 608.18 feet; thence N38°03'41"E, 29.06 feet to a point of curve; thence Easterly along a curve to the left which has a radius of 85.00 feet and a chord which bears N87°02'28"E, 38.09 feet; thence S51°56'19"E, 34.35 feet; thence N87°28'11"E, 1340.33 feet to the point of beginning. Containing 18.018 acres.

LANDS TO BE ZONED P-R (PARKS AND RECREATION)

Part of Lot 2, Certified Survey Map No. 9896, recorded in Volume 57 of Certified Survey Maps on pages 237-238 as Document Number 3271318 and lands located in the SW1/4 and the SE1/4 of the NE1/4 of Section 15, T6N, R9E, City of Fitchburg, Dane County, Wisconsin to-wit: Beginning at the East 1/4 corner of said Section 15; thence S87°28'11"W, 311.64 feet; thence N02°31'49"W, 320.00 feet; thence S87°28'11"W, 163.00 feet; thence N02°31'49"W, 354.00 feet; thence S87°28'11"W, 975.21 feet; thence N00°11'51"E, 20.02 feet; thence N87°28'11"E, 974.26 feet; thence N02°31'49"W, 176.28 feet to a point of curve; thence Northerly along a curve to the left which has a radius of 300.00 feet and a chord which bears N08°11'33"W, 59.20 feet; thence N72°56'53"E, 163.47 feet; thence N17°03'07"W, 320.00 feet; thence S72°56'53"W, 163.00 feet; thence N17°03'07"W, 36.48 feet; thence S86°57'59"W, 509.01 feet; thence S03°02'01"E, 143.00 feet; thence S86°57'59"W, 55.32 feet to a point of curve; thence Southwesterly along a curve to the left which has a radius of 150.00 feet and a chord which bears S64°13'24"W, 115.98 feet; thence S41°28'49"W, 40.37 feet; thence N48°31'11"W, 114.85 feet to a point of curve; thence Northwesterly along a curve to the right which has a radius of 250.00 feet and a chord which bears N31°18'01"W, 148.02 feet; thence S75°55'09"W, 122.86 feet to a point of curve; thence Southwesterly along a curve to the left which has a radius 150.00 feet and a chord which bears S58°41'59"W, 88.81 feet; thence S41°28'49"W, 5.10 feet; thence N48°31'11"W, 121.21 feet; thence S86°57'59"W, 44.58 feet; thence S41°28'49"W, 133.36 feet; thence S33°57'48"W, 93.40 feet; thence S09°44'32"W, 98.34 feet; thence S00°11'51"W, 315.00 feet; thence S22°07'14"W, 121.63 feet; thence N62°31'19"W, 16.41 feet; thence N00°11'51"E, 744.04 feet; thence N86°42'47"E, 31.86 feet; thence S76°29'03"E, 4.04 feet; thence N86°57'59"E, 1378.91 feet; thence S17°03'07"E, 47.93 feet; thence N86°57'59"E, 603.25 feet; thence S00°10'56"W, 1304.90 feet to the point of beginning. Containing 18.415 acres.

LANDS TO BE ZONED R-H(HIGH DENSITY)

Part of Lot 2, Certified Survey Map No. 9896, recorded in Volume 57 of Certified Survey Maps on pages 237-238 as Document Number 3271318 and lands located in the SW1/4 and the SE1/4 of the NE1/4 of Section 15, T6N, R9E, City of Fitchburg, Dane County, Wisconsin to-wit: Commencing at the East 1/4 corner of said Section 15; thence S87°28'11"W, 1157.06 feet to the point of beginning; thence continuing S87°28'11"W, 183.27 feet; thence N51°56'19"W, 34.35 feet to a point of curve; thence Westerly along a curve to the right which has a radius of 85.00 feet and a chord which bears S87°02'28"W, 38.09 feet; thence S38°03'41"W, 29.06 feet; thence S87°28'11"W, 608.18 feet; thence N00°11'51"E, 590.58 feet; thence S62°31'19"E, 16.41 feet; thence N22°07'17"E, 121.63 feet; thence N00°11'51"E, 120.00 feet; thence S89°48'09"E, 163.00 feet; thence S00°11'51"W, 4.72 feet; thence S89°48'09"E, 326.00 feet; thence S00°11'51"W, 226.78 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 200.00 feet and a chord which bears S19°07'46"W, 129.78 feet; thence S38°03'41"W, 5.79 feet; thence S51°56'19"E, 305.00 feet; thence N38°03'41"E, 63.00 feet; thence S51°56'19"E, 130.45 feet to a point of curve; thence Southeasterly along a curve to the left which has a radius of 150.00 feet and a chord which bears S61°44'42"E, 51.10 feet; thence S18°26'55"W, 183.08 feet to the point of beginning. Containing 12.015 acres.

LANDS TO BE ZONED R-LM (RESIDENTIAL LOW TO MEDIUM)

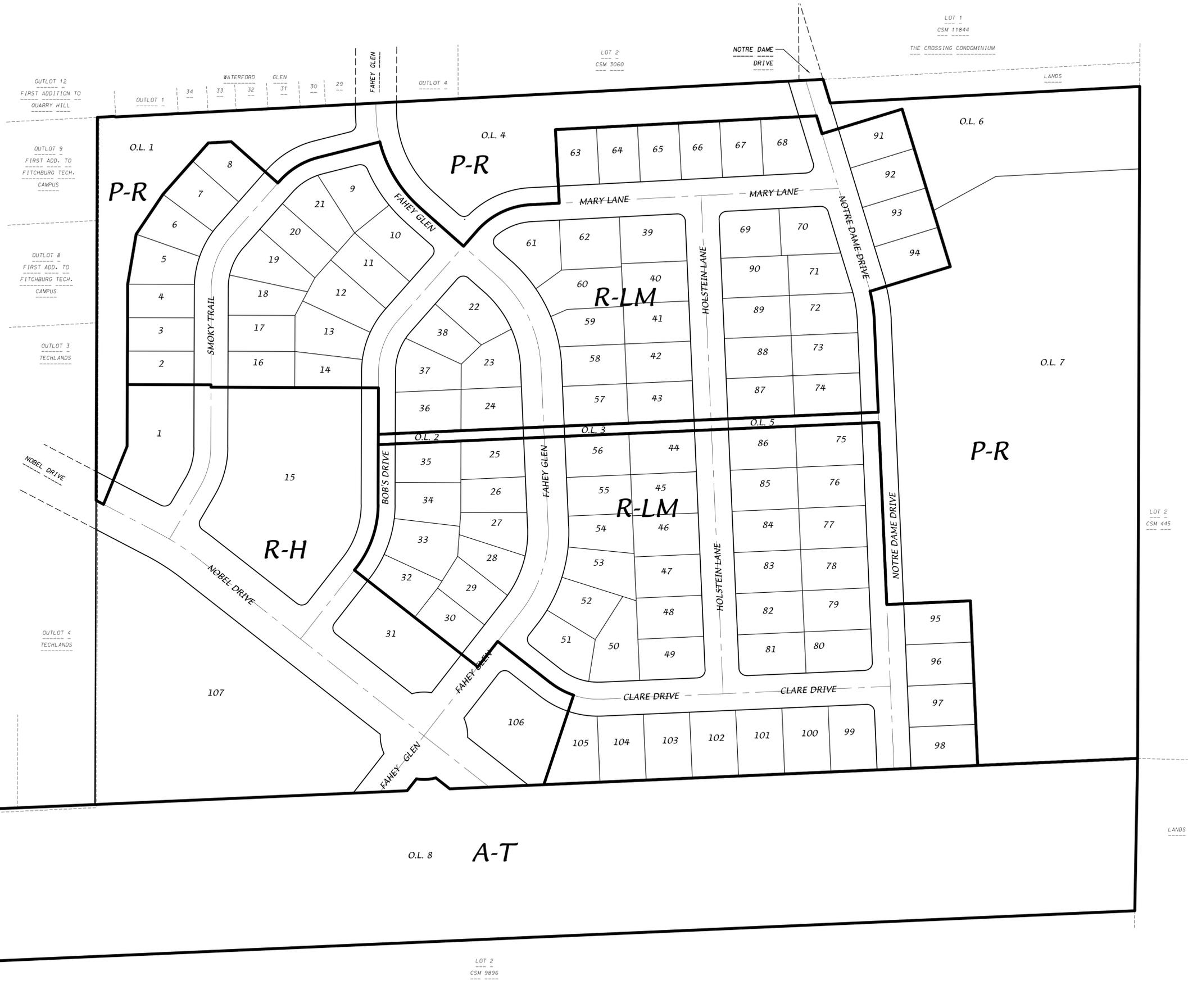
Part of Lot 2, Certified Survey Map No. 9896, recorded in Volume 57 of Certified Survey Maps on pages 237-238 as Document Number 3271318 and lands located in the SW1/4 and the SE1/4 of the NE1/4 of Section 15, T6N, R9E, City of Fitchburg, Dane County, Wisconsin to-wit: Commencing at the East 1/4 corner of said Section 15; thence S87°28'11"W, 311.64 feet to the point of beginning; thence continuing S87°28'11"W, 845.42 feet; thence N18°26'55"E, 183.08 feet to a point of curve; thence Northwesterly along a curve to the right which has a radius of 150.00 feet and a chord which bears N61°44'42"W, 51.10 feet; thence N51°56'19"W, 130.45 feet; thence S38°03'41"W, 63.00 feet; thence N51°56'19"W, 305.00 feet; thence N38°03'41"E, 5.79 feet to a point of curve; thence Northeasterly along a curve to the left which has a radius of 200.00 feet and a chord which bears N19°07'46"E, 129.78 feet; thence N00°11'51"E, 116.53 feet; thence N87°28'11"E, 975.21 feet; thence N02°31'49"W, 20.00 feet; thence S87°28'11"W, 974.26 feet; thence N00°11'51"E, 90.23 feet; thence N89°48'09"W, 326.00 feet; thence N00°11'51"E, 4.72 feet; thence N89°48'09"W, 163.00 feet; thence N00°11'51"E, 195.00 feet; thence N09°44'32"E, 98.34 feet; thence N33°57'48"E, 93.40 feet; thence N41°28'49"E, 133.36 feet; thence N86°57'59"E, 44.58 feet; thence S48°31'11"E, 121.21 feet; thence N41°28'49"E, 5.10 feet to a point of curve; thence Northeasterly along a curve to the right which has a radius of 150.00 feet and a chord which bears N58°41'59"E, 88.81 feet; thence N75°55'09"E, 122.86 feet to a point of curve; thence Southeasterly along a curve to the left which has a radius of 250.00 feet and a chord which bears S31°18'01"E, 148.02 feet; thence S48°31'11"E, 114.85 feet; thence N41°28'49"E, 40.37 feet to a point of curve; thence Northeasterly along a curve to the right which has a radius of 150.00 feet and a chord which bears N64°13'24"E, 115.98 feet; thence N86°57'59"E, 55.32 feet; thence N03°02'01"W, 143.00 feet; thence N86°57'59"E, 509.01 feet; thence S17°03'07"E, 36.48 feet; thence N72°56'53"E, 163.00 feet; thence S17°03'07"E, 320.00 feet; thence S72°56'53"W, 163.47 feet to a point of curve; thence Southerly along a curve to the right which has a radius of 300.00 feet and a chord which bears S08°11'33"E, 59.20 feet; thence S02°31'49"E, 550.28 feet; thence N87°28'11"E, 163.00 feet; thence S02°31'49"E, 320.00 feet to the point of beginning. Containing 31.429 acres.



SCALE: 1" = 100'
 0 100

DATE: 09-22-15
 REVISED:
 x

FN: 14-07-113
 Sheet Number:
 1 of 1



City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **October 27, 2015**
Date to Report Back: **November 24, 2015**

Ordinance Number:
Resolution Number: R-XX-15

Sponsored by: Mayor

Drafted by: Planning / Zoning

TITLE: Final Plat Request, FP-2081-15, by Ron Klaas, Agent for Fahey Land, LLC, for the Final Plat of Fahey Fields

Background: Applicant is requesting approval for the final plat of Fahey Fields.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	November 17, 2015	
2				

Amendments:



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

Rec. 10363 9/23/15

LAND DIVISION APPLICATION *RB*

The undersigned owner, or owner's authorized agent, of property herein described hereby submits ten (10) copies of the attached maps, one (1) copy no larger than 11" x 17", and one (1) pdf document of the complete submittal (planning@fitchburgwi.gov) for approval under the rules and requirements of the Fitchburg Land Division Ordinance.

1. Type of Action Requested:
- Certified Survey Map Approval
 - Preliminary Plat Approval
 - Final Plat Approval
 - Replat
 - Comprehensive Development Plan Approval

2. Proposed Land Use (Check all that Apply):

- Single Family Residential
- Two-Family Residential
- Multi-Family Residential
- Commercial/Industrial

3. No. of Parcels Proposed: 115

4. No. Of Buildable Lots Proposed: 107

5. Zoning District: Existing: A-T Proposed: R-LM, R-H, A-T

6. Current Owner of Property: Fahey Land, LLC

Address: 702 N. High Point Road, Suite 200, Madison, WI 53717 Phone No: 608 235-9220

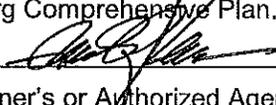
7. Contact Person: Tony Heinrichs

Email: tonyheinrichs@aol.com

Address: same as above Phone No: same as above

8. Submission of legal description in electronic format (MS Word or plain text) by email to: planning@fitchburgwi.gov

Pursuant to Section 24-2 (4) of the Fitchburg Land Division Ordinance, all Land Divisions shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

Respectfully Submitted By: 
 Owner's or Authorized Agent's Signature

RONALD R. KLAS
 Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: 9/22/2015

Ordinance Section No. _____ Fee Paid: \$13,210.⁰⁰

Permit Request No. FP-2081-15

FAHEY FIELDS - LEGAL DESCRIPTION

Part of Lot 2, Certified Survey Map No. 9896, recorded in Volume 57 of Certified Survey Maps on pages 237-238 as Document Number 3271318 and lands located in the SW1/4 and the SE1/4 of the NE1/4 and in the NE1/4 and the NW1/4 of the SE1/4 of Section 15, T6N, R9E, City of Fitchburg, Dane County, Wisconsin to-wit:

Beginning at the East 1/4 corner of said Section 15; thence S01°03'52"W, 296.08 feet along the East line of said SE1/4; thence S87°29'16"W, 2653.06 feet to the West line of said SE1/4; thence N00°27'55"E, 295.90 feet to the South line of TechLands; thence N87°32'50"E, 624.57 feet along said South line to the Southeast corner of Outlot 4, said TechLands; thence N00°11'51"E, 1334.63 feet along the East line of said Techlands and the East line of Outlot 8 and Outlot 9, First Addition to Fitchburg Technology Campus to the Northeast corner of said Outlot 9; thence N86°42'47"E, 31.85 feet along the South line Outlot 12, said First Addition to Fitchburg Technology Campus to the Southeast corner of said Outlot 12; thence S76°29'03"E, 4.04 feet to the Southwest corner of Outlot 1, Waterford Glen; thence N86°57'59"E, 1378.91 feet along the South line of Waterford Glen and the South line of Lot 2, Certified Survey Map No. 3060; thence S17°03'07"E, 47.93 feet; thence N86°57'59"E, 603.25 feet to the East line of said NE1/4; thence S00°10'56"W, 1304.90 feet along said East line also being the West line of Lot 2, Certified Survey Map No. 445 to the point of beginning. Containing 3,479,442 square feet (79.877 acres).

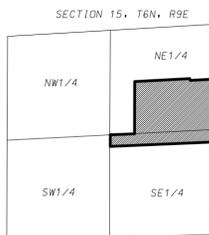
FAHEY FIELDS

PART OF LOT 2, CERTIFIED SURVEY MAP NO. 9896 AND LANDS LOCATED IN THE SW1/4 AND THE SE1/4 OF THE NE1/4 AND IN THE NE1/4 AND THE NW1/4 OF THE SE1/4 OF SECTION 15, T6N, R9E, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

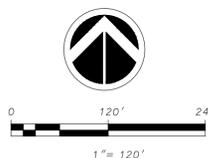
There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

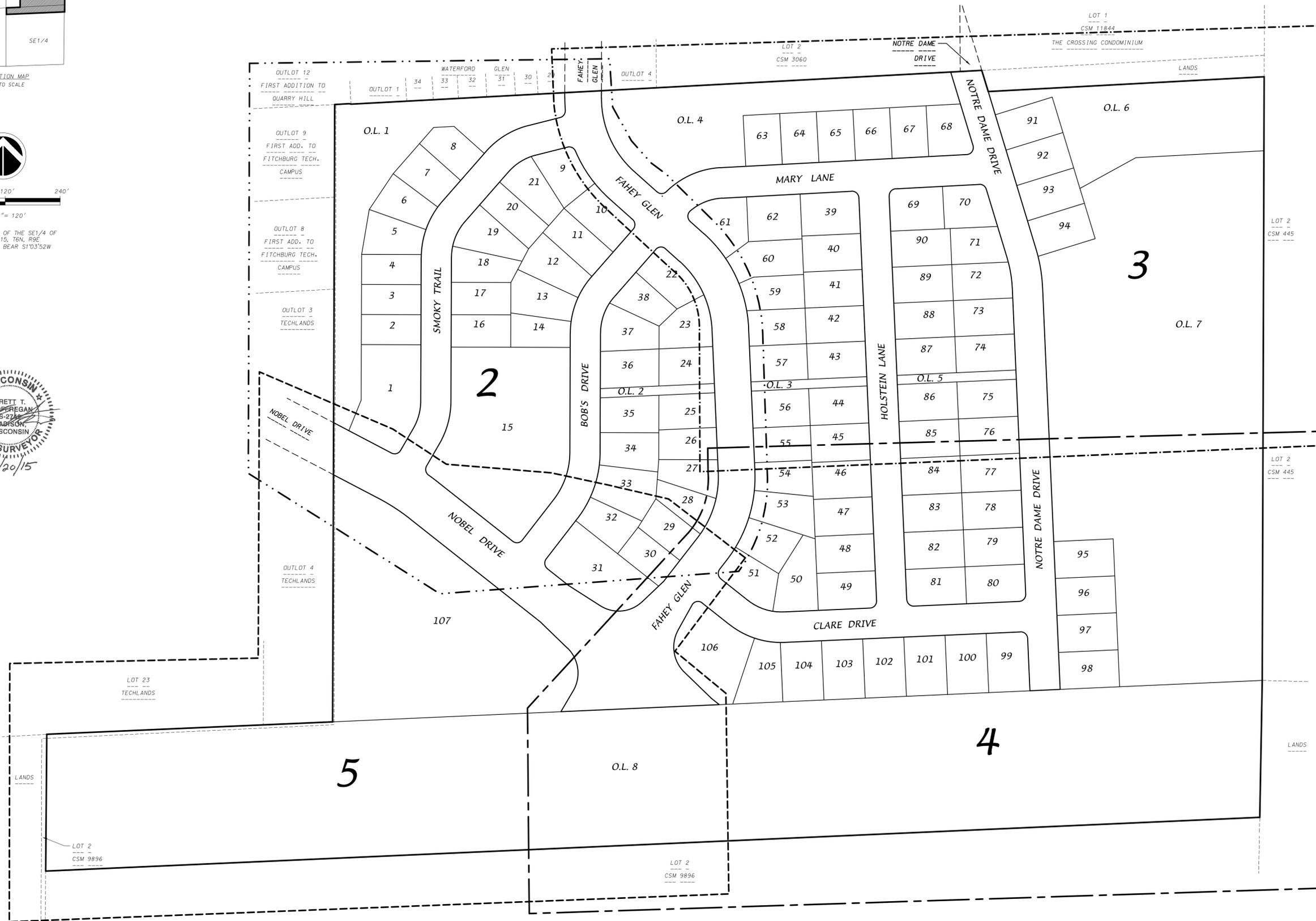
Department of Administration



LOCATION MAP
NOT TO SCALE



THE EAST LINE OF THE SE1/4 OF SECTION 15, T6N, R9E ASSUMED TO BEAR S1°03'52"W



D'ONOFRIO KOTTKE AND ASSOCIATES, INC.

7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089

YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

FN: 14-07-113

FAHEY FIELDS

PART OF LOT 2, CERTIFIED SURVEY MAP NO. 9896 AND LANDS LOCATED IN THE SW1/4 AND THE SE1/4 OF THE NE1/4 AND IN THE NE1/4 AND THE NW1/4 OF THE SE1/4 OF SECTION 15, T6N, R9E, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

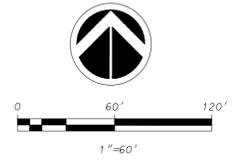
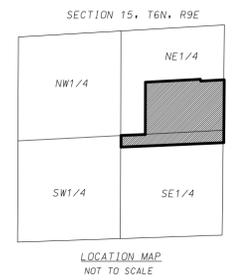
Department of Administration



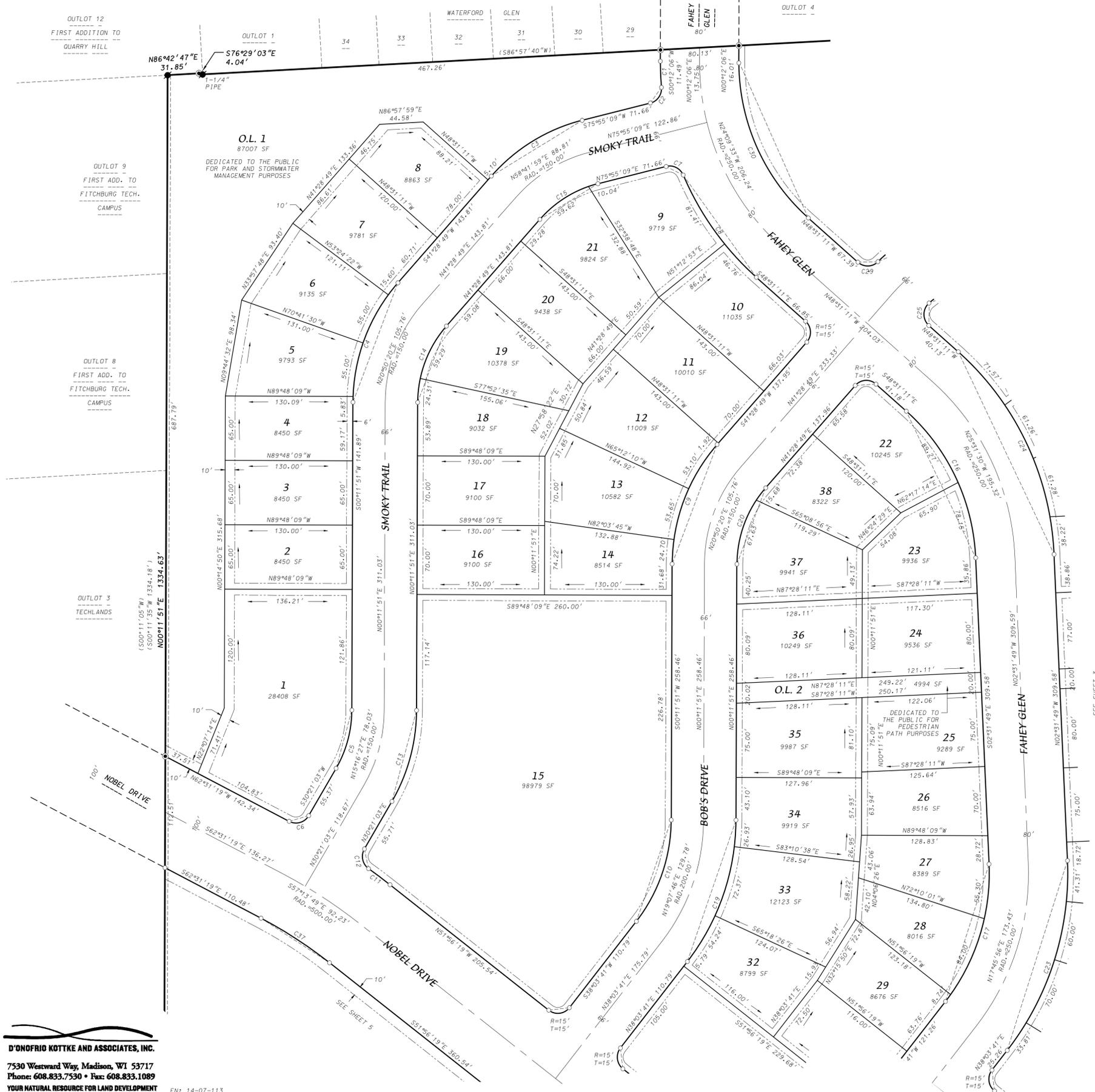
- NOTES
1. Outlots 1 and 4 are dedicated to the public for stormwater management and park purposes.
 2. Outlot 6 is dedicated to the public for stormwater management purposes.
 3. Outlots 2, 3 and 5 are dedicated to the public for pedestrian path purposes.
 4. Outlot 7 is dedicated to the public for park purposes.
 5. Distances shown along curves are chord lengths.



- LEGEND
- ⊙ Found 1" Iron Pipe (unless noted)
 - Found 3/4" Iron Rebar (unless noted)
 - Placed 1-1/4" x 18" solid round iron rebar stake, weighing 4.30 lbs/ft. All other lot and outlot corners are marked with 3/4" x 18" solid round iron rebar stakes, weighing 1.50 lbs/ft.
 - Public utility easement (6' wide unless otherwise dimensioned). Utility easements as herein set forth are for the use of PUBLIC BODIES and PRIVATE PUBLIC UTILITIES having the right to serve the area.
 - () Recorded as information
 - Arrows indicate the direction of surface drainage swale at individual property lines. Said drainage swale shall be graded with the construction of each principal structure and maintained by the lot owner unless modified with the approval of the City Engineer.



THE EAST LINE OF THE SE1/4 OF SECTION 15, T6N, R9E ASSUMED TO BEAR S103°52'W



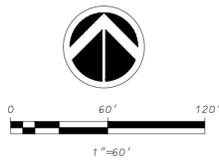
D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

FN: 14-07-113

FAHEY FIELDS

PART OF LOT 2, CERTIFIED SURVEY MAP NO. 9896 AND LANDS LOCATED IN THE SW1/4 AND THE SE1/4 OF THE NE1/4 AND IN THE NE1/4 AND THE NW1/4 OF THE SE1/4 OF SECTION 15, T6N, R9E, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

FOUND BRASS CAP
MONUMENT
NORTHEAST CORNER
SEC. 15 T6N, R9E



THE EAST LINE OF THE SE1/4 OF SECTION 15, T6N, R9E ASSUMED TO BEAR S103°52'W

LEGEND

- ⊙ Found 1" Iron Pipe (unless noted)
- Found 3/4" Iron Rebar (unless noted)
- Placed 1-1/4" x 18" solid round iron rebar stake, weighing 4.30 lbs/ft. All other lot and outlet corners are marked with 3/4" x 18" solid round iron rebar stakes, weighing 1.50 lbs/ft.
- ▬ Public utility easement (6' wide unless otherwise dimensioned). Utility easements as herein set forth are for the use of PUBLIC BODIES and PRIVATE PUBLIC UTILITIES having the right to serve the area.
- () Recorded as Information
- Arrows indicate the direction of surface drainage swale at individual property lines. Said drainage swales shall be graded with the construction of each principal structure and maintained by the lot owner unless modified with the approval of the City Engineer.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration



D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

FN: 14-07-113

FAHEY FIELDS

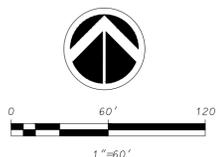
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There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



THE EAST LINE OF THE SE1/4 OF SECTION 15, T6N, R9E ASSUMED TO BEAR S103°52'W



LOT 2
CSM 445

500'0.56' W 1304.30'
(N00°11'16" E)
(S02°08'51" W)

501'03.52' W 296.08'
(S03°02'05" W)

LANDS

O.L. 8
783577 SF
RESERVED FOR FUTURE DEVELOPMENT

LOT 2
CSM 9896

LEGEND

- ⊙ Found 1" Iron Pipe (unless noted)
- Found 3/4" Iron Rebar (unless noted)
- Placed 1-1/4" x 18" solid round iron rebar stake, weighing 4.30 lbs/ft. All other lot and outlot corners are marked with 3/4" x 18" solid round iron rebar stakes, weighing 1.50 lbs/ft.
- Public utility easement (6' wide unless otherwise dimensioned). Utility easements as herein set forth are for the use of PUBLIC BODIES and PRIVATE PUBLIC UTILITIES having the right to serve the area.
- () Recorded as information
- Arrows indicate the direction of surface drainage swale at individual property lines. Said drainage swale shall be graded with the construction of each principal structure and maintained by the lot owner unless modified with the approval of the City Engineer.

FOUND MAG NAIL
SOUTHEAST CORNER
SEC. 15 T6N, R9E

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

FN: 14-07-113

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration

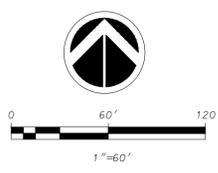


FAHEY FIELDS

PART OF LOT 2, CERTIFIED SURVEY MAP NO. 9896 AND LANDS LOCATED IN THE SW1/4 AND THE SE1/4 OF THE NE1/4 AND IN THE NE1/4 AND THE NW1/4 OF THE SE1/4 OF SECTION 15, T6N, R9E, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

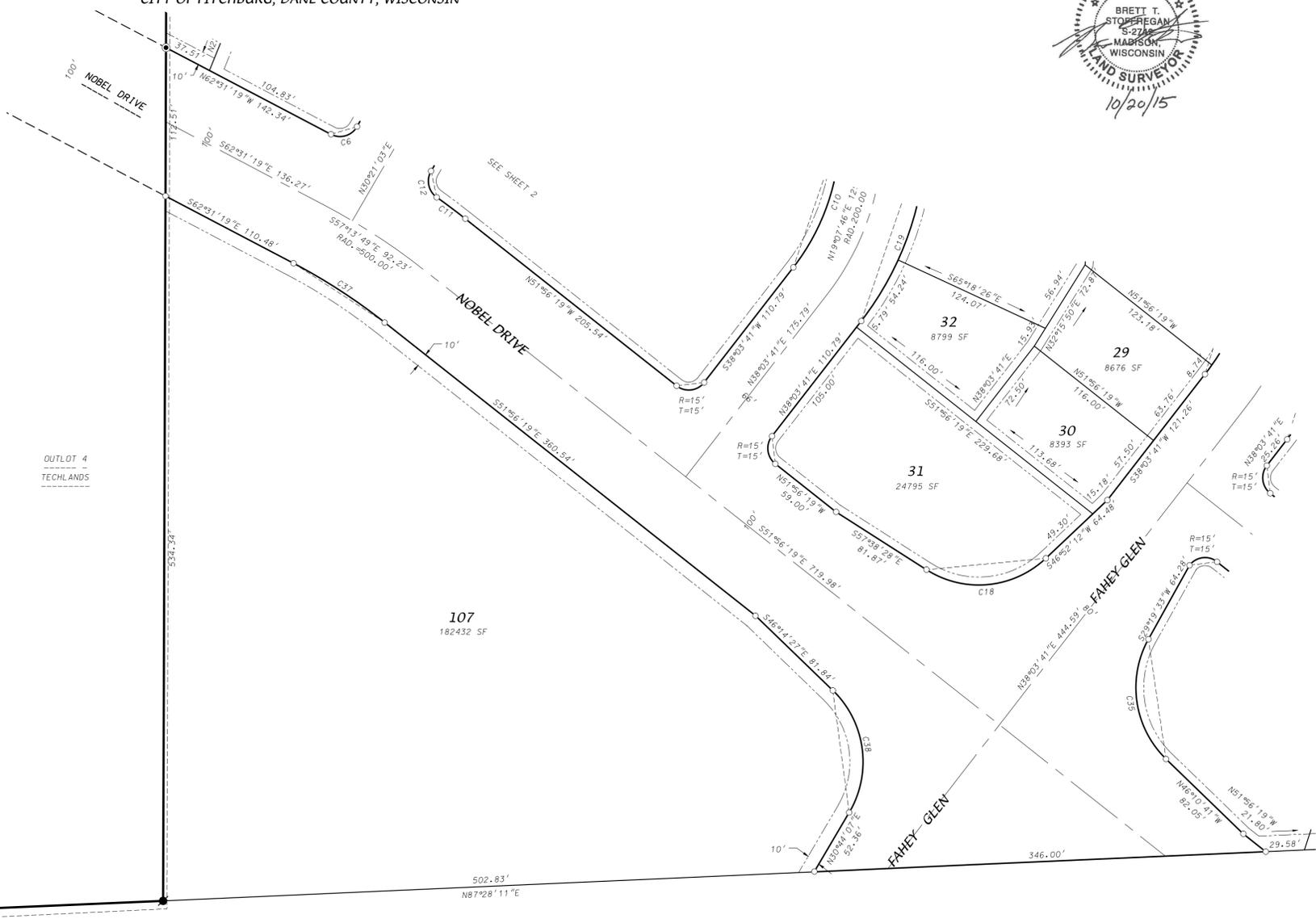
WISCONSIN
 BRETT T. STOPFEREGAN
 S-274
 MADISON, WISCONSIN
 LAND SURVEYOR
 10/20/15

- LEGEND**
- ⊙ Found 1" Iron Pipe (unless noted)
 - Found 3/4" Iron Rebar (unless noted)
 - Placed 1-1/4" x 18" solid round iron rebar stake, weighing 4.30 lbs/ft. All other lot and outlot corners are marked with 3/4" x 18" solid round iron rebar stakes, weighing 1.50 lbs/ft.
 - ▬ Public utility easement (6' wide unless otherwise dimensioned). Utility easements as herein set forth are for the use of PUBLIC BODIES and PRIVATE PUBLIC UTILITIES having the right to serve the area.
 - () Recorded as information
 - Arrows indicate the direction of surface drainage swale at individual property lines. Said drainage swale shall be graded with the construction of each principal structure and maintained by the lot owner unless modified with the approval of the City Engineer.



THE EAST LINE OF THE SE1/4 OF SECTION 15, T6N, R9E ASSUMED TO BEAR S103°52'W

LOT 23
 TECHLANDS



LANDS

N00°27'55"E 295.90'

LOT 2
 CSM 9896

O.L. 8
 783577 SF
 RESERVED FOR FUTURE DEVELOPMENT

LOT 2
 CSM 9896

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

FN: 14-07-113

FAHEY FIELDS

PART OF LOT 2, CERTIFIED SURVEY MAP NO. 9896 AND LANDS LOCATED IN THE SW1/4 AND THE SE1/4 OF THE NE1/4 AND IN THE NE1/4 AND THE NW1/4 OF THE SE1/4 OF SECTION 15, T6N, R9E, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



CURVE TABLE

CURVE NUMBER	LOT	RADIUS (FEET)	CHORD (FEET)	ARC (FEET)	CHORD BEARING	CENTRAL ANGLE	TANGENT BEARING
1		290.00	26.45	26.46	S02°24'44"E	005°13'40"	OUT=S05°01'34"E
2		15.00	19.47	21.19	S35°26'47.5"W	080°56'43"	
3		183.00	108.35	110.00	S58°41'59"W	034°26'20"	
5		183.00	129.02	131.86	S20°50'20"W	041°16'58"	
7		183.00	15.60	15.61	S39°02'12"W	004°53'14"	
6		183.00	55.00	55.21	S27°57'02"W	017°17'06"	
5		183.00	55.00	55.21	S10°39'56"W	017°17'06"	
4		183.00	5.83	5.83	S01°06'37"W	001°49'32"	
6		117.00	60.87	61.57	S15°16'27"W	030°09'12"	
7		15.00	19.47	21.19	S63°36'29"E	080°56'44"	
8		290.00	127.43	128.48	S35°49'39"E	025°23'04"	
9		183.00	129.02	131.86	S20°50'20"W	041°16'58"	
12		183.00	53.10	53.29	S33°08'19"W	016°41'00"	
13		183.00	53.65	53.85	S16°22'02"W	016°51'34"	
14		183.00	24.70	24.72	S04°04'03"W	007°44'24"	
10		167.00	108.36	110.36	S19°07'46"W	037°51'50"	
11		550.00	27.23	27.24	N53°21'26"W	002°50'14"	OUT=N54°46'33"W
12		15.00	20.29	22.29	N12°12'45"W	085°07'36"	
13		183.00	95.20	96.31	N15°16'27"E	030°09'12"	
14		117.00	82.49	84.30	N20°50'20"E	041°16'58"	
18		117.00	24.31	24.35	N06°09'38"E	011°55'34"	
19		117.00	59.29	59.95	N26°48'07"E	029°21'24"	
15		117.00	69.27	70.33	N58°41'59"E	034°26'20"	
21		117.00	59.62	60.28	N56°14'24"E	029°31'10"	
9		117.00	10.04	10.05	N73°27'34"E	004°55'10"	
16		210.00	164.07	168.56	S25°31'30"E	045°59'22"	
22		210.00	89.27	89.95	S36°14'55"E	024°32'32"	
23		210.00	78.15	78.61	S13°15'14"E	021°26'50"	
17		210.00	145.68	148.78	S17°45'56"W	040°35'30"	
27		210.00	55.30	55.46	S05°02'10"W	015°07'58"	
28		210.00	84.00	84.57	S24°08'22"W	023°04'26"	
29		210.00	8.74	8.74	S36°52'08"W	002°23'06"	
18		25.00	93.88	101.43	S84°36'52"W	077°29'20"	
19		233.00	151.19	153.98	N19°07'46"E	037°51'50"	
32		233.00	54.24	54.37	N31°22'37"E	013°22'08"	
33		233.00	72.37	72.67	N15°45'28"E	017°52'10"	
34		233.00	26.93	26.94	N03°30'37"E	006°37'32"	
20		117.00	82.49	84.30	N20°50'20"E	041°16'58"	
37		117.00	67.63	68.61	N16°59'47"E	033°35'52"	
38		117.00	15.68	15.69	N37°38'16"E	007°41'06"	
21		15.00	21.31	23.69	S47°46'55"E	090°30'12"	
22		117.00	81.17	82.89	N72°14'04"W	040°35'30"	
50		117.00	23.34	23.38	N86°48'21"W	011°26'56"	
51		117.00	58.87	59.51	N66°30'36"W	029°08'34"	
23		290.00	201.18	205.45	N17°45'56"E	040°35'30"	
51		290.00	33.81	33.83	N34°43'09"E	006°41'04"	
52		290.00	70.00	70.17	N24°26'43"E	013°51'48"	
53		290.00	60.00	60.11	N11°34'32"E	011°52'34"	
54		290.00	41.31	41.34	N01°33'13"E	008°10'04"	
24		290.00	226.57	232.77	N25°31'30"W	045°59'22"	
58		290.00	38.22	38.25	N06°18'31"W	007°33'24"	
59		290.00	61.28	61.40	N16°09'08"W	012°07'50"	
60		290.00	61.26	61.38	N28°16'51"W	012°07'36"	
61		290.00	71.57	71.75	N41°25'55"W	014°10'32"	
25		15.00	22.68	25.72	N00°36'10"E	098°14'42"	OUT=N49°43'31"E
26		117.00	74.72	76.05	N68°20'45"E	037°14'28"	
27		15.00	23.64	27.23	S34°57'26"W	104°01'06"	
28		183.00	128.92	131.75	S66°20'30"W	041°14'58"	OUT=S45°43'01"W
29		15.00	20.41	22.45	S88°35'55"W	085°45'48"	
30		210.00	173.24	178.57	N24°09'32.5"W	048°43'17"	
31		15.00	21.12	23.43	N42°13'05"E	089°29'48"	
32		15.00	18.47	19.89	S55°02'34"E	075°58'54"	
33		267.00	67.49	67.67	S09°47'28"E	014°31'18"	
71		267.00	9.49	9.49	S16°02'02"E	002°02'10"	
72		267.00	58.07	58.18	S08°46'23"E	012°29'08"	
34		333.00	84.17	84.40	N09°47'28"W	014°31'18"	
94		333.00	67.54	67.66	N08°21'04"W	011°38'30"	
94		333.00	16.74	16.74	N15°36'43"W	002°52'48"	
35		75.00	89.75	96.22	N08°25'34"W	073°30'14"	
36		183.00	126.95	129.65	S72°14'04"E	040°35'30"	
106		183.00	62.34	62.64	S61°44'42"E	019°36'46"	
105		183.00	56.93	57.17	S80°30'02"E	017°53'54"	
104		183.00	9.84	9.84	N89°00'36"E	003°04'50"	
37		450.00	83.00	83.12	S57°13'49"E	010°35'00"	
38		75.00	93.35	100.76	S07°45'10"E	076°58'34"	

LEGAL DESCRIPTION

I, Brett T. Stoffregan, Registered Land Surveyor S-2742 do hereby certify that in full compliance with the provisions of Chapter 236 of the Wisconsin State Statutes and the Subdivision Regulations of the City of Madison, and under the direction of the owners listed below, I have surveyed, divided and mapped "Fahey Fields" and that such plat correctly represents all the exterior boundaries and the subdivision of the land surveyed as is described as follows:

Part of Lot 2, Certified Survey Map No. 9896, recorded in Volume 57 of Certified Survey Maps on pages 237-238 as Document Number 3271318 and lands located in the SW1/4 and the SE1/4 of the NE1/4 and in the NE1/4 and the NW1/4 of the SE1/4 of Section 15, T6N, R9E, City of Fitchburg, Dane County, Wisconsin to-wit: Beginning at the East 1/4 corner of said Section 15; thence S01°03'52"W, 296.08 feet along the East line of said SE1/4; thence S87°29'16"W, 2653.06 feet to the West line of said SE1/4; thence N00°27'55"E, 295.90 feet to the South line of TechLands; thence N87°32'50"E, 624.57 feet along said South line to the Southeast corner of Outlot 4, said TechLands; thence N00°11'51"E, 1334.63 feet along the East line of said TechLands and the East line of Outlot 8 and Outlot 9, First Addition to Fitchburg Technology Campus to the Northeast corner of said Outlot 9; thence N86°42'47"E, 31.85 feet along the South line of Outlot 12, said First Addition to Fitchburg Technology Campus to the Southeast corner of said Outlot 12; thence S76°29'03"E, 4.04 feet to the Southwest corner of Outlot 1, Waterford Glen; thence N86°57'59"E, 1378.91 feet along the South line of Waterford Glen and the South line of Lot 2, Certified Survey Map No. 3060; thence S17°03'07"E, 47.93 feet; thence N86°57'59"E, 603.25 feet to the East line of said NE1/4; thence S00°10'56"W, 1304.90 feet along said East line also being the West line of Lot 2, Certified Survey Map No. 445 to the point of beginning, Containing 3,479,442 square feet (79.877 acres).

Dated this 20th day of October, 2015.

Brett T. Stoffregan, Professional Land Surveyor S-2742



OWNER'S CERTIFICATE

Fahey Land, LLC a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Fahey Land, LLC does further certify that this plat is required by S236.10 or S236.12 Wisconsin Statutes to be submitted to the following agencies for approval or objection:

Department of Administration
Common Council, City of Fitchburg
Dane County Zoning and Land Regulation Committee

In witness whereof, Fahey Land, LLC has caused these presents to be signed by its official officer(s) of said limited liability company at Madison, Wisconsin this _____ day of _____, 2015.

Fahey Land, LLC

STATE OF WISCONSIN
COUNTY OF DANE) S.S

Personally came before me this _____ day of _____, 2015, the above named officer(s) of the above named Fahey Land, LLC to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

My Commission expires _____ Notary Public, Dane County, Wisconsin

MADISON COMMON COUNCIL CERTIFICATE

Resolved that the plat of "Fahey Fields" located in the City of Fitchburg, was hereby approved by Resolution Number, adopted this _____ day of _____, 2015 and further resolved that the conditions of said approval were fulfilled on this _____ day of _____, 2015 and that said resolution further provided the acceptance of those lands and rights dedicated by said "Fahey Fields" for public use.

Patti Anderson, City Clerk, City of Fitchburg, Dane County, Wisconsin

COUNTY TREASURER'S CERTIFICATE

I, Adam Gallagher, being the duly elected, qualified, and acting treasurer of the County of Dane, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or special assessments as of this _____ day of _____, 2014 affecting the land included in "Fahey Fields".

Adam Gallagher, Treasurer, Dane County, Wisconsin

CITY OF FITCHBURG TREASURER'S CERTIFICATE

I, _____, being the duly appointed, qualified, and acting Treasurer of the City of Fitchburg, Dane County, Wisconsin, do hereby certify that, in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of this _____ day of _____, 2015 on any of the lands included in the plat of "Fahey Fields".

_____, City Treasurer, City of Fitchburg, Dane County, Wisconsin

REGISTER OF DEEDS CERTIFICATE

Received for recording this _____ day of _____, 2015 at _____ o'clock _____ M., and recorded in Volume _____ of Plats on Pages _____ as Document Number _____.

Kristi Chlebowski, Dane County Register of Deeds

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **October 27, 2015**

Ordinance Number:

Date to Report Back:

Resolution Number: R-XX-15

Sponsored by: Mayor

Drafted by: Planning / Zoning

TITLE: Comprehensive Development Plan Amendment Request, CDP(A)-2085-15, by Jim Spahr of Lionshare Group, Agent for William Dunn, for Amendment One to the Stoner Prairie Comprehensive Development Plan

Background: Applicant is requesting approval to amend the Stoner Prairie CDP to replace 9 single-family lots with 21 townhouse units on the east side of Street E, as represented in the submitted plans.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	Nov 17, 2015	
2				

Amendments:

October 20, 2015

Mr. Thomas Hovel
Zoning Administrator/City Planner
City of Fitchburg
5520 Lacy Road
Fitchburg, WI 53711

Re: Stoner Prairie CDP Amendment
MARS Project Number: 1666

Dear Tom:

Enclosed are an application, check for the application fee and 10 copies for a Comprehensive Development Plan amendment for Stoner Prairie. The amendment is for a section of the eastern Dunn property. The initial CDP designated this section as 9 single family lots. The CDP amendment revised this area to Townhomes, similar to the area west of the proposed public street. The density for the CDP amendment (6.0 units/net acre) is consistent with the North Stoner Prairie Neighborhood plan, which specified 5-6 units per acre for the eastern Dunn parcel. The density (3.0 units/net acre) for the remaining single family lots on the O'Brien and eastern Dunn property is also consistent with the neighborhood plan. The CDP amendment will be provided to the neighborhood groups for distribution and for posting on their websites.

The applications are being submitted for the November 17, 2015 Plan Commission meeting. As the application states, the property owner is William Dunn and the contact person is Jim Spahr. A letter from William Dunn submitted with the initial CDP authorized Mr. Spahr to make submittals for this property. Please feel free to contact me with any questions or concerns regarding the submittal materials.

Sincerely,

Montgomery Associates: Resource Solutions, LLC



Deborah J. Hatfield, PE
Project Engineer

Enclosures

Copy, w/enclosures: Jim Spahr



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

LAND DIVISION APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby submits ten (10) copies of the attached maps, one (1) copy no larger than 11" x 17", and one (1) pdf document of the complete submittal (planning@fitchburgwi.gov) for approval under the rules and requirements of the Fitchburg Land Division Ordinance.

- 1. Type of Action Requested:**
- Certified Survey Map Approval
 - Preliminary Plat Approval
 - Final Plat Approval
 - Replat
 - Comprehensive Development Plan Approval

- 2. Proposed Land Use** (Check all that Apply):
- Single Family Residential
 - Two-Family Residential
 - Multi-Family Residential
 - Commercial/Industrial

3. No. of Parcels Proposed: 1

4. No. Of Buildable Lots Proposed: 0

5. Zoning District: PDD

6. Current Owner of Property: William Dunn

Address: 6055 Whalen Road, Verona, WI 53593 **Phone No:** _____

7. Contact Person: Lionshare Group, LLC - James Spahr

Email: ajspahr@charter.net

Address: 6880 CTH M, Verona, WI 53593 **Phone No:** (608) 235-6499

8. Submission of legal description in electronic format (MS Word or plain text) by email to: planning@fitchburgwi.gov

Pursuant to Section 24-2 (4) of the Fitchburg Land Division Ordinance, all Land Divisions shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

Respectfully Submitted By: _____

Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** _____

Ordinance Section No. _____ **Fee Paid:** _____

Permit Request No. _____

**Comprehensive Development Plan
Stoner Prairie Neighborhood
Amendment One
Fitchburg, Wisconsin**

Lionshare Group, LLC
Fitchburg, WI
October 20, 2015



Montgomery Associates
Resource Solutions, LLC • ma-rs.org





**Comprehensive Development Plan
Amendment One
Stoner Prairie Neighborhood**

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Exhibits

Exhibit 1	Project Context
Exhibit 2	Project Plan
Exhibit 3	Land Use Plan
Exhibit 4	Zoning Plan



Project Contacts

Lionshare Group, LLC

James Spahr
Lionshare Group, LLC.
6880 CTH M
Verona, WI 53593

608-235-6499
ajspahr@charter.net

Montgomery Associates: Resource Solutions (MARS)

Project Manager

Deb Hatfield
Montgomery Associates, Resource Solutions, LLC
119 South Main Street
Cottage Grove, WI 53527

608-839-4422
debbie@ma-rs.org



1 Introduction

The North Stoner Neighborhood Comprehensive Development Plan (CDP) was adopted by the City of Fitchburg August 25, 2015. The CDP established the framework for residential (single family and multi-family) and industrial-commercial development for the 95-acre project area located near the northeast and northwest quadrants of the Lacy Road/Seminole Highway intersection (Exhibit 1).

The CDP included a mix of single family and multi-family for the section of Dunn property east of Seminole Highway. Multi-family was shown for the area west of Street E while single-family was shown for the area east of Street E. This CDP Amendment proposes to change the single-family east of Street E to multi-family consistent with what was shown on the west side of Street E (Exhibit 2). Changes to the initial CDP are described in the following sections.

2 Proposed Development

2.1 Proposed Site Plan

The initial CDP proposed single-family for the O'Brien property and part of the eastern Dunn property with 146 lots on 68 acres with a net density of 3.0 DU/Ac. Townhomes were proposed for the remaining eastern Dunn property with 30 units on 5.0 acres with a net density of 6.0 DU/AC. The proposed densities are consistent with the North Stoner Prairie Neighborhood plan.

During the approval of the initial CDP, Fitchburg's planning department suggested that multi-family be considered for both sides of Street E within the eastern Dunn property because it is better planning to have land use changes occur at the rear of the lots instead of at streets. The initial CDP was not revised at that time but this amendment proposes to incorporate the land use change at the Dunn/O'Brien property line which accomplishes having the land use change at the rear of lots instead of at the street. In addition, initial input from the marketplace indicates the need for additional townhomes. Exhibit 2 shows the proposed site plan.

2.2 Proposed Housing Mix

The initial CDP proposed a mix of lot sizes and building types which are identified on Exhibit 2. The proposed amendment increases the size of TH-D and the number of Townhomes and decreases the SF-C lots. The revised number of lots and Townhomes are shown below. Note: The sizes for each designation are averages and may vary.

SF-C (36 lots) - 80' x 145' single family lots generally with utility and/or stormwater management easements.

TH-D (51 Townhomes) – 3 to 5 unit Townhome condo and/or rental buildings are proposed for part of the eastern Dunn property, adjacent to Seminole Highway.

2.3 Stormwater Management

The impervious surface ratio for the proposed amendment area increases from 35% associated with single-family residential to 65% associated with multi-family. The proposed stormwater management system described in the original CDP can accommodate the change.

2.4 Consistency with Adopted Plans

The proposed CDP amendment is consistent with the *North Stoner Prairie Neighborhood Plan* and the *City of Fitchburg Comprehensive Plan* which designates the eastern Dunn property as Medium Density Residential or Low Density Residential with 5-6 dwelling units per acre.

2.5 Proposed Land Use Data

A change in land use from Low Density Residential (LDR) to Medium Density Residential (MDR) is proposed for the amendment area. Exhibit 3 shows the proposed land uses.

Total multi-family Site Acreage Acres

TH-D 8.7 Ac

Town House Condominiums	8.5 Ac	51 units
Public Street R/W	0.2 AC	
Net Density	6.0 Du/Ac	
Gross Density	5.9 Du/Ac	

2.6 Proposed Zoning

The PDD zoning proposed for the original TH-D area will be expanded to include the additional TH-D area. Exhibit 4 shows the proposed final zoning for the Stoner Prairie Neighborhood. The zoning will be phased per the development schedule shown in the initial CDP which shows this area as part of Phase II.

3 Estimated Change in Assessed Value

Change in Development Type	Estimated Assessed Value
-9 SF Homes @ \$350,000 ("C" lots)	-\$3,150,000
+21 Townhomes @ \$180,000	\$3,780,000
Total Estimated Change in Assessed Value	<hr/> \$630,000

=

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4 References

1. *City of Fitchburg Comprehensive Plan*, Chapter Four: Land Use. adopted March 2009, rev. Dec 2013
2. *North Stoner Prairie Neighborhood Plan*. November 2013



Exhibits

Exhibit 1	Project Context
Exhibit 2	Project Plan
Exhibit 3	Land Use Plan
Exhibit 4	Zoning Plan

SUB-ZERO CAMPUS

EXTENSION OF SUB-ZERO CAMPUS

PAYNE & DOLAN

TOTAL SITE AREA - 94.6

AREA WEST OF SEMINOLE HIGHWAY - 21.7 AC
 UNIT TYPE COUNT
 I-C (INDUSTRIAL COMMERCIAL AREA) 15.8 AC
 TOTAL AREA EAST OF SEMINOLE HIGHWAY - 72.9
 ROW TAKING - 0.3 AC

TOTAL AREA OF MULTIFAMILY RESIDENTIAL EAST OF SEMINOLE HIGHWAY - 8.5 AC
 UNIT TYPE COUNT
 TH-D (TOWNHOME CONDOMINIUMS) 51 UNITS
 TOTAL UNITS 51 UNITS
 DENSITY 6.0 DU/AC

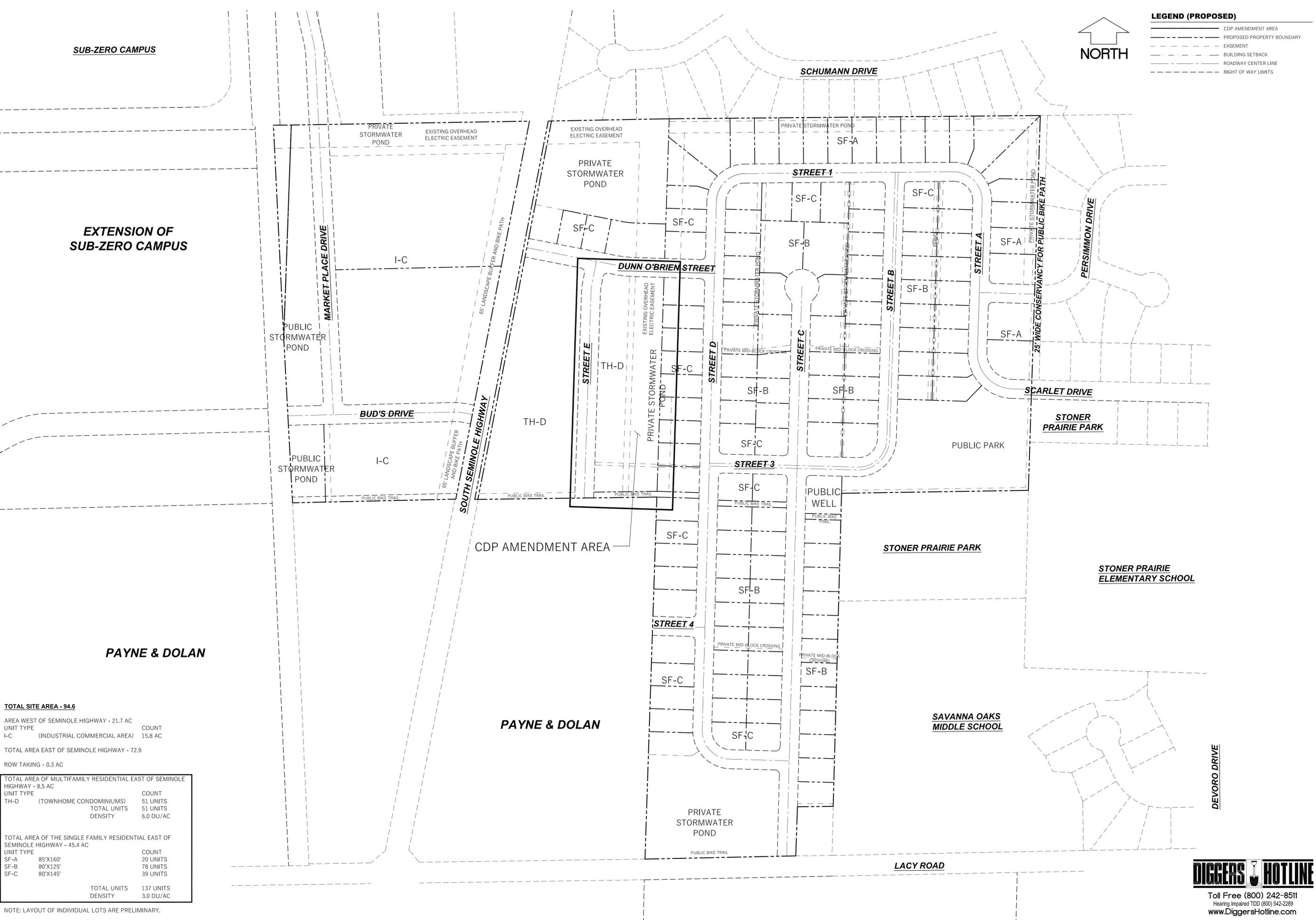
TOTAL AREA OF THE SINGLE FAMILY RESIDENTIAL EAST OF SEMINOLE HIGHWAY - 45.4 AC
 UNIT TYPE COUNT
 SF-A 85'X160' 20 UNITS
 SF-B 80'X125' 78 UNITS
 SF-C 80'X145' 39 UNITS

TOTAL UNITS 137 UNITS
 DENSITY 3.0 DU/AC

NOTE: LAYOUT OF INDIVIDUAL LOTS ARE PRELIMINARY.

LEGEND (PROPOSED)

- CDP AMENDMENT AREA
- PROPOSED PROPERTY BOUNDARY
- EASEMENT
- BUILDING SETBACK
- ROADWAY CENTER LINE
- RIGHT OF WAY LIMITS



LIONSHARE GROUP LLC
 WILLIAM RYAN HOMES

5396 KING JAMES WAY, SUITE 220
 MADISON, WI 53719

STONER PRAIRIE -
 A WALK TO SCHOOL NEIGHBORHOOD
 CITY OF FITCHBURG, DANE COUNTY, WI

PROJECT PLAN & CONCEPTUAL LAYOUT

Revisions:		
No.	Date:	Description:
08/05/15		City Comments
10/20/15		CDP Amendment

Graphic Scale	0' 150' 300' 450'
Wysen Number	14-0200
Set Type	PLANNING
Date Issued	07/21/2015
Sheet Number	EX. 2



Toll Free (800) 242-8511
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

File: \\wyserserver\wyseng\engineering\2014\140200_Lionshare_Group_-_O'Brien_Farms\dwg\14-0200_Planning_CDP_Revised.dwg Layout: Land Use User: danasc_000 Plotted: Oct 16, 2015 - 2:30pm

SUB-ZERO CAMPUS

EXTENSION OF SUB-ZERO CAMPUS

PAYNE & DOLAN

PAYNE & DOLAN

SCHUMANN DRIVE

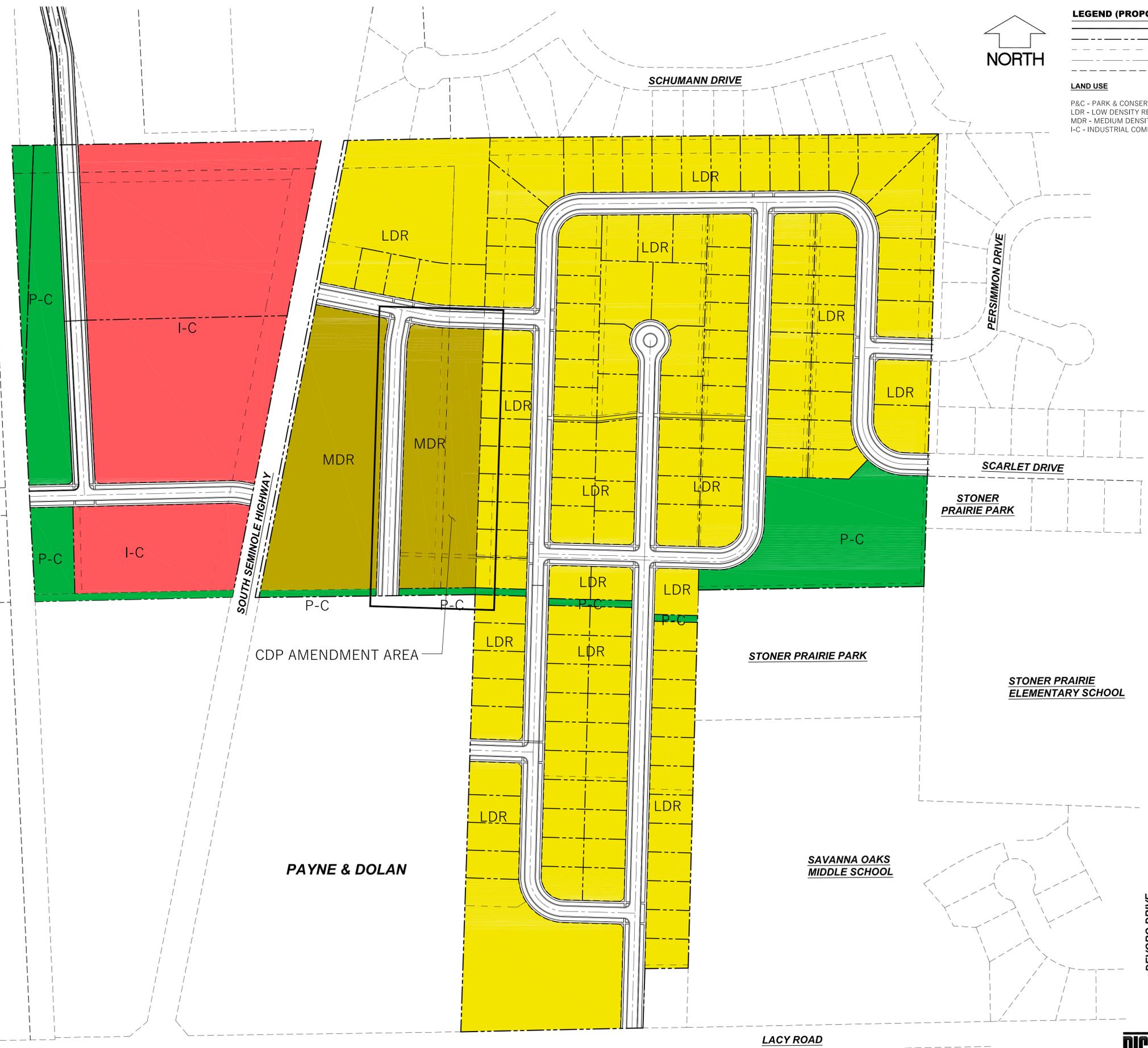


LEGEND (PROPOSED)

- CDP AMENDMENT AREA
- PROPOSED PROPERTY BOUNDARY
- EASEMENT
- ROADWAY CENTER LINE
- RIGHT OF WAY LIMITS

LAND USE

- P&C - PARK & CONSERVANCY
- LDR - LOW DENSITY RESIDENTIAL
- MDR - MEDIUM DENSITY RESIDENTIAL
- I-C - INDUSTRIAL COMMERCIAL



LIONSHARE GROUP LLC
WILLIAM RYAN HOMES

5396 KING JAMES WAY, SUITE 220
MADISON, WI 53719

STONER PRAIRIE -
A WALK TO SCHOOL NEIGHBORHOOD
CITY OF FITCHBURG, DANE COUNTY, WI

Sheet Title:
LAND USE

Revisions:		
No.	Date:	Description:
1	10/20/15	CDP Amendment

Graphic Scale: 0' 75' 150' 225'

Wysers Number: 14-0200

Set Type: PLANNING

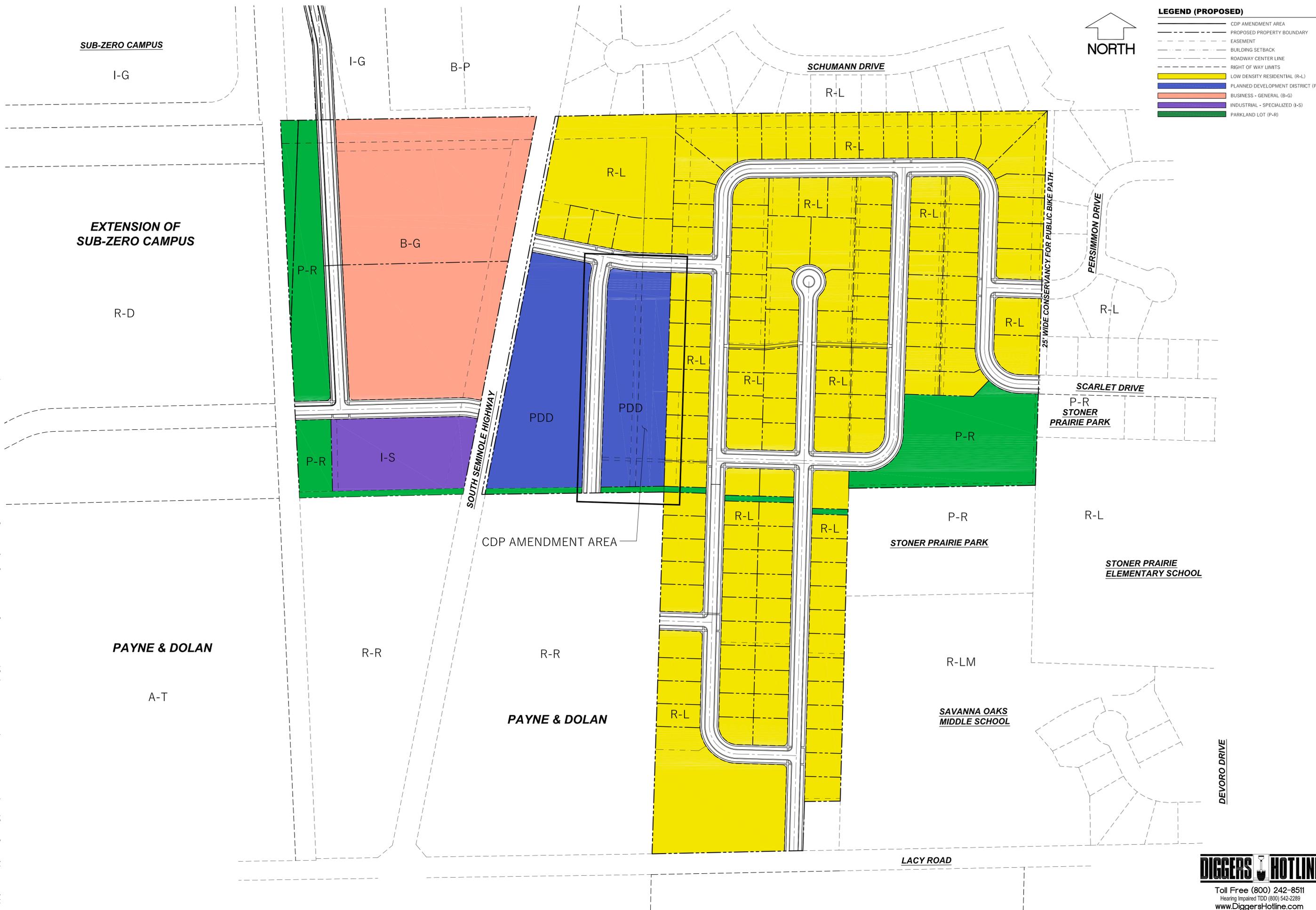
Date Issued: 07/21/2015

Sheet Number: EX. 3



Toll Free (800) 242-8511
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

File: \\wyserserver\wyseng\engineering\2014\140200_Lionshare_Group_-_O'Brien_Farms\dwg\14-0200_Planning_CDP_Revised.dwg Layout: Zoning User: dansc_000 Plotted: Oct 16, 2015 - 2:29pm



LEGEND (PROPOSED)

	CDP AMENDMENT AREA
	PROPOSED PROPERTY BOUNDARY
	EASEMENT
	BUILDING SETBACK
	ROADWAY CENTER LINE
	RIGHT OF WAY LIMITS
	LOW DENSITY RESIDENTIAL (R-L)
	PLANNED DEVELOPMENT DISTRICT (PDD)
	BUSINESS - GENERAL (B-G)
	INDUSTRIAL - SPECIALIZED (I-S)
	PARKLAND LOT (P-R)



LIONSHARE GROUP LLC
 WILLIAM RYAN HOMES
 5396 KING JAMES WAY, SUITE 220
 MADISON, WI 53719

STONER PRAIRIE -
 A WALK TO SCHOOL NEIGHBORHOOD
 CITY OF FITCHBURG, DANE COUNTY, WI
 Sheet Title:
 ZONING PLAN

Revisions:

No.	Date	Description
08/05/15	08/05/15	City Comments
10/20/15	10/20/15	CDP Amendment

Graphic Scale	0' 75' 150' 225'
Wysers Number	14-0200
Set Type	PLANNING
Date Issued	07/21/2015
Sheet Number	EX. 4



Toll Free (800) 242-8511
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **October 27, 2015** Ordinance Number:
Date to Report Back: **November 24, 2015** Resolution Number:

Sponsored by: Mayor Drafted by: Planning / Zoning

TITLE: **Conditional Use Permit Request, CU-2086-15, by Matt Hoefler, HAF Group, to Allow for an Expanded Restaurant Use at 2784 S. Fish Hatchery Road, Lot 1 CSM 12119**

Background: Applicant is requesting approval to allow for a restaurant use on Lot 1 CSM 12119. The property has previously been used for a restaurant but they are looking to expand the restaurant building and therefore require new conditional use permit approval.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	November 17, 2015	
2				

Amendments:

Rec. 10470 - 10/20/15 RB

 <p>City of Fitchburg Planning/Zoning Department 5520 Lacy Road Fitchburg, WI 53711 (608) 270-4200</p>	<h2>CONDITIONAL USE PERMIT APPLICATION</h2>
---	---

The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

1. **Location of Property:**
Street Address: 2784 South Fish Hatchery Road
Legal Description - (Metes & Bounds, or Lot No. And Plat): Lot 1 CSM 12119 C574/3538355-412
/2007 F/K/A PRT LOT 1 CSM 3426 C513/259-262 2/2 0/80 F/K/A LOT 1
CSM 3245 C512/362 & ALSO INCL (1.024 Acres) # 4693988

***Also submit in electronic format (MS WORD or plain text) by email to: PLANNING@FITCHBURGWI.GOV

2. **Current Use of Property:** Restaurant

3. **Proposed Use of Property:** Restaurant

4. **Proposed Development Schedule:** November 2015 - May 2016

5. **Zoning District:** B-P Professional Business

6. **Future Land Use Plan Classification:** Restaurant

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable): NA

No. of Dwelling Units by Bedroom: NA BR 2 BR 3 BR 4 or More

No. Of Parking Stalls: 28

Type of Non-residential Development (If Applicable): Restaurant

Proposed Hours of Operation: week 11am - 2am Sat- Sun 8am-2am **No. Of Employees:** 65

Floor Area: 6,456 S.F. **No. Of Parking Stalls:** 28

Sewer: Municipal Private **Water:** Municipal Private

Current Owner of Property: Nick Schiavo

Address: 1154 W. Fitchburg Ave **Phone No:** 608-516-5066

Contact Person: Charlie Burrows

Email: charlie58@live.com

Address: 1351 SIBLEY MEM. HWY MENDOTA MN, 55150 **Phone No:** 651-270-6051

Respectfully Submitted By: Matt Hoefler - HAT GROUP

Owner's or Authorized Agent's Signature

** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.

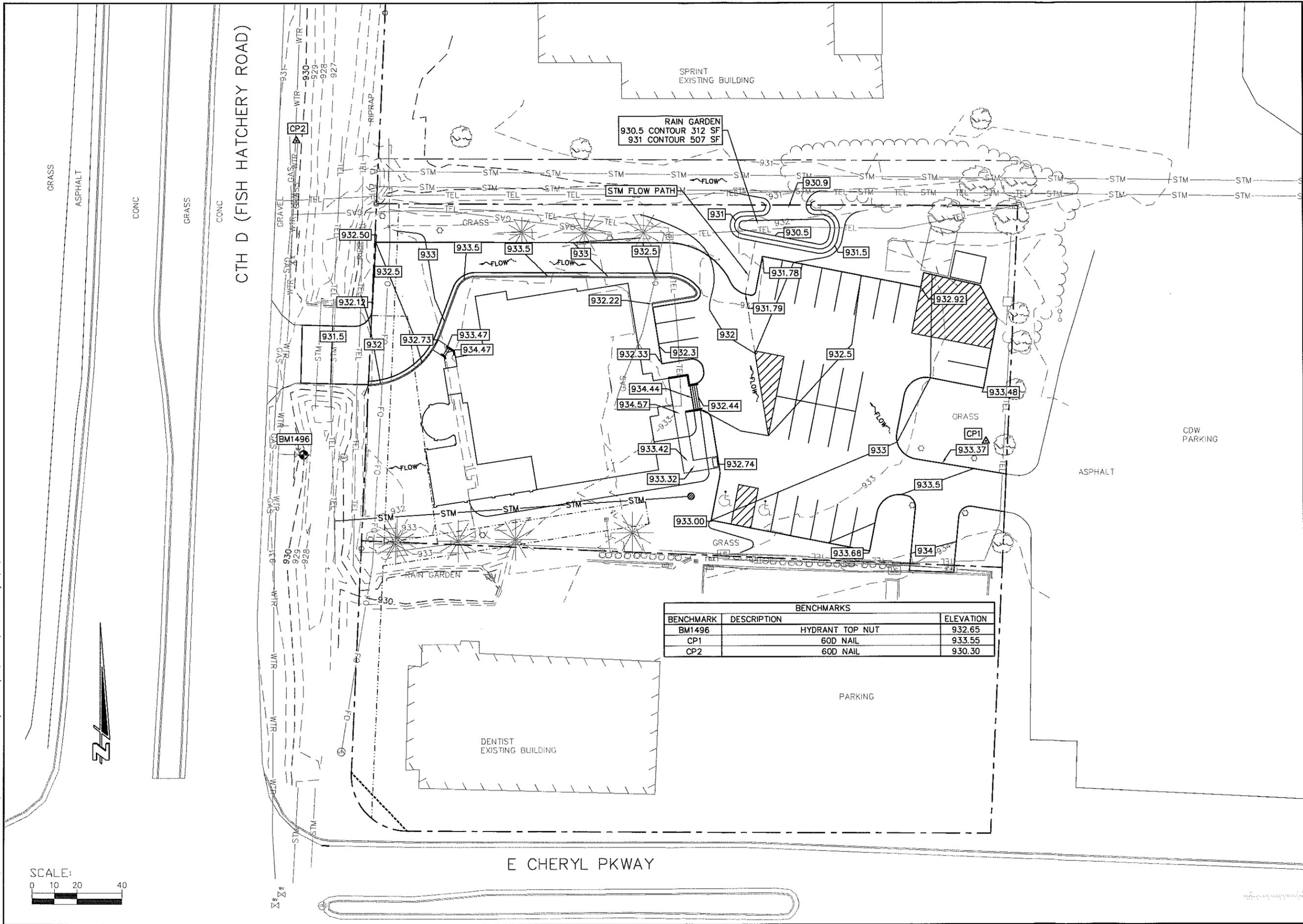
PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 10/20/2015 **Publish:** _____

Ordinance Section No. _____ **Fee Paid:** \$445.00

Permit Request No. CU-2086-15

I:\Client\MD\B5692_Burrows_Cheril\001_2748_S_Fish_Hatchery_Road_Project\100_Cad\00base5692.dwg 10/20/15 11:47:18 AM



BENCHMARKS		
BENCHMARK	DESCRIPTION	ELEVATION
BM1496	HYDRANT TOP NUT	932.65
CP1	60D NAIL	933.55
CP2	60D NAIL	930.30

JOB NO. 5692-001
BOOK NO.
DRAWN BY JMP
CHECKED BY DKS
DATE OCTOBER 2015
REVISIONS
REFERENCE FILE OBASE_5692
DRAWING FILE

Cedar
corporation

engineers • architects • planners • environmental specialists
land surveyors • landscape architects • interior designers

2820 Walton Commons West
Suite 112
Fitchburg, WI 53718
800-472-7372
www.cedarcorp.com

1498 Bellevue Street
Suite 502
Fitchburg, WI 53711
920-491-0081
920-491-0081
FAX 920-491-8200

ME & JULIO'S
2784 SOUTH FISH HATCHERY ROAD
FITCHBURG, WISCONSIN 53713
GRADING PLAN

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **October 27, 2015**
Date to Report Back:

Ordinance Number:
Resolution Number:

Sponsored by: Mayor

Drafted by: Planning / Zoning

TITLE: **Conditional Use Permit Request, CU-2087-15, by Chuck Chvala, Agent for Ronald & Gertrude Hermsmeier, to Allow for a Church Use on Property Associated with 1911 Pike Drive, Lot 3 Hasz Subdivision**

Background: Applicant is requesting approval to allow for a church use on property associated with 1911 Pike Drive. This is part of the redevelopment project on the west side of Fish Hatchery Road.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	November 17, 2015	
2				

Amendments:



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608) 270-4200

CONDITIONAL USE PERMIT APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

1. Location of Property:

Street Address: 1911 pike Dr.

Legal Description - (Metes & Bounds, or Lot No. And Plat): _____

Hasz Subdivision Lot 3, Parcel 0609-031-2743-1
(See Addendum A)

***Also submit in electronic format (MS WORD or plain text) by email to: **PLANNING@FITCHBURGWI.GOV**

2. Current Use of Property: Apartment building

3. Proposed Use of Property: church

4. Proposed Development Schedule: Construction Spring 2016

5. Zoning District: RHA

6. Future Land Use Plan Classification: residential/church

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable): _____

No. of Dwelling Units by Bedroom: 1 BR 2 BR 3 BR 4 or More

No. Of Parking Stalls: _____

Type of Non-residential Development (If Applicable): Church

Proposed Hours of Operation: 24/7 **No. Of Employees:** 4-6

Floor Area: 6000 sf / future 3000 sf **No. Of Parking Stalls:** Easement for parking with

Sewer: Municipal Private **Water:** Municipal Private proposed hotel + conference center

Current Owner of Property: Ronald + Gertrude Hermsmeier

Address: c/o Erv Bendorf, 2520 Greenway VW, Madison 53713 **Phone No:** (608) 345-2801

Contact Person: Chuck Chvala

Email: cjchvala@gmail.com

Address: 10 East Doty St, Ste. 507, Madison 53703 **Phone No:** (608) 258-8222

Respectfully Submitted By: Chuck Chvala 10/20/15

Owner's or Authorized Agent's Signature

**** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.**

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

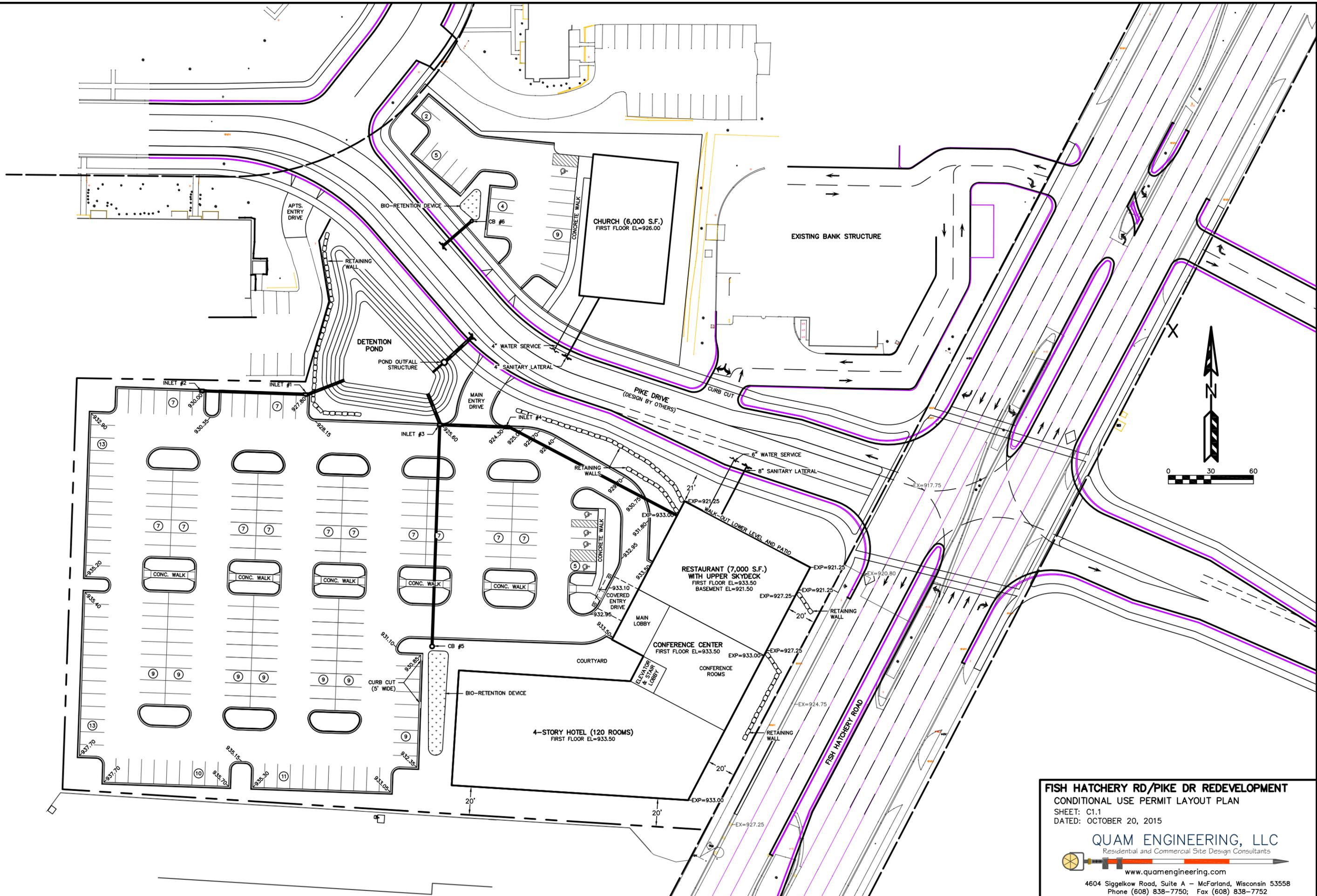
For City Use Only: Date Received: _____ Publish: _____

Ordinance Section No. _____ Fee Paid: _____

Permit Request No. _____

Addendum A

CrownPoint Development, Inc., a Minnesota corporation, is submitting the Conditional Use Permit (CUP) Application for approval to build a Church on the reduced size 1911 Pike Dr. site. The Church will consist of 6000 sf, with potential for an additional 3000 sf, occupancy of 100 people, 20+ parking stalls and an easement for parking at the proposed hotel & conference center.



FISH HATCHERY RD/PIKE DR REDEVELOPMENT
CONDITIONAL USE PERMIT LAYOUT PLAN
SHEET: C1.1
DATED: OCTOBER 20, 2015

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:

Direct Referral Approved by:

Date Referred: **October 27, 2015**

Ordinance Number:

Date to Report Back:

Resolution Number:

Sponsored by: Mayor

Drafted by: Planning / Zoning

TITLE: Conditional Use Permit Request, CU-2088-15, by Chuck Chvala, Agent for Fitchburg Christian Fellowship, to Allow for a Hotel, Restaurant and Conference Center Use on Property Associated with 2924 Fish Hatchery Road

Background: Applicant is requesting approval for a hotel, restaurant and conference center use on property associated with 2924 Fish Hatchery Road. This is part of the redevelopment proposed on the west side of Fish Hatchery Road.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	November 17, 2015	
2				

Amendments:



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608) 270-4200

CONDITIONAL USE PERMIT APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

1. **Location of Property:**
Street Address: 2924 Fish Hatchery Rd.
Legal Description - (Metes & Bounds, or Lot No. And Plat): see survey (attached) and Addendum A (attached)

***Also submit in electronic format (MS WORD or plain text) by email to: PLANNING@FITCHBURGWI.GOV

2. **Current Use of Property:** church, parsonage
 3. **Proposed Use of Property:** hotel, restaurant, and conference center
 4. **Proposed Development Schedule:** construction Spring 2016
 5. **Zoning District:** B-G general business
 6. **Future Land Use Plan Classification:** mixed use

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable): _____
No. of Dwelling Units by Bedroom: 1 BR 2 BR 3 BR 4 or More
No. of Parking Stalls: _____

Type of Non-residential Development (If Applicable): hotel, restaurant, conference center
Proposed Hours of Operation: 24/7 hotel + 11AM-2AM **No. of Employees:** 30 hotel / 45 restaurant
Floor Area: total 75,000 s.f. hotel / restaurant 7,000 s.f. **No. of Parking Stalls:** 200 estimated
Sewer: Municipal Private **Water:** Municipal Private

Current Owner of Property: Fitchburg Christian Fellowship
Address: 2924 Fish Hatchery Rd. **Phone No:** (812) 620-1601
Contact Person: Chuck Chvala

Email: cjchvala@gmail.com
Address: 10 East Doty St., Ste. 507, Madison 53703 **Phone No:** (608) 258-8222

Respectfully Submitted By: Chuck Chvala 10/20/15

Owner's or Authorized Agent's Signature

** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** _____ **Publish:** _____
Ordinance Section No. _____ **Fee Paid:** _____
Permit Request No. _____

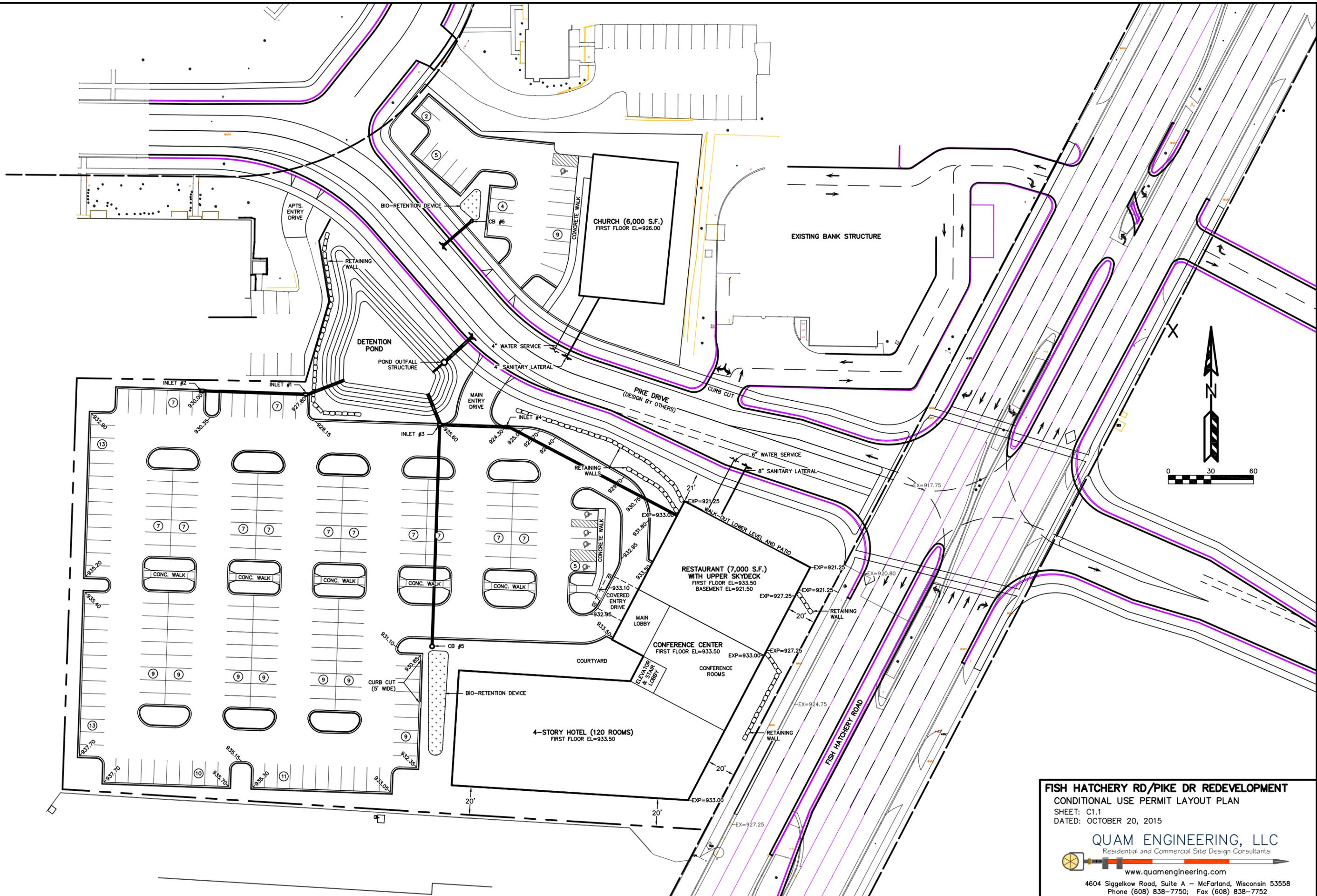
Addendum A

CrownPoint Development, Inc., a Minnesota corporation, is submitting the Conditional Use Permit (CUP) Application for approval of a four story hotel, with a height of 54 ft. The hotel will consist of 120 rooms and an attached conference facility with occupancy capacity of 70% /180 hotel.

CrownPoint also seeks CUP approval for a restaurant with seating for 200 customers, and additional occupancy for 25 people at its bar for a total occupancy 45.

CrownPoint also seeks CUP approval for sales of alcohol for the restaurant and hotel.

CrownPoint seeks CUP approval for any additional matters which may be necessary for this development.



FISH HATCHERY RD/PIKE DR REDEVELOPMENT
CONDITIONAL USE PERMIT LAYOUT PLAN
SHEET: C1.1
DATED: OCTOBER 20, 2015

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com

4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **October 27, 2015**
Date to Report Back:

Ordinance Number:
Resolution Number:

Sponsored by: Mayor

Drafted by: Planning / Zoning

TITLE: Conditional Use Permit Request, CU-2089-15, by Robb Roos of Cardno, Agent for American Transmission Company, for a Transmission Line Rebuild Project

Background: Applicant is requesting approval to rebuild the “6943: Fitchburg to Nine Springs Transmission Line”. See materials for details.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	Nov 17, 2015	
2				

Amendments:



October 16, 2015

City of Fitchburg, Planning / Zoning
5520 Lacy Road
Fitchburg, WI 53711

Cardno

6140 Cottonwood Suite A
Fitchburg, WI 53719
USA

**Subject: 6943 Fitchburg to Nine Springs Rebuild Project
Conditional Use Permit Application**

Phone 608 661 2955
Fax 608 661 2961
www.cardno.com

Ms. Badtke and Mr. Hovel,

On behalf of American Transmission Company (ATC), Cardno is submitting a Conditional Use Permit application for the above-referenced project for the October 20th deadline to be reviewed at the City's Plan Commission meeting on November 17, 2015. The proposed project is located within Township 06N, Range 09E in the City of Fitchburg.

The 6943 Fitchburg to Nine Springs Rebuild Project includes the replacement of select, existing wood monopole structures with like-type steel monopole structures (Attachment D) along the existing overhead transmission line alignment. A number of structure replacements are anticipated to occur within wetland boundaries identified both in Fitchburg's Wetland Overlay District and by a professional delineation completed by Cardno (Attachment B). Replacement structures will be in-line with existing structures and will be at most 13-feet from existing poles. This project will allow the transmission line to meet set rating standards which will allow for continued safe and reliable electric transmission to the area. Construction activities will be underway February – March 2016 and follow-up restoration activities, including site revegetation, will be completed March – July 2016. An Erosion Control Permit (#15-101) has been received from the City of Fitchburg Department of Public Works.

In regards to Sec. 22-688 of Fitchburg's Municipal Code:

- a) The proposed maintenance of the 6943 transmission line is the most practicable plan for the purpose of maintaining a functioning transmission line. Relocating the entire transmission line is unnecessary, cost-prohibitive and would likely result in a greater environmental impact. Replacement of wood monopoles with steel monopoles allows for structures to stay approximately the same size (~5-feet taller) and will provide increased structural integrity. Considerations were made throughout the design process to minimize impacts to wetlands.
- b) Structures will be direct embedded into the ground using vibratory caissons. This process uses a vibratory hammer mechanism attached to an excavator and no ground excavation or dewatering is required during the installation.
- c) Efforts have been made throughout the planning and design of this project to minimize adverse impacts to wetlands along with all construction and access areas. Procedures will be implemented throughout construction in order to minimize ground disturbances including: completing installation work during winter while ground is more likely to be frozen, strategic placement of temporary access routes, use of temporary matting in wetlands as necessary, use of tracked equipment, and promotion of erosion and sedimentation control best management practices (BMPs).

The following materials, along with a permit application fee check, are enclosed for your review:

Attachment A: Conditional Use Permit Application

Attachment B: Environmental Access Plan (EAP)

Attachment C: Landowner List (within 300 ft. of ROW)

Attachment D: Typical Structure Drawings (both existing and replacement)

We respectfully request your review and authorization of the project at your earliest convenience. Please feel free to contact me at (608) 301-6455 or robb.roos@cardno.com if you have any questions.

Sincerely,

Robb Roos, Senior Project Scientist, Cardno
Cell: (608) 301-6455, Email: robb.roos@cardno.com

Erosion Control Permit Application

6943 Fitchburg to Nine Springs
Rebuild Project

City of Fitchburg, Dane County, WI

Attachment

A

Conditional Use Permit Application



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608) 270-4200

CONDITIONAL USE PERMIT APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

1. Location of Property: 6943: Fitchburg to Nine Springs Transmission Line (Attachment B)
Street Address: _____

Legal Description - (Metes & Bounds, or Lot No. And Plat): _____
6943 transmission line right-of-way corridor within multiple Sections, Township 06N, and Range 09E within the City of Fitchburg in Dane County, Wisconsin.

***Also submit in electronic format (MS WORD or plain text) by email to: **PLANNING@FITCHBURGWI.GOV**

2. Current Use of Property: Transmission line right-of-way (Overhead)

3. Proposed Use of Property: Transmission line right-of-way (Overhead)

4. Proposed Development Schedule: Construction: 02/2016-03/2016; Restoration: 03/2016-07/2016

5. Zoning District: Park and Recreation District, Exclusive Agriculture, Low Density Residential, Rural Residential, Transitional Agriculture, Former R-4 Residential, Rural Development.

6. Future Land Use Plan Classification: Utility corridor (no change)

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable): Not applicable

No. of Dwelling Units by Bedroom: 1 BR 2 BR 3 BR 4 or More

No. Of Parking Stalls: Not applicable

Type of Non-residential Development (If Applicable): Transmission Line Rebuild Project, See cover letter

Proposed Hours of Operation: Daylight Hours **No. Of Employees:** Variable

Floor Area: Not applicable **No. Of Parking Stalls:** Not Applicable

Sewer: Municipal Private **Water:** Municipal Private

Current Owner of Property: American Transmission Company via easements, also see Attachment C for landowner list

Address: 5303 Fen Oak Court Madison, WI 53718 (ATC) **Phone No:** 608-877-7054 (ATC)

Contact Person: Robb Roos (Agent) Joan Kozisek (ATC)

Email: robb.roos@cardno.com jkozisek@atcllc.com (ATC)

Address: 6140 Cottonwood Dr. Suite A Fitchburg, WI 53719 (Agent) **Phone No:** 608-301-6455 (Agent) 608-877-7054 (ATC)

Respectfully Submitted By: 
 Owner's or Authorized Agent's Signature

**** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.**

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** _____ **Publish:** _____

Ordinance Section No. _____ **Fee Paid:** _____

Permit Request No. _____

Erosion Control Permit Application

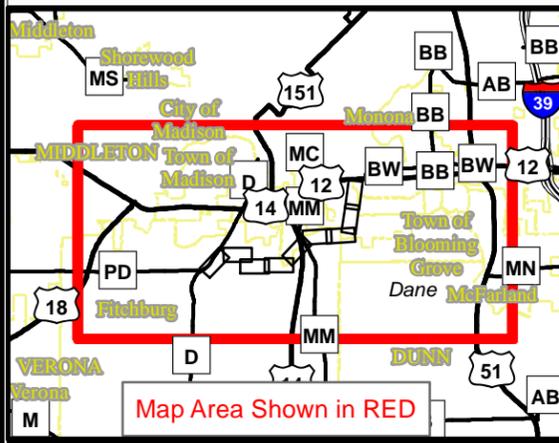
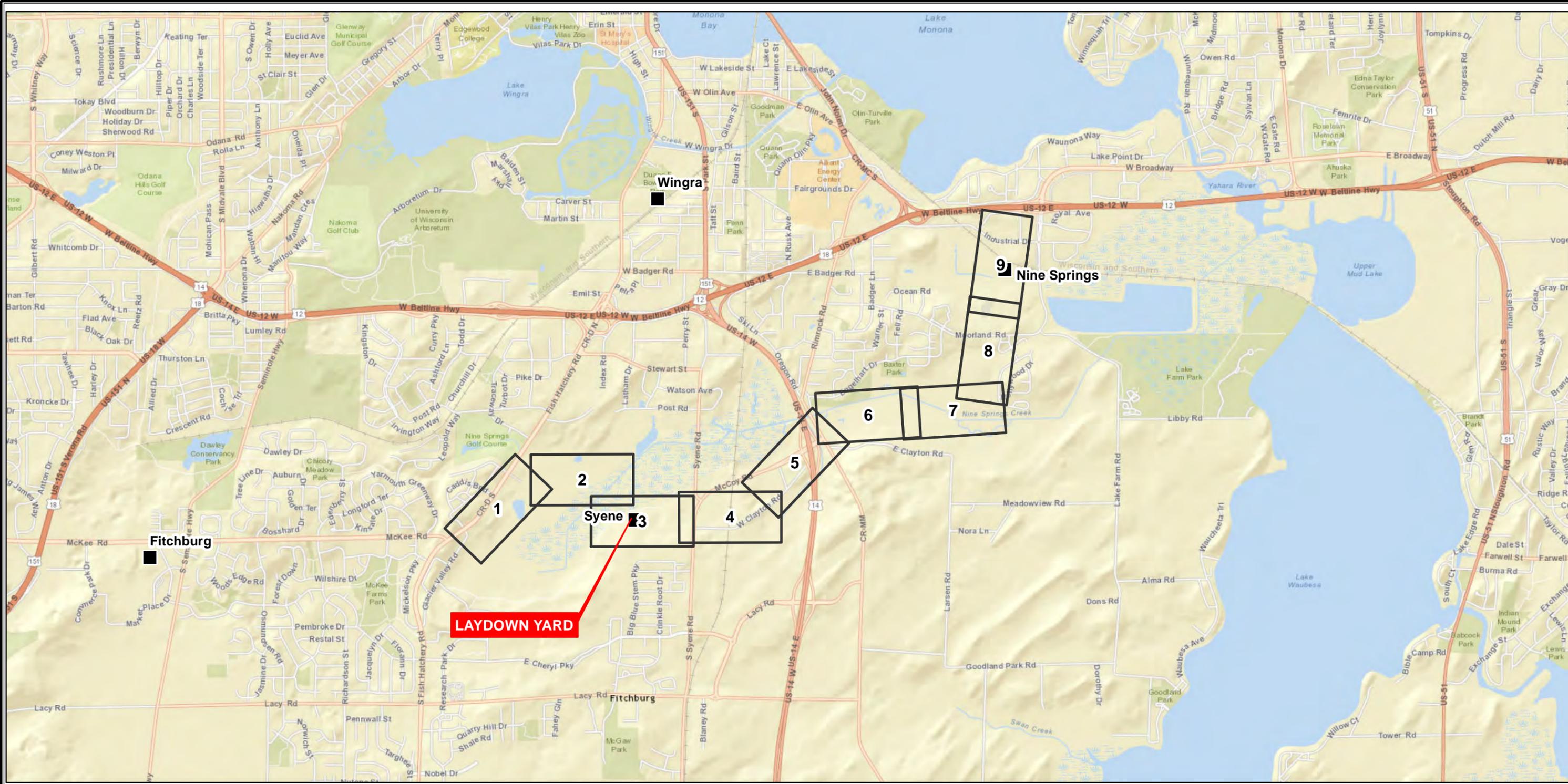
6943 Fitchburg to Nine Springs
Rebuild Project

City of Fitchburg, Dane County, WI

Attachment

B

Environmental Access Plan (EAP)



CONSTRUCTION METHOD	
	Vehicle Construction Access
	Proposed Centerline <i>CT 1 - No Special Technique Needed</i>
	Erosion Control Devices <i>Device Type Noted on Map</i>
	Construction Matting/Tracked Equipment (utilize as necessary to prevent disturbance)
	Non-navigable waterway - OK to cross
	Wire Pulling Location

	Structure Replacement
	Miscellaneous Maintenance
	No Access Beyond This Point
	Temporary Clear Span Bridge
	Transmission Right-of-Way

	Existing Pole
	Existing Substation
	Existing T-Line
	Public Owned Lands
	Protected or Sensitive Resource - <i>Construction Technique Protocol Noted</i>
	Erosion Control BMP Required if Disturbed
	Invasive Species Protocol <i>Species Type Noted on Map</i>
	WDNR Hydrology
	Field Located Waterway
	Potential Wetland (WDNR)
	Delimited Wetland
	Property Line <i>Shown with Parcel Number and Owner Name</i>

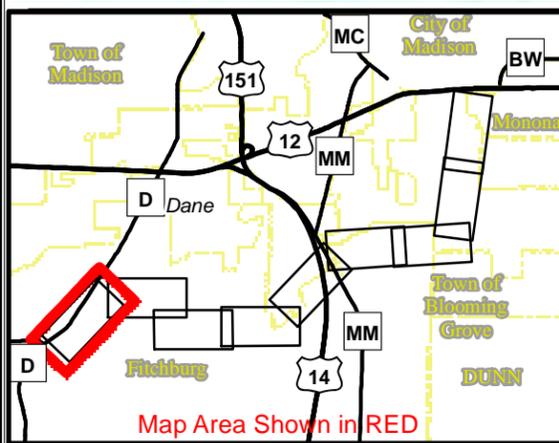
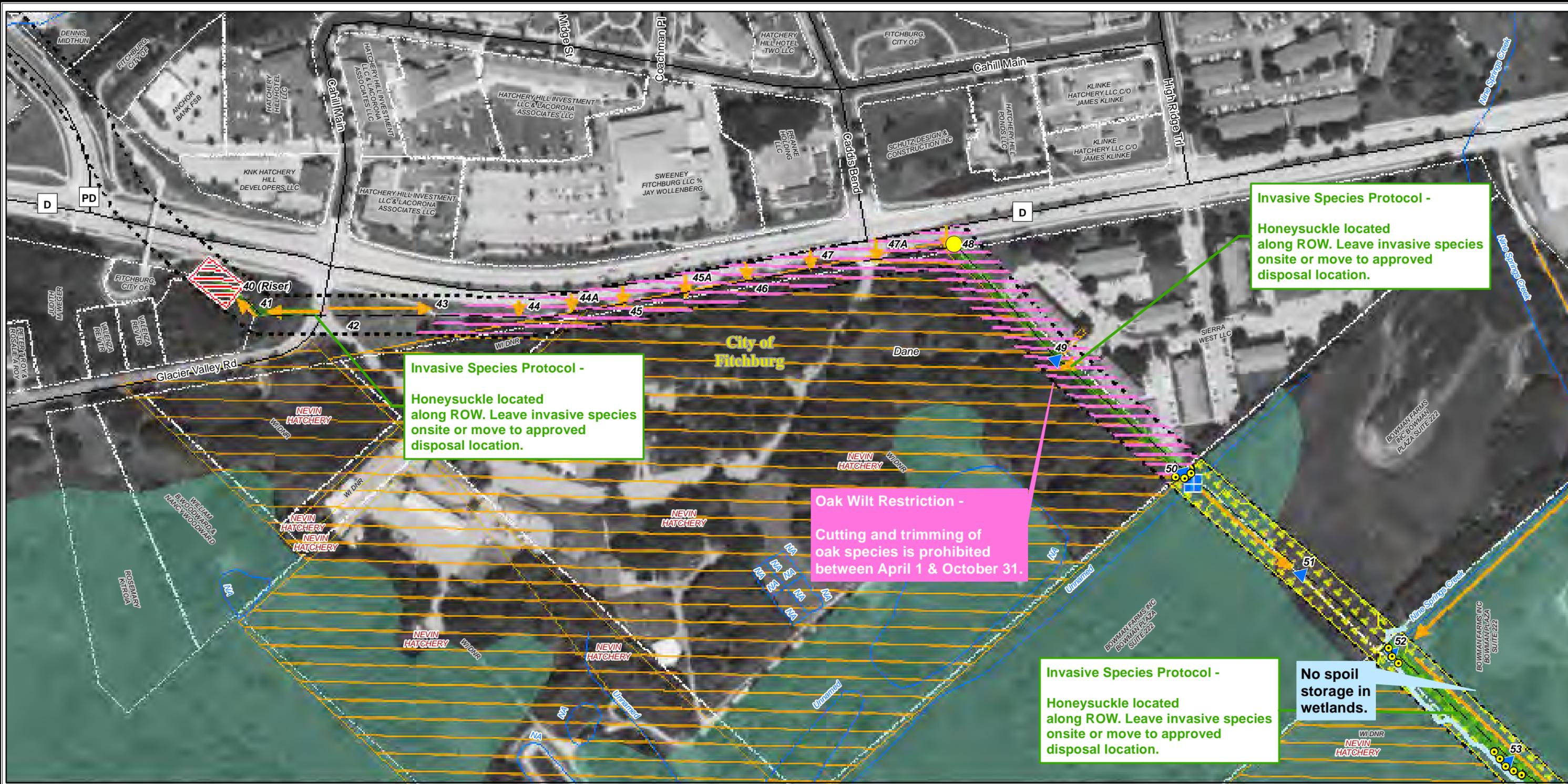
6943: Fitchburg to Nine Springs
ENVIRONMENTAL ACCESS PLAN

July 21, 2015

Orthophotography: NAIP, Summer 2010
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39_SWAT 6943 Fitchburg to Nine Springs\GIS
Last Revised By JLL/ Cardno JFNew

Overview

Base Map Data Sources: ATC, WDNR, PSCW, NAIP (2006), Parcels: Columbia County 2008. The information presented in this map document is advisory and is intended for reference purposes only. ATC owned and operated facility locations are approximate.

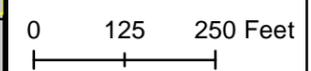


CONSTRUCTION METHOD		Legend		Legend	
	Vehicle Construction Access		Structure Replacement		Existing Pole
	Proposed Centerline CT 1 - No Special Technique Needed		Miscellaneous Maintenance		Existing Substation
	Erosion Control Devices Device Type Noted on Map		No Access Beyond This Point		Existing T-Line
	Potential Construction Matting (utilize as necessary to prevent disturbance)		Public Owned Lands		Potential Wetland (WDNR)
	Non-navigable waterway - OK to cross		Protected or Sensitive Resource - Construction Technique Protocol Noted		Delimited Wetland
	Wire Pulling Location		Temporary Clear Span Bridge		Property Line <small>Show with Parcel Number and Owner Name</small>
	Transmission Right-of-Way		Erosion Control BMP Required if Disturbed		Invasive Species Protocol Species Type Noted on Map
<small>* Right-of-way shown on this map is approximate and is shown for guidance only. Generally, ROW along existing roads is 50' on private property. ROW along existing transmission lines or cross country is 40' on each side, or 80' total.</small>		<small>Base Map Data Sources: ATC, WDNR, PSCW, NAIP (2013), Parcels: Columbia County 2008. The information presented in this map document is advisory and is intended for reference purposes only. ATC owned and operated facility locations are approximate.</small>		<small>WDNR Hydrology</small>	
				<small>Field Located Waterway</small>	

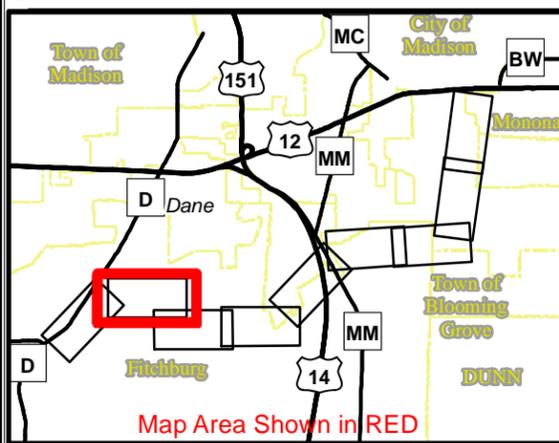
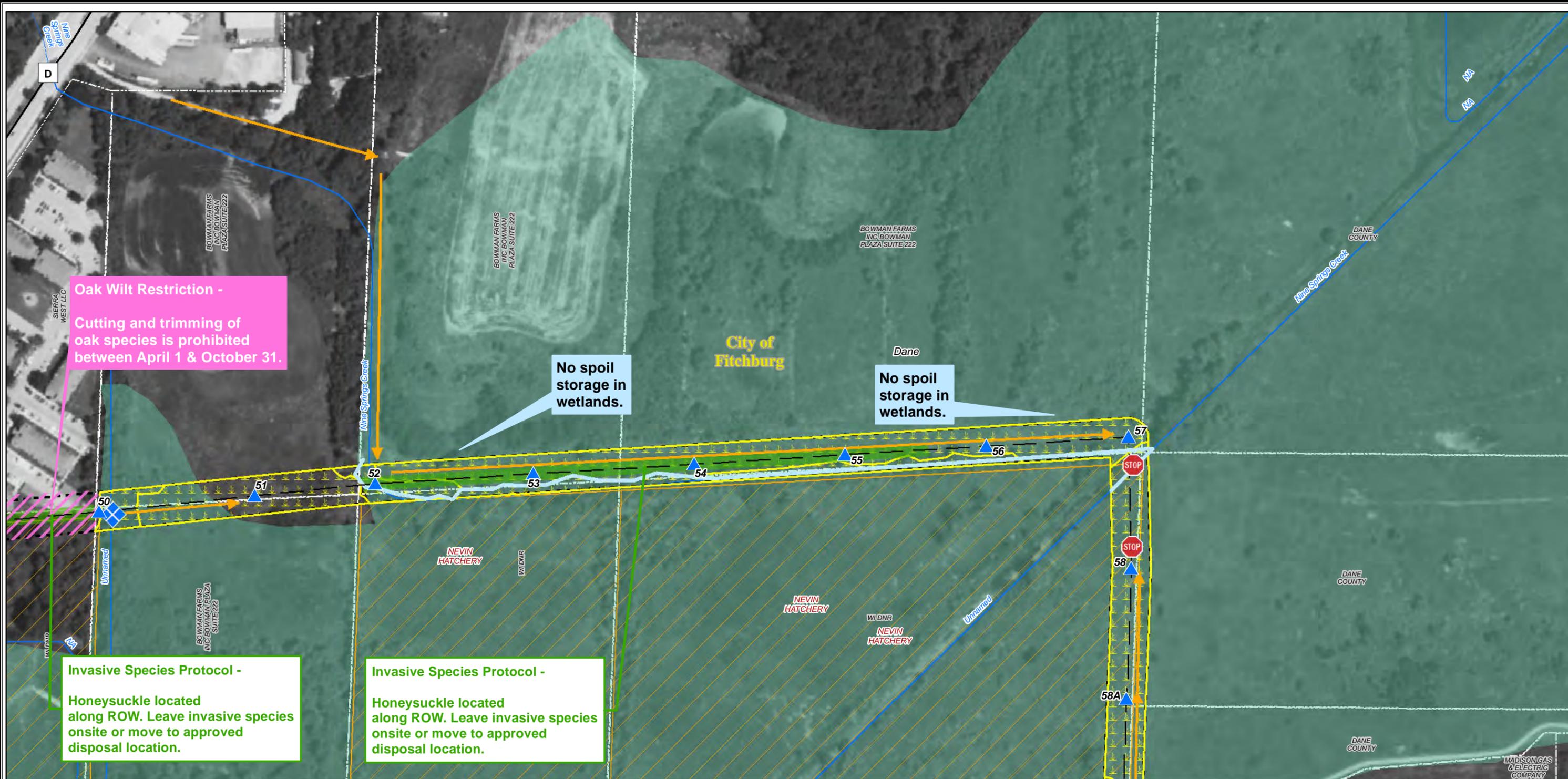
6943: Fitchburg to Nine Springs
ENVIRONMENTAL ACCESS PLAN



July 21, 2015



Orthophotography: NAIP, Summer 2010
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Last Revised By JLL/ Cardno JFNew



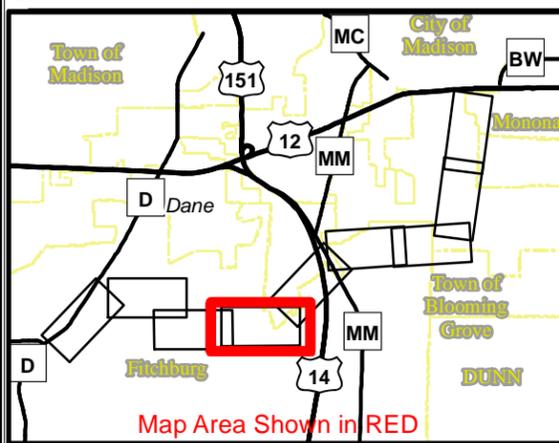
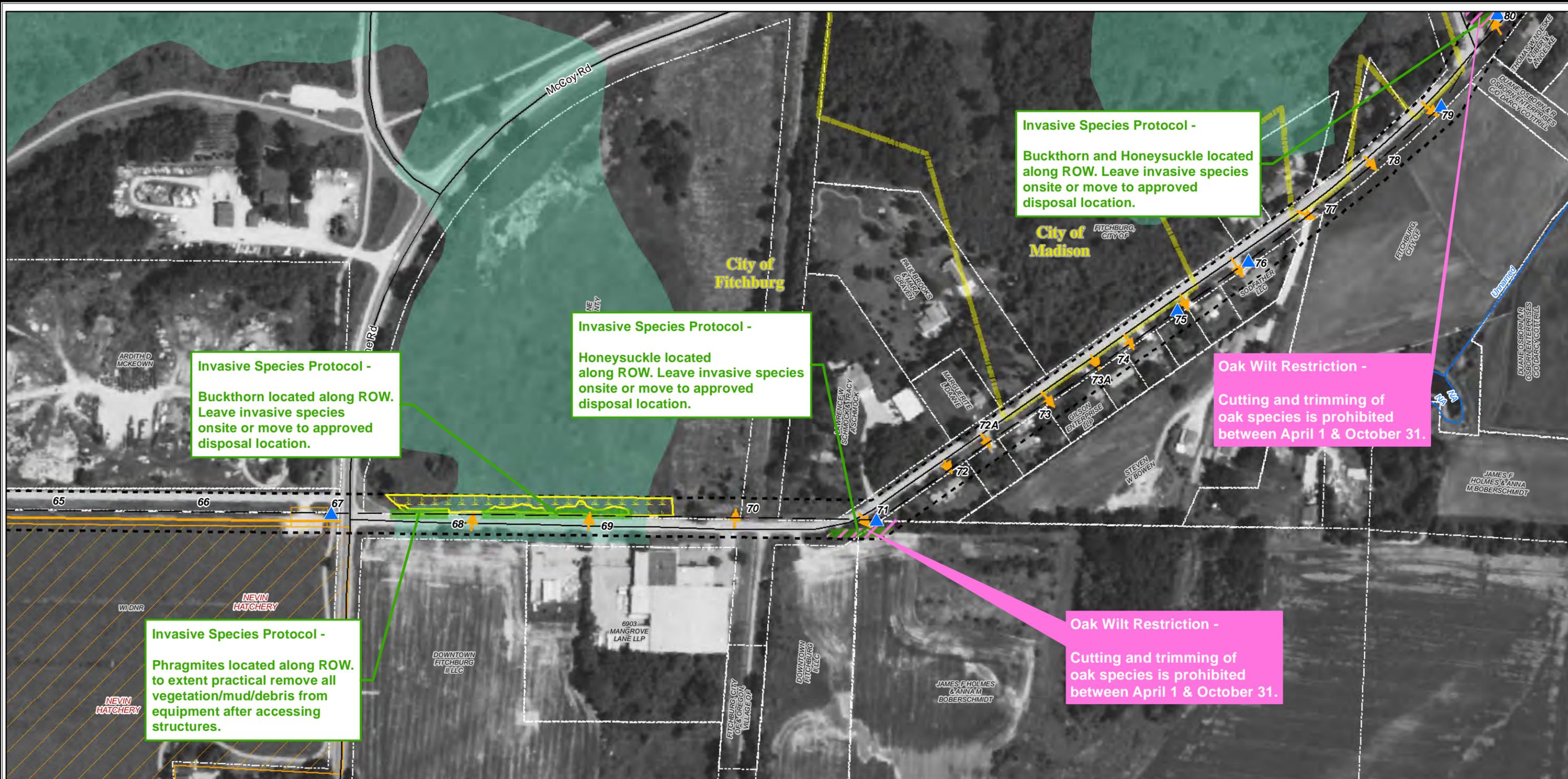
CONSTRUCTION METHOD		Structure Replacement		Invasive Species Protocol	
	Vehicle Construction Access		Structure Replacement		Invasive Species Protocol Species Type Noted on Map
	Proposed Centerline CT 1 - No Special Technique Needed		Miscellaneous Maintenance		WDNR Hydrology
	Erosion Control Devices Device Type Noted on Map		No Access Beyond This Point		Field Located Waterway
	Potential Construction Matting (utilize as necessary to prevent disturbance)		Public Owned Lands		Potential Wetland (WDNR)
	Non-navigable waterway - OK to cross		Protected or Sensitive Resource - Construction Technique Protocol Noted		Delimited Wetland
	Wire Pulling Location		Temporary Clear Span Bridge		Property Line <small>Shown with Parcel Number and Owner Name</small>
	Transmission Right-of-Way <small>* Right-of-way shown on this map is approximate and is shown for guidance only. Generally, ROW along existing roads is 50' on private property. ROW along existing transmission lines or cross country is 40' on each side, or 80' total.</small>		Existing Pole		Existing Substation
			Existing T-Line		Erosion Control BMP Required if Disturbed

6943: Fitchburg to Nine Springs
ENVIRONMENTAL ACCESS PLAN

July 21, 2015

Orthophotography: NAIP, Summer 2010
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Last Revised By JLL/Carino JFNew

Page 02 of 09



CONSTRUCTION METHOD		Structure Replacement		Invasive Species Protocol	
	Vehicle Construction Access		Structure Replacement		Invasive Species Protocol Species Type Noted on Map
	Proposed Centerline CT 1 - No Special Technique Needed		Miscellaneous Maintenance		WDR Hydrology
	Erosion Control Devices Device Type Noted on Map		No Access Beyond This Point		Field Located Waterway
	Potential Construction Matting (utilize as necessary to prevent disturbance)		Public Owned Lands		Potential Wetland (WDR)
	Non-navigable waterway - OK to cross		Protected or Sensitive Resource - Construction Technique Protocol Noted		Delimited Wetland
	Wire Pulling Location		Temporary Clear Span Bridge		Property Line <small>Shown with Parcel Number and Owner Name</small>
	Transmission Right-of-Way		Erosion Control BMP Required if Disturbed	Base Map Data Sources: ATC, WDR, PSCW, NAIP (2013), Parcels: Columbia County 2008. The information presented in this map document is advisory and is intended for reference purposes only. ATC owned and operated facility locations are approximate.	

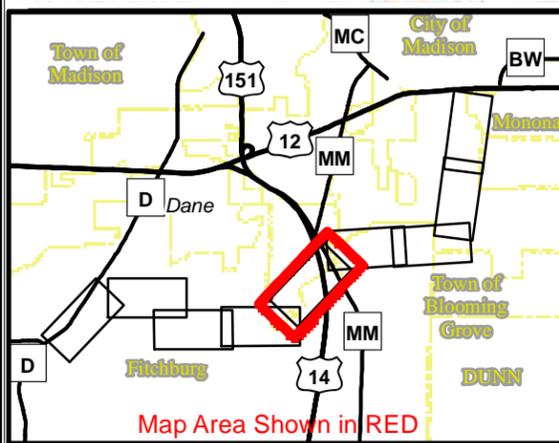
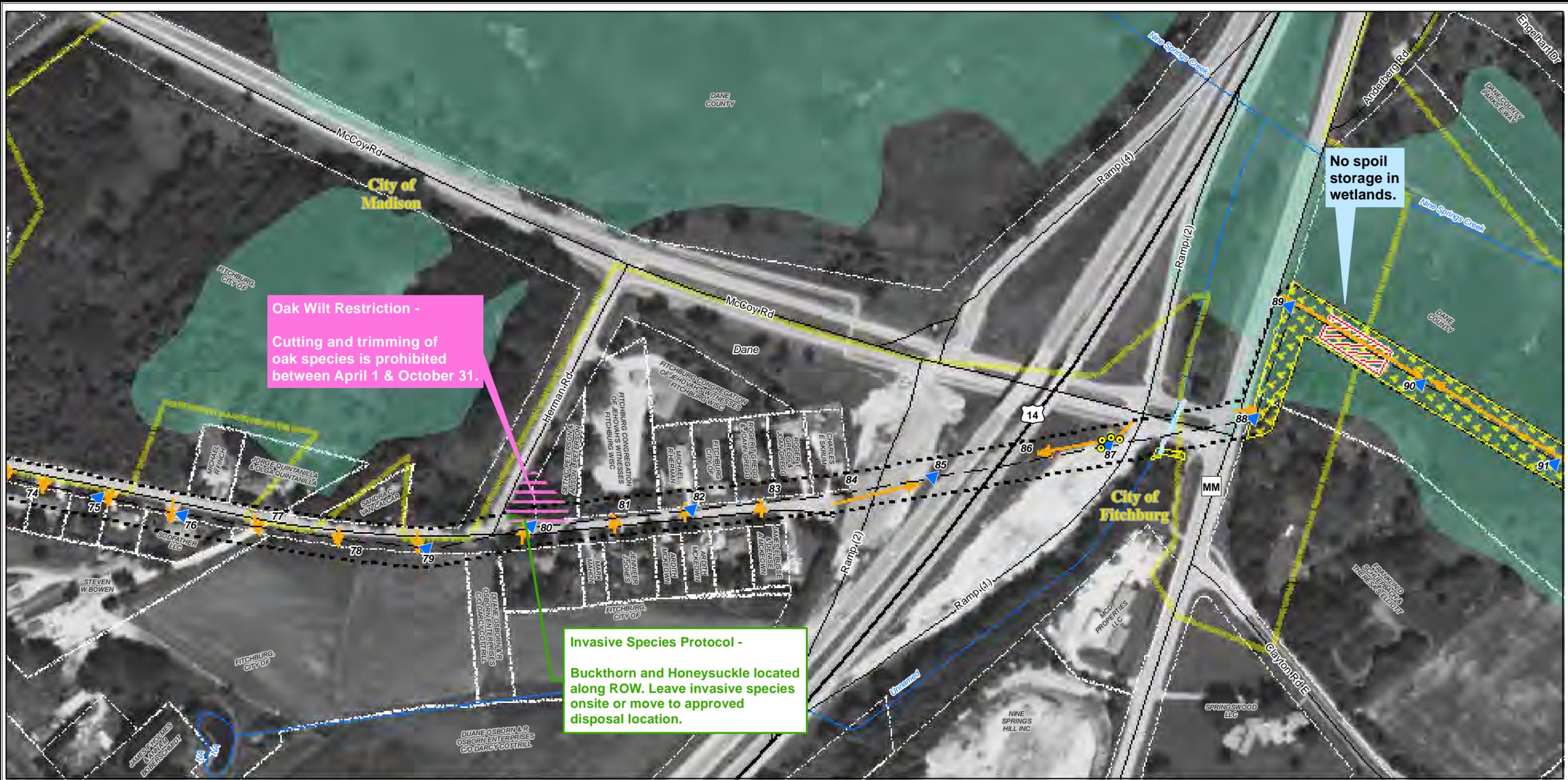
6943: Fitchburg to Nine Springs
ENVIRONMENTAL ACCESS PLAN

0 125 250 Feet

July 21, 2015

Orthophotography: NAIP, Summer 2010
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Last Revised By JLL/ Cardno JFNew

Page 04 of 09



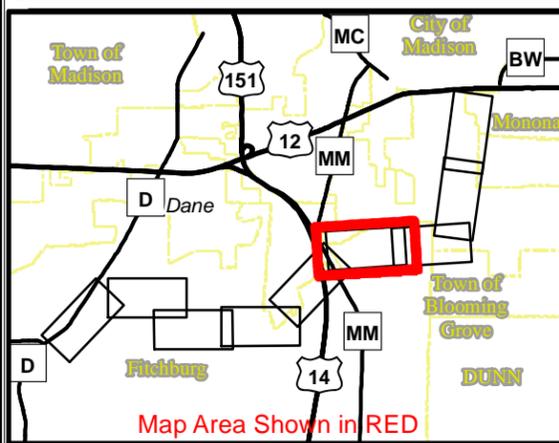
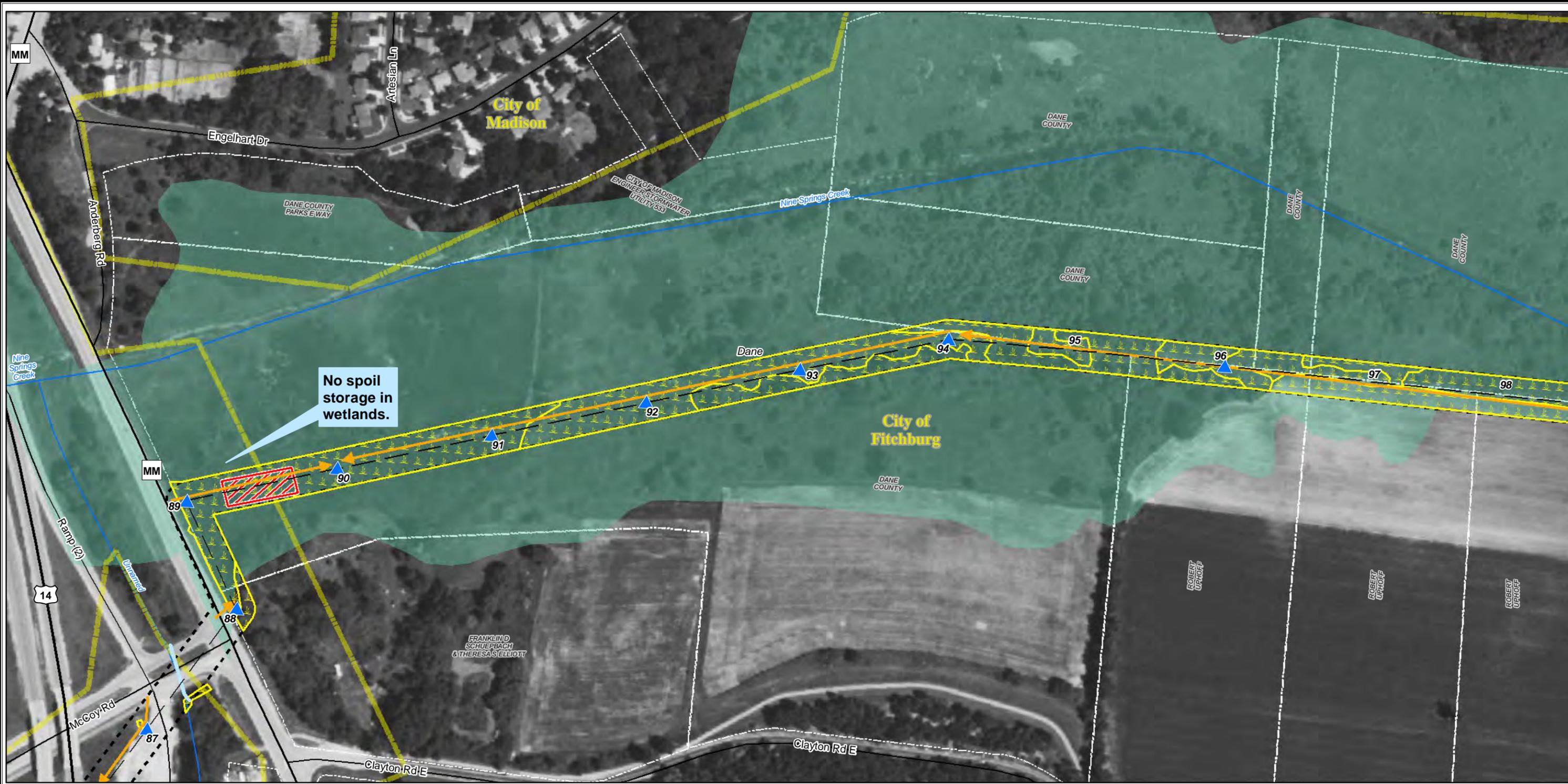
CONSTRUCTION METHOD		Structure Replacement		Wetlands	
Vehicle Construction Access	Miscellaneous Maintenance	Structure Replacement	Existing Substation	Invasive Species Protocol Species Type Noted on Map	WDNR Hydrology
Proposed Centerline <i>CT 1 - No Special Technique Needed</i>	No Access Beyond This Point	Existing T-Line	Public Owned Lands	Field Located Waterway	Potential Wetland (WDNR)
Erosion Control Devices <i>Device Type Noted on Map</i>	Protected or Sensitive Resource - <i>Construction Technique Protocol Noted</i>	Temporary Clear Span Bridge	Erosion Control BMP Required if Disturbed	Delineated Wetland	Property Line <i>Shown with Parcel Number and Owner Name</i>
Potential Construction Matting (utilize as necessary to prevent disturbance)	Transmission Right-of-Way	<small>* Right-of-way shown on this map is approximate and is shown for guidance only. Generally, ROW along existing roads is 50' on private property. ROW along existing transmission lines or cross country is 40' on each side, or 80' total.</small>		<small>Base Map Data Sources: ATC, WDNR, PSCW, NAIP (2013), Parcels: Columbia County 2008. The information presented in this map document is advisory and is intended for reference purposes only. ATC owned and operated facility locations are approximate.</small>	
Non-navigable waterway - OK to cross	Wire Pulling Location				

6943: Fitchburg to Nine Springs
ENVIRONMENTAL ACCESS PLAN

July 21, 2015

Orthophotography: NAIP, Summer 2010
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CONSTRUCTION METHOD	
	Vehicle Construction Access
	Proposed Centerline <i>CT 1 - No Special Technique Needed</i>
	Erosion Control Devices <i>Device Type Noted on Map</i>
	Potential Construction Matting (utilize as necessary to prevent disturbance)
	Non-navigable waterway - OK to cross
	Wire Pulling Location

	Structure Replacement
	Miscellaneous Maintenance
	No Access Beyond This Point
	Existing T-Line
	Public Owned Lands
	Protected or Sensitive Resource - <i>Construction Technique Protocol Noted</i>
	Temporary Clear Span Bridge
	Transmission Right-of-Way

	Existing Pole
	Existing Substation
	Invasive Species Protocol <i>Species Type Noted on Map</i>
	WDR Hydrology
	Field Located Waterway
	Potential Wetland (WDNR)
	Delimited Wetland
	Property Line <i>Shown with Parcel Number and Owner Name</i>
	Erosion Control BMP Required if Disturbed

6943: Fitchburg to Nine Springs
ENVIRONMENTAL ACCESS PLAN

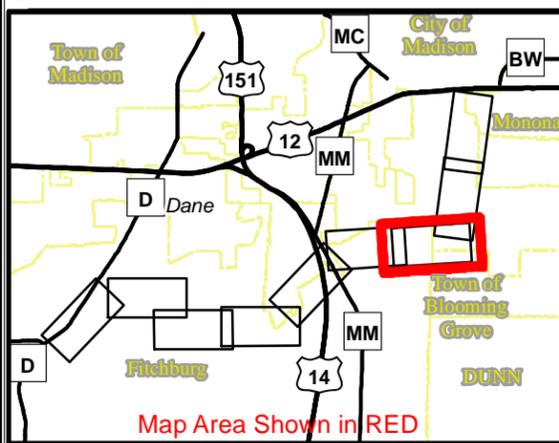
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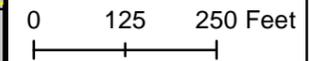
Base Map Data Sources: ATC, WDNR, PSCW, NAIP (2013), Parcels: Columbia County 2008.
The information presented in this map document is advisory and is intended for reference purposes only.
ATC owned and operated facility locations are approximate.

* Right-of-way shown on this map is approximate and is shown for guidance only. Generally, ROW along existing roads is 50' on private property. ROW along existing transmission lines or cross country is 40' on each side, or 80' total.



CONSTRUCTION METHOD		STRUCTURE REPLACEMENT		EXISTING POLE		INVASIVE SPECIES PROTOCOL	
	Vehicle Construction Access		Structure Replacement		Existing Pole		Invasive Species Protocol Species Type Noted on Map
	Proposed Centerline <i>CT 1 - No Special Technique Needed</i>		Miscellaneous Maintenance		Existing Substation		WDNR Hydrology
	Erosion Control Devices Device Type Noted on Map		No Access Beyond This Point		Existing T-Line		Field Located Waterway
	Potential Construction Matting (utilize as necessary to prevent disturbance)				Public Owned Lands		Potential Wetland (WDNR)
	Non-navigable waterway - OK to cross		Protected or Sensitive Resource - Construction Technique Protocol Noted		Erosion Control BMP Required if Disturbed		Delimited Wetland
	Wire Pulling Location		Temporary Clear Span Bridge		Transmission Right-of-Way		Property Line <small>Shown with Parcel Number and Owner Name</small>
		<small>* Right-of-way shown on this map is approximate and is shown for guidance only. Generally, ROW along existing roads is 50' on private property. ROW along existing transmission lines or cross country is 40' on each side, or 80' total.</small>		<small>Base Map Data Sources: ATC, WDNR, PSCW, NAIP (2013), Parcels: Columbia County 2008. The information presented in this map document is advisory and is intended for reference purposes only. ATC owned and operated facility locations are approximate.</small>			

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July 21, 2015

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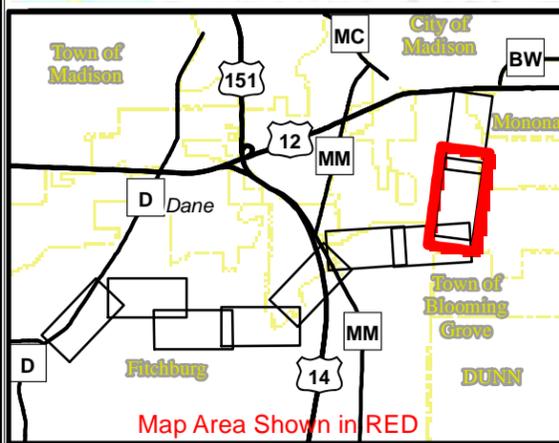


Invasive Species Protocol -
 Buckthorn and Honeysuckle located along ROW. Leave invasive species onsite or move to approved disposal location.

Invasive Species Protocol -
 Buckthorn and Honeysuckle located along ROW. Leave invasive species onsite or move to approved disposal location.

Invasive Species Protocol -
 Honeysuckle located along ROW. Leave invasive species onsite or move to approved disposal location.

Oak Wilt Restriction -
 Cutting and trimming of oak species is prohibited between April 1 & October 31.



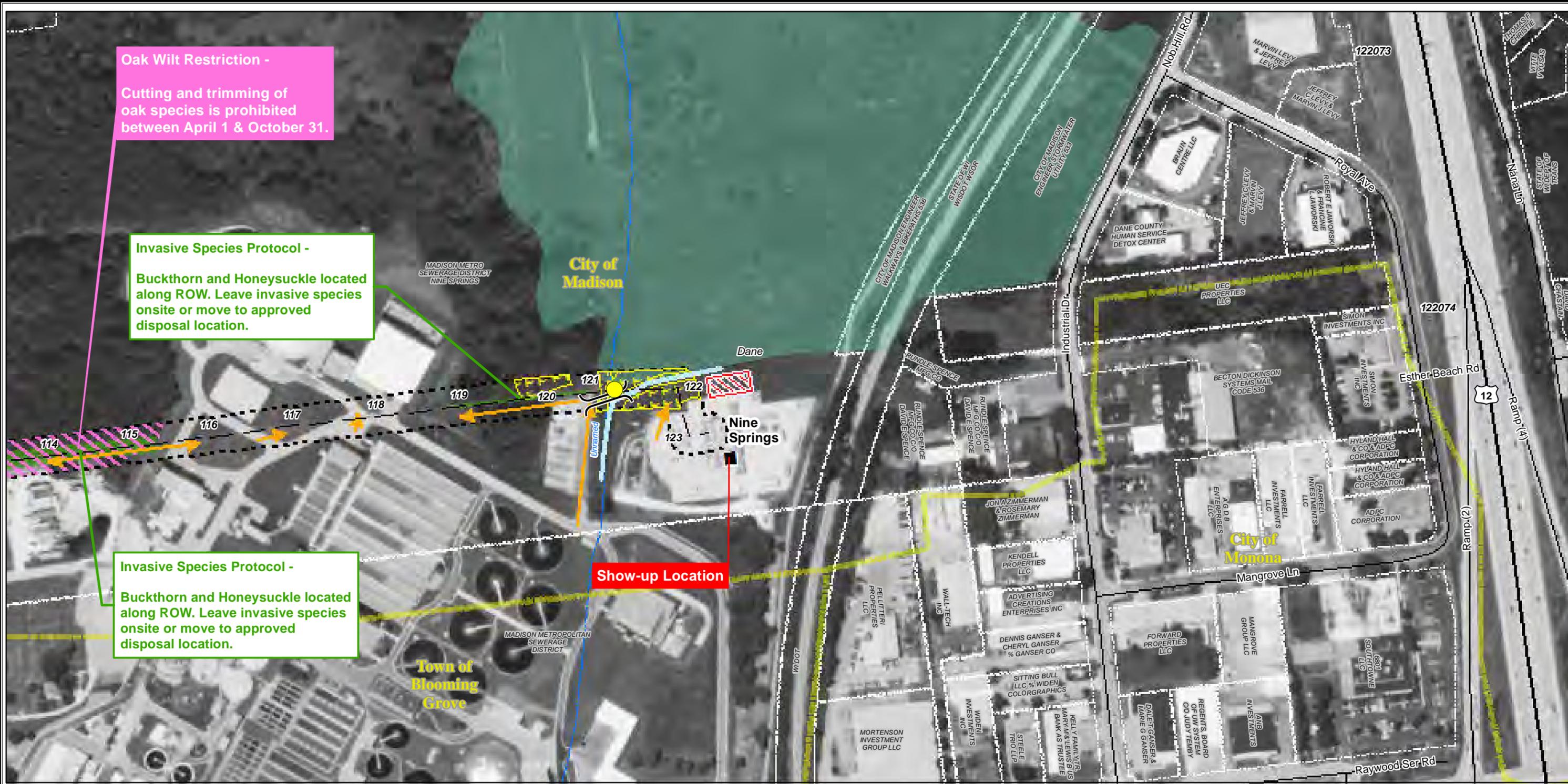
CONSTRUCTION METHOD		Structure Replacement		Invasive Species Protocol	
	Vehicle Construction Access		Structure Replacement		Invasive Species Protocol Species Type Noted on Map
	Proposed Centerline <i>CT 1 - No Special Technique Needed</i>		Miscellaneous Maintenance		WDNR Hydrology
	Erosion Control Devices <i>Device Type Noted on Map</i>		No Access Beyond This Point		Field Located Waterway
	Potential Construction Matting (utilize as necessary to prevent disturbance)		Existing Substation		Potential Wetland (WDNR)
	Non-navigable waterway - OK to cross		Existing T-Line		Delimited Wetland
	Wire Pulling Location		Protected or Sensitive Resource - <i>Construction Technique Protocol Noted</i>		Property Line <small>Shown with Parcel Number and Owner Name</small>
	Transmission Right-of-Way		Public Owned Lands		Erosion Control BMP Required if Disturbed
	Temporary Clear Span Bridge		Protected or Sensitive Resource - <i>Construction Technique Protocol Noted</i>		Erosion Control BMP Required if Disturbed

6943: Fitchburg to Nine Springs
ENVIRONMENTAL ACCESS PLAN

0 125 250 Feet

July 21, 2015

Orthophotography: NAIP, Summer 2010
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Last Revised By JLL/ Cardno JFNew

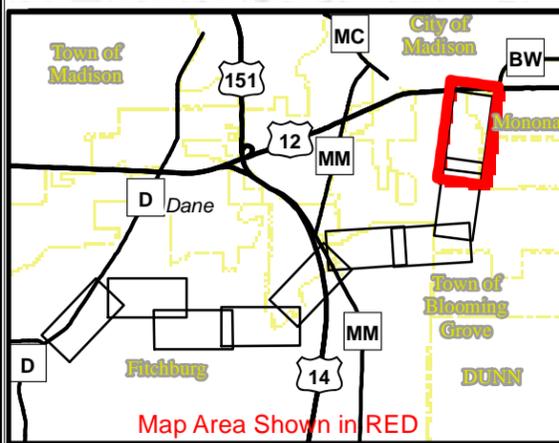


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Cutting and trimming of oak species is prohibited between April 1 & October 31.

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Buckthorn and Honeysuckle located along ROW. Leave invasive species onsite or move to approved disposal location.

Invasive Species Protocol -
Buckthorn and Honeysuckle located along ROW. Leave invasive species onsite or move to approved disposal location.

Show-up Location



CONSTRUCTION METHOD	
	Vehicle Construction Access
	Proposed Centerline CT 1 - No Special Technique Needed
	Erosion Control Devices Device Type Noted on Map
	Potential Construction Matting (utilize as necessary to prevent disturbance)
	Non-navigable waterway - OK to cross
	Wire Pulling Location

	Structure Replacement
	Miscellaneous Maintenance
	No Access Beyond This Point
	Existing Substation
	Existing T-Line
	Public Owned Lands
	Protected or Sensitive Resource - Construction Technique Protocol Noted
	Erosion Control BMP Required if Disturbed
	Transmission Right-of-Way
	Temporary Clear Span Bridge

	Existing Pole
	Existing Substation
	Existing T-Line
	Potential Wetland (WDNR)
	Delimited Wetland
	Property Line <small>Show with Parcel Number and Owner Name</small>

6943: Fitchburg to Nine Springs
ENVIRONMENTAL ACCESS PLAN

ATC
AMERICAN TRANSMISSION COMPANY

July 21, 2015

Orthophotography: NAIP, Summer 2010
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Base Map Data Sources: ATC, WDNR, PSCW, NAIP (2013), Parcels: Columbia County 2008. The information presented in this map document is advisory and is intended for reference purposes only. ATC owned and operated facility locations are approximate.

Erosion Control Permit Application

6943 Fitchburg to Nine Springs Rebuild Project

City of Fitchburg, Dane County, WI

Attachment

C

**Landowner List
(withn 300' of ROW)**

Tax Parcel Number	Owner Name	Property Address	Mailing Address	Mailing City	Mailing State	Mailing Zip Code
060901182705	DANE COUNTY		210 MARTIN LUTHER KING BLVD RM 114	MADISON	WI	53703
060901195915	ROBERT UPHOFF		4581 MEADOWVIEW RD	MADISON	WI	53711
060901297109	FRANKLIN D SCHUEPBACH & THERESA S ELLIOTT	4936 E CLAYTON RD	2830 S SYENE RD	FITCHBURG	WI	53711
060901381204	MCD PROPERTIES LLC	3081 COUNTY HIGHWAY MM	16819 W MILBRANDT RD	EVANSVILLE	WI	53536
060901386450	CHARLES E SKRUM	4978 W CLAYTON RD	4978 W CLAYTON RD	FITCHBURG	WI	53711
060901386656	ROGER T GREGG & JOANN GREGG	4986 W CLAYTON RD	4982 W CLAYTON RD	FITCHBURG	WI	53711
060901386754	FITCHBURG, CITY OF	4992 W CLAYTON RD	5520 LACY RD	FITCHBURG	WI	53711
060901386807	FITCHBURG CONGREGATION OF JEHOVAH'S WITNESSES FITCHBURG WISC	3082 HERMAN RD	3082 HERMAN RD	MADISON	WI	53711
060901386852	MICHAEL R HERMAN	4996 W CLAYTON RD	4996 W CLAYTON RD	FITCHBURG	WI	53711
060901387208	MARNEICE S FRAZIER-LEE	5000 W CLAYTON RD	5000 W CLAYTON RD	FITCHBURG	WI	53711
060901387851	MARK MAHON	4997 W CLAYTON RD	901 S WATSON AVE	MADISON	WI	53713
060901388154	JENNIFER J JONES	4993 W CLAYTON RD	4993 W CLAYTON RD	FITCHBURG	WI	53711
060901388350	ARDITH MCKEOWN	4989 W CLAYTON RD	4989 W CLAYTON RD	FITCHBURG	WI	53711
060901388458	RANDALL J KRATOCHVIL & DIANE M KRATOCHVIL	4985 W CLAYTON RD	4985 W CLAYTON RD	FITCHBURG	WI	53711
060901388572	JAMES E BUSSE & DENISE A MCKEOWN	4983 W CLAYTON RD	4983 W CLAYTON RD	FITCHBURG	WI	53711
060901388612	ARDITH MCKEOWN & MARY J MCKEOWN	4983 W CLAYTON RD	4989 W CLAYTON RD	MADISON	WI	53711
060901390801	THOMAS W NOESKE & LIBERTY A NOESKE	4999 W CLAYTON RD	2813 WAUBESA AVE	MADISON	WI	53711
060901391006	DUANE OSBORN & R OSBORN ENTERPRISES		5136 LACY RD	FITCHBURG	WI	53711
060902398602	MADISON GAS & ELECTRIC COMPANY	2961 S SYENE RD	PO BOX 1231	MADISON	WI	53701
060902398902	ARDITH D MCKEOWN	2965 S SYENE RD	2965 S SYENE RD	FITCHBURG	WI	53711
060902494804	SANDRA C VAN CALCAR	5018 W CLAYTON RD	5018 W CLAYTON RD	FITCHBURG	WI	53711
060902496704	PAUL BROOKS & MARA GRAVEN	5062 W CLAYTON RD	5062 W CLAYTON RD	FITCHBURG	WI	53711
060902497002	LAWRENCE W SCHMOCK & TRACY A SCHMOCK	5074 W CLAYTON RD	5074 W CLAYTON RD	FITCHBURG	WI	53711
060902497150	MARGUERITE L DAANE	5064 W CLAYTON RD	5064 W CLAYTON RD	FITCHBURG	WI	53711
060902497356	JOSHUA G HEBGEN & HOLLY J HEBGEN	5065 W CLAYTON RD	5065 W CLAYTON RD	MADISON	WI	53711
060902497454	JAMES H KIESLING & FLORENCE E KIESLING	5061 W CLAYTON RD	5061 W CLAYTON RD	FITCHBURG	WI	53711
060902497605	KEITH B DICKINSON & DEBRA L DICKINSON	5069 W CLAYTON RD	5069 W CLAYTON RD	FITCHBURG	WI	53711
060902498202	STEVEN W BOWEN	5029 W CLAYTON RD	5029 W CLAYTON RD	FITCHBURG	WI	53711
060902498855	GILSON ENTERPRISE LLP	5051 W CLAYTON RD	912 ERIN	MADISON	WI	53715
060902498953	NORMAN I OVERLAND	5047 W CLAYTON RD	5047 W CLAYTON RD	FITCHBURG	WI	53711
060902499050	EUGENE E CURKEET & ANNA L CURKEET	5043 W CLAYTON RD	5043 W CLAYTON RD	FITCHBURG	WI	53711
060902499158	CAROL J CHRISTOPHER	5041 W CLAYTON RD	5041 W CLAYTON RD	FITCHBURG	WI	53711
060902499256	YANG P VANG & CHOU LOR	5039 W CLAYTON RD	5039 W CLAYTON RD	FITCHBURG	WI	53711
060902499354	SODFATHER LLC	5033 W CLAYTON RD	5029 W CLAYTON RD	FITCHBURG	WI	53711
060902499452	MICHAEL R FINCH	5036 W CLAYTON RD	750 WILSON AVE	RICHMOND	CA	94805
060902499550	JORGE QUINTANILLA & OLGA QUINTANILLA	5030 W CLAYTON RD	5030 W CLAYTON RD	FITCHBURG	WI	53711
060903307532	HATCHERY HILL PONDS LLC	3040 CAHILL MAIN	3040 CAHILL MAIN	FITCHBURG	WI	53711
060903307808	KLINKE HATCHERY LLC	3052 CAHILL MAIN	4518 MONONA DR	MADISON	WI	53719
060903307942	SCHUTZ DESIGN & CONSTRUCTION INC	5400 CADDIS BND	6806 SEYBOLD RD	MADISON	WI	53719
060903308147	PRANKE HOLDING LLC	5401 CADDIS BND	241 N BROADWAY STE 501	MILWAUKEE	WI	53202
060903340058	SWEENEY FITCHBURG LLC	3010 CAHILL MAIN	PO BOX 473 UNIT MS-3300	MILWAUKEE	WI	53202
060903340361	HATCHERY HILL INVESTMENT LLC & LACORONA ASSOCIATES LLC	2960 CAHILL MAIN	700 N WATER ST STE 400	MILWAUKEE	WI	53202
060903341702	HATCHERY HILL HOTEL LLC	2963E CAHILL MAIN	6806 SEYBOLD RD	MADISON	WI	53716
060903383002	SIERRA WEST LLC	3620 BRECKENRIDGE CT APT 1	36790 ARMOUR RD	OCONOMOWOC	WI	53066
060903393500	WI DNR		PO BOX 7921	MADISON	WI	53701
060903480004	BOWMAN FARMS INC		2934 FISH HATCHERY RD	FITCHBURG	WI	53713
060910285512	JUDITH M WEGER	3912 FISH HATCHERY RD	4133 BARBY LN	MADISON	WI	53704
060910285659	VALENZA REV TR		17720 SE 92ND GRANTHAM TER	THE VILLAGES	FL	32162
060911180000	JAMES F HOLMES & ANNA M BOBERSCHMIDT		6650 UNIVERSITY AVE	MIDDLETON	WI	53562
060911185552	6903 MANGROVE LANE LLP	5105 W CLAYTON RD	5105 W CLAYTON RD	FITCHBURG	WI	53711
060911186602	FITCHBURG, CITY OF & OREGON, VILLAGE OF		5520 LACY RD	FITCHBURG	WI	53711
060911187209	DOWNTOWN FITCHBURG II LLC	2898 S SYENE RD	PO BOX 7700	MADISON	WI	53707
071030300926	STATE OF WI WISDOT	3097 NOB HILL RD	5300 N 33RD ST	MILWAUKEE	WI	53209
071030386409	WI DOT		2101 WRIGHT ST	MADISON	WI	53704
071030490000	MADISON METROPOLITAN SEWERAGE DISTRICT	7300 SOUTH TOWNE RD	1610 MOORLAND RD	MADISON	WI	53703
071031200969	HIGHLAND MANOR ASSOCIATES	64 BEL-AIRE DR	280 DAINES ST #300	BIRMINGHAM	MI	48009
071031386005	MADISON METROPOLITAN SEWERAGE DISTRICT		523 E MAIN ST	MADISON	WI	53703

Erosion Control Permit Application

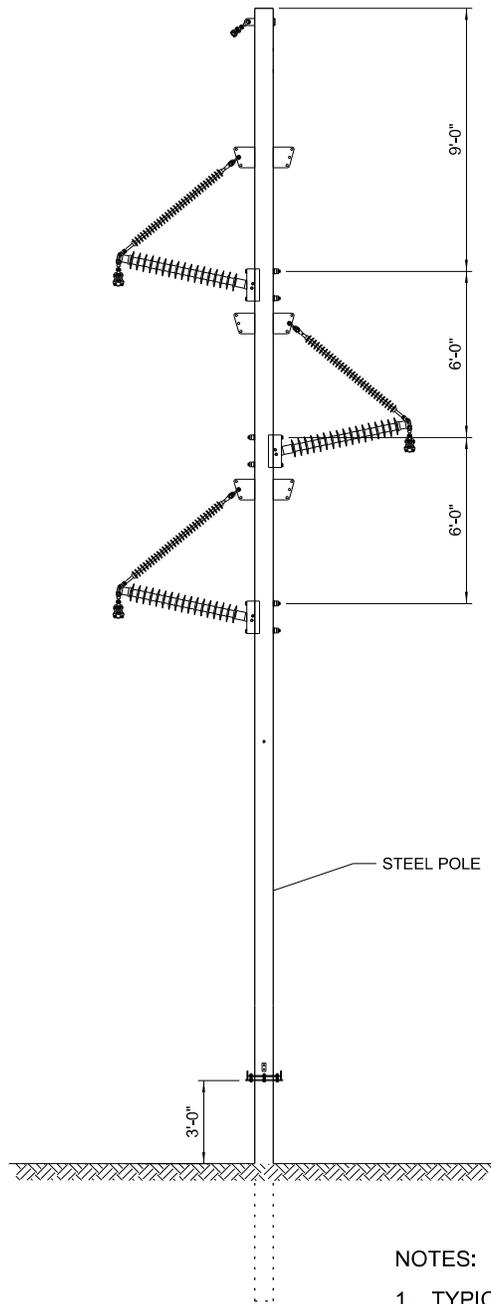
6943 Fitchburg to Nine Springs
Rebuild Project

City of Fitchburg, Dane County, WI

Attachment

D

**Typical Structure Drawings
(Existing and Replacement)**



NOTES:

1. TYPICAL ABOVE GROUND HEIGHT IS 60-70 FT.
2. TYPICAL DIAMETER AT GROUNDLINE IS 16 IN.

			SCALE			
			NTS			
A	10/14/15	069829	GCR	DGB	LWE	ECI
REV	DATE	W.O.#	DRAWN	CHKD	APPD	CMPY



TYPICAL TANGENT REPLACEMENT
 GENERAL DRAWING
 6943 - FITCHBURG - NINE SPRINGS

ENGINEERING RECORD DRAWING No.

ER-10-000XXX-016

THIS DOCUMENT IS FOR THE USE OF AMERICAN TRANSMISSION COMPANY. AMERICAN TRANSMISSION COMPANY DISCLAIMS ALL WARRANTIES BOTH EXPRESS AND IMPLIED. USE BY ANYONE OTHER THAN AMERICAN TRANSMISSION COMPANY IS AT THEIR OWN RISK.

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **October 27, 2015** Ordinance Number:
Date to Report Back: **Nov. 24, 2015** Resolution Number: R-XX-15

Sponsored by: Mayor Drafted by: Planning / Zoning

TITLE: Final Plat Request, FP-2090-15, by Michael Marty of Vierbicher, Agent for Goldleaf Fitchburg, LLC, for the Final Plat for First Addition to North Park

Background: Applicant is requesting approval of the Final Plat for the First Addition to North Park.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	Nov 17, 2015	
2				

Amendments:



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

LAND DIVISION APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby submits ten (10) copies of the attached maps, one (1) copy no larger than 11" x 17", and one (1) pdf document of the complete submittal (planning@fitchburgwi.gov) for approval under the rules and requirements of the Fitchburg Land Division Ordinance.

- 1. Type of Action Requested:**
- Certified Survey Map Approval
 - Preliminary Plat Approval
 - Final Plat Approval
 - Replat
 - Comprehensive Development Plan Approval

- 2. Proposed Land Use** (Check all that Apply):
- Single Family Residential
 - Two-Family Residential
 - Multi-Family Residential
 - Commercial/Industrial

3. No. of Parcels Proposed: 5

4. No. of Buildable Lots Proposed: 1

5. Zoning District: SC-NC

6. Current Owner of Property: Goldleaf Fitchburg, LLC; Contact: Mike Filkouskie

Address: 2379 University Ave., Madison, WI 53726 **Phone No:** 608-834-8141

7. Contact Person: Michael S. Marty, P.L.S.; Vierbicher Associates, Inc.

Email: mmar@vierbicher.com

Address: 999 Fourier Drive, Suite 201, Madison, WI 53717 **Phone No:** 608-821-3955

8. Submission of legal description in electronic format (MS Word or plain text) by email to: planning@fitchburgwi.gov

Pursuant to Section 24-2 (4) of the Fitchburg Land Division Ordinance, all Land Divisions shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

Respectfully Submitted By: Michael S. Marty Michael S. Marty, P.L.S.

Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** _____

Ordinance Section No. _____ **Fee Paid:** _____

Permit Request No. _____

LITTLE CREEK – FINAL PLAT DESCRIPTION

Part of the NE¼ - NW¼ and the SE¼ - NW¼ of Section 14, Township 06 North, Range 09 East, City of Fitchburg, Dane County, Wisconsin, more fully described as follows:

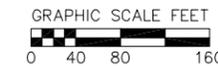
All of Outlot 2 and all of Outlot 3, NORTH PARK FITCHBURG, as recorded in Volume 60-030A of Plats, on Pages 154-156, as Document Number 5087380, Dane County Registry. Said description contains 1,018,111 square feet or 23.37 acres more or less

FIRST ADDITION TO NORTH PARK FITCHBURG

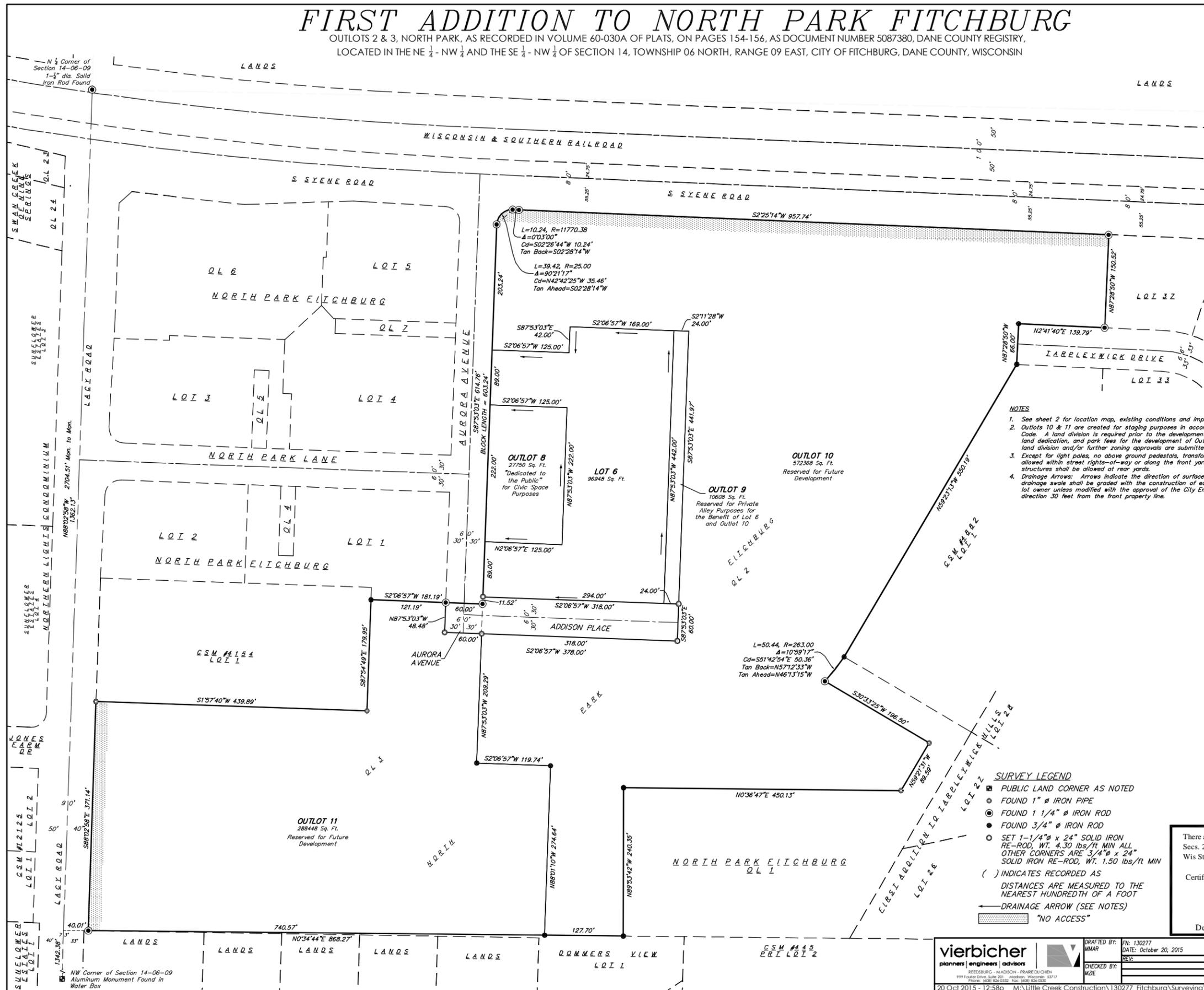
OUTLOTS 2 & 3, NORTH PARK, AS RECORDED IN VOLUME 60-030A OF PLATS, ON PAGES 154-156, AS DOCUMENT NUMBER 5087380, DANE COUNTY REGISTRY,
 LOCATED IN THE NE 1/4 - NW 1/4 AND THE SE 1/4 - NW 1/4 OF SECTION 14, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



BEARINGS ARE BASED UPON THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, WISCONSIN, THE NORTH LINE OF THE NW 1/4 OF SEC. 14-06-09 MEASURED AS BEARING N88°02'58"W



SURVEY PREPARED BY:
 VIERBICHER ASSOCIATES, INC.
 BY: MICHAEL S. MARTY
 999 FOURIER DRIVE,
 SUITE 201
 MADISON, WI 53717
 (608)-821-3955
 mmarty@vierbicher.com



NOTES

- See sheet 2 for location map, existing conditions and improvements, easements and additional notes.
- Outlots 10 & 11 are created for staging purposes in accord with Section 24-2(j) of the Municipal Code. A land division is required prior to the development of the respective Outlots. Additional park land dedication, and park fees for the development of Outlots will be calculated at the time a new land division and/or further zoning approvals are submitted to the City for approval.
- Except for light poles, no above ground pedestals, transformers or other switch equipment shall be allowed within street rights-of-way or along the front yards of the Lots. Said above ground structures shall be allowed at rear yards.
- Drainage Arrows: Arrows indicate the direction of surface drainage at individual property lines. Said drainage swale shall be graded with the construction of each principal structure and maintained by the lot owner unless modified with the approval of the City Engineer. Lots with two arrows typically change direction 30 feet from the front property line.

SURVEY LEGEND

- ☐ PUBLIC LAND CORNER AS NOTED
- FOUND 1" Ø IRON PIPE
- FOUND 1 1/4" Ø IRON ROD
- FOUND 3/4" Ø IRON ROD
- SET 1-1/4" Ø x 24" SOLID IRON RE-ROD, WT. 4.30 LBS/FT. MIN. ALL OTHER CORNERS ARE 3/4" Ø x 24" SOLID IRON RE-ROD, WT. 1.50 LBS/FT. MIN
- () INDICATES RECORDED AS DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT
- DRAINAGE ARROW (SEE NOTES)
- ▨ "NO ACCESS"

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis Stats.

Certified _____, 20____



Department of Administration

vierbicher
 planners | engineers | advisors
 REEDSBURG - MADISON - PRAIRIE DU CHIEN
 999 Fourier Drive, Suite 201, Fitchburg, WI 53717
 Phone: (608) 821-3955 Fax: (608) 821-3950

DRAFTED BY:	MMAR	FN: 130277
DATE:	October 20, 2015	
CHECKED BY:	MZE	

SURVEYED FOR:	Goldleaf Fitchburg, LLC c/o Mike Filkouski 2379 University Avenue Madison, WI 53726
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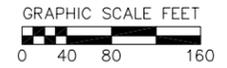
SHEET 1 OF 3

FIRST ADDITION TO NORTH PARK FITCHBURG

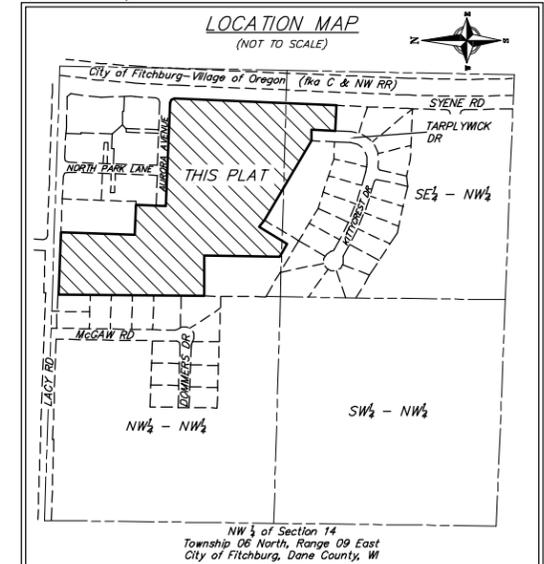
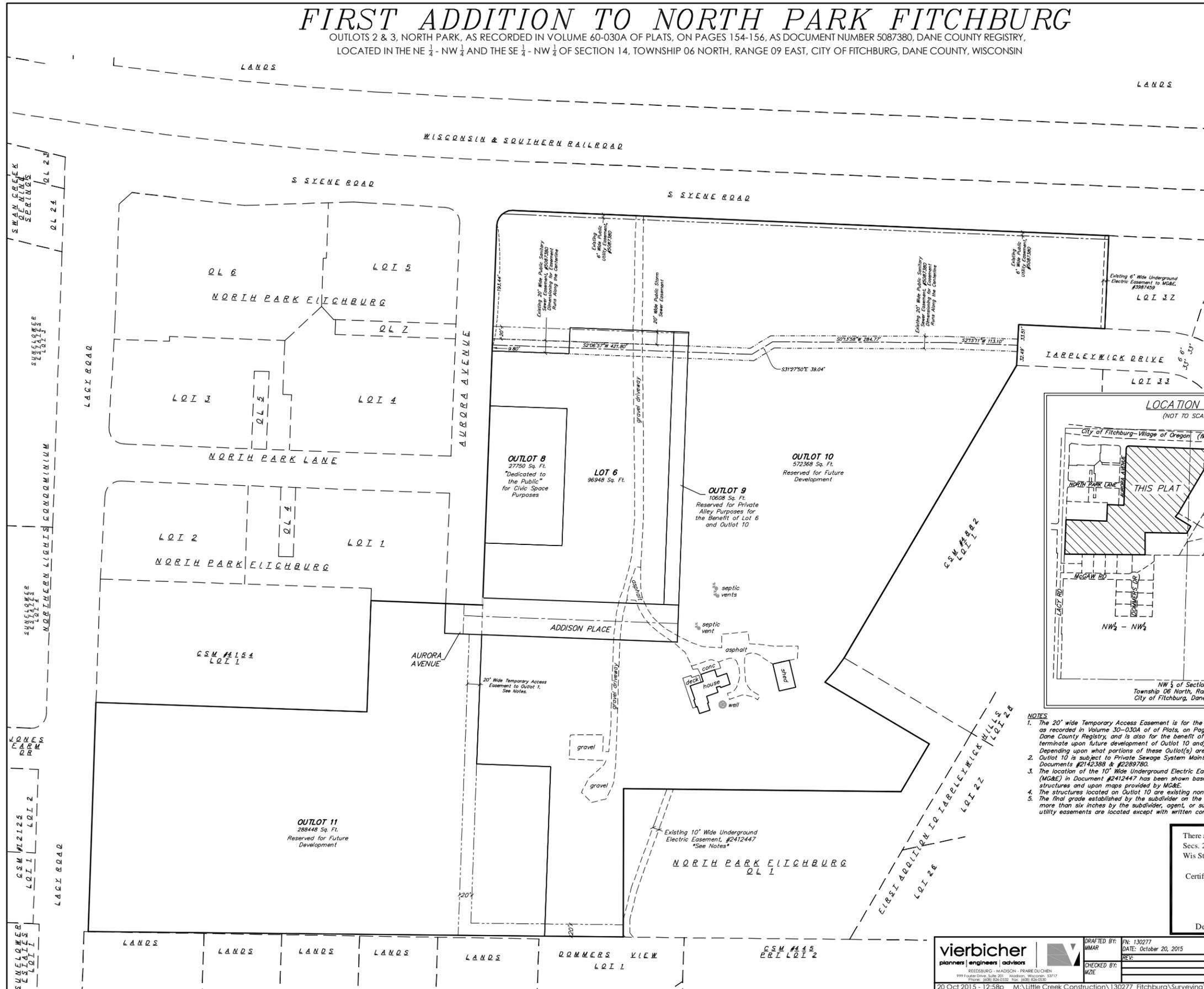
OUTLOTS 2 & 3, NORTH PARK, AS RECORDED IN VOLUME 60-030A OF PLATS, ON PAGES 154-156, AS DOCUMENT NUMBER 5087380, DANE COUNTY REGISTRY,
 LOCATED IN THE NE 1/4 - NW 1/4 AND THE SE 1/4 - NW 1/4 OF SECTION 14, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



BEARINGS ARE BASED UPON THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, WISCONSIN, THE NORTH LINE OF THE NW 1/4 OF SEC. 14-06-09 MEASURED AS BEARING N88°02'58"W



SURVEY PREPARED BY:
 VIERBICHER ASSOCIATES, INC.
 BY: MICHAEL S. MARTY
 999 FOURIER DRIVE,
 SUITE 201
 MADISON, WI 53717
 (608)-821-3955
 mmarty@vierbicher.com



- NOTES**
- The 20' wide Temporary Access Easement is for the benefit of Lots 1-5, North Park Fitchburg, as recorded in Volume 30-030A of Plats, on Pages 154-156, as Document Number 5087380, Dane County Registry, and is also for the benefit of Lot 6 of this Plat. This easement to terminate upon future development of Outlot 10 and/or Outlot 11 by Plat or Certified Survey Map. Depending upon what portions of these Outlot(s) are developed, a new easement may be required.
 - Outlot 10 is subject to Private Sewage System Maintenance Agreement recorded in Documents #2142388 & #2289780.
 - The location of the 10' Wide Underground Electric Easement to Madison Gas and Electric Company (MGE) in Document #2412447 has been shown based upon the location of existing field located structures and upon maps provided by MGE.
 - The structures located on Outlot 10 are existing non-conforming.
 - The final grade established by the subdivider on the utility easements shall not be altered by more than six inches by the subdivider, agent, or subsequent owners of the lots on which such utility easements are located except with written consent of the utility or utilities involved.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis Stats.

Certified _____, 20__

Department of Administration

 REEDSBURG - MADISON - PRAIRIE DU CHIEN 999 Fourier Drive, Suite 201, Fitchburg, Wisconsin, 53717 Phone: (608) 821-3955 Fax: (608) 821-3950	DRAFTED BY: FN: 130277 MMAR DATE: October 20, 2015	SURVEYED FOR: Goldleaf Fitchburg, LLC c/o Mike Filkouski 2379 University Avenue Madison, WI 53726	SHEET 2 OF 3
	CHECKED BY: MZE	20 Oct 2015 - 12:58p M:\Little Creek Construction\130277 Fitchburg\Surveying\130277 FPlat-First Addition.dwg by: mmar	

FIRST ADDITION TO NORTH PARK FITCHBURG

OUTLOTS 2 & 3, NORTH PARK, AS RECORDED IN VOLUME 60-030A OF PLATS, ON PAGES 154-156, AS DOCUMENT NUMBER 5087380, DANE COUNTY REGISTRY,
LOCATED IN THE NE 1/4 - NW 1/4 AND THE SE 1/4 - NW 1/4 OF SECTION 14, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, Michael S. Marty, Professional Land Surveyor No. 2452 hereby certify: that in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the City of Fitchburg and under the direction of Goldleaf Fitchburg, LLC, owner of said land, I have surveyed, divided, and mapped FIRST ADDITION TO NORTH PARK FITCHBURG; that such plat correctly represents all exterior boundaries and the subdivision of the lands surveyed; and that this land is part of the NE 1/4 - NW 1/4 and the SE 1/4 - NW 1/4 of Section 14, Township 06 North, Range 09 East, City of Fitchburg, Dane County, Wisconsin, more fully described as follows:

All of Outlot 2 and all of Outlot 3, NORTH PARK FITCHBURG, as recorded in Volume 60-030A of Plats, on Pages 154-156, as Document Number 5087380, Dane County Registry. Said description contains 1,018,111 square feet or 23.37 acres more or less.

Vierbicher Associates Inc.
By: Michael S. Marty, P.L.S. No. 2452

Dated this ____ day of _____, 201__.

Signed:

Michael S. Marty, P.L.S. No. 2452

CITY OF FITCHBURG TREASURER'S CERTIFICATE

As duly appointed City Treasurer of the City of Fitchburg, Dane County, Wisconsin, I hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments affecting any of the lands included in the plat of FIRST ADDITION TO NORTH PARK FITCHBURG as of this ____ day of _____, 201__.

Norma DeHaven, City of Fitchburg Treasurer

CITY OF FITCHBURG APPROVAL

Resolved, that the plat of FIRST ADDITION TO NORTH PARK FITCHBURG, located in the City of Fitchburg, Dane County, Wisconsin, was hereby approved by Resolution Number _____, adopted on this ____ day of _____, 201__, and further resolved that the conditions of said approval were fulfilled on this ____ day of _____, 201__, and that said Resolution further provided for the acceptance of those lands dedicated and rights conveyed by said plat of FIRST ADDITION TO NORTH PARK FITCHBURG to the City of Fitchburg for public use.

Linda J. Cory, City Clerk
City of Fitchburg, Dane County, Wisconsin

OWNER'S CERTIFICATE:

Goldleaf Fitchburg, LLC, as owner, does hereby certify that they caused the land described on this plat to be surveyed, divided, mapped, and dedicated as represented on this plat.

Goldleaf Fitchburg, LLC, does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Department of Administration
Common Council, City of Fitchburg
Dane County Zoning and Natural Resources Committee

IN WITNESS WHEREOF, Goldleaf Fitchburg, LLC, has caused these presents to be signed by _____, its _____, at Madison, Wisconsin, on this ____ day of _____, 201__.

Goldleaf Fitchburg, LLC
by:

State of Wisconsin)
)ss.
County of Dane)

Personally came before me this ____ day of _____, 201__, _____, its _____, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, Wisconsin

My commission expires/is permanent: _____

DANE COUNTY TREASURER'S CERTIFICATE:

I, Adam Gallagher, being the duly elected, qualified, and acting Treasurer of the County of Dane, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments affecting any of the lands included in the plat of FIRST ADDITION TO NORTH PARK FITCHBURG, as of this ____ day of _____, 201__.

Adam Gallagher, Dane County Treasurer

CERTIFICATE OF REGISTER OF DEEDS

RECORDING DATA
Received for recording this ____ day
of _____, 20__ at
____ o'clock __m. and recorded
in Volume _____ of Plats, on
Pages _____

Kristi Chlebowski, Dane County
Register of Deeds

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration



SURVEY PREPARED BY:
Vierbicher Associates, Inc.
999 Fourier Drive, Suite 201
Madison, WI 53717
By: Michael S. Marty, P.L.S.
mmar@vierbicher.com
608.821.3955 direct
608.209.5284 mobile

 planners engineers advisors REEDSBURG - MADISON - PRAIRIE DU CHIEN 999 Fourier Drive, Suite 201 Madison, Wisconsin, 53717 Phone: 608.821.3955 Fax: 608.821.3950	DRAFTED BY: JMMAR DATE: October 20, 2015	SURVEYED FOR: Goldleaf Fitchburg, LLC c/o Mike Filkouski 2379 University Avenue Madison, WI 53726	SHEET 3 OF 3
	CHECKED BY: MZIE	20 Oct 2015 - 12:58p M:\Little Creek Construction\130277_Fitchburg\Surveying\130277_FPlat-First Addition.dwg by: mmar	

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **October 27, 2015** Ordinance Number: 2015-O-XX
Date to Report Back: **Nov 24, 2015** Resolution Number:

Sponsored by: Mayor Drafted by: Planning / Zoning

TITLE: Rezone Request, RZ-2091-15, by Bill Schiel, Agent for 5509, LLC, to Amend the PDD-SIP Zoning Relative to Site Plan and Building Modifications, for 11 Glenbrook Way, Lot 1 CSM 12952

Background: Applicant is requesting approval to amend the PDD-SIP zoning for 11 Glen Brook Way to allow for modifications to the site, including removal of the surface parking and additional underground parking.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	Nov 17, 2015	
2				

Amendments:

	City of Fitchburg Planning/Zoning Department 5520 Lacy Road Fitchburg, WI 53711 (608-270-4200)	<h2>REZONING APPLICATION</h2>
---	--	-------------------------------

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the _____ district to the _____ district the following described property:

1. Location of Property/Street Address: 11 Glen Brook Way

Legal Description - (Metes & Bounds, or Lot No. And Plat):

See Attached CSAA

***Also submit in electronic format (MS WORD or plain text) by email to: planning@fitchburgwi.gov

2. Proposed Use of Property - Explanation of Request:

24-unit Condominium

3. Proposed Development Schedule: Jan-Dec 2016

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@fitchburgwi.gov. Additional information may be requested.

Type of Residential Development (If Applicable): PDD Condominium

Total Dwelling Units Proposed: 24 No. Of Parking Stalls: 54

Type of Non-residential Development (If Applicable): _____

Proposed Hours of Operation: 7am - 4pm No. Of Employees: _____

Floor Area: _____ No. Of Parking Stalls: _____

Sewer: Municipal Private Water: Municipal Private

Current Owner of Property: 5509, LLC

Address: 26 Schroeder Ct Madison, WI 53711 Phone No: 608-345-2022

Contact Person: Bill Schiel

Email: Wmschiel@gmail.com

Address: 2639 39 Glen Arbor Way 53711 Phone No: 608-345-2022

Respectfully Submitted By: W.D. Schiel _____
Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: 10/20/15 Publish: _____ and _____

Ordinance Section No. _____ Fee Paid: \$825.00

Permit Request No. PZ-2091-15

Glen Wood Heights
Condominium Village

**Architectural Design Review &
Amended SIP Application**

Phase III

11 Glen Brook Way

Fitchburg, WI

October 20, 2015



Ownership Entity

5509, LLC

Managing Member

William H. Schiel

Developer

Schiel & Associates, Inc.
William H. Schiel
26 Schroeder Ct.
Madison, WI 53711

Architect

Ferch Architecture
David Ferch
2704 Gregory St.
Madison, WI 53711

Landscape Architect

Outdoor Arts Landscape
Erik Bernier
6 Cobblestone Court
Madison, WI 53714

Survey & Civil Engineering

Jenkins Survey & Design, Inc.
Hans Justeson, PE
161 Horizon Dr. #101
Verona, WI 53593

October 20, 2015

To: Steve Arnold, Mayor
Thomas Hovel, Director Planning & Zoning
Susan Badtke, Assistant Director Planning & Zoning
Planning Commission Members

From: William H. Schiel, Schiel & Associates, Inc.

RE: Architectural & Design Approval

Description: Phase III of Glen Wood Heights Condominiums
A 72 unit condominium project located on the south side of Lacy Rd. across from the Community Center.

Zoning: PDD

Use: Development of the final phase of 24 units. Phase I & II are complete and are both 24 unit buildings.

Density: 10.9 units per acre based on 72 units and a site area of 6.61 acres.
13.34 units per acre net of street & park dedication.

Introduction

The GIP/SIP was originally approved in 2005. The approval included the development of three 24-unit buildings. The original CSM, CSM 11459, consisted of 4 lots; two outlots which were dedicated to the City of Fitchburg for park land and 2 developable lots (see attached). The SIP was amended in 2010 when Lot 1 was divided into two legal parcels. A new CSM was created for Lot 1 (Phase III), CSM 12952 (see attached).

Phase I & II have been completed. The buildings are located at 5511 McGann Ln. and 10 Glen Brook Way.

Phase III will be located on Lot 1 (CSM 12952) bordered by Glen Brook Way to the west, Lacy Rd. to the north and McGann Ln. to the south. Access to Phase III is from Glen Brook Way.

The plan has been revised slightly primarily eliminating a surface parking lot and providing additional underground parking. The overall density, impervious surface ratios, utility plans, grading & landscape plan remain primarily unchanged.

The following is attached as a point of reference.

- CSM 1459 as recorded with Dane County
- CSM 12052 as recorded with Dane County

Site Plan & Landscape Plan

The site and landscape plan develop the concept of a peaceful woodland community with 68.39 % of Lot 1 remaining as green space.

	<u>SIP 2005</u>	<u>As Submitted 10/20/2015</u>
<u>Building Size:</u>		
Bldg. #1	65,173 sq. ft.	65,173 Sq. Ft.
Bldg. #2	65,163 sq. ft.	65,163 Sq. Ft.
Bldg. #3 (lot1)	60,477 sq. ft.	67,707 Sq. Ft

<u>Parking:</u>	<u>Phase III (24 units)</u>		<u>All Phases (72 units)</u>	
Under Ground Parking	48	89%	142	92%
Surface Parking	<u>6</u>	<u>11%</u>	<u>12</u>	<u>8%</u>
Total Parking	54	100%	154	100%

- Note: 1. Parking required for 72 units = 144
2. The original approval consisted of 153 parking stalls with 139 underground stalls and 14 surface parking stalls.

Cross easements for parking on Glen Brook Way exist between lots 1 & 2 and have been recorded with Dane County

Site & Zoning Statistics Lot 1 CSM 12052

Existing Zoning	PDD
Site Acreage	1.69 Acres
Site Area	73,774 sq. ft.
Units/ acre	14.20
Impervious Area	31.61%
Green Area	68.39%

Lot 1, Building #1:

3 stories with partial lower level partially exposed.

		Original	Submitted
Units:	Two Bedroom	18	24
	One Bedroom	<u>6</u>	<u>0</u>
Total		24	24
Square Footage:		Original	Submitted
	Underground Parking	14,750	18,824
	1 st Floor	15,303	16,557
	2 nd Floor	15,212	16,163
	3 rd Floor	<u>15,212</u>	<u>16,163</u>
	Total Square Footage	60,477	67,707
Floor Area Ratio:	Square footage	60,477	67,707
	Lot size	<u>73,774</u>	<u>73,774</u>
	FAR including parking	0.82	0.92
	FAR w/o parking	0.62	0.66

Attachments:

Lacy Ridge Reconfigured CSM – 12952

Lacy Ridge Original CSM – CSM 11459

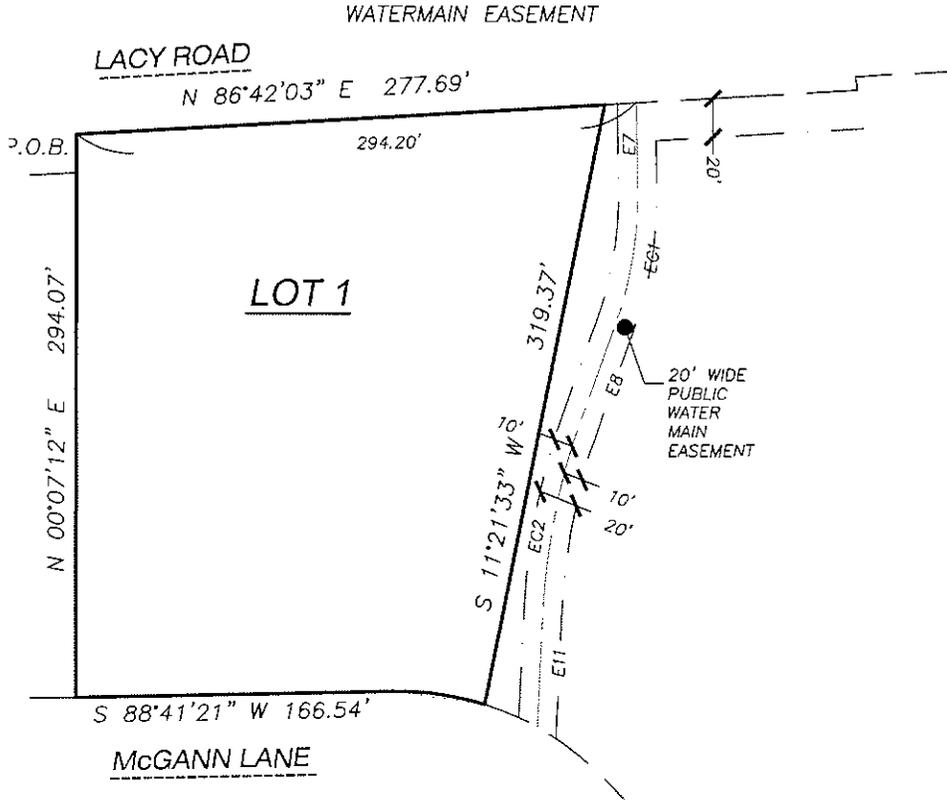
Lacy Ridge Ingress-Egress & Parking Easements

Lacy Ridge Zoning Ordinance

Lacy Ridge – Glen Wood Heights Condominium Plat

CERTIFIED SURVEY MAP NO. 12452

PART OF LOT ONE (1) OF CERTIFIED SURVEY MAP NO. 11459, RECORDED IN VOLUME 69 OF CERTIFIED SURVEY MAPS ON PAGES 316-318 AS DOCUMENT NO. 4079647, LOCATED IN THE NORTHWEST QUARTER (NW 1/4), OF THE NORTHWEST QUARTER (NW 1/4), SECTION FIFTEEN (15), TOWN SIX NORTH (T6N), RANGE NINE EAST (R9E), CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.



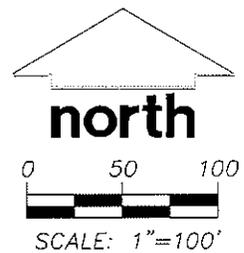
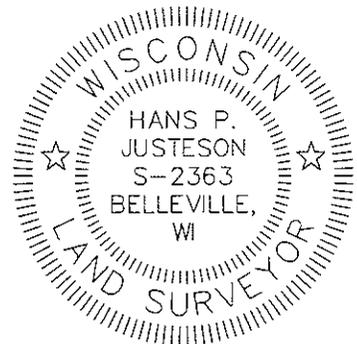
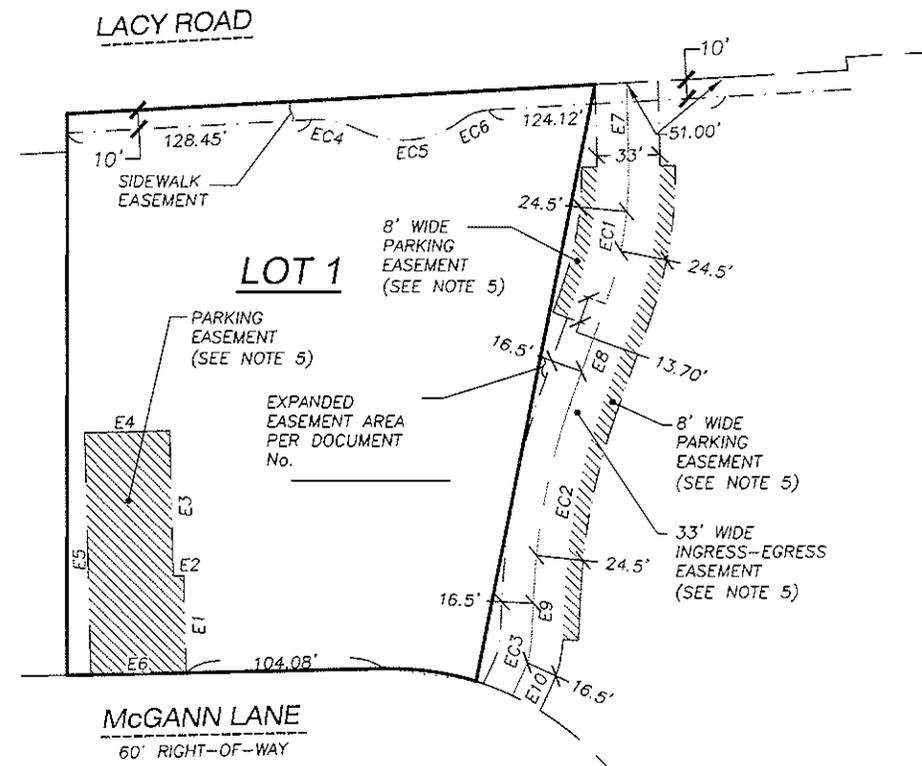
GENERAL NOTES:

1. BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 18, T6N, R9E, RECORDED AS NORTH 86°42'03" EAST.
2. FIELD WORK FOR THIS SURVEY WAS PERFORMED BY JENKINS SURVEY & DESIGN ON AUGUST 30, 2004.
3. CSM No. 11459 HAS APPROVED PLANNED DEVELOPMENT DISTRICT GENERAL IMPLEMENTATION PLAN ZONING IN ACCORDANCE WITH CITY OF FITCHBURG ORDINANCE 2004-0-27. THIS CSM PDD ZONING WAS AMENDED BY ORDINANCE 2010-0-12 TO ALLOW THIS LAND DIVISION.
4. LOT ONE SHALL HAVE NO VEHICULAR ACCESS TO LACY ROAD EXCEPT THROUGH THE INGRESS EGRESS EASEMENT SHOWN HEREON.
5. INGRESS-EGRESS EASEMENT AND PARKING EASEMENT WERE RECORDED ON OCTOBER 8, 2004 AS DOCUMENT NUMBER 3976775, AMENDED PER DOCUMENT No. _____

EASEMENT CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	DISTANCE
EC1	200.00'	73.37'	21°01'09"	37.10'	S 09°21'28" W	72.96'
EC2	350.00'	104.87'	17°10'04"	52.83'	S 11°17'01" W	104.48'
EC3	50.00'	19.70'	22°34'39"	9.98'	S 13°59'18" W	19.58'
EC4	49.00'	25.79'	30°09'31"	13.20'	S 78°13'11" E	25.50'
EC5	51.00'	57.97'	65°07'20"	32.57'	N 84°17'54" E	54.90'
EC6	24.00'	14.65'	34°57'49"	7.56'	N 69°13'09" E	14.42'

EASEMENT LINE TABLE		
LINE	BEARING	DISTANCE
E1	N 01°18'39" W	51.15'
E2	S 88°41'21" W	5.50'
E3	N 01°18'39" W	75.81'
E4	S 88°41'21" W	44.50'
E5	S 01°18'39" E	126.96'
E6	N 88°41'21" E	50.00'
E7	S 01°09'07" E	43.88'
E8	S 19°52'03" E	51.87'
E9	S 02°41'59" W	23.93'
E10	S 25°16'37" W	12.73'
E11	S 02°41'59" W	58.83'

INGRESS-EGRESS AND PARKING EASEMENT



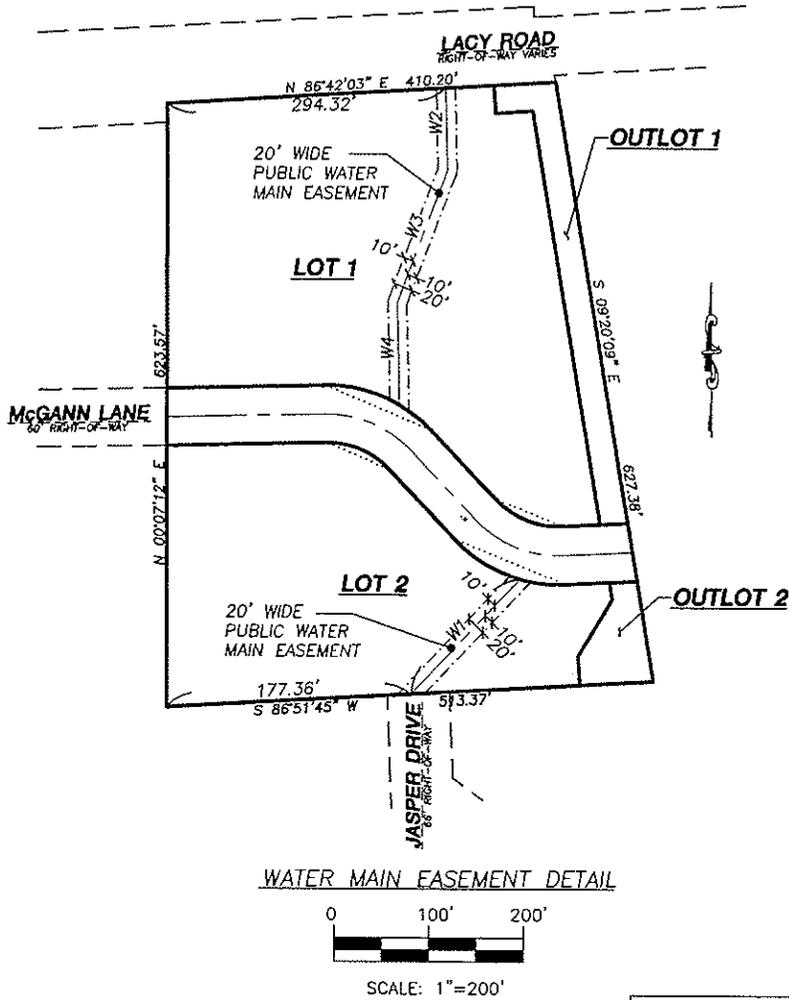
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PREPARED BY: 	SURVEYED FOR: LACY RIDGE LLC. BILL SCHIEL 2927 S. FISH HATCHERY ROAD FITCHBURG, WI 53711	PROJECT NO: 04-1660 FILE NO: B-178 FIELDBOOK/PG: 161/52 SHEET NO: 2 OF 4	SURVEYED BY: SO DRAWN BY: MSQ CHECKED BY: JK APPROVED BY: HPJ	C.S.M. NO. 12452 DOC. NO. _____ VOL. _____ PAGE _____
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161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 PHONE: (608)848-5060

CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION FIFTEEN (15), TOWN SIX NORTH (T6N), RANGE NINE EAST (R9E), CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



GENERAL NOTES:

1. BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 18, T6N, R9E, RECORDED AS NORTH 86°42'03" EAST.
2. FIELD WORK FOR THIS SURVEY WAS PERFORMED BY JENKINS SURVEY & DESIGN ON AUGUST 30, 2004.
3. THIS CSM HAS APPROVED PLANNED DEVELOPMENT DISTRICT GENERAL IMPLEMENTATION PLAN ZONING IN ACCORDANCE WITH CITY OF FITCHBURG ORDINANCE 2004-0-27.
4. LOT ONE SHALL HAVE NO VEHICULAR ACCESS TO LACY ROAD EXCEPT THROUGH THE INGRESS EGRESS EASEMENT SHOWN HEREON.

WATER MAIN EASEMENT LINE TABLE		
LINE	BEARING	DISTANCE
W1	N 44°06'23" E	164.74'
W2	S 01°09'07" E	85.28'
W3	S 21°20'53" W	146.39'
W4	S 01°09'07" E	105.71'

INGRESS/EGRESS EASEMENT LINE TABLE		
LINE	BEARING	DISTANCE
E1	N 01°18'39" W	51.15'
E2	S 88°41'21" W	5.50'
E3	N 01°18'39" W	75.81'
E4	S 88°41'21" W	44.50'
E5	S 01°18'39" E	126.96'
E6	N 88°41'21" E	50.00'
E7	S 01°09'07" E	43.88'
E8	S 19°52'03" E	51.87'
E9	S 02°41'59" W	23.93'
E10	S 25°16'37" W	12.73'

INGRESS/EGRESS EASEMENT CURVE TABLE						
CURVE NO	RADIUS	LENGTH	DELTA	TANGENT	BEARING	DISTANCE
EC1	200.00'	73.37'	21°01'09"	37.10'	S 09°21'28" W	72.96'
EC2	350.00'	104.87'	17°10'04"	52.83'	S 11°17'01" W	104.48'
EC3	50.00'	19.70'	22°34'39"	9.98'	S 13°59'18" W	19.58'

LEGAL DESCRIPTION (FURNISHED)

A PARCEL OF LAND LOCATED IN NW 1/4 OF THE NW 1/4 OF SECTION 15, T6N, R9E, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NW CORNER OF SAID SECTION 15; THENCE N 86°42'03" E, 553.81 FEET; THENCE S 00°07'12" W, 40.07 TO THE POINT OF BEGINNING.

THENCE N 86°42'03" E, 410.20 FEET; THENCE S 09°20'09" E, 627.38 FEET TO THE MOST NORTHEASTERLY CORNER OF LOT 43, QUARRY HILL SUBDIVISION; THENCE S 86°51'45" W, ALONG THE NORTH LINE OF SAID QUARRY HILL SUBDIVISION, 513.37 FEET TO THE SOUTHEASTERLY CORNER OF LOT 15 OF FIRST ADDITION TO FITCHBURG TECHNOLOGY CAMPUS; THENCE N 00°07'12" E, ALONG EAST LINE OF FIRST ADDITION TO FITCHBURG TECHNOLOGY CAMPUS, 623.57 FEET TO THE POINT OF BEGINNING. THIS PARCEL CONTAINS 6.61 ACRES.

SURVEYOR'S CERTIFICATE

I, DAVE M. JENKINS, REGISTERED LAND SURVEYOR, S-2255, DO HEREBY CERTIFY THAT THIS CERTIFIED SURVEY MAP IS IN FULL COMPLIANCE WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND WITH ALL PROVISIONS OF CHAPTER 15.06 OF THE CITY OF FITCHBURG LAND DIVISION ORDINANCE. I ALSO CERTIFY THAT I HAVE SURVEYED, DIVIDED, AND MAPPED THE LANDS DESCRIBED HEREIN AND THAT THE CERTIFIED SURVEY MAP IS A CORRECT REPRESENTATION IN ACCORDANCE WITH THE INFORMATION PROVIDED.

DAVE M. JENKINS, S-2255
REGISTERED LAND SURVEYOR

DATE _____

JSD
Jenkins Survey & Design, Inc.
161 Horizon Drive, Suite #101
Verona, Wisconsin 53593
608-848-5060

SURVEYED FOR
BILL SCHIEL
14 WOOD BROOK WAY
MADISON, WISCONSIN 53711

SHEET 2 OF 3

C.S.M. NO. _____
DOC. NO. _____
VOL. _____ PAGE _____

CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST
QUARTER (NW 1/4) OF SECTION FIFTEEN (15), TOWN SIX NORTH (T6N),
RANGE NINE EAST (R9E), CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

CORPORATE OWNER'S CERTIFICATE

LACY RIDGE, LLC, A WISCONSIN LIMITED LIABILITY CORPORATION, DOES HEREBY CERTIFY THAT SAID CORPORATION CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED HEREON AND THAT THIS CERTIFIED SURVEY MAP MUST BE SUBMITTED TO THE FITCHBURG CITY COUNCIL FOR APPROVAL.

IN WITNESS WHEREOF, SAID LACY RIDGE, LLC HAS CAUSED THESE PRESENTS TO BE SIGNED BY WILLIAM H. SCHIEL, ITS MANAGING MEMBER, THIS _____ DAY OF _____, 2004.

WILLIAM H. SCHIEL, MANAGING MEMBER
LACY RIDGE, LLC.

NOTARY PUBLIC, DANE COUNTY, WISCONSIN

STATE OF WISCONSIN }
DANE COUNTY } SS.

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2004, WILLIAM H. SCHIEL, MANAGING MEMBER OF LACY RIDGE, LLC, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN

MY COMMISSION EXPIRES _____

CONSENT OF CORPORATE MORTGAGEE

TOWN BANK OF MADISON, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, MORTGAGEE OF THE ABOVE DESCRIBED LAND, CONSENTS TO THE SURVEYING, DIVIDING, MAPPING, RESTRICTING AND DEDICATION OF THE LAND DESCRIBED IN THE FOREGOING CERTIFICATE OF DAVE M. JENKINS, REGISTERED LAND SURVEYOR, AND CONSENTS TO THE ABOVE CERTIFICATE OF LACY RIDGE, LLC, OWNER.

IN WITNESS WHEREOF, TOWN BANK OF MADISON HAS CAUSED THESE PRESENTS TO BE SIGNED BY DENNIS J. HAEFER, ITS MARKET PRESIDENT AT MADISON, WISCONSIN, THIS _____ DAY OF _____, 2004.

DENNIS J. HAEFER, MARKET PRESIDENT
TOWN BANK OF MADISON

NOTARY PUBLIC

STATE OF WISCONSIN }
DANE COUNTY } SS.

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2004, THE ABOVE NAMED DENNIS J. HAEFER, TO ME KNOWN AS THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN

MY COMMISSION EXPIRES _____

CITY OF FITCHBURG APPROVAL

THIS CERTIFIED SURVEY MAP, INCLUDING ANY DEDICATIONS SHOWN THEREON, HAS BEEN DULY FILED WITH AND APPROVED BY THE CITY COUNCIL OF THE CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

CITY OF FITCHBURG

DANE COUNTY REGISTER OF DEEDS

RECEIVED FOR RECORDING THIS _____ DAY OF _____, 2004 AT _____ O'CLOCK
_____ .M. AND RECORDED IN VOLUME _____ OF DANE COUNTY CERTIFIED SURVEYS ON PAGES
_____ THROUGH _____ AS DOCUMENT NUMBER _____, CERTIFIED SURVEY MAP NUMBER _____.

JANE C. LICHT
REGISTER OF DEEDS



Jenkins Survey & Design, Inc.
161 Horizon Drive, Suite #101
Verona, Wisconsin 53593
608-848-5060

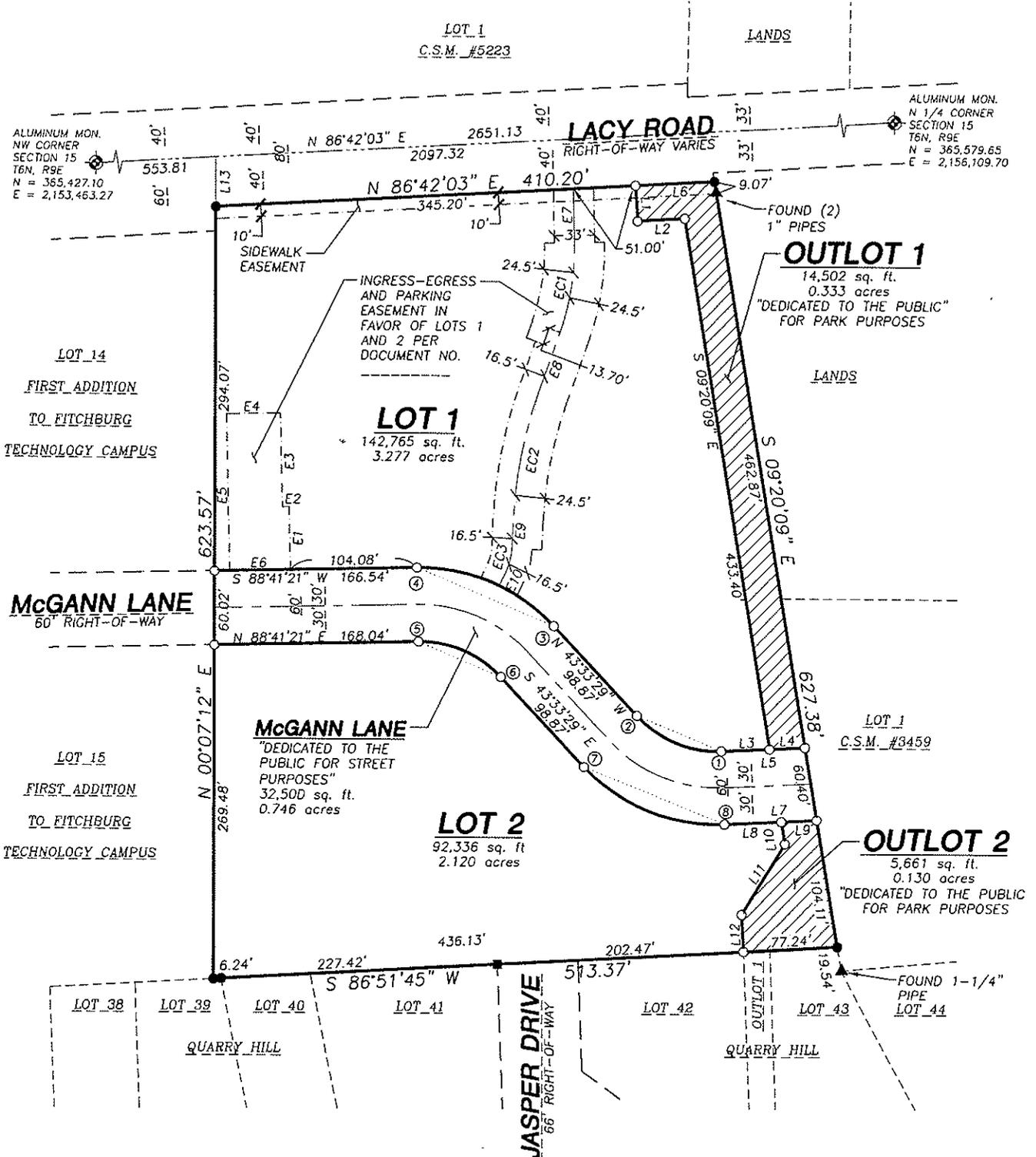
SURVEYED FOR
BILL SCHIEL
14 WOOD BROOK WAY
MADISON, WISCONSIN 53711

SHEET 3 OF 3

C.S.M. NO. _____
DOC. NO. _____
VOL. _____ PAGE _____

CERTIFIED SURVEY MAP NO.

PART OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION FIFTEEN (15), TOWN SIX NORTH (T6N), RANGE NINE EAST (R9E), CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

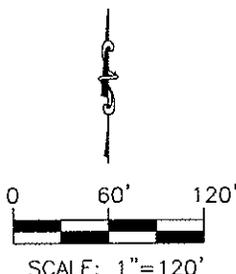


LEGEND:

- SET REBAR 3/4" X 24" (1.50 lbs/ft)
- FOUND 3/4" IRON BAR
- FOUND 1-1/4" IRON BAR
- ▲ FOUND MONUMENT (SEE NOTE)
- ◆ SECTION CORNER MONUMENT
- PROPERTY LINE
- - - PLATTED LOT LINE
- - - RIGHT-OF-WAY LINE
- - - SECTION LINE
- - - EASEMENT LINE
- ▨ DEDICATED TO THE PUBLIC FOR PARK PURPOSES

CURVE TABLE						
CURVE NO	RADIUS	LENGTH	DELTA	TANGENT	BEARING	DISTANCE
1-2	90.00'	77.19'	49°08'22"	41.15'	N 68°07'40" W	74.84'
3-4	150.00'	125.02'	47°45'10"	66.40'	N 67°26'04" W	121.43'
5-6	90.00'	75.01'	47°45'10"	39.84'	S 67°26'04" E	72.86'
7-8	150.00'	128.65'	49°08'22"	68.58'	S 68°07'40" E	124.74'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 03°17'57" E	29.00'
L2	N 86°42'03" E	38.91'
L3	S 87°18'09" W	39.89'
L4	S 87°18'09" W	29.20'
L5	N 87°18'09" E	69.09'
L6	N 86°42'03" E	65.00'
L7	S 87°18'09" W	76.07'
L8	N 87°18'09" E	46.87'
L9	N 87°18'09" E	29.20'
L10	S 09°20'09" E	18.23'
L11	S 31°45'20" E	67.78'
L12	S 03°08'15" E	30.00'
L13	S 00°07'12" W	40.07'



- * SEE SHEET 2 FOR GENERAL NOTES AND WATER MAIN EASEMENT DETAIL.
- * SEE SHEET 2 FOR INGRESS-EGRESS AND PARKING EASEMENT DATA

JSD

Jankitas Survey & Design, Inc.
161 Horizon Drive, Suite #101
Verona, Wisconsin 53593
608-848-5060

SURVEYED FOR
BILL SCHIEL
14 WOOD BROOK WAY
MADISON, WISCONSIN 53711

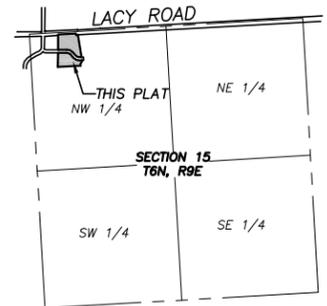
SHEET 1 OF 3

C.S.M. NO. _____
DOC. NO. _____
VOL. _____ PAGE _____

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GLEN WOOD HEIGHTS CONDOMINIUM PLAT

A PARCEL OF LAND BEING LOT TWO (2) OF CERTIFIED SURVEY MAP NO. 11459, RECORDED IN VOLUME 69 OF CERTIFIED SURVEY MAPS ON PAGES 316-318 AS DOCUMENT NO. 4079647, LOCATED IN THE NORTHWEST QUARTER (NW ¼), SECTION FIFTEEN (15), TOWN SIX NORTH (T6N), RANGE NINE EAST (R9E), CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.



LOCATION MAP
SCALE: 1"=3000'

LEGEND:

- SECTION CORNER
- PROPERTY CORNER FOUND (3/4" DIA. Rebar) 1.50 lbs./linear ft.)
- FOUND 1-1/4" IRON BAR
- FOUND MONUMENT (SEE NOTE)
- PROPERTY LINE (CONDOMINIUM)
- PROPERTY LINE (EXPANDABLE AREA)
- EASEMENTS LINE
- PLATTED LINE
- SECTION LINE
- RIGHT-OF-WAY LINE
- PRIVATE ROAD/SIDE WALK
- EXISTING FOUNDATION
- PROPOSED FOUNDATION

CURVE TABLE						
CURVE NO	RADIUS	LENGTH	DELTA	TANGENT	BEARING	DISTANCE
1-2	90.00'	77.19'	49°08'22"	41.15'	N 68°07'40" W	74.84'
3-4	150.00'	125.02'	47°45'10"	66.40'	N 67°26'04" W	121.43'
5-6	90.00'	75.01'	47°45'10"	39.84'	S 67°26'04" E	72.86'
7-8	150.00'	128.65'	49°08'22"	68.58'	S 68°07'40" E	124.74'

LINE TABLE		
LINE	LENGTH	BEARING
L1	29.00	S 03°17'57" E
L2	38.91	N 86°42'03" E
L3	39.89	N 87°18'09" E
L4	46.87	N 87°18'09" E
L5	18.23	S 09°20'09" E
L6	67.78	S 31°45'20" W
L7	30.00	S 03°08'15" E

LEGAL DESCRIPTION - CONDOMINIUM AREA:

A PARCEL OF LAND BEING LOT TWO (2), CERTIFIED SURVEY MAP NO. 11459, RECORDED IN VOLUME 69 OF CERTIFIED SURVEY MAPS ON PAGES 316-318 AS DOCUMENT NO. 4079647, LOCATED IN THE NORTHWEST QUARTER (NW ¼), SECTION FIFTEEN (15), TOWN SIX NORTH (T6N), RANGE NINE EAST (R9E), CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

SAID PARCEL CONTAINS 92,336 SQUARE FEET OR 2.120 ACRES.

LEGAL DESCRIPTION - EXPANDABLE AREA:

A PARCEL OF LAND BEING LOT ONE (1), CERTIFIED SURVEY MAP NO. 11459, RECORDED IN VOLUME 69 OF CERTIFIED SURVEY MAPS ON PAGES 316-318 AS DOCUMENT NO. 4079647, LOCATED IN THE NORTHWEST QUARTER (NW ¼), SECTION FIFTEEN (15), TOWN SIX NORTH (T6N), RANGE NINE EAST (R9E), CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

SAID PARCEL CONTAINS 142,765 SQUARE FEET OR 3.277 ACRES.

NOTES:

1. UNITS 101-112 AND 201-212 ARE DECLARED AS SHOWN ON THIS CONDOMINIUM PLAT.
2. THE FOLLOWING ARE LIMITED COMMON ELEMENTS: THE EXTERIOR PORCH OF EACH UNIT, STORAGE AREAS AND PARKING STALLS IN PARKING GARAGE.
3. ALL AREAS AND FEATURES ARE CONDOMINIUM COMMON ELEMENTS UNLESS OTHERWISE NOTED AS LIMITED COMMON ELEMENTS OR UNITS.
4. BEARINGS ARE REFERENCED TO CERTIFIED SURVEY MAP NO. 11459, RECORDED IN VOLUME 69 ON PAGES 316-318 AS DOCUMENT NO. 4079647.
5. INGRESS-EGRESS EASEMENT AND PARKING EASEMENT WERE RECORDED ON OCTOBER 8, 2004 AS DOCUMENT NUMBER 3976775.
6. UTILITY AND SIDEWALK EASEMENTS PER CERTIFIED SURVEY MAP NO. 11459, RECORDED IN VOLUME 69 OF CERTIFIED SURVEY MAPS ON PAGES 316-318 AS DOCUMENT NO. 4079647.

SURVEYOR'S CERTIFICATE:

I, DAVE M. JENKINS, WISCONSIN LAND SURVEYOR S-2255, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS A CORRECT REPRESENTATION OF THE CONDOMINIUM PLAT DESCRIBED AND FURTHER THAT THE BUILDING LOCATIONS AND FLOOR PLANS ARE REPRODUCED FROM PLANS FURNISHED BY THE DECLARANT'S ARCHITECT AND THAT THE IDENTIFICATION AND LOCATION OF EACH UNIT AND THE COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT.

DATED THIS ____ DAY OF _____, 2006.

DAVE M. JENKINS
REGISTERED LAND SURVEYOR S-2255

DANE COUNTY REGISTER OF DEEDS

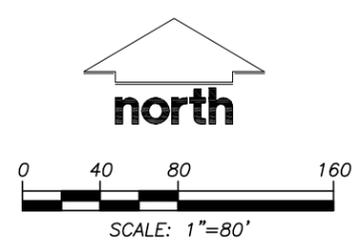
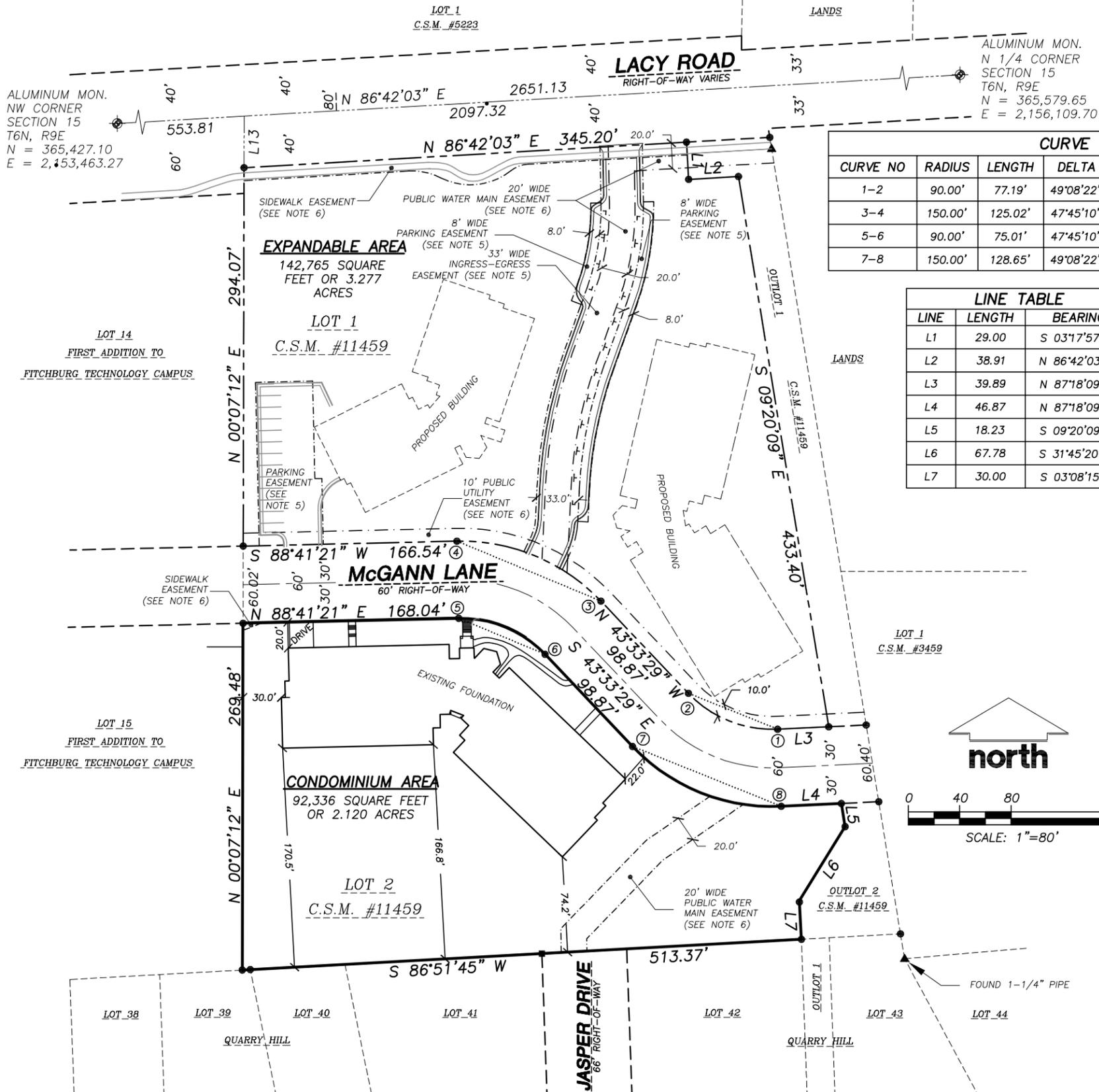
RECEIVED FOR RECORDING THIS ____ DAY OF _____,
2006 AT ____ O'CLOCK ____ M. AND RECORDED
IN VOLUME ____ OF CONDOMINIUM PLATS
ON PAGES ____ THRU ____ AS DOCUMENT
NUMBER _____.

JANE C. LICHT, REGISTER OF DEEDS
DANE COUNTY, WISCONSIN

SURVEYED FOR:
SCHIEL & ASSOCIATES
62 WOOD BROOK WAY
MADISON, WISCONSIN 53711

JSD • Engineers • Surveyors
Jenkins Survey & Design, Inc.

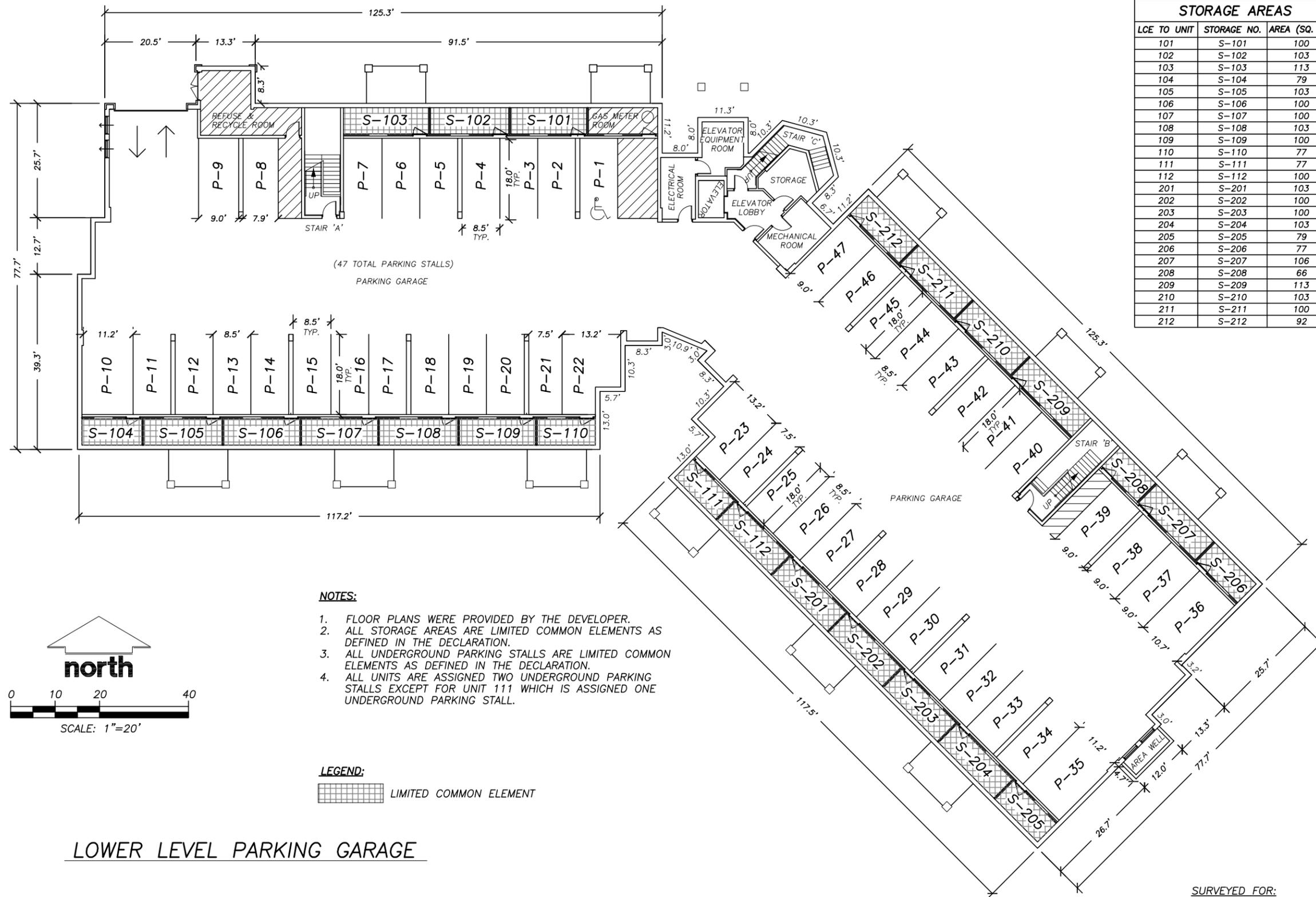
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060



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GLEN WOOD HEIGHTS CONDOMINIUM PLAT

A PARCEL OF LAND BEING LOT ONE (1) OF CERTIFIED SURVEY MAP NO. 11459, RECORDED IN VOLUME 69 OF CERTIFIED SURVEY MAPS ON PAGES 316-318 AS DOCUMENT NO. 4079647, LOCATED IN THE NORTHWEST QUARTER (NW ¼), SECTION FIFTEEN (15), TOWN SIX NORTH (T6N), RANGE NINE EAST (R9E), CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.



STORAGE AREAS		
LCE TO UNIT	STORAGE NO.	AREA (SQ. FT.)
101	S-101	100
102	S-102	103
103	S-103	113
104	S-104	79
105	S-105	103
106	S-106	100
107	S-107	100
108	S-108	103
109	S-109	100
110	S-110	77
111	S-111	77
112	S-112	100
201	S-201	103
202	S-202	100
203	S-203	100
204	S-204	103
205	S-205	79
206	S-206	77
207	S-207	106
208	S-208	66
209	S-209	113
210	S-210	103
211	S-211	100
212	S-212	92

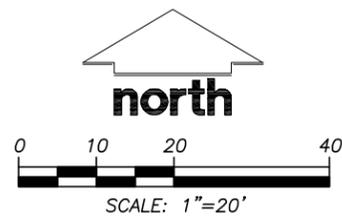
PARKING STALL AREAS		
LCE TO UNIT	STALL NO.	AREA (SQ. FT.)
101	P-2	153
101	P-3	153
102	P-4	153
102	P-5	153
103	P-6	153
103	P-7	153
104	P-10	206
104	P-11	153
105	P-12	153
105	P-13	153
106	P-14	153
106	P-15	153
107	P-16	153
107	P-17	153
108	P-18	153
108	P-19	153
109	P-20	153
109	P-21	135
110	P-22	202
111	P-1	153
111	P-23	202
112	P-24	135
112	P-25	153
201	P-26	153
201	P-27	153
202	P-28	153
202	P-29	153
203	P-30	153
203	P-31	153
204	P-32	153
204	P-33	153
205	P-34	153
205	P-35	206
206	P-36	199
206	P-37	162
207	P-38	162
207	P-39	162
208	P-8	143
208	P-9	162
209	P-40	153
209	P-41	153
210	P-42	153
210	P-43	153
211	P-44	153
211	P-45	153
212	P-46	153
212	P-47	162

NOTES:

- FLOOR PLANS WERE PROVIDED BY THE DEVELOPER.
- ALL STORAGE AREAS ARE LIMITED COMMON ELEMENTS AS DEFINED IN THE DECLARATION.
- ALL UNDERGROUND PARKING STALLS ARE LIMITED COMMON ELEMENTS AS DEFINED IN THE DECLARATION.
- ALL UNITS ARE ASSIGNED TWO UNDERGROUND PARKING STALLS EXCEPT FOR UNIT 111 WHICH IS ASSIGNED ONE UNDERGROUND PARKING STALL.

LEGEND:

LIMITED COMMON ELEMENT



LOWER LEVEL PARKING GARAGE

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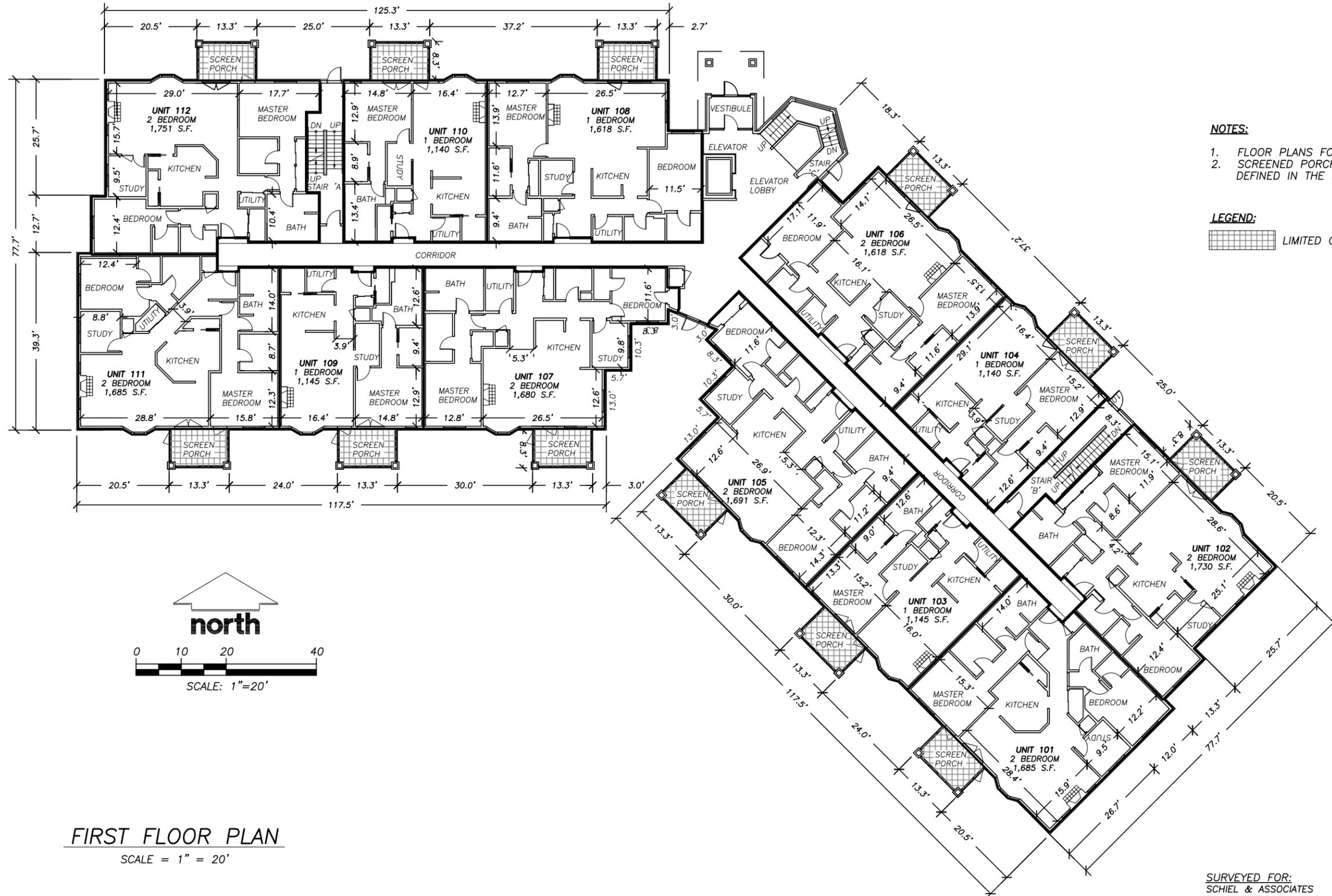
SURVEYED FOR:
 SCHIEL & ASSOCIATES
 62 WOOD BROOK WAY
 MADISON, WISCONSIN 53711

161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060

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GLEN WOOD HEIGHTS CONDOMINIUM PLAT

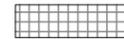
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NOTES:

1. FLOOR PLANS FOR WERE PROVIDED BY THE DEVELOPER.
2. SCREENED PORCHES ARE LIMITED COMMON ELEMENTS AS DEFINED IN THE DECLARATION.

LEGEND:

 LIMITED COMMON ELEMENT

FIRST FLOOR PLAN
SCALE = 1" = 20'

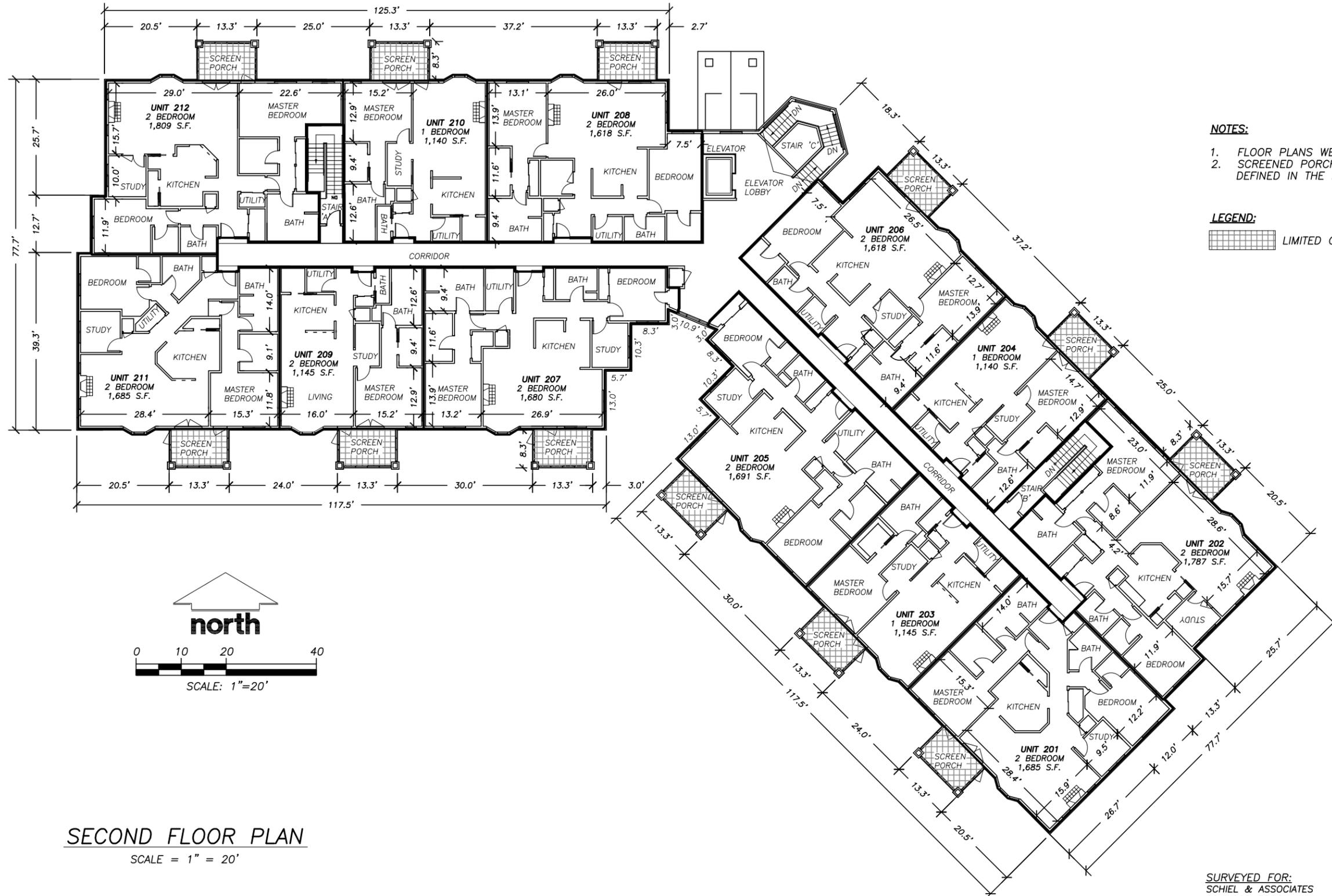
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SCHIEL & ASSOCIATES
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MADISON, WISCONSIN 53711

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GLEN WOOD HEIGHTS CONDOMINIUM PLAT

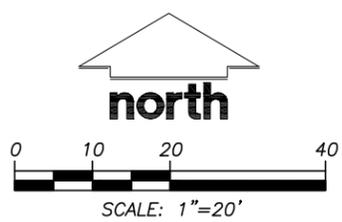
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- NOTES:**
1. FLOOR PLANS WERE PROVIDED BY THE DEVELOPER.
 2. SCREENED PORCHES ARE LIMITED COMMON ELEMENTS AS DEFINED IN THE DECLARATION.

LEGEND:

LIMITED COMMON ELEMENT



SECOND FLOOR PLAN
SCALE = 1" = 20'

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MADISON, WISCONSIN 53711

161 HORIZON DRIVE, SUITE 101
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GLEN WOOD HEIGHTS

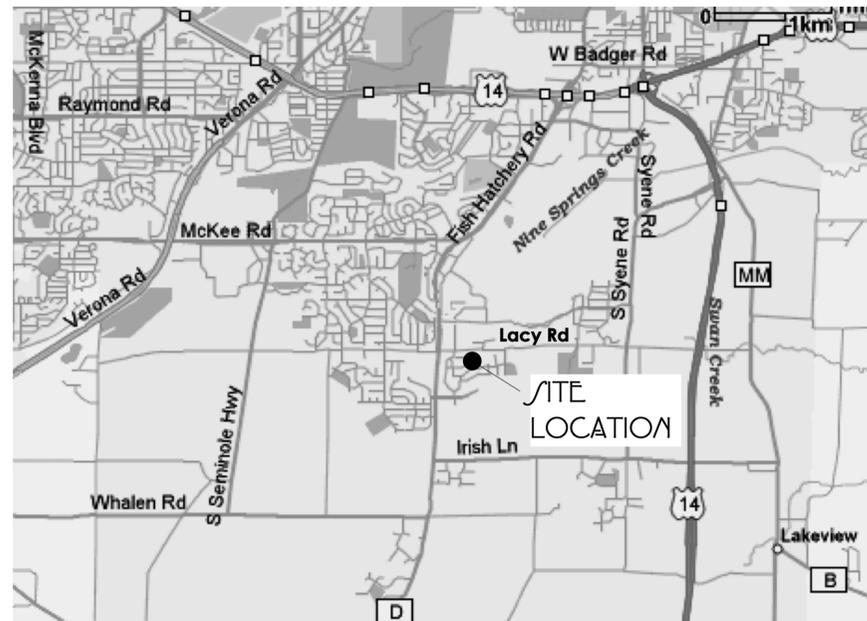
CONDOMINIUM HOMES

AMENDED FOR BUILDING #1

SIP & ARCHITECTURAL DESIGN REVIEW SUBMITTAL

SHEET INDEX:

T1	TITLE SHEET	
L1	LANDSCAPE PLAN	REFERENCE DRAWING FROM ORIGINAL
L2	LANDSCAPE SCHEDULE	SUBMITTAL (9/26/05):
D1	SITE DEMOLITION PLAN	
C1	SITE PLAN	O-C1 SITE PLAN
C2	GRADING PLAN	O-C2 GRADING PLAN
C3	UTILITY PLAN	O-C3 UTILITY PLAN
C4	EROSION CONTROL PLAN	O-L1 LANDSCAPE PLAN
A1	LOWER LEVEL - BUILDING #1	O-A4 LOWER LEVEL - BUILDING #1
A2	1/2 FLOOR PLAN - BUILDING #1	O-A5 1/2 FLOOR PLAN - BUILDING #1
A3	2ND & 3RD FLOOR PLAN BUILDING #1	O-A6 2ND & 3RD FLOOR PLAN BUILDING #1
A4	BUILDING ELEVATIONS - BUILDING #1	O-A9 BUILDING ELEVATIONS - BUILDING #1
A5	BUILDING ELEVATIONS - BUILDING #1	O-A10 BUILDING ELEVATIONS - BUILDING #1



LOCATION MAP

SITE STATISTICS

EXISTING ZONING: PDD
 SITE ACREAGE: 287,776 SQ. FT. (6.61 ACRE)
 PROPOSED STREET DEDICATION: 32,500 SQ. FT. (0.75 ACRE)
 PROPOSED PARK DEDICATION: 20,163 SQ. FT. (0.46 ACRE)

NORTH LOT:
 UNITS / ACRE: 13.5 UNITS / ACRE
 IMPERVIOUS AREA: 38.3 %
 GREEN AREA: 61.7 %
 FAR: 0.57

SOUTH LOT:
 UNITS / ACRE: 10.7 UNITS / ACRE
 IMPERVIOUS AREA: 23.7 %
 GREEN AREA: 76.3 %
 FAR: 0.45

PARKING:
 UNDERGROUND - BUILDING #1: 32 47
 UNDERGROUND - BUILDING #2: 47
 UNDERGROUND - BUILDING #3: 47
 SURFACE PARKING LOT: 13 0
 PRIVATE STREET PARKING: 14 15
 TOTAL PARKING: 153 154

BUILDING STATISTICS

BUILDING #1 (0 - 1 BEDROOM, 24 - 2 BEDROOM)
 UNIT: 24 (6 - 1 BEDROOM, 18 - 2 BEDROOM)
 STORIES: 3 STORIES WITH PARTIAL LOWER LEVEL EXPOSED
 CONDOMINIUM SQ. FOOTAGE: 46,111 SQ. FT. 48,883 SQ. FT.
 UNDERGROUND PARKING SQ. FOOTAGE: 14,750 SQ. FT. 18,824 SQ. FT. (INCLUDING SCREEN PORCHE)
 TOTAL SQ. FOOTAGE: 60,861 SQ. FT. 67,707 SQ. FT.

BUILDING CONSTRUCTION TYPE: 5A WOOD FRAME PROTECTED.
 COMPLETE SPRINKLER SYSTEM PER NFPA 13R

BUILDING #2 (8 - 1 BEDROOM, 16 - 2 BEDROOM)
 UNIT: 24 (8 - 1 BEDROOM, 16 - 2 BEDROOM)
 STORIES: 2 STORIES WITH PARTIAL LOWER LEVEL EXPOSED
 CONDOMINIUM SQ. FOOTAGE: 44,083 SQ. FT.
 UNDERGROUND PARKING SQ. FOOTAGE: 21,080 SQ. FT.
 TOTAL SQ. FOOTAGE: 65,163 SQ. FT.

BUILDING #3 (8 - 1 BEDROOM, 16 - 2 BEDROOM)
 UNIT: 24 (8 - 1 BEDROOM, 16 - 2 BEDROOM)
 STORIES: 2 STORIES WITH PARTIAL LOWER LEVEL EXPOSED
 CONDOMINIUM SQ. FOOTAGE: 44,083 SQ. FT.
 UNDERGROUND PARKING SQ. FOOTAGE: 21,080 SQ. FT.
 TOTAL SQ. FOOTAGE: 65,163 SQ. FT.

TOTAL PROJECT COUNT:
 TOTAL UNITS: (BUILDING #1, #2, #3) 72 UNITS
 TWO BEDROOM UNITS: 50 56 69.5 % 77.7 %
 ONE BEDROOM UNITS: 22 16 30.5 % 22.3 %

AMENDED LOT AREA - BUILDING #1 CSM:

LOT AREA: 73,784 SQ. FT. = 1.69 ACRES

	ORIGINAL SIP	AMENDED PLAN
BUILDING FOOTPRINT:	14,750 SQ. FT.	18,824 SQ. FT.
IMPERVIOUS PAVEMENT:	9,068 SQ. FT.	4,498 SQ. FT.
IMPERVIOUS TOTAL:	23,818 SQ. FT.	23,322 SQ. FT.
IMPERVIOUS AREA:	49,966 SQ. FT.	50,462 SQ. FT.
IMPERVIOUS SURFACE RATIO:	32.28 %	31.61 %

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

11 GLEN BROOK WAY
 FITCHBURG, WI 53711

ARCHITECT:
 FERCH ARCHITECTURE
 2704 GREGORY STREET,
 MADISON, WI 53711
 (608) 258-6900
 DAVID@FERCHARCHITECTURE.COM

REVISION:	DATE:	ISSUE:

10/19/15

9/26/05

DATE: SHEET:

BRASS CAP-MON.
NW CORNER
SECTION 15
T6N, R9E
N = 365,427.10
E = 2,153,463.27

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

11 GLEN BROOK WAY
FITCHBURG, WI 53711

ARCHITECT:
FERCH ARCHITECTURE
2704 Gregory Street,
Madison, WI 53711
(608) 258-6900
david@fercharchitecture.com

DATE:	ISSUE:

Landscape:
OA
OUTDOOR ARTS
LANDSCAPE
Outdoor Arts
Madison, WI
(608) 395-1510
outdoorartslandscape.com



LANDSCAPE PLAN
0 15' 30' 60' 90'

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

11 GLEN BROOK WAY
FITCHBURG, WI 53711

ARCHITECT:
FERCH ARCHITECTURE
2704 Gregory Street,
Madison, WI 53711
(608) 238-6900
david@fercharchitecture.com

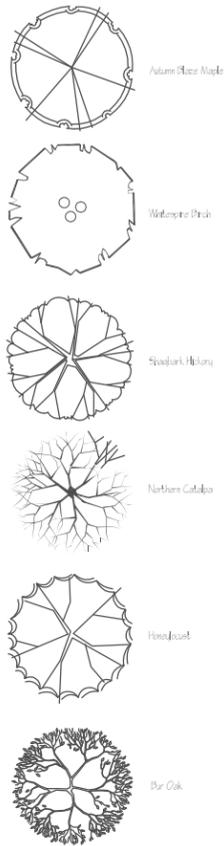
Landscape:



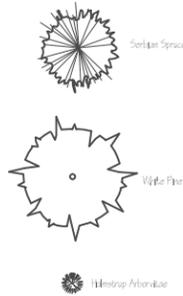
Outdoor Arts
Madison, WI
(608) 395-1510
outdoorartslandscape.com

DATE: ISSUE:

Shade Trees



Evergreen Trees



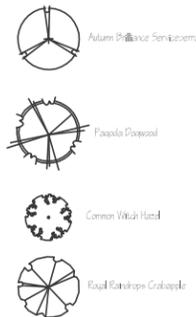
Evergreen Shrubs



Deciduous Shrubs



Ornamental Trees



Perennials



Ornamental Grasses



Misc. Symbols



Landscape Notes:

- All distributed lawn areas to receive 4" of topsoil, seeded with Wear and Tear seed mix by Earth Carpet, and covered with straw mat.
- All planting beds to receive 12" of topsoil, outer edges between beds and lawn to be commercial grade black plastic edging. No plastic edging between stone mulch and bark mulch. Beds to be stone mulch over weed barrier unless noted otherwise on plan.
- Stone mulch to be #2 washed stone.
- Bark mulch to be double shredded hardwood.
- All plantings to include a one year warranty from final acceptance.
- Protect existing trees with a 4' ht. snow fence placed at the dripline of the tree or group of trees. No equipment should be driven within the dripline of trees to be protected.
- Site Retention plates placed in groups per plan ESM loc. Shingles to be randomly dispersed throughout lawn.

Symbol	Quantity	LATIN PLANT NAME	COMMON PLANT NAME	B&B or Cont.	PLANT SIZE	Points
Shade Trees						
AF	1	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	B&B	2" Cal.	
BP	3	Betula populifolia 'Whitespire'	Whitespire Birch	B&B	10' multi-stem	
CO	1	Carya ovata	Shagbark Hickory	B&B	2" Cal.	
CS	1	Catalpa speciosa	Northern Catalpa	B&B	2" Cal.	
GT	3	Gleditsia triacanthos f. inermis 'Skycole'	Skyline Honeylocust	B&B	2" Cal.	
QB	2	Quercus macrocarpa	Bur Oak	B&B	2.5" Cal.	
Ornamental Trees						
AB	1	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	B&B	8' Multi-stem	
PD	1	Cornus alternifolia	Pagoda Dogwood	B&B	6' Multi-stem	
CW	1	Hamamelis virginiana	Common Witch Hazel	B&B	6' Multi-Stem	
MS	1	Malus transitoria 'JFS-KW5'	Royal Raindrops Crabapple	B&B	2" Cal.	
Evergreen Trees						
PS	8	Picea sp.	Assorted Green, Blue, and White Spruce	B&B	5'-8' HT.	
WP	4	Pinus strobus	White Pine	B&B	8'-10'	
Tm	4	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	B&B	4'	
Evergreen Shrubs						
Jc	6	Juniperus chinensis 'Kallay's Compact'	Kallay's Compact Juniper	Cont.	20" spread	
Tm	5	Juniperus procumbens 'Nana'	Japanese Garden Juniper	Cont.	20" spread	
Tm	5	Taxus x media 'Tauntonii'	Taunton Yew	B&B	36"	
Deciduous Shrubs						
Am	5	Aronia melanocarpa 'Morton'	Iroquois Beauty Black Chokeberry	cont.	3 Gallon	
Cp	1	Chaenomeles speciosa 'Pink Storm'	Pink Storm Flowering Quince	cont.	3 Gallon	
DI	6	Diervilla lonicera	Dwarf Bush Honeysuckle	cont.	3 Gallon	
Ec	3	Euonymus alatus 'Compactus'	Dwarf Burning Bush	B&B	36"	
Ha	10	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	cont.	3 Gallon	
Po	1	Physocarpus opulifolius 'Jefam'	Amber Jubilee Ninebark	cont.	5 Gallon	
Aw	2	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	cont.	3 Gallon	
Gf	5	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	cont.	3 Gallon	
Fs	1	Spiraea x cinerea 'Grefsheim'	First Snow Spirea	cont.	3 Gallon	
Lp	3	Spiraea japonica 'Little Princess'	Little Princess Spirea	cont.	2 Gallon	
Tb	12	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	cont.	3 Gallon	
Bm	4	Viburnum dentatum 'Christom'	Blue Muffin Viburnum	B&B	36"	
Vc	1	Viburnum carlesii	Korean Spice Viburnum	B&B	30"	
Dh	6	Weigela florida 'Dark Horse'	Dark Horse Weigela	cont.	2 Gallon	
Wr	7	Weigela florida 'Alexandra'	Wine and Roses Spirea	cont.	5 Gallon	
Perennials						
pc	8	Astilbe chinensis 'Purple Candies'	Purple Candies Astilbe	cont.	1 Gallon	
jf	6	Brunnera macrophylla 'Jack Frost'	Jack Frost Brunnera	cont.	1 quart	
bk	16	Echinacea purpurea 'Butterfly Kisses'	Butterfly Kisses Coneflower	cont.	1 Gallon	
as	19	Hemerocallis 'Apricot Sparkies'	Apricot Sparkies Daylily	cont.	1 Gallon	
hm	9	Heuchera 'Marmalade'	Marmalade Coralbells	cont.	1 Gallon	
ff	38	Hosta 'First Frost'	First Frost Hosta	cont.	1 Quart	
rs	6	Hosta 'Raspberry Sundae'	Raspberry Sundae Hosta	cont.	1 Gallon	
ss	3	Hosta 'Sum and Substance'	Sum and Substance Hosta	cont.	1 Gallon	
wl	8	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	cont.	1 Gallon	
rs	3	Perovskia atriplicifolia	Russian Sage	cont.	1 Gallon	
eb	10	Phlox subulata 'Emerald Blue'	Blue Emerald Creeping Phlox	cont.	3"	
ls	16	Rudbeckia fulgida 'Viette's Little Suzy'	Viettes Little Suzy Black Eyed Susan	cont.	1 quart	
sf	9	Sedum Sunsparkler® 'Firecracker'	Firecracker Stonecrop	cont.	3"	
rc	6	Veronica x 'Glori'	Royal Candies Speedwell	cont.	1 Gallon	
Ornamental Grasses						
kf	15	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster's Feather Reed Grass	cont.	1 Gallon	
sg	10	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	cont.	1 Gallon	
Bio-Retention Basin						
ppc	288	Echinacea pallida	Pale Purple Coneflower	cont.	Plug	
yc	96	Ratibida pinnata	Yellow Coneflower	cont.	Plug	
ne	160	Symphotrichum novae-angliae	New England Aster	cont.	Plug	
ha	128	Symphotrichum ericoides	Heath Aster	cont.	Plug	
bs	128	Liatris spicata	Marsh Blazing Star	cont.	Plug	
cf	96	Lobelia cardinalis	Cardinal Flower	cont.	Plug	
bb	96	Monarda fistulosa	Wild Bergemont	cont.	Plug	
bes	192	Rudbeckia hirta	Black Eyed Susan	cont.	Plug	
op	96	Physostegia virginiana	Obedient Plant	cont.	Plug	
	64	Carex bebbii	Bebbs Oval Sedge	cont.	Plug	
	64	Carex bicknellii	Copper Shouldered Oval Sedge	cont.	Plug	
	64	Carex vulpinoidea	Brown Fox Sedge	cont.	Plug	
	64	Carex crinita	Fringed Sedge	cont.	Plug	
	64	Carex crawfordii	Crawfords Sedge	cont.	Plug	

10/19/15

DATE: SHEET:

L2

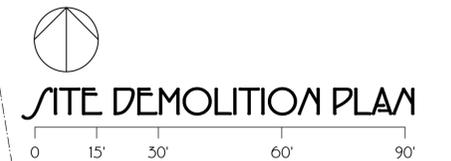
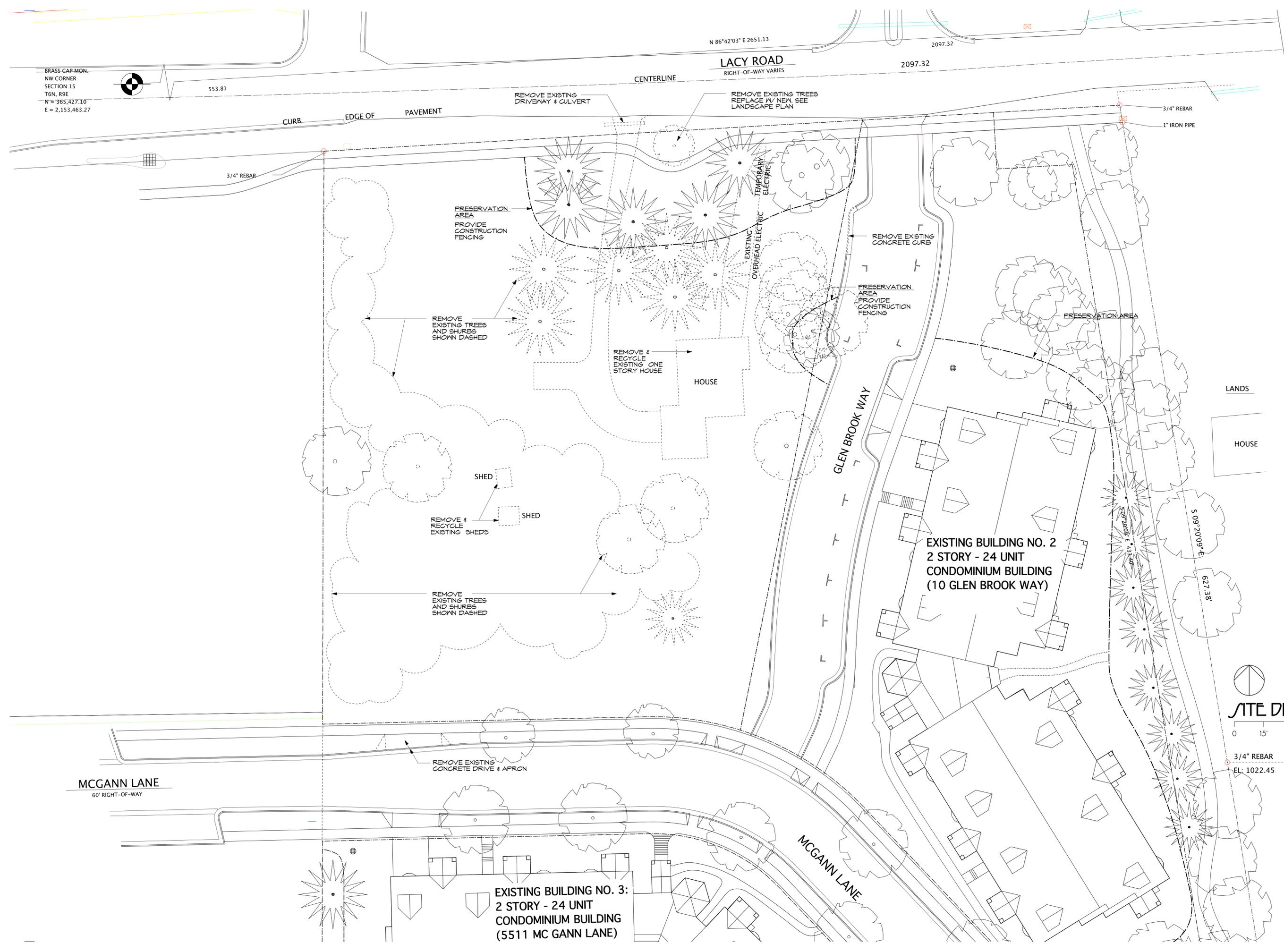
GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

11 GLEN BROOK WAY
FITCHBURG, WI 53711

ARCHITECT:
FERCH ARCHITECTURE
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DAVID@FERCHARCHITECT.U

REVISION	DATE	ISSUE



SITE DEMOLITION PLAN

0 15' 30' 60' 90'

3/4" REBAR
EL: 1022.45

10/19/15

DATE: SHEET:

D1

BRASS CAP MON.
NW CORNER
SECTION 15
T6N, R9E
N = 365,427.10
E = 2,153,463.27

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

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REVISIONS

DATE:	ISSUE:

OUTLOT 1
"DEDICATED TO THE
PUBLIC" FOR PARK
PURPOSES
14,502 sq. ft. 0.333 acres

LANDS
HOUSE

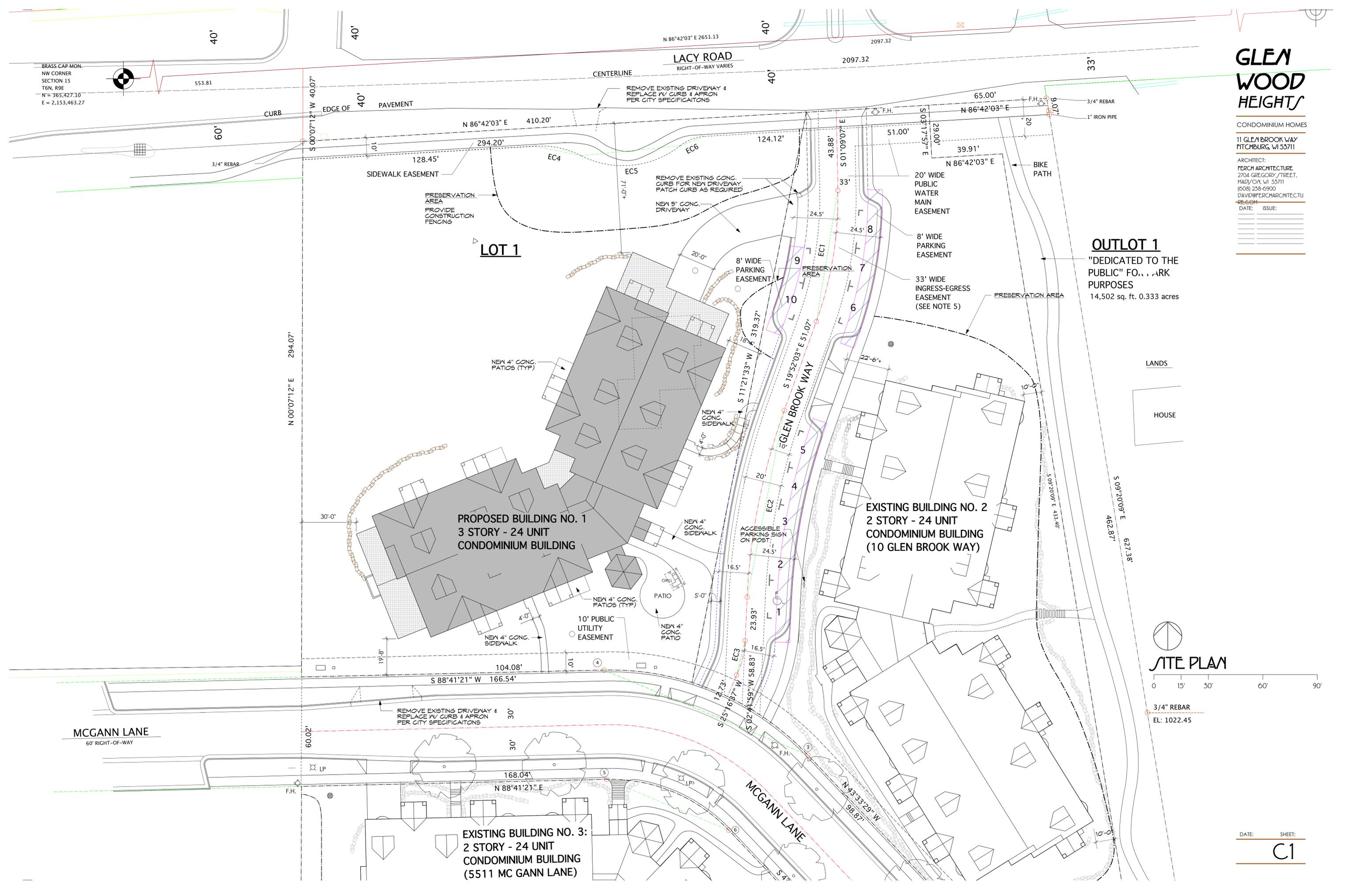
SITE PLAN



3/4" REBAR
EL: 1022.45

DATE: SHEET:

C1



LACY ROAD
RIGHT-OF-WAY VARIES

LOT 1

PROPOSED BUILDING NO. 1
3 STORY - 24 UNIT
CONDOMINIUM BUILDING

EXISTING BUILDING NO. 2
2 STORY - 24 UNIT
CONDOMINIUM BUILDING
(10 GLEN BROOK WAY)

EXISTING BUILDING NO. 3:
2 STORY - 24 UNIT
CONDOMINIUM BUILDING
(5511 MC GANN LANE)

MCGANN LANE
60' RIGHT-OF-WAY

BRASS CAP MON.
NW CORNER
SECTION 15
T6N, R9E
N = 365,427.10
E = 2,153,463.27



N 86°42'03" E 2651.13
LACY ROAD
RIGHT-OF-WAY VARIES

2097.32
2097.32

CURB
EDGE OF PAVEMENT

CENTERLINE

GLEN WOOD HEIGHTS

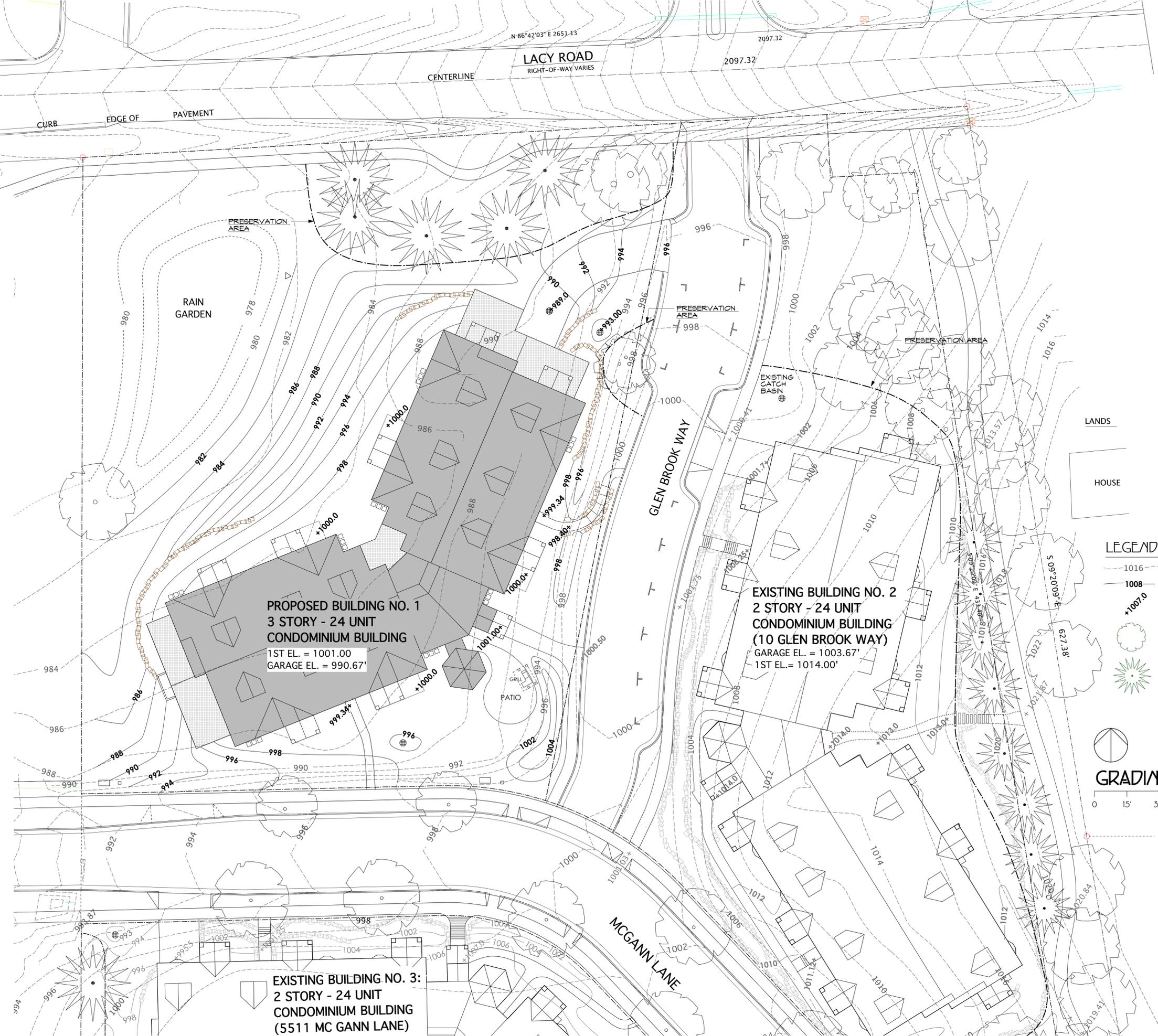
CONDOMINIUM HOMES

11 GLEN BROOK WAY
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REVISIONS

DATE	ISSUE



PROPOSED BUILDING NO. 1
3 STORY - 24 UNIT
CONDOMINIUM BUILDING
1ST EL. = 1001.00
GARAGE EL. = 990.67'

EXISTING BUILDING NO. 2
2 STORY - 24 UNIT
CONDOMINIUM BUILDING
(10 GLEN BROOK WAY)
GARAGE EL. = 1003.67'
1ST EL. = 1014.00'

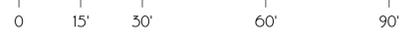
EXISTING BUILDING NO. 3:
2 STORY - 24 UNIT
CONDOMINIUM BUILDING
(5511 MC GANN LANE)

LEGEND

- 1016 EXISTING CONTOURS
- 1008 NEW CONTOURS
- +1007.0 NEW SPOT ELEVATION
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE



GRADING PLAN



10/19/15
DATE: SHEET:

C2

BRASS CAP MON.
NW CORNER
SECTION 15
T6N, R9E
N = 365,427.10
E = 2,153,463.27

GLEN WOOD HEIGHTS

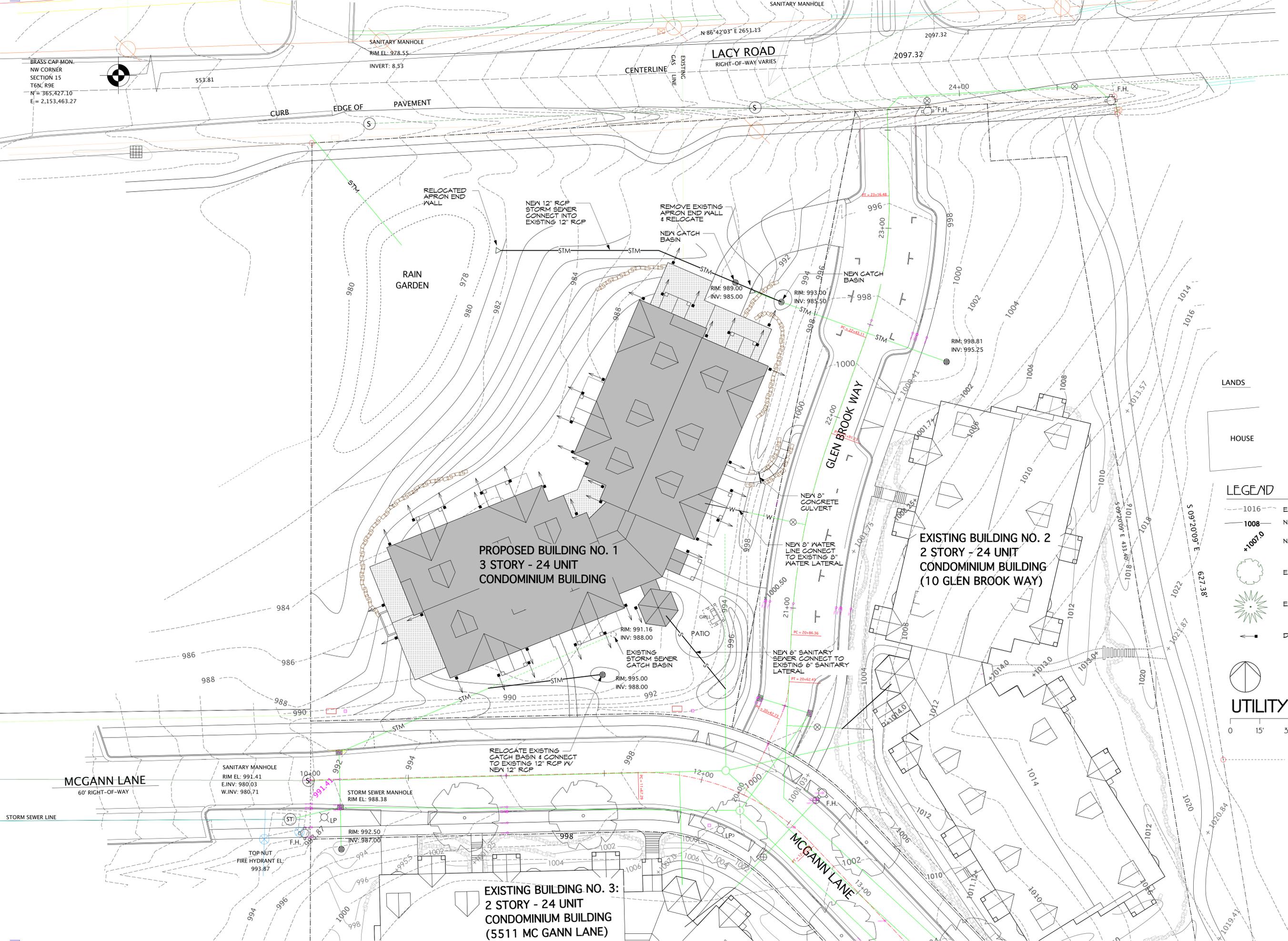
CONDOMINIUM HOMES

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MADISON, WI 53711
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REVISIONS

NO.	DATE	ISSUE



LEGEND

- 1016 EXISTING CONTOURS
- 1008 NEW CONTOURS
- +1007.0 NEW SPOT ELEVATION
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- DOWNSPOUT WITH SURFACE DRAINAGE



UTILITY PLAN



10/19/15

DATE: SHEET:

C3

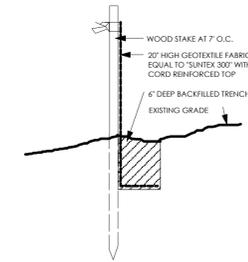
GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

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DATE:	ISSUE:

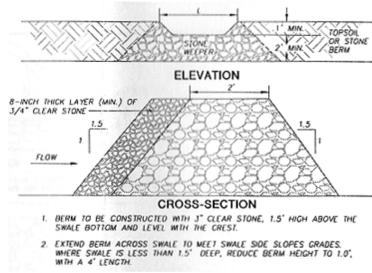


A FILTER FABRIC FENCE DETAIL
NO SCALE

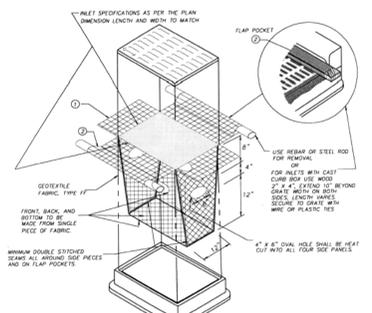
- LEGEND**
- FILTER FABRIC FENCE
 - EROSION MAT (SEE NOTE BELOW)

SOIL EROSION CONTROL NOTES

1. SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY EXCAVATION WORK.
2. FABRIC FILTER FENCES SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT.
3. TEMPORARY GRAVELED STABILIZED PADS SHALL BE INSTALLED AT THE START OF CONSTRUCTION AND MAINTAINED PER SPECIFICATIONS.
4. MAINTAIN EXISTING STORM SEWER INLET SOIL EROSION SILT PROTECTION & STONE BERM PER SOIL EROSION CONTROL DETAILS FROM THE STREET & UTILITY DEVELOPMENT DRAWINGS 8/23/05 BY JENKINS SURVEY & DESIGN.
5. PAVED STREET SURFACES SHALL BE SWEEPED AND/OR SCRAPPED AT THE END OF EACH WORK DAY TO REMOVE SOIL, DIRT AND DUST, OR AS DIRECTED BY THE CITY OF FITCHBURG.
6. EROSION MAT: PROVIDE CLASS II TYPE 'B' EROSION MAT OR EQUAL AS APPROVED BY THE CITY OF FITCHBURG.



B STONE BERM



GENERAL NOTES

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DISCRETION OF THE ENGINEER. MANUFACTURER'S INSTALLATION INSTRUCTIONS AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT PERFORMANCE LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN TO PREVENT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC FROM BEING RE-EROSIONED IMMEDIATELY INTO THE INLET. ANY MATERIAL TRAPPED INTO THE SEDIMENT TRAP SHALL BE REMOVED IMMEDIATELY.

① FRENCH DRILLS INCLUDING FLAP POCKETS (WHERE REQUIRED) SHALL EXTEND A MINIMUM OF 10\"/>

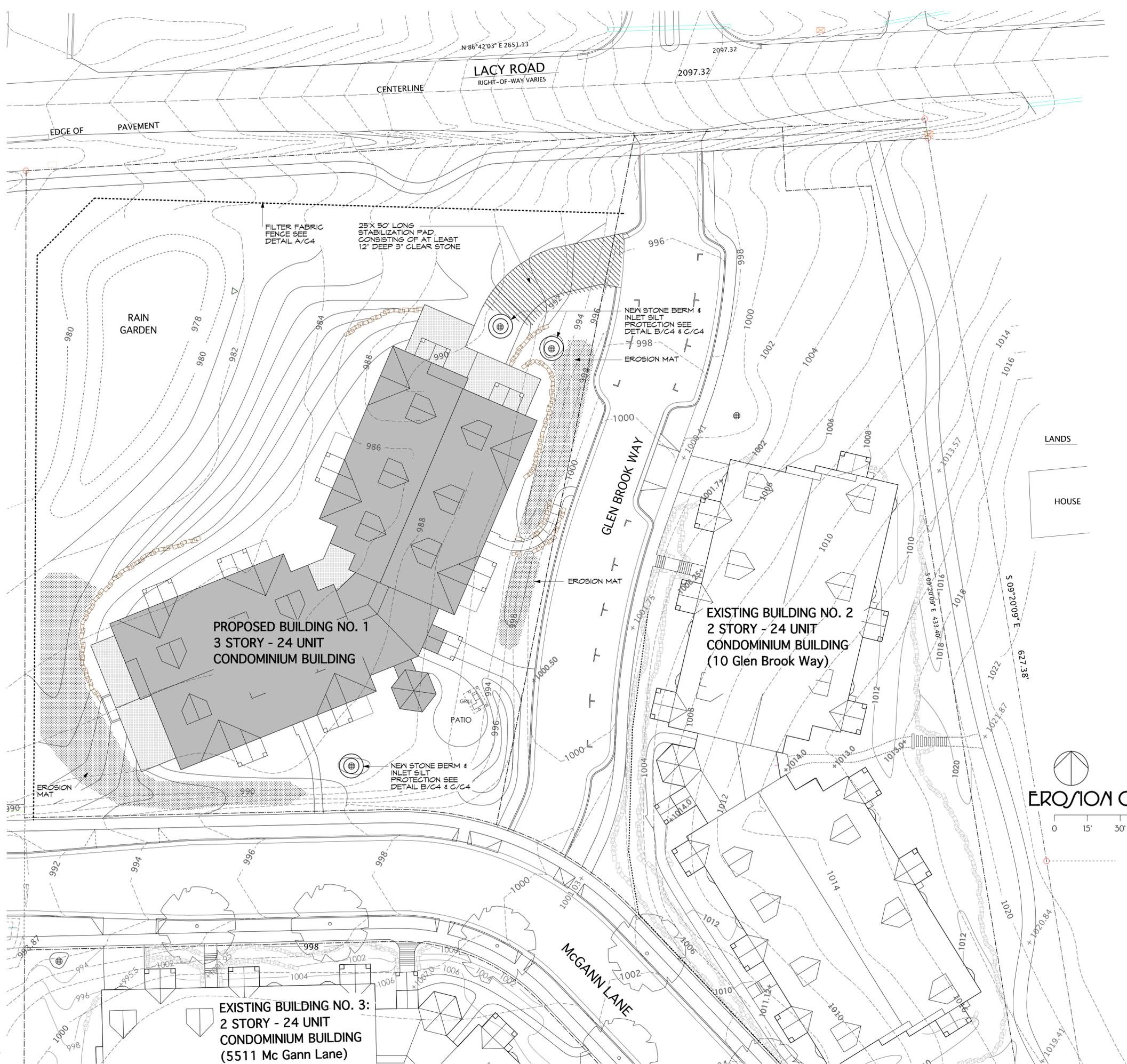
② FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

INSTALLATION NOTES

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SMALLER THAN 30\"/>

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE GROUT HOLES OF 3\"/>

C STORM SEWER INLET PROTECTION



EROSION CONTROL PLAN



10/19/15
DATE: SHEET:

C4

DATE:	ISSUE:

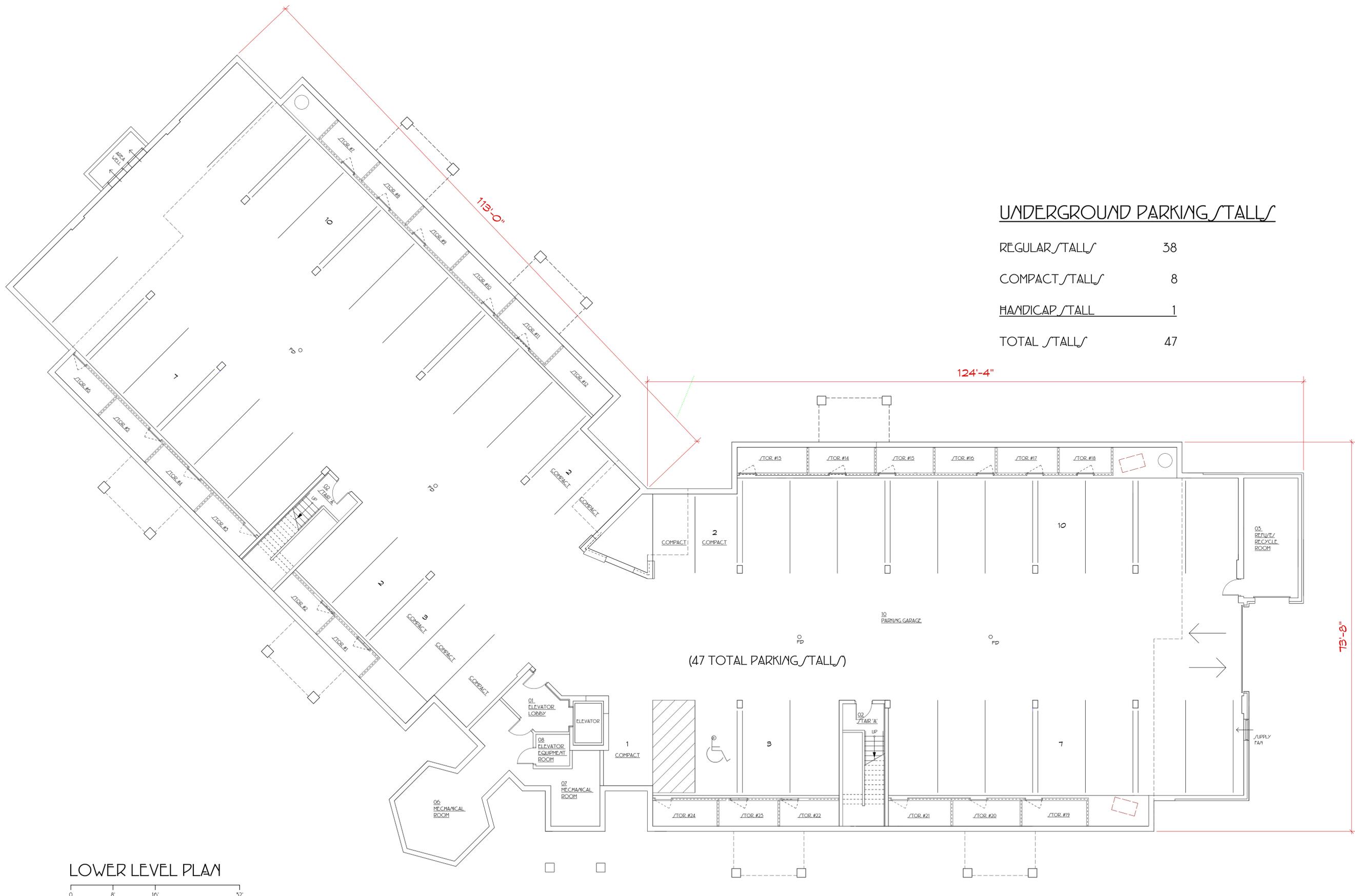
UNDERGROUND PARKING STALLS

REGULAR STALLS 38

COMPACT STALLS 8

HANDICAP STALL 1

TOTAL STALLS 47



LOWER LEVEL PLAN



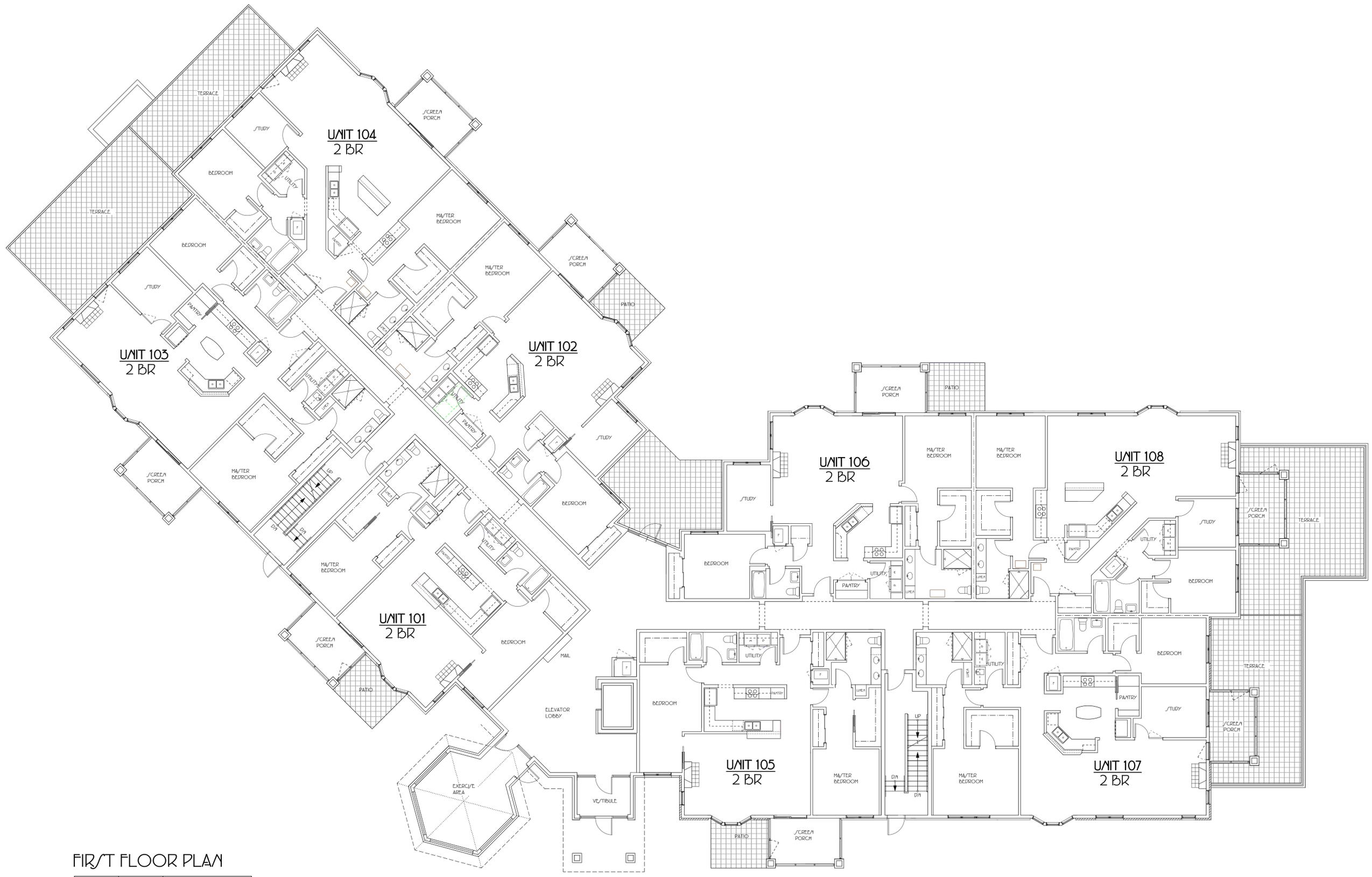
GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

11 GLEN BROOK WAY
FITCHBURG, WI 53711

ARCHITECT:
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Madison, WI 53711
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david@fercharchitecture.com

DATE:	ISSUE:



FIRST FLOOR PLAN



10/19/15

DATE: SHEET:

A2

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

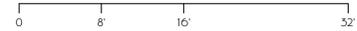
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DATE:	ISSUE:



2ND & 3RD FLOOR PLAN



10/19/15

DATE: SHEET:

A3

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

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DATE:	ISSUE:



FRONT ELEVATION - GLEN BROOK WAY

CUT LIMESTONE MIXED BLEND



LACY ROAD ELEVATION

- PREFINISHED WOOD FASCIA
- PREFINISHED METAL SOFFIT
- PREFINISHED HORIZONTAL WOOD SIDING, 6" EXPOSURE
- METAL GLAD OR VINLY WINDOWS W/ PREFINISHED WOOD TRIM
- PREFINISHED ALUM RAILING, 1/2" SQ. VERT. SPINDLES @ 4" O.C.
- PREFINISHED WOOD SHAKES
- DIMENSIONAL ASPHALT SHINGLES
- DECORATIVE WOOD BRACKETS, PAINTED
- WOOD COLUMN, PAINTED
- PREFINISHED WOOD SHAKES
- METAL GLAD OR VINLY W/ PREFINISHED WOOD TRIM
- CONTINUOUS PRECAST MASONRY TOP SILL
- INSECT SCREEN ON PREFINISHED ALUM FRAME
- 4" FACE BRICK
- METAL GARAGE DOOR PAINTED
- PREFINISHED MTL LOUVER

DATE: SHEET:
4/29/15 A4

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

11 GLEN BROOK WAY
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DATE:	ISSUE:



REAR ELEVATION



PREFINISHED HORIZONTAL
WOOD SIDING, 6" EXPOSURE

PREFINISHED ALUM.
RAILING, 1/2" SQ. VERT.
SPINDLES @ 4" O.C.

DIMENSIONAL ASPHALT SHINGLES

PREFINISHED WOOD SHAKES

PRECAST MASONRY HEAD & SILL

4" FACE BRICK

SYNTHETIC STUCCO

WEST SIDE ELEVATION

DATE: SHEET:
4/29/15

A5

BRASS CAP
N 1/4 COR
SECTION 15
T6N, R9E
N = 365,571
E = 2,156,433

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

5509 LACY ROAD
FITCHBURG, WI 53711

ARCHITECT:
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2704 Gregory Street,
Madison, WI 53711
(608) 258-6900
Fax (608) 253-9171

DEVELOPER:
SCHIEL & ASSOCIATES
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Fitchburg, WI 53711
(608) 278-8481
Fax (608) 278-8568

DATE:	ISSUE:
9/19/05	FNDR. 1ST PRECAST

OUTLOT 1
"DEDICATED TO THE PUBLIC"
FOR PARK PURPOSES
14,502 sq. ft. 0.333 acres

LOT 14
FIRST ADDITION TO
FITCHBURG TECHNOLOGY CAMPUS

McGANN LANE
60' RIGHT-OF-WAY

LACY ROAD
RIGHT-OF-WAY VARIES

SITE PLAN



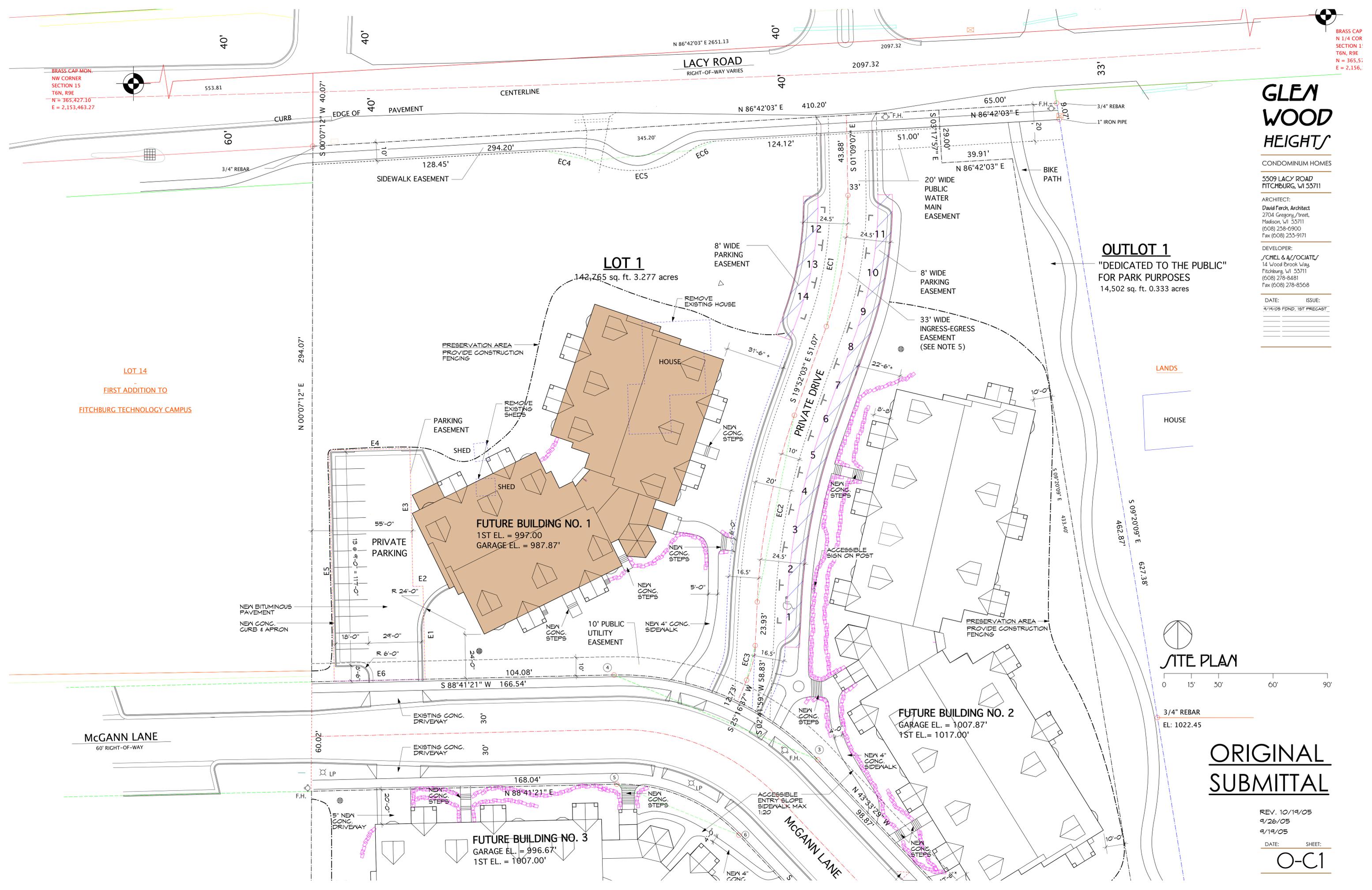
3/4" REBAR
EL: 1022.45

ORIGINAL SUBMITTAL

REV. 10/19/05
4/26/05
9/19/05

DATE: SHEET:

O-C1



LOT 1
142,765 sq. ft. 3.277 acres

FUTURE BUILDING NO. 1
1ST EL. = 997.00
GARAGE EL. = 987.87'

FUTURE BUILDING NO. 2
GARAGE EL. = 1007.87'
1ST EL. = 1017.00'

FUTURE BUILDING NO. 3
GARAGE EL. = 996.67'
1ST EL. = 1007.00'

BRASS CAP
N 1/4 COR
SECTION 15
T6N, R9E
N = 365.5'
E = 2,156'

BRASS CAP MON.
NW CORNER
SECTION 15
T6N, R9E
N = 365,427.10
E = 2,153,463.27

GLEN WOOD HEIGHTS

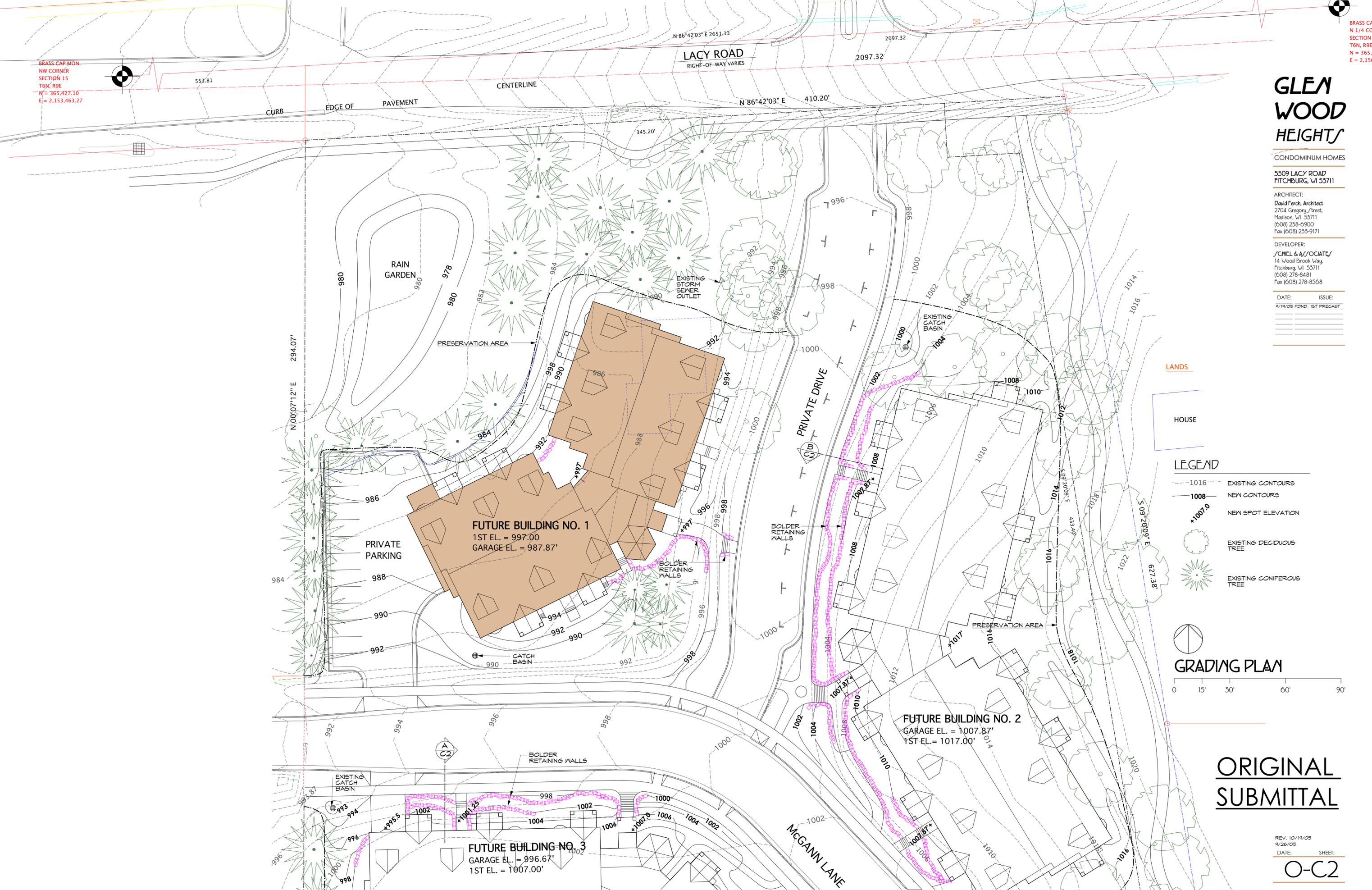
CONDOMINIUM HOMES

5509 LACY ROAD
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(608) 278-8481
Fax (608) 278-8568

DATE:	ISSUE:
9/19/05	FNDR. 1ST PRECAST



LANDS



LEGEND

- 1016 EXISTING CONTOURS
- 1008 NEW CONTOURS
- *1007.0 NEW SPOT ELEVATION
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE



GRADING PLAN



ORIGINAL SUBMITTAL

REV. 10/19/05
9/26/05
DATE: SHEET:

O-C2

BRASS CAP
N 1/4 COR
SECTION 15
T6N, R9E
N = 365,51
E = 2,156,

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

5509 LACY ROAD
FITCHBURG, WI 53711

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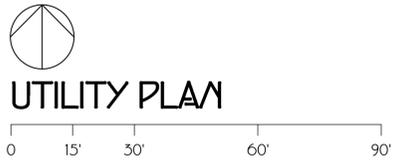
DATE:	ISSUE:
9/19/05	FOUND. 1ST PRECAST

LOT 14
FIRST ADDITION TO
FITCHBURG TECHNOLOGY CAMPUS

LANDS

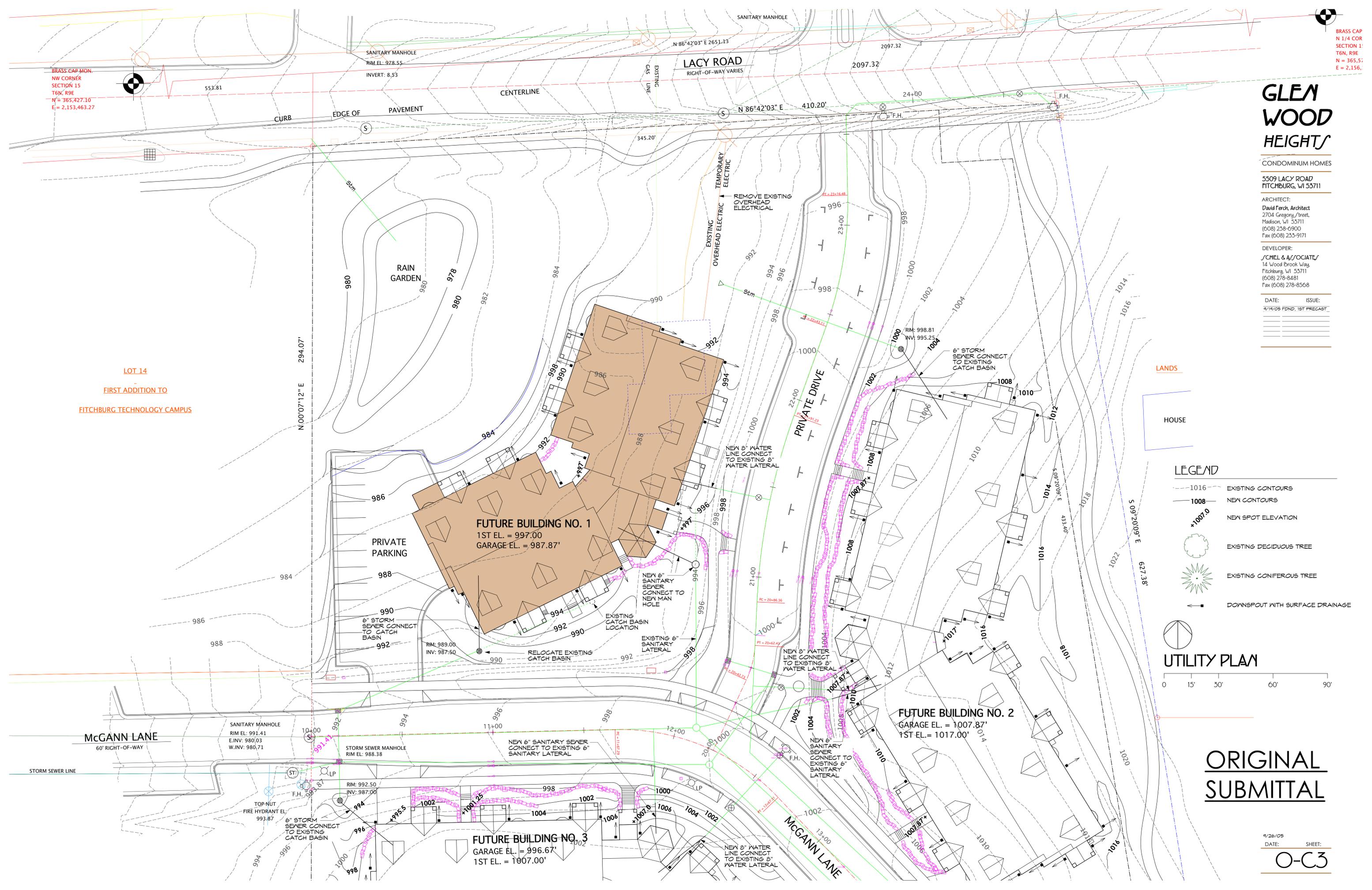
HOUSE

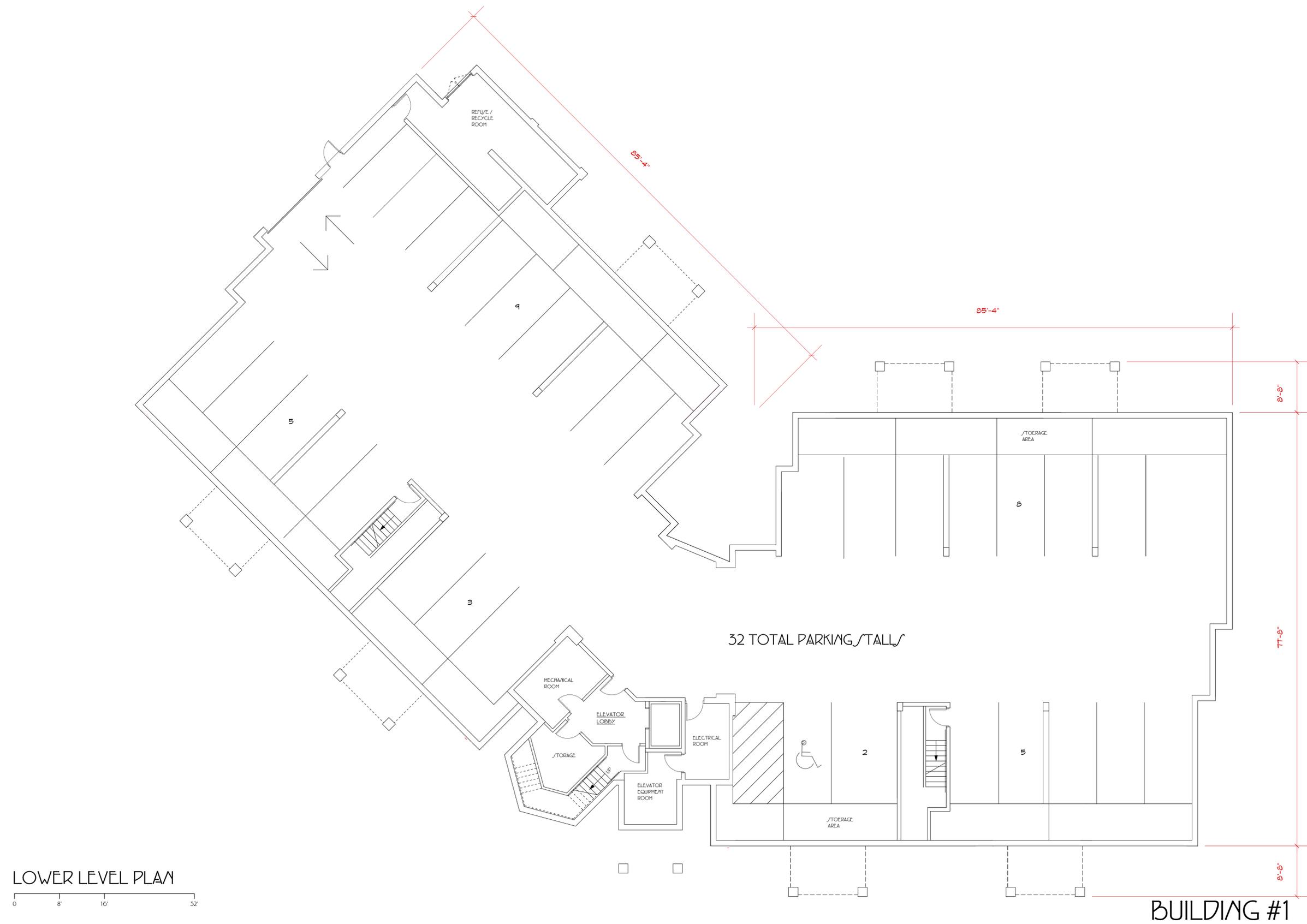
- LEGEND**
- 1016 EXISTING CONTOURS
 - 1008 NEW CONTOURS
 - *1007.0 NEW SPOT ELEVATION
 - EXISTING DECIDUOUS TREE
 - EXISTING CONIFEROUS TREE
 - ↓ DOWNSPOUT WITH SURFACE DRAINAGE



ORIGINAL SUBMITTAL

9/26/05
DATE: SHEET:
O-C3



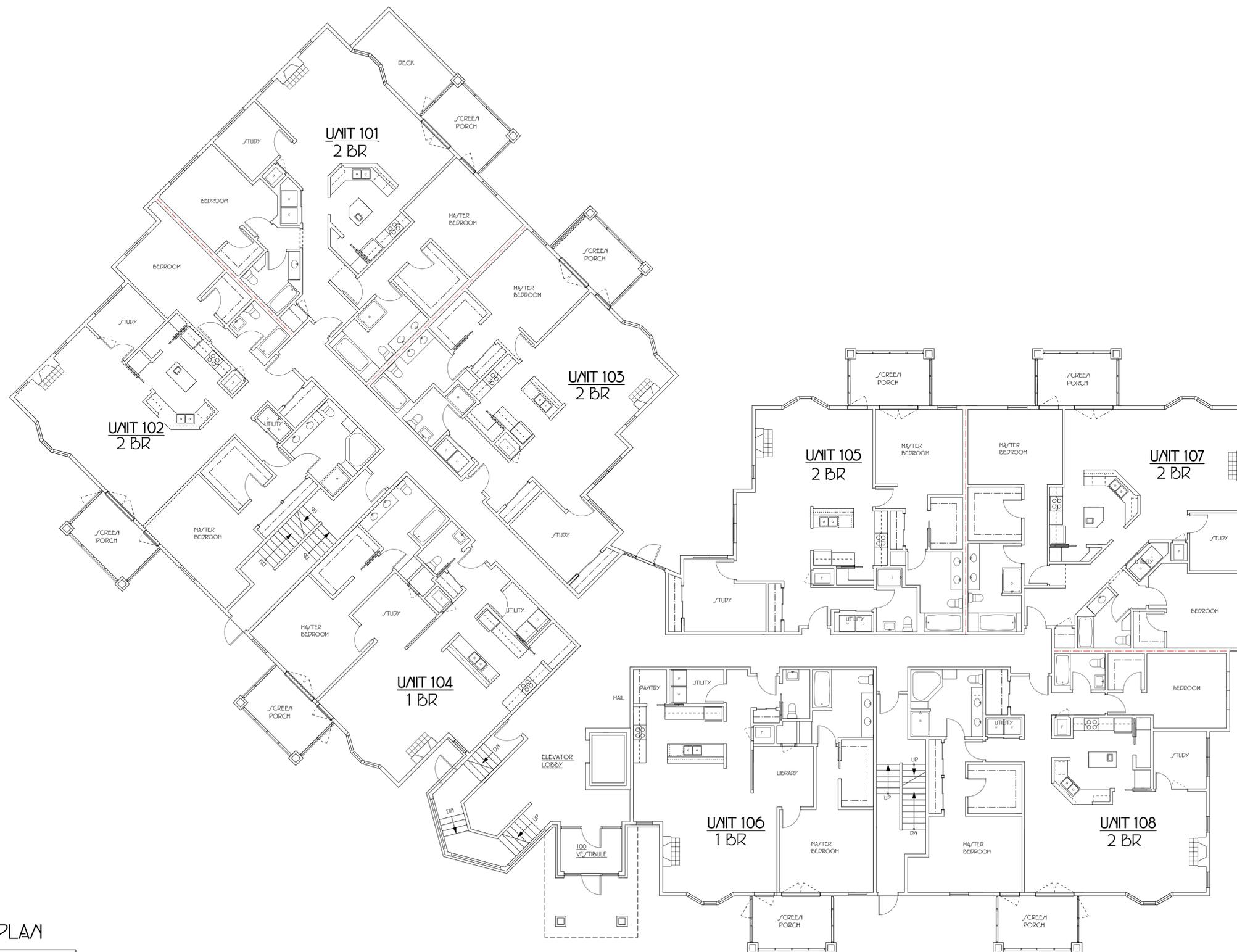


**ORIGINAL
SUBMITTAL**

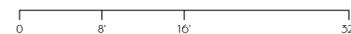
9/26/05

DATE: SHEET:

O-A4



FIRST FLOOR PLAN



**ORIGINAL
SUBMITTAL**

9/26/05

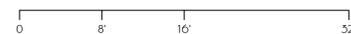
DATE: SHEET:

O-A5

BUILDING #1



SECOND & THIRD FLOOR PLAN



**ORIGINAL
SUBMITTAL**

BUILDING #1

9/26/05

DATE: SHEET:

O-A6

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

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Fitchburg, WI 53711
(608) 278-8481
Fax (608) 278-8568



FRONT ELEVATION - BLDG #1

ORIGINAL
SUBMITTAL

9/26/05

DATE: SHEET:

BUILDING #1

O-A9

GLEN WOOD HEIGHTS

CONDOMINIUM HOMES

5509 LACY ROAD
FITCHBURG, WI 53711

ARCHITECT:
David Ferch, Architect
2704 Gregory Street, Madison,
WI 53711
(608) 258-6900
Fax (608) 255-9171

DEVELOPER:
SCHIEL & ASSOCIATES
14 Wood Brook Way,
Fitchburg, WI 53711
(608) 278-8481
Fax (608) 278-8568



REAR ELEVATION - BLDG #1



SOUTH ELEVATION

ORIGINAL
SUBMITTAL

BUILDING #1

9/26/05
DATE: SHEET:

O-A10

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **October 27, 2015** Ordinance Number:
Date to Report Back: **Nov 24, 2015** Resolution Number: R-XX-15

Sponsored by: Mayor Drafted by: Planning / Zoning

TITLE: Preliminary Plat Request, PP-2092-15, by Chris Ehlers of William Ryan Homes, Agent for O'Brien Family Limited Partnership, for the Stoner Prairie Preliminary Plat

Background: Applicant is requesting approval to for the Preliminary Plat for Stoner Prairie. The plat would create 141 parcels, 133 which would be buildable lots, per the application.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	Nov 17, 2015	
2	Park Commission	Endl	Nov 5, 2015	

Amendments:



October 20, 2015

Mr. Thomas Hovel
Zoning Administrator / Community Planner
City of Fitchburg
Planning / Zoning Department
5520 Lacy Road
Fitchburg, WI 53711

Subject: Letter of Transmittal – **Stoner Prairie** Land Division Application

Dear Mr. Hovel:

Thank you for your continued assistance and coordination regarding the Stoner Prairie residential development proposal. Please find the following enclosed:

- 1 – Land Division Application
- 1 – Preliminary Plat Application Fee
- 1 – Payment Guarantee of Fees
- 10 – 22"x30" Preliminary Plat of Stoner Prairie
- 1 – 11"x17" Preliminary Plat of Stoner Prairie

- 1 – Covenant & Restrictions Document (DRAFT)

- 3 – 11"x17" Stoner Prairie Preliminary Construction Plans

In accordance with the CDP Zoning Conditions of Approval, the rezoning shall be accomplished prior to the Final Plat. The Applicant has chosen not to submit the Rezone Application with the Preliminary Plat as the extent of the Final Plat has not been determined at this time.

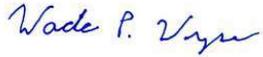
Additionally, we understand the Payment Guarantee of Fee is required per Section 24 -15(b)(3) of the City of Fitchburg Municipal Ordinance and that it is a deposit from which the city may deduct unpaid engineering, inspection, consulting and attorney fees incurred by the city if the developer doesn't pay the

city's invoices in a timely manner. We understand the deposit will be refunded at the time the Final Plat is approved by the Common Council.

Again, thank you for your efforts, coordination and review of the Stoner Prairie development. If you have any questions or require additional information, please do not hesitate to contact our office.

Respectfully,

WYSER ENGINEERING, LLC

A handwritten signature in blue ink that reads "Wade P. Wyse".

Wade P. Wyse, P.E.

Principal – Project Manager



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

LAND DIVISION APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby submits ten (10) copies of the attached maps, one (1) copy no larger than 11" x 17", and one (1) pdf document of the complete submittal (planning@fitchburgwi.gov) for approval under the rules and requirements of the Fitchburg Land Division Ordinance.

- 1. Type of Action Requested:**
- Certified Survey Map Approval
 - Preliminary Plat Approval
 - Final Plat Approval
 - Replat
 - Comprehensive Development Plan Approval

2. Proposed Land Use (Check all that Apply):

- Single Family Residential
- Two-Family Residential
- Multi-Family Residential
- Commercial/Industrial

3. No. of Parcels Proposed: 141

4. No. Of Buildable Lots Proposed: 133

5. Zoning District: R-I, P-R

6. Current Owner of Property: O'Brien Family Limited Partnership

Address: 662 Rovalia DR **Phone No:** (608) 848-9573

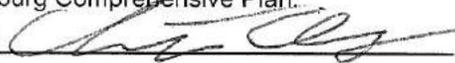
7. Contact Person: William Ryan Homes - Chris Ehlers, Vice President of Operations

Email: cehlers@wmryan.com

Address: 5989 Monona Drive **Phone No:** (608) 729-5366 ext. 701

8. Submission of legal description in electronic format (MS Word or plain text) by email to: planning@fitchburgwi.gov

Pursuant to Section 24-2 (4) of the Fitchburg Land Division Ordinance, all Land Divisions shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

Respectfully Submitted By:  Chris Ehlers

Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: _____

Ordinance Section No. _____ **Fee Paid:** _____

Permit Request No. _____

PRELIMINARY PLAT of STONER PRAIRIE

ALL OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER AND PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 8, TOWN 6 NORTH, RANGE 9 EAST, ALL IN THE CITY OF FITCHBURG, DANE COUNTY, WISCONSIN. EXCLUDING CERTIFIED SURVEY MAP NO. 3229, AS RECORDED IN VOLUME 12 OF CERTIFIED SURVEY MAPS ON PAGES 323 THROUGH 324, AS DOCUMENT NO. 1629586 AND RIGHT-OF-WAY OF LACY ROAD PER WARRANTY DEED TO THE CITY OF FITCHBURG RECORDED OCTOBER 28TH, 1998 AS DOCUMENT NO. 3036321

CURVE TABLE						
CURVE #	CURVE LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT IN
C1	196.43'	125.00'	90° 02' 11"	N43° 26' 54"W	176.83'	N89° 28' 00"W
C2	163.01'	100.00'	92° 15' 11"	N44° 33' 24"W	144.17'	N1° 34' 11"E
C3	153.15'	100.00'	87° 44' 49"	N45° 26' 36"E	138.61'	N1° 34' 11"E
C4	157.13'	100.00'	90° 01' 53"	S43° 26' 45"E	141.46'	S1° 34' 11"W
C5	157.08'	100.00'	90° 00' 00"	S40° 34' 11"W	141.42'	S1° 34' 11"W



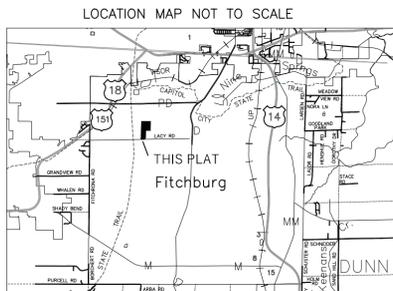
0' 50' 100' 150'



SURVEYOR/ENGINEER/PLANNER:
WYSER ENGINEERING
201 S. EAST MAIN STREET
MOUNT HOREB, WI 53572
www.wyserengineering.com

SUBDIVIDER:
WILLIAM RYAN HOMES WISCONSIN, INC.
5989 MONONA DRIVE
MONONA, WI 53176

OWNER:
O'BRIEN FAMILY LIMITED PARTNERSHIP
662 ROYALIA DRIVE
VERONA, WI 53593



LEGEND	
	FOUND PLSS SECTION MONUMENT TYPE NOTED
	FOUND 3/4" REBAR
	FOUND 1-1/4" REBAR
	FOUND 2" IRON PIPE
	EXISTING SANITARY MANHOLE
	EXISTING SEPTIC VENT
	EXISTING WELL
	EXISTING HYDRANT
	EXISTING INLET
	EXISTING STORM MANHOLE
	EXISTING PEDESTAL
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING UTILITY VAULT
	DRAINAGE ARROW
	RECORDED AS
	PROPERTY LINE
	PLATTED LINE
	CENTERLINE
	SECTION/QUARTER LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATER
	EXISTING OVERHEAD ELECTRIC
	EXISTING FIBER OPTIC
	EXISTING COMMUNICATION
	EXISTING FENCE LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF GRAVEL
	EXISTING ASPHALT PAVEMENT
	EXISTING GRASS
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR

- NOTES**
- FIELD WORK PERFORMED BY WYSER ENGINEERING, LLC ON THE WEEKS OF JULY 6TH AND 13TH, 2015.
 - NORTH REFERENCE FOR THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM HAD 83 (2011) GRID NORTH - TRUE NORTH. THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 8 BEARS N 89°56' 17" E.
 - THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED INCLUDING THOSE EASEMENTS SHOWN HEREON.
 - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 - SUBSURFACE UTILITIES AND FIXTURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFACE FEATURES AND ACCESSORIES, DIGGERS HOTLINE FIELD MARKINGS AND EXISTING MAPS AND RECORDS.
 - CONTOUR INTERVAL IS 2 FEET AND THERE HAS BEEN DETERMINED A COMBINATION OF FIELD DATA AND DANE COUNTY LIDAR DATA.
 - SUBJECT PARCEL LIES IN "ZONE X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NO. 59205C089G DATED JANUARY 02, 2009.
 - DRAINAGE ARROWS INDICATE THE DIRECTION OF SURFACE DRAINAGE AT INDIVIDUAL PROPERTY LINES DRAINAGE SHALL BE GRADED WITH THE CONSTRUCTION OF EACH MAIN STRUCTURE AND MAINTAINED BY THE LOT OWNER UNLESS MODIFIED WITH THE APPROVAL OF THE CITY ENGINEER.
 - CURRENT PARCEL ZONING IS A-T.
 - PROPOSED ZONING PER THE C.D.P. = ALL LOTS TO BE R-L AND ALL OUTLOTS TO BE P-R.
 - OUTLOT 1 IS TO BE DEDICATED TO THE PUBLIC FOR PARK LANDS.
 - OUTLOT 2 IS TO BE DEDICATED TO THE PUBLIC FOR PEDESTRIAN/BIKE PATH AND PUBLIC SANITARY SEWER PURPOSES.
 - OUTLOT 2, 3, 4, 5 AND 6 ARE TO BE DEDICATED TO THE PUBLIC FOR PEDESTRIAN/BIKE PATH PURPOSES.

UTILITY STRUCTURE TABLE					
STRUCT. #	RIM ELEV.	INV. DIR.	ELEV.	PIPE SIZE	PIPE MATERIAL
AES - 1		E	1039.64	12"	RCP
STM - 1	1042.60	E	1038.92	12"	RCP
		S	1038.99	12"	RCP
		N	1038.97	12"	RCP
STM - 2	1042.73	S	1039.40	12"	RCP
		N	1039.45	12"	RCP
		E	1039.45	12"	RCP
INL - 1	1042.32	N	1039.16	12"	RCP
		S	1039.20	12"	RCP
INL - 2	1042.45	N	1039.22	12"	RCP
INL - 3	1042.68	E	1039.90	12"	RCP AES ?
		N	1039.95	12"	RCP
INL - 4	1042.39	E	1040.08	12"	RCP
SAN - 1	1043.49	E	1032.51	8"	PVC
SAN - 2	1043.72	NE	1032.69	8"	PVC
		SW	1033.01	6"	PVC

LEGAL DESCRIPTION

AS FURNISHED FROM FIRST AMERICAN TITLE COMMITMENT NO. 2661154:

THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION EIGHT (8), TOWN SIX (6) NORTH, RANGE NINE (9) EAST, IN THE CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.
PARCEL NO. 225/0609-084-8500-9

THE WEST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION EIGHT (8), TOWN SIX (6) NORTH, RANGE NINE (9) EAST, IN THE CITY OF FITCHBURG, DANE COUNTY, WISCONSIN, EXCEPTING THEREFROM ALL OF CERTIFIED SURVEY MAP NO. 3229 RECORDED AS DOCUMENT NO. 1629586 AND ALSO EXCEPTING THAT PORTION DEEDED TO THE CITY OF FITCHBURG IN WARRANTY DEED RECORDED OCTOBER 28, 1998 AS DOCUMENT NO. 3036321.
PARCEL NO. 225/0609-084-9070-8

AS MEASURED THIS SURVEY:

COMMENCING AT THE SOUTH QUARTER CORNER OF SECTION 8, TOWN 6 NORTH, RANGE NINE EAST, THENCE NORTH 01 DEGREES 38 MINUTES 21 SECONDS EAST ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 8, A DISTANCE OF 40.04 FEET TO THE NORTHERLY RIGHT-OF-WAY LACY ROAD BEING THE POINT OF BEGINNING.

THENCE CONTINUING ALONG SAID WEST QUARTER LINE NORTH 01 DEGREES 38 MINUTES 21 SECONDS EAST, 2845.11 FEET TO THE NORTH LINE OF A095340 SOUTHEAST QUARTER, THENCE NORTH 89 DEGREES 19 MINUTES 08 SECONDS EAST ALONG SAID NORTH LINE, 1305.64 FEET TO THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 8, THENCE SOUTH 01 DEGREES 34 MINUTES 11 SECONDS WEST ALONG SAID WEST LINE, 1258.77 FEET TO THE SOUTH LINE OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, THENCE SOUTH 89 DEGREES 07 MINUTES 03 SECONDS WEST ALONG SAID SOUTH LINE, 654.14 FEET TO THE EAST LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 8, THENCE SOUTH 01 DEGREES 34 MINUTES 42 SECONDS WEST ALONG SAID EAST LINE, 1092.04 FEET TO THE NORTH LINE OF CERTIFIED SURVEY MAP NO. 3229, THENCE SOUTH 88 DEGREES 56 MINUTES 17 SECONDS WEST ALONG SAID NORTH LINE, 125.00 FEET TO THE WEST LINE OF SAID CERTIFIED SURVEY MAP, THENCE SOUTH 01 DEGREES 36 MINUTES 35 SECONDS WEST ALONG SAID WEST LINE, 167.96 FEET TO THE AFORESAID NORTHERLY RIGHT-OF-WAY LINE OF LACY ROAD, THENCE SOUTH 88 DEGREES 56 MINUTES 17 SECONDS WEST ALONG SAID RIGHT-OF-WAY LINE, 529.61 FEET BACK TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 2,501,330 SQUARE FEET OR 57.42 ACRES

SURVEYORS CERTIFICATE

I, JULIUS W. SMITH, WISCONSIN PROFESSIONAL LAND SURVEYOR S-3091, DO HEREBY CERTIFY THAT THIS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF WITH THE INFORMATION PROVIDED BY THE OWNER OF THOSE LISTS HEREON, AND THAT THIS SURVEY COMPLIES WITH 46.7 OF THE WISCONSIN ADMINISTRATIVE CODE AND THE PROVISIONS AS STATED IN CHAPTER 24 - LAND DIVISION OF THE CITY OF FITCHBURG - CODE OF ORDINANCES.

JULIUS W. SMITH, S-3091
WISCONSIN PROFESSIONAL LAND SURVEYOR



SE CORNER SECTION 8-T6N-R9E FOUND DANE COUNTY ALUMINUM CAP IN CONCRETE N: 456,084.30 E: 804,601.44

REMAINING NORTH 1/2 OF THE SOUTH 1/2 SUBJECT TO AMERITECH GENERAL EASEMENT RECORDED OCTOBER 22, 1998 AS DOCUMENT NO. 3033504. AFTER 7' RIGHT-OF-WAY ACQUISITION PER WARRANTY DEED DOCUMENT NO. 3036321

S 1/2 CORNER SECTION 8-T6N-R9E FOUND DANE COUNTY ALUMINUM CAP IN CONCRETE MONUMENT N: 456,035.77 E: 801,983.11

SW CORNER SECTION 8-T6N-R9E FOUND DANE COUNTY ALUMINUM CAP ON REBAR N: 455,990.37 E: 799,364.55

CENTER OF SECTION 8-T6N-R9E FOUND CITY OF MADISON BRASS-CAP IN CONCRETE MONUMENT N: 458,640.26 E: 802,057.64

W 1/4 CORNER SECTION 8-T6N-R9E FOUND BRASS CAP IN CONCRETE MONUMENT N: 458,605.67 E: 799,449.21

STONER PRAIRIE

DECLARATION OF PROTECTIVE COVENANTS FOR LOTS
1 THROUGH 133 & OUTLOTS 1 THROUGH 8 INCLUSIVE,
PLAT OF STONER PRAIRIE

Drafted by and Return Address:

Chris Ehlers
William Ryan Homes
5989 Monona Drive
Monona WI, 53716

See Exhibit A

Parcel Identification Number (PIN)

THIS DECLARATION is made by William Ryan Homes ("*Developer*").

RECITALS:

A. Developer is the fee simple owner of lands legally described on Exhibit A in the City of Fitchburg, Dane County, Wisconsin; and

B. Developer desires to subject the Development to protective covenants, which shall encumber the Development and each Lot, shall bind the owners of any interest each Lot and shall bind their successors in interest.

NOW, THEREFORE, Developer declares that the Development and each Lot shall be used, held, sold and conveyed subject to these protective covenants, which shall inure to the benefit of and encumber the Development and each Lot, shall run with the land, and shall bind the owner of any interest, and shall bind their successors in interest.

ARTICLE 1
STATEMENT OF PURPOSE

1.1 General Purpose. The general purpose of this Declaration is to help assure that the Development will become and remain an attractive community; to preserve and maintain the natural beauty of the Development; to insure the most appropriate development and improvement of each Lot; to guard against the erection of poorly designed or proportioned structures; to obtain harmonious improvements and use of material and color schemes; to insure the highest and best residential development of the Development; and to encourage and secure the construction of attractive residential structures.

1.2 Architectural Control. No building or other improvement shall be erected, placed or altered on any Lot until its construction plans and specifications shall have been approved in writing by the Committee.

ARTICLE 2
DEFINITIONS

The following definition shall be applicable to this Declaration:

2.1 Association. Stoner Prairie Homeowners Association, Inc., a Wisconsin nonprofit, nonstock corporation, its successors and assigns.

2.2 City. The City of Fitchburg, Wisconsin.

2.3 Committee. The Architectural Control Committee described in Section 3.1(a).

2.4 Declaration. This Declaration of Protective Covenants.

2.5 Dwelling. The single-family dwellings to be constructed on the Lots.

2.6 Development. The lands described on Exhibit A.

2.7 Lot. Any platted Lot within the Development.

2.8 Owner. The person or persons, including any business entity, having the power to convey the fee simple title to any portion of the Development.

2.9 Register of Deeds. Office of Register of Deeds for Dane County, Wisconsin.

ARTICLE 3
ARCHITECTURAL CONTROL COMMITTEE

3.1 Establishment Duties, Membership.

(a) There shall be an Architectural Control Committee, which shall have the rights and obligations set forth in this Declaration for the Committee and any powers necessary to exercise those rights.

(b) The Committee shall initially consist solely of Developer, and/or its related entities successors or assigns. Developer may at any time, at its sole discretion, appoint up to three (3)

Owners to serve as the Committee with the decisions rendered by the majority to be binding. Notwithstanding the foregoing provisions, at such time as Developer no longer owns any Lot subject to this Declaration, the directors of the Association shall elect the members and fill vacancies on the Committee.

3.2 Procedure. An Owner desiring to construct a building or otherwise improve a Lot shall submit to the Committee, for its written approval, construction plans and specifications for all improvements, and a plot plan showing the location of all contemplated improvements. The Committee may appoint a qualified designee to conduct the initial review of submissions and make recommendations to the Committee. The items submitted to the Committee or the Committee's designee shall include:

- (a) Construction details for all buildings, structures, fences, walls and other improvements;
- (b) Elevation drawings of any building;
- (c) Proposed facades of any building, including the style, color and location of eaves and windows;
- (d) A description of materials to be used in any building or improvement;
- (e) A detailed site plan showing the building footprint and driveway, the location of all structures with respect to topography and finish grade elevation, the top of the foundation structure in relation to the nearest street or curb elevation and the proposed water drainage patterns;
- (f) The color scheme of all improvements;
- (g) Landscape plans and specifications detailing the size and location of proposed trees, shrubs, fences, berms, walls, patios, family gardens, bedding plantings, and other landscape materials; and
- (h) Such other materials as the Committee may deem necessary.

All structures shall be designed by a registered architect, a professional engineer experienced in home design, or comparable qualified individual or firm. A submission will not be complete and the thirty (30)-day approval time set forth below shall not commence until all documents required in this Section 3.2 have been submitted. All such submissions shall be to the appointee of the Committee or to the Developer, if no person is designated to review submissions at its principal place of business (or, if Developer ceases to be a member of the Committee, such other address that the Committee may designate), together with any applicable fee required under Section 3.5. After initial review by the appointed designee, Developer shall then call a meeting of the Committee to consider such plans and specifications. Action of the Committee shall be by majority vote of the Committee members present at such meeting. A tie vote on an issue shall be deemed equivalent to rejection. The Committee, with the written consent of at least three of its members, may take action without a meeting. The Committee may approve, disapprove or approve subject to stated conditions the preliminary and final development plans. If the Committee conditionally approves either the preliminary or final development plans, then the applicant shall be entitled to resubmit such plans. The Committee's decision shall be in writing, signed by two or more Committee members. If the Committee fails to render its decision on the preliminary or final development plans within thirty (30) days of their submission, or upon any resubmitted preliminary or final development plans within fifteen (15) days of their resubmission, approval will be deemed to have been obtained and the applicable covenants, conditions and restrictions in this Declaration shall be deemed to have been complied with. If such plans are not rejected,

then the Owner of the Lot shall construct the improvements materially in accordance with the submitted documents. All material changes to such plans must be resubmitted to, and approved by, the Committee. Any changes to such plans that would lessen the quality or expense of the construction as previously approved shall be deemed to be material changes.

3.3 Standards. The Committee shall have the right to reject any plans and specifications or plot plans which, in the judgment and sole opinion of a majority of its members, or the representative of the Committee:

- (a) are not in conformity with any of the restrictions set forth in this Declaration; or
- (b) are not desirable for aesthetic reasons; or
- (c) are not in harmony with buildings located on the surrounding Lots; or
- (d) have exterior lighting, exterior signs, exterior television antennae, fencing or landscaping which are not desirable for aesthetic reasons; or
- (e) are not in conformity with the general purposes of this Declaration.

3.4 Occupancy. No structure shall be occupied unless it has been approved by the Committee pursuant to Section 3.2, constructed in accordance with the plans as approved by the Committee, and an occupancy permit has been issued therefor.

3.5 Fees. The Committee, by majority vote, shall from time to time adopt a fee schedule designed to defray the Committee's out-of-pocket costs, including the fee of any designee appointed by the Committee, incurred in connection with its review of any preliminary or final development plan or of any resubmission of any such plans and such fee may be adjusted at any time by the Committee.

3.6 Approval of Contractors. For each building erected or placed on any Lot subject to this Declaration, the prime contractor or builder to be hired for construction of such building shall be approved in writing by the Committee prior to commencement of any construction. Such approval may be withheld for reasons such as the proposed contractor's or builder's financial status or building reputation.

3.7 Liability of Committee. The Committee and its designee or its individual members shall not be liable under any circumstances for any damage, loss or prejudice suffered or claimed on account of:

- (a) The approval or disapproval of any plans and specifications, whether or not defective;
- (b) The construction or performance or any work, whether or not pursuant to approved plans and specifications; or
- (c) The development of any property within the Development.

ARTICLE 4 ARCHITECTURAL RESTRICTIONS

4.1 Front and Side Yard Requirements. All Dwellings or any parts thereof shall be built and sited in conformance with the standards set forth in the Fitchburg Zoning Code.

4.2 Floor Area Minimums. Each Dwelling constructed on a Lot shall have a minimum of floor area of finished living space of 1,500 square feet for a one-story house (i.e., ranch style) and 1,750 square feet for a multi-story or split-level house..

4.3 Building Location. All buildings should be sited on the Lot to present their most desirable face to the street and where possible should be related to buildings on adjoining Lots. The use of front porches by Owners is encouraged. The Committee may check sight lines based on proposed structure location to minimize the structure's obstruction of views from neighboring Lots.

4.4 Utilities. All utilities serving any building or site shall be underground.

4.5 Fencing. Fences over four (4) feet in height shall not be allowed except for screening of service areas, pedestrian walkways or swimming pools. All other fences shall only be permitted with the prior written consent of the Committee. All fences shall be constructed of wood, vinyl, or metal. Chain link fencing is strictly prohibited. Adjacent lot owners' approval of any fence will be required prior to Architectural Review. As part of its consent, the Committee may require the installation and maintenance of landscape materials for screening and aesthetic purposes.

4.6 Mailboxes and Exterior Yard Lights. The Architectural Control Committee shall have the right to select a mail box post, mail box type and design and house number type and design and require each owner of a lot subject to these conditions, covenants, restrictions and easements to utilize same on said lot. It is the responsibility of the lot purchaser to purchase and install required mailbox

4.7 Garages: Use of Outbuildings. All garages shall be attached to the Dwelling and shall have space for no fewer than two cars. No trailer, basement, tent, tree house, shack, shed, detached garage, barn or outbuilding shall be erected or permitted to remain on any Lot, temporarily or permanently, except for construction trailers during the period of construction. Play equipment such as swing sets, playhouses and the like may be installed with the approval of the Committee.

4.8 Stormwater Runoff from Roof. Each Dwelling shall be constructed in a manner such that all stormwater runoff from the roof thereof shall be directed toward an absorbent, permeable surface (that is, an area that is not covered with concrete). Stormwater from roof runoff may not be directly channeled into a driveway, street or into a stormwater drainage system.

4.9 Construction Deadline. The owners of any lot in this plat subject to these conditions, covenants, restrictions and easements, other than the Declarant, shall commence construction within twenty-four (24) months of purchase or when building permits are first issuable for said lot, whichever is later, and shall complete construction, including all landscaping, within (6) months of the issuance of a building permit, except as to those items which are delayed by reason of weather, and as to those items as weather permits.

4.10 Landscaping. The following guidelines shall be followed for each Lot in the Development:

(a) All front and side yards and terrace areas, except tree, shrub and flower bed areas, shall be sodded (unless an in ground irrigation system is installed, in which case same may be seeded); and all rear yards, except tree, shrub or flower bed areas, shall be seeded or sodded, except that the owner(s) of any lot may have a family fruit and/or vegetable garden within the rear yard provided that same does not exceed ten (10) percent of the total lot size, is a minimum of ten (10) from adjacent properties and same is maintained in a clean and orderly condition. No natural or prairie lawn shall be permitted unless authorized by the Architectural Control Committee. All lawns and non-lawns areas shall be kept free of noxious weeds

(b) Landscape planting and maintenance of the premises and adjoining street terrace shall be the responsibility of the lot or outlot owner(s). Completed visual screening of the front, rear or side of any lot or outlot is prohibited without approval of the Developer or the Committee, whichever is then applicable.

(c) Each lot shall have a minimum of \$2,000 expended by the Owner on foundation plantings, plus at least two four-foot conifer trees, or two 2 ½ diameter deciduous trees, or a combination thereof, in the front yard.

(d) No Owner shall grade or obstruct any swale or drainage way whether in an easement or not which is in existence at the time of construction so as to impede the flow of surface water from other Lots through such swale or drainage way. The elevation of a Lot shall not be changed so as to materially affect the surface elevation, grade, or drainage pattern of the surrounding Lots..

4.11 Driveways. All driveways shall be poured concrete.

4.12 Swimming Pools. No above-ground swimming pools shall be allowed.

4.13 Mobile and Other Manufactured Homes. Mobile and manufactured homes are not permitted. The Committee may make exceptions for modular or open-panel construction homes that have prefabricated components if size, elevation and building material requirements are met and, in the opinion of the Committee, the finished quality of the improvements will be comparable to a stick-build house constructed on the building site, piece by piece and compatible with other homes within the Lots.

4.14 Variances. The Committee is authorized in its sole discretion to grant variances from any provision of this Declaration where such variances will assist in carrying out the intent and spirit of this Declaration.

4.15 Inspections. The Committee and its designated representatives shall have the right to inspect the construction of any improvements to any Lot, without notice and during regular business hours, to ensure that all construction is performed in accordance with the plans and specifications previously approved by the Committee.

ARTICLE 5 USE RESTRICTIONS

5.1 Single-Family Residences. The Lots shall each be used as a single-family residential Dwelling. A Dwelling shall be deemed to be used for “single-family residential purposes” if it is occupied by no more than one family (defined to include persons related by birth, marriage or adoption) plus no more than one unrelated person. No structures shall be erected, altered, placed or permitted to remain on any Lot or part other than one detached single-family Dwelling, not to exceed two stories in height, and a private garage constructed in accordance with Section 4.7. No business, whether or not for profit, including, without limitation, any day care center, animal boarding business, products distributorship, manufacturing facility, sales office, or professional practice, may be conducted from any Dwelling with the following exceptions:

(a) Developer may use one or more Lots as a sales office, and model home, and / or parade home;

(b) An Owner may maintain his or her personal, professional library in his or her Dwelling;

(c) An Owner may keep his or her personal business or professional records or accounts in his or her Dwelling;

(d) An Owner may conduct his or her personal business or professional telephone calls or correspondence from his or her Dwelling.

5.2 Parade of Homes. While the Developer retains ownership of any Lots within the Property, the Developer reserves the right to submit some or all of said lots and related outlots as a site for the Parade of Homes of the Madison Area Builders Association. In the event some or all of said lots and related outlots are selected as a site for the Parade of Homes by the Madison Area Builders Association, this Declaration of Covenants, Restrictions and Conditions shall, as to the Lots and outlots enrolled in the Parade of Homes, for the limited period of time commencing forty-eight (48) hours prior to the commencement of the Parade of Homes and ending forty-eight (48) hours after the conclusion of the Parade of Homes, be deemed temporarily altered and modified, to the extent necessary, to permit the Madison Area Builders Association to hold its parade of Homes at the Property, pursuant to the then current Parade of Homes Rules and Developer's Checklist of the Madison Area Builders Association. All purchasers of Lots within the Property, and their successors and assigns, shall take title subject to this specific reservation by the Developer and shall waive all rights to object to violations of this Declaration by Developer, the Madison Area Builders Association, or any of the builders or participants in such Parade of Homes during the period of such Parade(s) as set forth above.

5.3 Restricted Build Areas

(a) No owner shall construct any part of his or her single family dwelling intended for occupancy within any area designated as restricted build areas on the Plat of North Stoner Prairie.

(b) An owner may, with the written consent of the Architectural Control Committee, construct limited improvements with the restricted build areas set forth on the Plat of North Stoner Prairie. Examples of such limited improvements would include porches, patios, decks, retaining walls, fences, etc.

5.4 Signs. No commercial or business sign of any kind shall be displayed to the public view on any Lot except one professional sign of not more than six square feet advertising the Lot for sale during the hours of open house showings only, or signs provided and allowed exclusively by Developer for builders or licensed real estate brokers during the initial construction and sales periods and for the resale of any Lot or Dwelling. The Developer reserves the right to erect signs, gates or other entryway features surrounded with landscaping at the entrances to the Development and to erect appropriate signage for the sales of Lots. This provision shall not be construed to prohibit signs associated with elections or other matters of public interest.

5.5 Garbage and Refuse Disposal. No Lot shall be used or maintained as a dumping ground for rubbish, trash, garbage or waste. All clippings, rocks or earth must be in containers. All equipment for storage or disposal of such waste material shall be kept in a clean and sanitary condition and suitably screened from view from the street.

5.6 Storage and Parking. Outdoor storage of vehicles, boats, or any other personal property shall not be permitted. The parking of service vehicles owned or operated by the Lot owners and their families is prohibited unless they are kept in garages. The storage of automobiles, boats, travel trailers, mobile homes, campers, snowmobiles, motorcycles or any other recreational vehicles is prohibited unless kept inside the garage. On-street parking on public streets shall comply with all municipal requirements. No firewood or

wood pile shall be kept outside a structure unless it is neatly stacked, placed in a rear yard or a side yard not adjacent to a street, and screened from street view by plantings or a fence approved by the Committee. Nothing set forth in this Section 5.4 shall prohibit temporary storage of moving vehicles for the purpose of loading or unloading for a period of more than eight (8) hours. No cars or other equipment may be parked on any yard at any time.

5.7 Nuisance Prohibited. No noxious or offensive trade or activity shall be carried on which may be or will become a nuisance to the neighborhood. All areas of the Lot not used as a building site or lawn or under cultivation (such as a vegetable garden) shall be so cultivated or tended as to be kept free from noxious weeds. The Owner of each Lot shall be responsible for maintaining the Lot in a neat appearance. This covenant should not be construed to prevent a family garden or orchard, provided that all vegetable gardens and orchards shall be located in the rear yard and provided that such gardens shall be pursuant to plans previously approved by the Committee under Section 4.10.

5.8 Pets and Animals. No more than three uncaged domestic animals may be kept at any one time within a Dwelling. Furthermore, no Rottweilers or Pit Bulls shall be allowed on any Lot, unless otherwise approved by the Committee. No commercial boarding shall be allowed. Kennels shall be inside the Dwelling unless otherwise approved by the Committee in writing.

5.9 Sidewalk and Terrace Maintenance. Each Owner shall be responsible for snow removal from the sidewalks adjoining such Owner's Lot, and for mowing the grass located within any public right-of-way adjacent to such Owner's Lot, whether or not the Lot has direct vehicular access to the right-of-way.

5.10 Antennae / Solar Panels / Miscellaneous Fixtures. Except to the extent that this section is in conflict with any federal law or regulation, no exterior antennas or satellite dishes greater than twenty (20) inches in diameter shall be permitted on any structure or Lot unless approved in writing in advance by the Developer or the Committee. Solar panels, windmills, walls or fences shall be subject to be screened from public view to the extent reasonably possible. All exterior lighting on the Property shall be designed and operated to contain the light, to the extent reasonably possible, within the Lot on which the light is located.

5.11 Outside Clothes Line. Clothes line poles shall not be permitted on any Lot. A Lot may have a retractable clothe line which retracts to the Dwelling, and shall remain retracted when not in use.

ARTICLE 6 DIVISION OF LOTS BY OWNERS

No Lot shall be further divided or reduced in size without the prior written approval of the Committee. In no instance shall such division create a parcel which is not developable in compliance with this Declaration or which would violate any applicable state or local laws, ordinances or regulations regulating the subdivision of lands.

ARTICLE 7
MISCELLANEOUS

7.1 Term and Amendment. Unless amended as provided herein, this Declaration shall run with the land and shall be binding upon all persons claiming an interest in a Lot, or through Developer for a period of twenty-five (25) years from the date this Declaration is initially recorded. Until Developer no longer holds any interest of record in any property comprising the Plat of Stoner Prairie, this Declaration may be amended by the recording of a written instrument executed by or on behalf of all the following: (1) Developer and (2) the Owners of at least Fifty-One Percent (51%) of the Lots subject to this Declaration. Thereafter, until the termination of this Declaration, this Declaration may be amended by recording of an instrument executed by the Owners of at least Fifty-One Percent (51%) of the Lots subject hereto. After the expiration of the initial term of this Declaration, this Declaration (as presently written or as so amended) shall be automatically extended for successive periods of ten (10) years, unless an instrument executed by the Owners of at least Fifty-One Percent (51%) of the Lots subject to it has been recorded to terminate or amend the same in whole or in part. In ascertaining the number of Owners assenting to any such instrument, persons, including any business organizations, having the power to convey the fee simple title in a given Lot shall constitute a unit having a single vote.

7.2 Severability. Invalidity of any one of these covenants by judgment or court order shall in no way affect any other provisions, which other provisions shall remain in full force and effect.

7.3 Nonforfeiture. Any violation of these restrictions shall not result in a forfeiture or reversion of title to any Lot in the Development.

7.4 Assignability of Developer's Rights. Developer may, by written recorded assignment, transfer its rights as Developer under this Declaration to any person who, effective upon the recording of the assignment, shall be the Developer for all purposes under this Declaration.

ARTICLE 8
HOMEOWNERS ASSOCIATION

8.1 Stoner Prairie Homeowners Association. Each Owner of a Lot in the Plat of Stoner Prairie shall be a member of the Stoner Prairie Homeowners Association, Inc. Membership in the Association shall be limited to those owning Lots in the Plat of Stoner Prairie and shall be conveyed along with the conveyance of such Lots. The Association shall be the owner of certain of the outlots of the Plat of Stoner Prairie which will be used for private alleys, pond hockey, stormwater infiltration and other uses benefitting some or all of the Lots. The Association shall have the power to enforce these covenants and restrictions and, to the extent necessary to obtain funds to carry out its responsibilities, the Association shall have the power to levy assessments against the Lot owners, which may be based on the benefit of the expenditures to the Lots and which need not be equal.

8.2 Enforcement / Attorney Fees. Developer and the Association shall have the right to enforce the provisions hereof or any of its orders by proceedings at law or in equity against any person or persons violating or attempting to violate any provision of the Declaration, either to restrain or cure the violation or to recover damages, or both. If the Developer or Association initiates a suit or action to enforce the provisions of this Declaration, the Developer or Association shall be entitled to recover its court costs and actual, reasonable attorneys' fees from the offending party.

8.3 Fines; Specific Performance; Interest. The Owners agree that a violation of the covenants set forth in this Declaration may impose irreparable harm to the other Owners or occupants. The Owners agree that a fine not to exceed One Hundred Dollars (\$100.00) per day may be imposed by the non-defaulting

Owners against the violating Owner for each day a violation is outstanding and has not been cured. All fines assessed shall be paid within fifteen (15) days after mailing of the notice of the fine. The daily cap for fines shall increase five percent (5%) every five years. Any and all administrative or legal fees incurred in connection with collecting any amounts due hereunder, as well as reasonable attorneys' fees incurred in connection with an action for injunctive relief, damages and/or any and all collections of due amounts, together with interest thereon, shall also be promptly paid by the Owner responsible for the violation. Any and all costs assessed pursuant hereto shall become a lien on the Lot owned by said Owner. Any amounts due hereunder shall bear interest at the maximum rate permitted by law or twelve percent (12%) per annum, whichever is less, from the date such sums are due until paid.

8.4 Declaration of Assessments. For the maintenance of any common stormwater or other commonly used area, the Association shall declare assessments so levied due and payable thirty (30) days from the date of such levy. The Association's Board shall notify each owner of the action taken by the Board, the amount of the assessment against the lot owned by such owner and the date such assessment becomes due and payable. Such notice shall be mailed to the owner at the last known post office address by United States mail, with postage prepaid, or be personally delivered to the owner.

8.5 Collection of Assessments. In the event any assessment levied against any lot remains unpaid for a period sixty (60) days from the date of the levy, the board may, in its discretion, file a claim for a maintenance lien against the lot for which payment is not made, and upon compliance with the provisions of § 779.70, Wisconsin Statutes, or other applicable authority, such claim shall be and become a lien against such lot. The claim shall thereafter accrue interest at the rate of interest payable upon legal judgments in the State of Wisconsin, and the Board may exercise such remedies to collect such claim as may be afforded by law. The owner of the subject lot shall be responsible for all costs of collection incurred by the Association in connection therewith. No owner may waive or otherwise escape liability for the assessment provided for herein by non-use of any common areas or abandonment of his/her/its lot.

8.6 Joint and Several Liability of Grantor and Grantee. Upon a voluntary conveyance, the grantee of a lot shall be jointly and severally liable with the grantor for all unpaid assessments as provided in this Article up to the time of the conveyance, without prejudice to the grantee's right to recover from the grantor the amount paid by the grantee therefor. However, any such grantee shall be entitled to a statement from the Association setting forth the amount of such unpaid assessments and any such grantee shall not be liable for, nor shall the lot conveyed be subject to a lien for, any unpaid assessments against the grantor pursuant to this Article in excess of the amount therein set forth. If the Association does not provide such a statement within ten (10) business days after the grantee's request, it is barred from claiming any lien which is not filed prior to the request for assessments owed by the grantor.

[THE REMAINING PORTION OF THIS PAGE IS INTENTIONALLY LEFT BLANK]

Executed at Madison, Wisconsin on October ____, 2015.

WILLIAM RYAN HOMES WISCONSIN INC.

By: _____
Chris Ehlers, Vice President of Operations

ACKNOWLEDGEMENT

STATE OF WISCONSIN)
) ss.
COUNTY OF DANE)

This instrument was acknowledged before me on September ____, 2015 by Chris Ehlers as the President of William Ryan Homes Wisconsin Inc.

Robert C. Procter
Notary Public, State of Wisconsin
My commission is permanent.

CONSENT OF MORTGAGEE

EXHIBIT A

Legal Description:

Parcel Identification Numbers:

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
 Direct Referral Approved by:

Date Referred: **Sept 22, 2015**

Ordinance Number: **2015-O-27**

Date to Report Back: **Oct 27, 2015**

Resolution Number:

Sponsored by: Mayor Arnold

Drafted by: Planning/Zoning

TITLE: An Ordinance Amending Chapter 22, Section 22-345(5) to Allow Landscape Sales in the R-D (Rural Development) District

Background: This Ordinance follows the adopted 2015 Comprehensive Plan amendments, related to Fitchburg Farms. This would allow for landscape sales, by conditional use permit, in the R-D district. If adopted, Fitchburg Farms at 1839 CTH MM could apply for a Conditional Use Permit for landscape sales.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	October 20, 2015	Approved
2				
3				
4				

Amendments:

Mayor Arnold
Introduced By

Planning Dept.
Drafted By

Plan Commission
Referred to

August 27, 2015
Date

ORDINANCE NO. 2015-O-27
**An Ordinance Amending Chapter 22, Section 22-345(5) to allow Landscape Sales
in the R-D (Rural Development) District**

**The Common Council of the City of Fitchburg, Dane County, Wisconsin
hereby ordains as follows:**

SECTION 1: Amend Section 22-345(5) to read:
(5) Landscape services **and sales**. (078)

SECTION 2: This ordinance shall take effect the day after its publication.

SECTION 3: If any section, subsection, sentence, clause or phrase of this Ordinance or revision to Chapter 22, is for any reason held to be invalid or unconstitutional by reason of a decision of any court of competent jurisdiction, such decision shall not affect the validity of any other section, subsection, sentence, clause or phrase thereof.

Adopted this _____ day of _____, 2015.

Stephen L. Arnold, Mayor

Attested: _____

Patti Anderson, City Clerk

Published: _____

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
 Direct Referral Approved by:

Date Referred: **October 13, 2015**
 Date to Report Back: **October 27, 2015**

Ordinance Number: **2015-O-32**
 Resolution Number:

Sponsored by: Mayor

Drafted by: Planning / Zoning

TITLE: ZONING ORDINANCE AMENDMENT AMENDING SPECIFIC IMPLEMENTATION PLAN ZONING FOR LOT 15 QUARRY VISTA RELATIVE TO BUILDING ADDITION FOR A MAINTENANCE FACILITY, PICNIC/PATIO AREAS AND EXTERIOR BUILDING MODIFICATIONS

Background: Rezone request, RZ-2079-15, by Craig Raddatz, agent for Fiduciary Real Estate Development, Inc., to amend the PDD-SIP (Planned Development District – Specific Implementation Plan) zoning to allow for the addition of two picnic areas with grills, a single-story maintenance shop building addition as well as other minor exterior modifications on Lot 15 Quarry Vista.

Applicant is requesting approval to amend the PDD-SIP zoning on Lot 15 of Quarry Vista Plat to allow for modifications to the previously approved plans. The modifications are detailed in the submitted plans but include the addition of two picnic patio areas along with a single-story maintenance shop building addition.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Plan Commission	Hovel/Badtke	October 20, 2015	Approved
2				

Amendments:

Rec 10364 9/23/15 RB

Print Form



City of Fitchburg
Planning/zoning Department
5520 Lacy Road
Fitchburg, WI 53711 (608-270-4200)

REZONING APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the SIP district to the SIP district the following described property:

1. **Location of Property / Street Address:** Northeast Corner of Fitchrona Rd. & Lacy Rd.

Legal Description - (Metes & Bounds, or Lot No. And Plat):

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 152-154 as Document Number 3959694, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin. See attached PDD-SIP submittal.

***Also submit in electronic format (MS WORD or plain text) by email to: planning@city.fitchburg.wi.us

2. **Proposed Use of Property - Explanation of Request:**

Apartment Homes (Multi-Family Residential)

3. **Proposed Development Schedule:** See attached PDD-SIP Submittal

4. **Future Land Use Plan Classification:** High Density Residential (HDR)

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@city.fitchburg.wi.us. Additional information may be requested.

Type of Residential Development (If Applicable): Apartment Homes (Multi-Family Residential)

Total Dwelling Units Proposed: 152 **No. Of Parking Stalls:** 238 total

Type of Non-residential Development (If Applicable): n/a

Proposed Hours of Operation: _____ **No. Of Employees:** _____

Floor Area: _____ **No. Of Parking Stalls:** _____

Sewer: Municipal Private **Water:** Municipal Private

Current Owner of Property: Fiduciary Real Estate Development, Inc.

Address: 789 N. Water St. - Suite 200, Milwaukee, WI 53202 **Phone No:** 414-226-4535

Contact Person: Craig Raddatz, Fiduciary Real Estate Development, Inc.

Email: craddatz@fred-inc.com

Address: 789 N. Water St. - Suite 200, Milwaukee, WI 53202 **Phone No:** 414-226-4535

Respectfully Submitted By: *Craig Raddatz* Craig Raddatz
Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 9/22/2015 **Publish:** _____ and _____

Ordinance Section No. _____ **Fee Paid:** \$825.00

Permit Request No. RZ-2079-15



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Craig Raddatz, Fiduciary Real Estate Development, Inc.

Address: 789 N. Water St. – Suite 200

Phone Number of Contact Person: 414-226-4535

City, State, Zip Code: Milwaukee, WI 53202

Email of Contact Person: craddatz@fred-inc.com

Project Address: NE corner of Fitchrona Rd & Lacy Rd. **Lot:** Lot 15 **Subdivision:** Quarry Vista

Project Type: **Multi-Family** **Commercial** **Industrial** Other
 New **Addition**

Impervious Surface Ratio (ISR): 58.2% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

- Site Data:**
1. Lot or property dimensions.
 2. Orientation (to north).
 3. Adjacent highways, roads, drive, etc.
 4. Existing natural features (rivers, ponds, wetlands).
 5. Existing buildings and/or improvements.
 6. Existing and proposed site drainage.
 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 ft. of site.
 8. ISR shall be indicated on all plans.
 9. Stormwater management plans and details.
 10. Lighting plan in footcandles and light fixture cut sheets.

- Building:**
1. Building size, configuration and orientation.
 2. Distance from lot lines.
 3. Distance from other buildings, improvements and natural features.
 4. Location of well, septic tank, drainfield, etc. (if applicable)
 5. Additional proposed additions or new structures.
 6. Construction type (wood frame, structural steel, etc.).
 7. Foundation type (full basement, slab on grade, etc.).
 8. Number of levels.
 9. Siding/exterior covering type, color, texture, etc.
 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
 11. Roofing material type, color, texture, etc.
 12. Exterior door and window location, size, type, etc.
 13. Fire protection sprinklers or fire alarm systems.

- Ingress, Egress, Parking:**
1. Location of highway and road access points.
 2. Location, size, configuration of drivers and walks.
 3. Number, size, location of parking spaces.
 4. Location of handicapped parking and accessible building entrances.
 5. Bicycle rack(s).

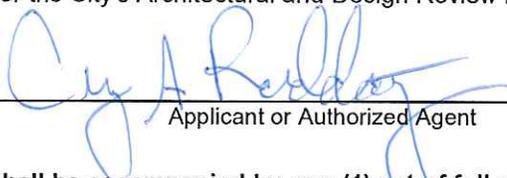
ARCHITECTURAL AND DESIGN REVIEW APPLICATION
Page 2

- Landscaping:
- 1. Location, species, size of existing trees, shrubs, and plantings.
 - 2. Location, species, size of proposed plantings.
 - 3. Location and size of all paved, seeded/sodded and gravelled areas.
 - 4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed:  Date: 9-16-15
Applicant or Authorized Agent

*** Application shall be accompanied by one (1) set of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@city.fitchburg.wi.us. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. This time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.

FOR CITY USE ONLY

Date Received: 9/22/2015 Plan Commission Date: _____

Comments: _____

Signed: _____ Date: _____



JOSEPH LEE + ASSOCIATES, LLC
2418 Crossroads Drive, Suite 2300
Madison, Wisconsin 53718
608.241.9500

ELAN – SIP 2nd AMENDMENT NARRATIVE

PROJECT: ELAN Apartments
JLA # 14-0515

DATE: September 21, 2015

PROPOSED AMENDMENTS:

LAND USE – Common Space Amenities:

Two Picnic Areas with Gas Grills have been added to the Site Amenities.

- The first Picnic Area has been located next to the pool on the west side between the pool fence and parking lot.
- The second Picnic Area has been located between Buildings A1 & B2, situated south of the drive leading to the lower level parking of the A1 Building.

APPENDIX 'C' – SIP Updated Plans:

Supporting Documentation Drawings outlining the following amendments:

- Civil and Landscape Drawings addressing:
 - Proposed Picnic Area Amenities and
 - Proposed Maintenance Shop addition to the northwest corner of Building B2
- Architectural Drawings addressing:
 - Proposed Picnic Areas
 - Proposed Maintenance Shop addition to the northwest corner of Building B2
 - Area Well Walls removed &
 - Exterior Stair Sidewall modifications.

The following Updated Plans are included in this SIP Amendment:

C200	GRADING AND EROSION CONTROL PLAN • PICNIC AREAS ADDED • MAINTENANCE SHOP ADDED TO BLDG. B2	(REVISED)
C300	SITE UTILITY PLAN • PICNIC AREAS ADDED • MAINTENANCE SHOP ADDED TO BLDG. B2	(REVISED)
L100	OVERALL LANDSCAPE PLAN • PICNIC AREAS ADDED • MAINTENANCE SHOP ADDED TO BLDG. B2	(REVISED)
L101	LANDSCAPE PLAN B-1 • PICNIC AREA ADDED	(REVISED)

L102	LANDSCAPE PLAN B-2 • PICNIC AREA ADDED • MAINTENANCE SHOP ADDED TO BLDG. B2	(REVISED)
L103	LANDSCAPE PLAN A-1 • PICNIC AREA ADDED	(REVISED)
E1	SITE LIGHTIG PLAN • PICNIC AREAS ADDED • MAINTENANCE SHOP ADDED TO BLDG. B2	(REVISED)
ASP100	ARCHITECTURAL SITE PLAN – OVERALL • PICNIC AREAS ADDED • MAINTENANCE SHOP ADDED TO BLDG. B2	(REVISED)
ASP101-A1	ARCHITECTURAL SITE PLAN – BUILDING A1 • PICNIC AREA ADDED	(REVISED)
A200-A1	EXTERIOR ELEVATIONS ‘A1’ BUILDING • SOUTH ELEVATION ○ SOUTH EXTERIOR STAIR SIDEWALLS LOWERED & METAL RAILING ADDED.	(REVISED)
A201-A1	EXTERIOR ELEVATIONS ‘A1’ BUILDING • EAST ELEVATION ○ SOUTH EXTERIOR STAIR SIDEWALLS LOWERED & METAL RAILING ADDED. • WEST ELEVATION ○ SOUTH EXTERIOR STAIR SIDEWALLS LOWERED & METAL RAILING ADDED.	(REVISED)
ASP101-B1	ARCHITECTURAL SITE PLAN – BUILDING B1 • PICNIC AREA ADDED	(REVISED)
A200-B1	EXTERIOR ELEVATIONS • SOUTH ELEVATION ○ SOUTH EXTERIOR STAIR SIDEWALLS LOWERED & METAL RAILING ADDED. ○ REVISED DOOR & WINDOW CONFIGURATIONS AT POOL DECK TO BUILDING COMMON SPACES. ▪ LEFT MOST DOOR SWITCHED TO TWIN SINGLE-HUNG WINDOW. ▪ RIGHT MOST DOOR & 2 ND WINDOW FROM RIGHT EXCHANGED LOCATIONS.	(REVISED)
A201-B1	EXTERIOR ELEVATIONS • WEST ELEVATION ○ SOUTH EXTERIOR STAIR SIDEWALLS LOWERED & METAL RAILING ADDED. ○ AREA WELL WALLS REMOVED – RIGHT SIDE OF OVERHEAD DOOR.	(REVISED)
ASP101-B2	ARCHITECTURAL SITE PLAN – BUILDING ‘B2’ • PICNIC AREA ADDED • MAINTENANCE SHOP ADDED TO BLDG. B2	(REVISED)

- A100-B2 BUILDING 'B2' LOWER LEVEL PLAN (REVISED)
- MAINTENANCE SHOP ADDED TO BLDG. B2
- A101-B2 BUILDING 'B2' FIRST FLOOR PLAN (REVISED)
- MAINTENANCE SHOP ADDED TO BLDG. B2
- A200-B2 EXTERIOR ELEVATIONS 'B2' BUILDING (REVISED)
- SOUTH ELEVATION
 - SOUTH EXTERIOR STAIR SIDEWALLS LOWERED & METAL RAILING ADDED.
 - NORTH ELEVATION
 - MAINTENANCE SHOP ADDED TO BLDG. B2
 - AREA WELL WALLS REMOVED - LEFT SIDE OF OVERHEAD DOOR.
 - EAST EXTERIOR STAIR SIDEWALLS LOWERED & METAL RAILING ADDED.
- A201-B2 EXTERIOR ELEVATIONS 'B2' BUILDING (REVISED)
- EAST ELEVATION
 - MAINTENANCE SHOP ADDED AT NORTH END
 - SOUTH EXTERIOR STAIR SIDEWALLS LOWERED & METAL RAILING ADDED.
 - EAST EXTERIOR STAIR SIDEWALLS LOWERED & METAL RAILING ADDED.
 - WEST ELEVATION
 - MAINTENANCE SHOP ADDED AT NORTH END
 - SOUTH EXTERIOR STAIR SIDEWALLS LOWERED & METAL RAILING ADDED.

Prepared by: Ed Cormier, Project Manager



ELAN RESIDENTIAL
DEVELOPMENT
FITCHBURG, WISCONSIN



SPECIFIC IMPLEMENTATION PLAN - AMENDED

CONTENTS :

- PAGE 3 PROJECT LOCATION & GENERAL DESCRIPTION
- PAGE 5 RATIONALE FOR A PLANNED DEVELOPMENT DISTRICT
- PAGE 6 SOCIAL & ECONOMIC IMPACTS
- PAGE 7 CONSISTENCY WITH COMPREHENSIVE PLAN
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- APPENDIX 'C' - Specific Implementation Plan (AMENDED)
 - SIP Civil Plans
 - SIP Landscape Plans
 - SIP Site Lighting Plans
 - SIP Architectural Plans
- APPENDIX 'D' - Sign Program
- APPENDIX 'E' - Neighborhood Input Information

PROJECT TEAM:



FIDUCIARY REAL ESTATE DEVELOPMENT, INC
 789 North Water Street - Suite 200
 Milwaukee, Wisconsin 53202
 Contact: Craig Raddatz
 414.226.4535



D'ONOFRIO, KOTKE, & ASSOCIATES, INC.
 7530 Westward Way
 Madison, Wisconsin 53717
 Contact: Bruce J. Hollar
 608.833.7530

PREVIOUS GENERAL IMPLEMENTATION PLANS

THIS DOCUMENT SHALL SERVE AS THE SPECIFIC IMPLEMENTATION PLAN TO THE PREVIOUS GENERAL DEVELOPMENT PLANS:

- THE QUARRY VISTA APARTMENT HOMES GENERAL IMPLEMENTATION PLAN DATED OCTOBER 21, 2014, AMENDED NOVEMBER 5, 2014, AND APPROVED BY THE FITCHBURG COMMON COUNCIL ON NOVEMBER 25, 2014.

IN ADDITION, THIS DOCUMENT SHALL SERVE AS AN AMENDMENT TO THE SPECIFIC IMPLEMENTATION PLAN DATED APRIL 21, 2015 - AMENDED MAY 6, 2015, AND APPROVED BY THE FITCHBURG COMMON COUNCIL.

THE SUBSTANTIVE & REGULATING TEXT OF THIS SPECIFIC IMPLEMENTATION DOCUMENT IS EXACTLY AS IT APPEARS IN THE GENERAL IMPLEMENTATION PLAN AMENDMENT DATED NOVEMBER 5, 2014. THE DIFFERENCES BETWEEN THIS DOCUMENT AND THE SPECIFIC IMPLEMENTATION PLAN AMENDMENT DATED MAY 6, 2015 ARE HIGHLIGHTED IN YELLOW.

ADDITIONAL INFORMATION SUCH AS MORE DETAILED CIVIL ENGINEERING PLANS, ARCHITECTURAL PLANS, AND LANDSCAPE



JLA ARCHITECTS + PLANNERS
 2418 Crossroads Drive - Suite 2300
 Madison, Wisconsin 53718
 Contact: Joseph Lee
 608.241.9500

PROJECT LOCATION & GENERAL DESCRIPTION

The Elan Residential Development will be a quality high-density residential community to serve the increased demand for housing in the Fitchburg area over the next five years and beyond. It will be located on a 4.84 acre site at the north east corner of the current intersection of Fitchrona Road and Lacy Road.

- Outlot 9 / Proposed Lot 15 - The 4.84 acre parcel for residential uses of this project.

Surrounding Context

The project site is surrounded by existing residential uses to the immediate north, south, and west with recreational uses further northeast (Quarry Ridge Recreation Area), light industrial uses further north (north of Verona Rd.), and future single family residential use to the immediate east.

Existing Topography & Wetlands

The project site has moderate topographical relief - with about 20 feet of grade drop from the southeast portion of the site to the north and west portion of the site. The northwest portion of the site is the low point of the site.

Existing Vegetation

The project site is adjacent to an existing quarry. The northern and eastern portion of the site currently contains the majority of the site's vegetation - with various trees and underbrush. There are no known landmark or heritage trees on the property. The Quarry Vista developer is delivering a cleared and graded site.



RATIONALE FOR A PLANNED DEVELOPMENT DISTRICT

As confirmed by the City Plan Commission at their September 16, 2014 meeting, in which they expressed a "preference for the applicant to use PDD zoning for this project", this project will utilize the City's PD Planned Development District instead of the City's R-H High Density District.

Specifically, in order to accomplish the goals of providing a quality high-density infill development with first class amenities, we reference the City's Ordinance with the following reasons:

- Section 22-144 – Permitted Uses (3): Only permits up to 8 units per building. While we realize dwelling structures having greater than eight dwelling units are allowed as a Conditional Use (per 22-145 (6)), we desire the long-term stability afforded under a permanent zoning classification.
 - Section 22-146 – Dimensional Standards (1): Does not allow more than two multiple family dwelling unit structures per lot. We are proposing three multiple family dwelling unit structures on one lot. To make this an integrated, vibrant community, we must have the design flexibility afforded in the PD zoning for the drives, parking lots, and walking connections between buildings.
 - Section 22-146 – Dimensional Standards (2) b: Requires a minimum of 2,000 square feet of lot area per each Efficiency unit, 2,200 square feet of lot area per each 1 bedroom unit, and 2,400 square feet per each 2 bedroom unit, with the provision that each structured parking space reduces the minimum lot area by 500 square feet. We are proposing 10 Efficiencies, 88 One Bedrooms,
- and 54 Two Bedrooms and 149 structured parking spaces. This provision would require our proposed lot to be 6.25 acres, based on our proposed 152 units. The City has already approved the lot (via approval of the final plat of Quarry Vista) at 4.84 acres and the maximum units of 156.
- Section 22-146 – Dimensional Standards (2) c: Restricts lot size to a maximum of 90,000 square feet. We are purchasing one developable lot for this project, already approved by the City, with an area of 210,871 square feet or 4.84 acres.
 - Section 22-146 – Dimensional Standards (4): Sets the minimum front setback at 30 feet. In keeping with the City's desire to provide a more urban feel to multi-family residential developments, we propose a minimum 10 foot setback.
 - Section 22-146 – Dimensional Standards (6): Sets the minimum street side setback at 25 feet. In keeping with the City's desire to provide a more urban feel to multi-family residential developments, we propose a minimum 10 foot setback.
 - Section 22-146 – Dimensional Standards (8): Restricts the maximum building height to 45 feet. We are planning 3-stories of residential over an underground parking structure for each building. Although we have not yet developed the architectural building elevation, given the site topography and the need to work with the land, the maximum building height will likely be exceeded.

ECONOMIC & SOCIAL IMPACTS

We believe that this project will have positive economic & social impacts on the area.

Property Values and Tax Revenue

At total completion, it is estimated that this project would have a total value of approximately \$20,520,000. At this value, using the City's 2013 property tax rate the following tax receipts to the community could be realized annually:

State of Wisconsin:	\$3,500
Dane County:	\$64,000
City of Fitchburg:	\$161,000
Verona School District:	\$217,000
<u>Madison Area Tech. College:</u>	<u>\$38,000</u>
Total Projected Annual Property Tax:	\$483,500

In addition to the value of this specific project, the surrounding properties could realize an increase in values because of this project - thus creating additional tax revenues.

Impact Fees

This project should generate the following estimated Impact Fees to the City (2015 fees listed):

Park Improvement Fee	152 units x \$145 =	\$22,040
Fire Protection Fee	98 ST/1BR x \$349 =	\$34,202
	54 2BR x \$473 =	\$25,542
<u>Water Impact Fee:</u>	<u>152 units x \$691 =</u>	<u>\$105,032</u>
Total Projected Impact Fees:		\$186,816

Social Impacts

Although social impacts cannot be predicted or quantified, we believe that this project will also have a positive social impact on the area.

- The addition of this quality residential community should improve the perceived image of the immediate area.
- The addition of this quality residential community will help to keep existing residents in Fitchburg and bring new residents into Fitchburg.
- The addition of this quality residential community could serve as a catalyst for other uses - such as retail & commercial - to locate in the immediate area.
- The addition of this quality residential community could serve as an example for future development - creating higher standards in design & quality.

CONSISTENCY WITH COMPREHENSIVE PLAN

This project complies with the City of Fitchburg's Comprehensive Plan.

Specifically, the following is an analysis of how this project meets or advances the goals, objectives, and policies outlined in the Comprehensive Plan.

Land Use Goal 1:

This project preserves and enhances the natural features of the City as follows:

Objective 1: This project is consistent with the long term urban growth map and related phasing plan.

Policies: (2) This project will be served by gravity flow sanitary sewer
 (3) This project is being developed in the urban growth boundary and is not replacing high quality agricultural lands.
 (5) This project (growth) is consistent with the neighborhood plan

Objective 2: This project is protecting environmental resources by using high density, sustainable development and revitalization of underutilized land.

Policies: (2) This project is not within or near identified wetlands
 (7) This project is not within or near identified floodplains

Land Use Goal 2:

This project is a compact urban community that is visually and functionally distinct from the rural and agricultural community.

Objective 1: This is a project that is a significant reinvestment in the community as a redevelopment of underutilized land.

Policies: (1) This is a redevelopment of a former gravel pit.

Objective 3: This is a compact development that, when incorporated into the entire Quarry Vista development, will have a logical and sustainable mix of uses and building types.

Policies: (1) This project provides needed residential rental units.
 (2) This project fits in well with the existing and planned infrastructure and land uses.

Objective 5: Utilities and infrastructure are being extended to this project in an efficient manner.

Policies: (1) This project is within the urban growth area.
 (3) This high-density project makes use of the location near Fitchrona Road (3,500 cars per day) and Lacy Road (3,500 cars per day).

Objective 7: This project is within the urban service area.

Policies: (3) This project is within the urban service area.

Objective 8: This project is consistent with the recently amended map – High Density Residential.

Policies: (1) PDD zoning is consistent with the High Density Residential land use designation.

Natural Resources Goal 1:

This project will protect the natural environment.

Objective 3: This project will protect natural resources

Policies: (1) This project will meet all current City stormwater control requirements.

- (2) This project will meet all current City erosion control requirements.
- (3) This project will meet all current Floodplain and Wetland ordinances. There are no floodplains or wetlands within the project boundary.
- (5) This project is not developed on private septic.
- (7) This project features stormwater infiltration.

Housing Goal 1:

This project will provide a much in-demand housing choice: Market-rate rental units.

Objective 1: After engaging nationally recognized residential experts Tracy Cross and Associates of Schaumburg, IL to perform a market study of alternative uses, they proposed a first class apartment home community. The three stories over underground parking, with 44 to 56 unit buildings, feature average residences of 929 square feet and average rent of \$1,150 per month. This market study and our business experiences of 25 years owning in excess of 4,000 apartment residences have determined this will be highly demanded, bring quality residents and a benefit to the City of Fitchburg.

- Policies:
- (1) This project is an efficient use of land in the urban service area and provides for multi-modal friendly densities.
 - (2) This project adds variety to the Quarry Vista neighborhood
 - (4) This project will meet the demand of new employees within the Fitchburg/Verona area which is experiencing a significant influx of \$45,000 to \$80,000 per year jobs.

Housing Goal 2:

This project makes efficient use of land for housing.

Objective 1: This project is a compact neighborhood.

- Policies:
- (1) This project is efficient to serve and this preserves rural land resources.
 - (2) In order to provide a variety of housing units, we will be offering studio, one-bedroom, and two-bedroom units.
 - (4) This infill project makes wise use of land in the current urban service area, where service provisions already occur.
 - (5) We are proposing higher but livable residential density, which promotes wise use of the land resource and reduces land located elsewhere required to meet housing demand. This helps to preserve agricultural and other open space land outside the urban service area.
 - (6) By utilizing the PDD design review process, the City will be allowed to ensure sound sustainable housing design.

Objective 2: This residential development is occurring in an area with existing infrastructure and sewer.

- Policies:
- (1) This residential housing project is located in an area served by full urban services, including sanitary sewers and public water within convenient access to community facilities, employment centers, and to arterial highways.
 - (2) This project is not an unsewered subdivision.

Utilities Goal 2:

Existing urban services will be extended within the urban development boundary area as part of this project.

Objective 1: This project will improve the condition of the existing sanitary sewer and water infrastructure.

- Policies:
- (2) As part of the Quarry Vista development, both Lacy Road and Fitchrona Roads will have segments improved, including the addition of paved bike paths.

(4) Our entire project will be served with gravity flow sanitary sewer.

Objective 2: This project is being developed within the existing urban service area and adjacent to existing public infrastructure.

Policies: (1) Utilities will not be extended across substantial vacant land.
(2) Water and sewer will be extended concurrently with new streets.
(3) Utilities will not be placed in wetlands or other environmentally sensitive areas.

Transportation Goal 1:

This project is part of a coordinated land use and transportation system.

Objective 1: This project is a compact, urban development.

Policies: (1) This project features buildings closer to the sidewalks, street trees, street lighting, lower parking ratios, structured parking, and parking behind buildings.

Objective 3: In conjunction with this project, the City has been coordinating with the Town of Verona on the roadway connections to Fitchrona Road.

Policies: (2) The Quarry Vista project is dedicating appropriate road right-of-way for both Fitchrona and Lacy Roads.

Transportation Goal 2:

In conjunction with this project, a safe and efficient transportation system will be provided for the Quarry Vista neighborhood.

Objective 1: In conjunction with this project, the overall safety of the transportation system in the North Fish Hatchery Road corridor will be improved.

Objective 2: In conjunction with this project, proper traffic management and travel time reliability will be improved in the Quarry Vista neighborhood.

Policies: (2) The pattern of streets and sidewalks in the project area will maximize the connectivity of land uses within the neighborhood and to areas outside the neighborhood.
(6) This project will not have direct access to either Fitchrona or Lacy Roads.
(7) This project will not have direct access to either Fitchrona or Lacy Roads.

LAND USE

When complete, this project will contain multi-family residential uses.

Outlot 9 / Proposed Lot 15 Land Use

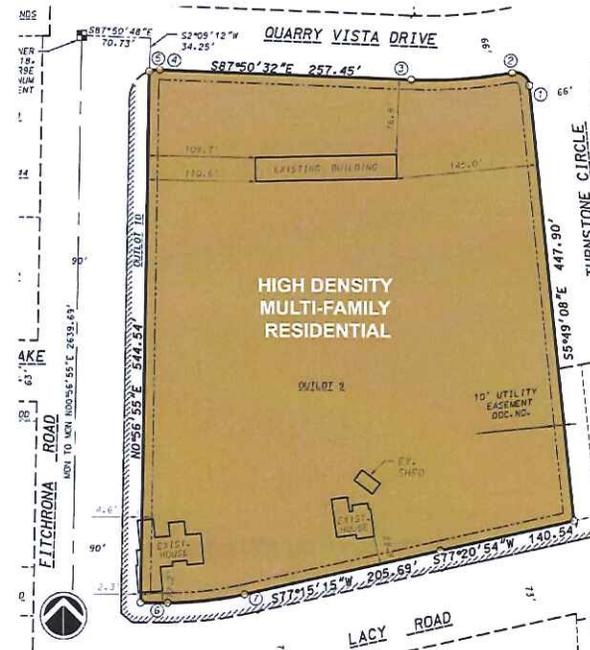
This 4.84 acre parcel will be consistent with the City's Comprehensive Plan with a High Density Multi-Family Residential Use. It will have 152 residential apartment units along with their associated common amenity spaces. At the time of this Specific Implementation Plan, the mix of residential units is as follows:

- Studio Units: 6%
- 1 or 1 Bedroom+Den Units: 58%
- 2 or 2 Bedroom+Den Units: 36%

Within each unit type there will be a variety of unit sizes - with an average unit size of approximately 929 square feet. This mix of unit types & sizes will serve a variety of potential residents.

In addition to the residential units themselves, Outlot 9 / Proposed Lot 15 will contain various common space amenities integrated within the buildings or around the site. At the time of this Specific Implementation Plan, the anticipated common amenities are:

- Pool with sundeck
- Business Center
- Fitness Center
- Clubroom with Kitchenette
- Walking Paths with Dog Stations
- Picnic Areas with Grills
- Other Green and/or Open Space for passive and active activities



SITE DESIGN & ZONING STANDARDS

The Masterplan of Outlot 9 / Proposed Lot 15 has been thoughtfully designed to address numerous site challenges including the existing topography, storm water management, and project identity. See Appendix 'C' for the Specific Implementation Plan.

Masterplan Design Highlights:

- To work with the existing topography of the site, building pads are kept higher along the east property line, and lower along the west property line (Fitchrona Road) - stepping down to the west.
- Storm Water Management Facilities are located to allow storm water to be collected on site.
- The buildings are located & orientated to address the street edge and to help define the public realm.
- Surface parking is kept to the interior of the site to reduce its visual impact from the public streets.
- Incorporating the storm water management pond as an amenity adjacent to the project's other common space amenities help give the project a distinct entry & identity.
- Pedestrian pathways not only connect the site internally, but also connect the project site with adjacent parcels.

Off Street Parking:

The City's typical parking requirements require two parking stalls per residential dwelling unit. Based on our extensive experience in owning & managing large multi-family communities, and considering the above-mentioned unit mix, we find that this requirement would be excessive. Therefore, we are proposing a total of 1.5 parking stalls per dwelling unit - with each one and two bedroom unit having one parking stall within the underground parking structure. We believe that providing this level of parking will be appropriate for this project, will allow the site to have less impervious area, and will minimize the visual impact of surface parking lots on the site and the surrounding areas.



Bicycle Parking:

In addition to off street vehicular parking, we are proposing a total of 1.0 bicycle parking stalls per dwelling unit. Exterior stalls are located with proximity to each building's main entrance for easy access, while interior bike hooks are proposed above each Lower Level parking stall.

BUILDING		BICYCLE PARKING					
NAME	UNITS	COVERED	SURFACE	TOTAL	RATIO		
A1	44	44	5	49	1.11	PER UNIT	
B1	52	52	5	57	1.10	PER UNIT	
B2	56	53	5	58	1.04	PER UNIT	
TOTALS	152	149	15	164	1.08	PER UNIT	

Storm Water Management Overview:

The following items are highlights of the Storm Water Management Design for the project:

- Storm water management will address peak control, water quality and infiltration.
- Peak control and water quality control from the dirty parking lots will occur within the wet portion of the detention pond.
- The development will take advantage of the native sandy soils and provide infiltration in a basin adjacent to the wet detention. All clean rooftop runoff from the buildings will be directed into the infiltration area that will be restored with native prairie plantings.
- All storm water management measures will meet or exceed the City of Fitchburg's ordinance requirements.
- The maintenance of all storm water management measures within Outlot 9 / Proposed Lot 15 will be the responsibility of the property Owner.

Landscape Design:

The new landscape design for Outlot 9 / Proposed Lot 15 of this project will meet all City of Fitchburg landscape design requirements. Please see Appendix 'C' for the Specific Implementation Landscape Plans for Outlot 9 / Proposed Lot 15. This plan will be further developed and additional detail and information will be provided with the subsequent Specific Implementation Plan submittals.

Open Space & Recreational Space:

Each building in the Masterplan of Outlot 9 / Proposed Lot 15 is designed with adjacent open space for passive, flexible recreation. Additionally, the upper and lower surface parking lots are separated by a central green space.

Refuse & Recycling Storage & Removal:

Each building within the development will have refuse & recycling rooms within the buildings themselves located on the Lower Level near the overhead door entrance. A private waste management company will be

contracted with to provide recycling & refuse removal services as appropriate for the development.

Planned Development Zoning Standards

Under the proposed Planned Development Zoning, Outlot 9 / Proposed Lot 15 shall meet the following Zoning Standards:

- Residential Density: 32 units per acre (maximum)
- Building Height: Maximum of 3 Stories over Parking and Maximum 60 feet (to highest roof ridge)
- Street Setback: 10' (minimum), 15' (minimum at Fitchrona Rd.) Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Side Yard Setback: 10' (minimum)
- Rear Yard Setback: 10' (minimum)
- Building Coverage: 32% of Parcel Area (maximum)
- Floor Area Ratio: 1.00 (maximum)
- Impervious Surface Ratio: 60% of Parcel Area (maximum)
- Off-Street Auto Parking: 1.5 (min), 1.75 (max.) Total Spaces per Dwelling Unit
0.9 Structured Spaces per Dwelling Unit (min.)
- Off-Street Bicycle Parking: 1.0 Bike Spaces per Dwelling Unit (min.)

Specific Implementation Plan Data

At the time of this Specific Implementation Plan, the Outlot 9 / Proposed Lot 15 Masterplan Data is as follows. The exact data (below) is subject to change slightly as the project's design is further developed; however, the final data shall meet all Specific Implementation Plan Zoning Standards (above).

ELAN - SPECIFIC IMPLEMENTATION PLAN DATA									
BUILDING					PARKING				
NAME	USE	FOOTPRINT	FLOOR AREA	UNITS	COVERED	SURFACE	TOTAL	RATIO	
A1	Multi-Family Residential	18,179 S.F.	51,393 S.F.	44	44	26	70	1.59	PER UNIT
B1	Multi-Family Residential	22,079 S.F.	62,247 S.F.	52	52	32	84	1.62	PER UNIT
B2	Multi-Family Residential	22,777 S.F.	62,961 S.F.	56	53	31	84	1.50	PER UNIT
TOTALS		63,035 S.F.	176,601 S.F.	152	149	89	238	1.57	PER UNIT

ZONING REQUIREMENT	DESIGN VALUE	CALCULATIONS
SITE DENSITY	31.40 Units/Acre	152 Units / 4.84 AC. = 31.40
BUILDING COVERAGE	29.9% of Parcel	63,035 S.F. / 210,871 S.F. = 29.9%
FLOOR AREA RATIO	83.7% of Parcel	176,601 S.F. / 210,871 S.F. = 83.7%
IMPERVIOUS SURFACE	58.2% of Parcel	122,676 S.F. / 210,871 S.F. = 58.2%
LANDSCAPE AREA	41.8% of Parcel	88,195 S.F. / 210,871 S.F. = 41.8%

MASTER SIGN PROGRAM

In addition to address signage which will be mounted on each respective building, the permanent exterior signage for the project will consist of three (3) exterior signs that total 127.9 square feet of signage area at project completion. During the construction of the project, there will be four (4) temporary signs used. The location and design of these signs are specifically illustrated in Appendix 'D' – Master Sign Program. In summary, they will be made up of the following:

- 1.) One (1) Auxiliary Sign to provide direction to & from the Leasing Office will be located at the north end of the parking lot. This sign will have a signage area of 6 square feet. Please note that this square footage does not include the mounting posts below the sign areas (See Directional Sign D in Appendix 'D').
- 2.) One (1) Monument Sign will be located at the southeast intersection of Quarry Vista Drive at Fitchrona Road. This sign will be 72 square feet. (See Location A Sign in Appendix 'D').
- 3.) One (1) Monument Sign will be located at the northwest corner of the Building 'B1' along Quarry Vista Drive. This sign will be 48.9 square feet (See Location C Sign in Appendix 'D').
- 4.) Also note that Locations A, B, C, and D will host temporary leasing and directional signs, which will be removed by project completion. (See Appendix 'D').

ENVIRONMENTAL BENEFITS OF PLANNED DEVELOPMENT ZONING

The Environmental Benefits of using Planned Development District Zoning for this project come from the greater flexibility in both density & zoning standards that is allowed under PDD Zoning than would be allowed under the City's High Density Residential Zoning.

Reduction of Sprawl

Because of PDD Zoning, more units can be developed on this site. Therefore, this development can help meet the increasing need for residential units on less land area than would be otherwise be required under the City's High Density Residential Zoning.

Less Impervious Surface Area

The Parking Standards for PDD Zoning allow the Plan Commission to approve greater flexibility in the amount of vehicular parking that must be provided on site. In our Development Team's experience, the parking requirements of the City's High Density Residential Zoning District are excessive for this project - and would result in more impervious surface area across the site than what our plan proposes. Utilizing PDD Zoning for this project will decrease run-off and allow additional landscaped areas.

Enhanced Public Realm

With PDD Zoning, the site can be designed to enhance the character and visual aesthetics of the public realm. Under PDD Zoning, the building setbacks can be reduced to allow the buildings to be located & orientated to address the street edge and to help define the public realm. This also provides additional land area behind the buildings - so surface parking can be kept to the interior of the site and reduce its visual impact on the public streets.

ORGANIZATIONAL STRUCTURE

This project will be professionally owned and managed by an entity controlled by Fiduciary Real Estate Development, Inc.

At Fiduciary, we have a long track-record of successful property development & management throughout Wisconsin - including Fitchburg. We take pride in our great reputation, and the relationships we have with our employees, our residents, and the communities in which we are located.

Supervision

We have the most experienced, well-trained supervisory employees.

- We have Corporate reviews for each property on a bi-monthly basis – and are updated daily on emergency maintenance issues.
- Each Regional Supervisor oversees 3 to 5 properties and visits each property at least once per week. This keeps them in touch with their properties and holds each on-site Property Manager accountable.
- Each on-site Property Manager conducts a daily staff meeting and is the key contact person for each property.
- We maintain continual maintenance personnel communication so we are on top of all existing or potential maintenance issues.
- We implement thorough bi-monthly property inspections for each property.

Training

We implement a proven training program for our employees to make sure everyone knows their role and performs their responsibilities as expected.

- We maintain a 300-page manual for property management. It is a 'living document' that is updated at semi-annual manager meetings.
- We employ onsite training by both Regional supervisor and property managers.

Applicant Screening

To help ensure that we are attracting quality residents, we obtain the following information from prospective residents:

- Criminal background checks
- Credit checks
- Recommendations/Referrals of previous landlords
- Income qualifications & verifications

Track-Record of Success

We have a long track-record of successful property development & management. The key to our long-term success of multi-family residential communities is the continual reinvestment in the properties. We continually evaluate the need to upgrade & improve our properties - to maintain them as highly desirable communities that attract quality residents. For example, in the past five years at our Valley View Apartment project in Fitchburg, we have spent \$1,400,000 on roofing, siding, pool improvements, a Wi-Fi Café, and a Fitness Center. This year we are working on upgrading individual units and common area carpets.

According to Kathy Nettlesheim, Vice President of Property Management, another key to success is having excellent relationships with the communities in which we are located. We have found that the City of Fitchburg is one of the best communities that we work with – our communication is often and thorough.

PROJECT IMPLEMENTATION

At the time of this Specific Implementation Plan, we are working with the Department of Public Works to determine the specific timeline for public improvements for this project. Quarry Vista subdivision improvements, including the Fitchrona Road water main, are expected for completion by Summer 2015.

The construction of the apartment buildings is anticipated to follow the following schedule in one single phase with completion in Fall 2016:

<u>Phase</u>	<u>Buildings</u>	<u>Schedule</u>
Phase 1	'B1'	(anticipated for Summer 2015)
Phase 1	'B2'	(anticipated for Summer 2015)
Phase 1	'A1'	(anticipated for Fall 2015)

However, the residential market demand will ultimately drive the overall schedule and could speed-up or slow down the timeline for full build-out.

NEIGHBORHOOD INPUT

On October 3, 2014, we mailed out a letter and an area map (an example of each is attached in Appendix 'E') to all owners of property within 300 feet of our project. The letter invited comment, as well as attendance, at a meeting held at the Hammersley Stone Offices on Tuesday, October 14, 2014 at 5:30 PM. At this meeting, we had nine people representing the neighboring properties (see the meeting sign-in sheet in Appendix 'E'). We provided a brief overview of our project and answered questions.

APPENDIX 'A'
ALTA SURVEY & AERIAL CSM

APRIL 21, 2015 – Amended May 6, 2015; September 22, 2015

SURVEYOR'S CERTIFICATE

701 Fiduciary Real Estate Development, Inc.
Knight Barry Title Group

This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2011 Wisconsin Statutes (Chapter) Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and ACSP, and includes Items 1, 4, 5, & 11(a) Table A thereof. The field work was completed on May 26, 2014.

Dated this 6th day of June, 2014.

Brett T. Stoffregen
BRETT T. STOFFREGEN, Registered Land Surveyor



SIZES

- This survey was performed over Outlot 9 of the proposed Quarry Vista plot.
- Surveyed for Fiduciary Real Estate Development
140 North Shaw Streets Suite 200
Milwaukee, WI 53202

LEGAL DESCRIPTION

Parts of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 87 of Certified Survey Maps on page 152-154 as Document Number 395894, Dane County Registry, located in the NE1/4 of Section 16, T6N, R6E, City of Fitchburg, Dane County, Wisconsin. Commencing at the northwest corner of said Section 16, thence S89°48'48" E, 70.73 feet along the north line of said NE1/4 thence S02°09'12" W, 24.25 feet to a point of curve also being the point of beginning thence easterly along a curve to the right which has a radius of 30.00 feet and a chord which bears N61°40'02" E, 15.77 feet thence S87°00'12" E, 227.45 feet to a point of curve thence easterly along a curve to the left which has a radius of 478.00 feet and a chord which bears N89°37'25.5" E, 104.22 feet to a point of curve thence southeasterly along a curve to the right which has a radius of 18.00 feet and a chord which bears S33°12'23" E, 25.04 feet thence S05°49'06" E, 467.90 feet thence S77°00'54" W, 149.54 feet thence S77°10'13" W, 205.68 feet to a point of curve thence southeasterly along a curve to the right which has a radius of 55.24 feet and a chord which bears S33°37'38" W, 75.08 feet thence S00°00'00" W, 27.55 feet thence N00°05'55" E, 54.54 feet to the point of beginning. Containing 310,471 square feet (4.81 acres).

TITLE COMMITMENT

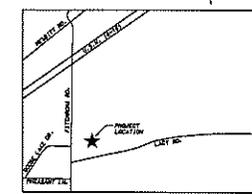
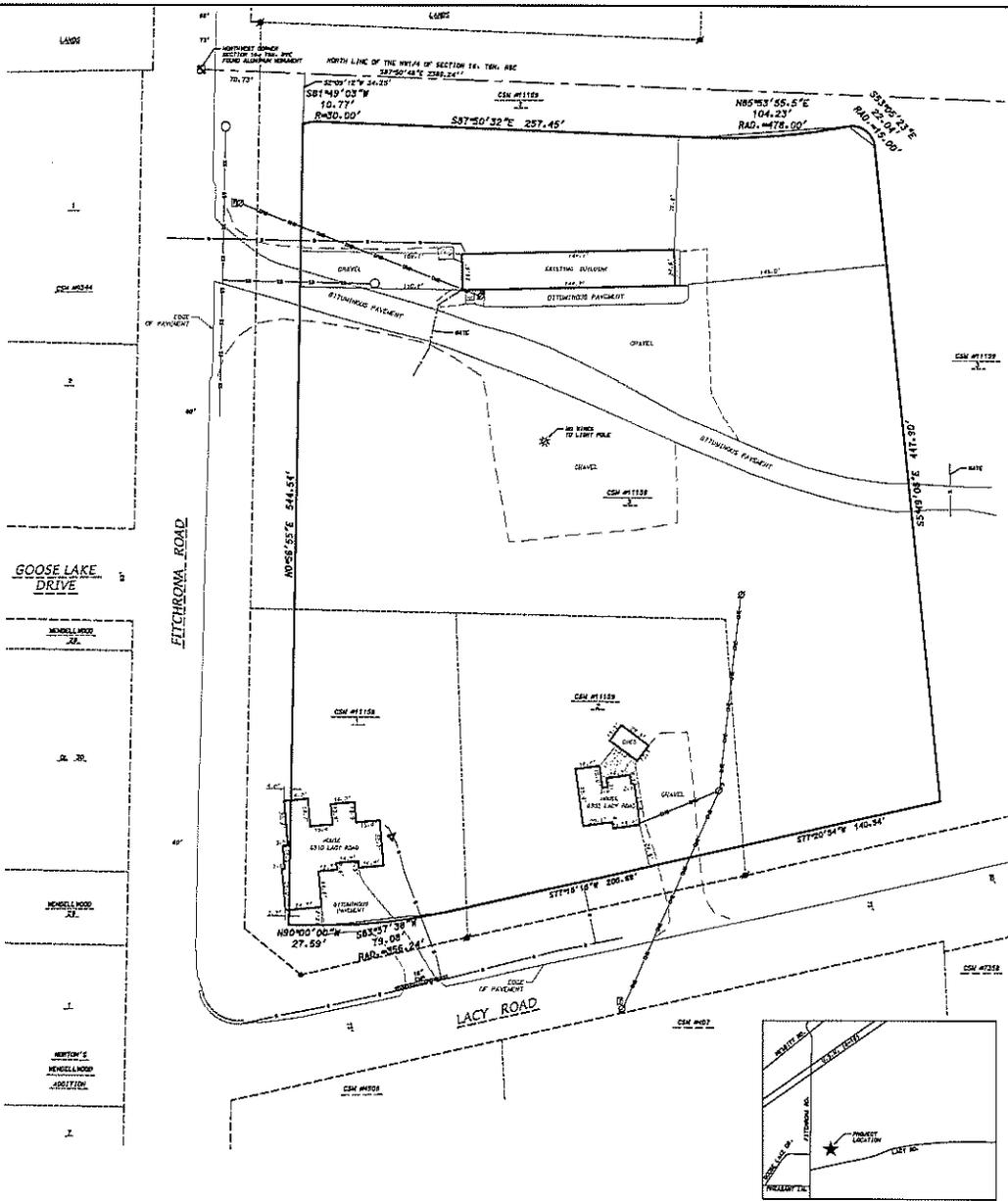
Disposition of Exceptions Identified in Schedule B - Part II
Commitment for Title Insurance
Issued by Knight Barry Title Group
Commitment date May 15, 2014
Title Insurance File No. 2712910

EXCEPTIONS:

- 1-11-19-20 221. These items are statements, standard exceptions or financial matters which cannot be plotted on this survey.
-Affects subject parcel; not plottable.
12. Easements, restrictions and other matters shown on Certified Survey Map No. 11159 recorded August 26, 2004 as Document No. 395894.
Notes on CSM 1: No other permit or approval is waived or deemed satisfied except for the approval herein provided.
2. House on Lot 7 is nonconforming as to the side street (Fitchburg Road) setback in the City Ordinance.
-Affects subject parcel; not plottable.
13. Order Establishing Utility District recorded February 26, 1989, as Document No. 1235025.
-Affects subject parcel; not plottable.
14. Notice Affecting Real Estate situated within the Town of Fitchburg dated September 21, 1978 and recorded September 21, 1978 in the Office of the Register of Deeds for Dane County in Volume 278 of Records, page 8 as Document No. 1202765.
-Affects subject parcel; not plottable.
15. Notice Affecting Real Estate situated within the Town of Fitchburg dated September 21, 1978 and recorded September 21, 1978 in the Office of the Register of Deeds for Dane County in Volume 278 of Records, page 832 as Document No. 1235127.
-Affects subject parcel; not plottable.
16. Ordinance recorded on August 8, 1969 as Document No. 1247637.
-Affects subject parcel; not plottable.
17. Resolution and Order Altering the Boundary Line of Fitchburg Utility District No. 1, recorded in Volume 2127 of Records, page 42 as Document No. 2593274.
-Located on land east of the subject parcel.
18. Individual Conveyance of Easement recorded on April 16, 2002 as Document No. 3478850.
-Is not located on subject parcel. Located within the current Fitchburg Road right-of-way.
19. Mortgage from Home Farm Land, LLC to Independent Bank in the amount of \$300,000.00 dated December 8, 2004 and recorded December 13, 2004 as Document No. 4000303 - (Lots 2 and 3 CSM 11159).
20. Assignment of Deeds from Home Farm Land, LLC to Independent Bank, recorded December 13, 2004 as Document No. 4000304 - (Lots 2 and 3 CSM 11159).
21. Mortgage from Nathan Homestead and Jane Homestead to Mortgage Electronic Registration Systems, Inc. operating solely as a nominee for Lender, Countrywide Bank, FSI, and its successors and assigns, in the amount of \$168,000.00 dated January 23, 2006 and recorded January 23, 2006 as Document No. 4323214.
The mortgage described above was deleted of record to Federal National Mortgage Association by an instrument recorded November 1, 2012 in Document No. 4928523.

LEGEND

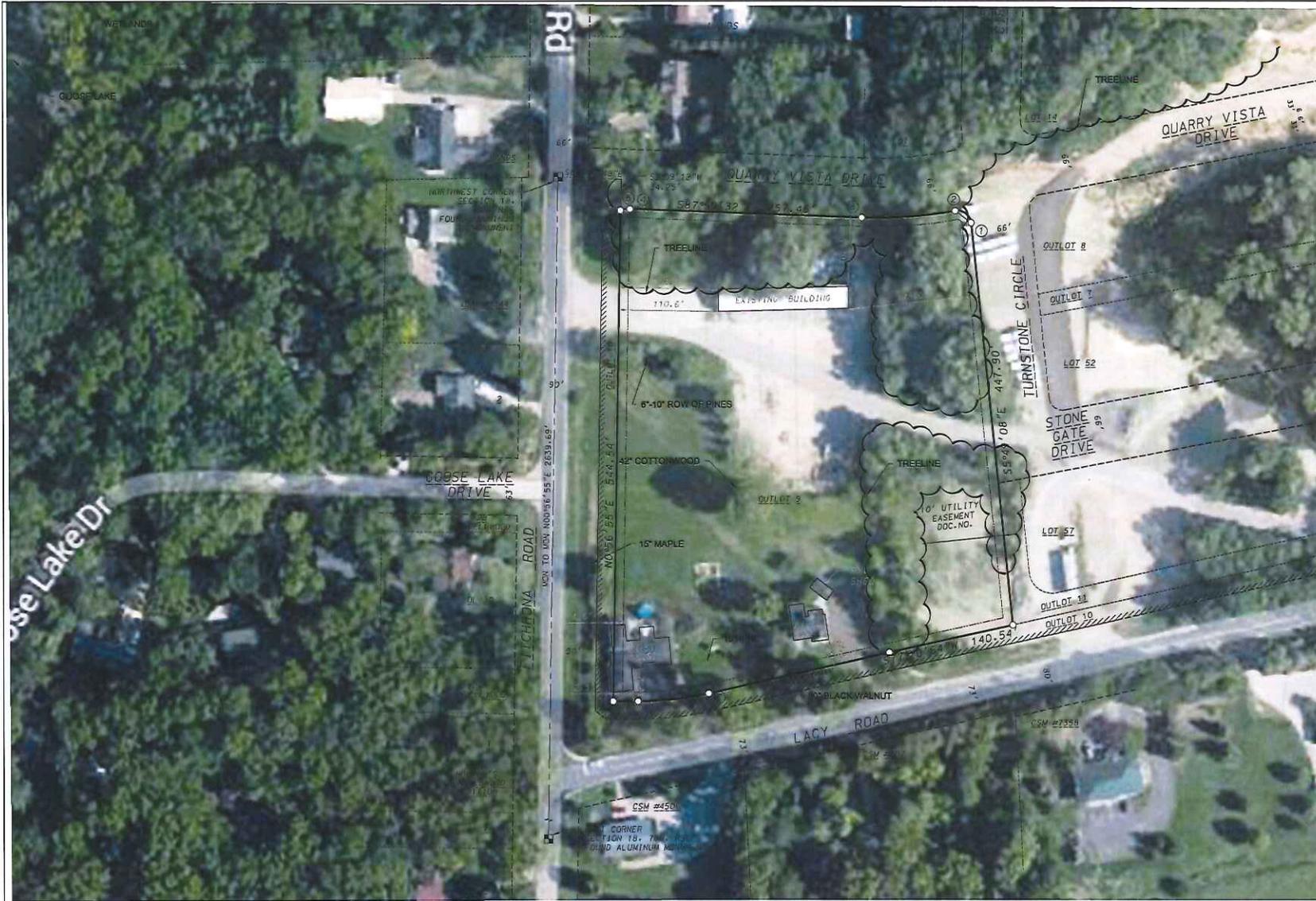
- FOUND PLUMB MONUMENT
- FOUND 1" INCH PIPE
- FOUND 3/4" INCH PIPE
- SANITARY SEWER
- GAS MAIN
- OVERHEAD ELECTRIC
- TELEPHONE PEDESTAL
- MONUMENT
- FINISH NAIL W/ LIGHT
- POWER POLE
- OUT WIRE
- VALVE
- MANTLE/SHAW WELL
- FENCE
- CONC. CURB
- CONCRETE



PONDIO ROTHE & ASSOCIATES, INC.
7630 Wisconsin Valley Highway, Box 59717
Plover, WI 53073-7310 • Fax: 608.833.1059
WWW.NATURALRESOURCESFORLANDDEVELOPMENT.COM

ALTA/ACSM LAND TITLE SURVEY
PART OF LOTS 1, 2, AND 3, CERTIFIED SURVEY MAP NO. 11159
LOCATED IN THE NW1/4 OF SECTION 16, T6N, R6E,
CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

SND NORTH WISCONSIN COUNTY COORDINATE SYSTEM (SAME POINTS AS THE NORTH LINE OF THE NW1/4 OF SECTION 16, T6N, R6E, DANE COUNTY, WISCONSIN)
SCALE: 1" = 40'
DATE: 06-06-14
REVISED: 06-13-14
DRAWN BY: KRC
FN: 14-03-104
Sheet Number:
1 of 1




D'ONOFRIO KOTZKE AND ASSOCIATES, INC.
 7540 Woodland Way, Madison, WI 53717
 Phone: 608.833.7330 • Fax: 608.833.1039
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

AERIAL/CAM EXHIBIT
QUARRY VISTA
 CITY OF FITCHBURG, WISCONSIN



DATE: 10/28/14
 REVISED:

 DRAWN BY: GWP
 FN: 14-03-104
 Sheet Number:
1 OF 1

APPENDIX 'B'
GENERAL DEVELOPMENT PLAN RECORDING

APRIL 21, 2015 – Amended May 6, 2015; September 22, 2015

**Planned Development District
Granting General Implementation Plan
Zoning for Portion of Quarry Vista Plat,
Part of Lots 1, 2 and 3 CSM 11159**



**KRISTI CHLEBOWSKI
DANE COUNTY
REGISTER OF DEEDS**

**DOCUMENT #
5118141
12/18/2014 11:37 AM
Trans. Fee:
Exempt #:
Rec. Fee: 30.00
Pages: 5**

Legal Description:

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 152-154 as Document Number 3959694, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin to-wit:

Commencing at the Northwest corner of said Section 18; thence S89°50'48"E, 70.73 feet along the North line of said NW1/4; thence S02°09'12"W, 34.25 feet to a point of curve also being the point of beginning; thence Easterly along a curve to the right which has a radius of 30.00 feet and a chord which bears N81°49'03"E, 10.77 feet; thence S87°50'32"E, 257.45 feet to a point of curve; thence Easterly along a curve to the left which has a radius of 478.00 feet and a chord which bears N85°53'55.5"E, 104.23 feet to a point of curve; thence Southeasterly along a curve to the right which has a radius of 15.00 feet and a chord which bears S53°05'23"E, 22.04 feet; thence S05°49'08"E, 447.90 feet; thence S77°20'54"W, 140.54 feet; thence S77°15'15"W, 205.69 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 356.24 feet and a chord which bears S83°37'38"W, 79.08 feet; thence N90°00'00"W, 27.59 feet; thence N00°56'55"E, 544.54 feet to the point of beginning. Containing 210,871 square feet (4.841 acres).

Plan Commission
Initiated By

Susan B. Badtke
Drafted By

11/4/2014
Date

**ORDINANCE NO. 2014-O-37
ZONING ORDINANCE AMENDMENT
GRANTING GENERAL IMPLEMENTATION PLAN ZONING
FOR PORTION of QUARRY VISTA PLAT, PART of LOTS 1, 2 & 3 CSM 11159**

WHEREAS, pursuant to Fitchburg Ordinance No. 87-0-06, Section 3, Zoning District Maps were adopted within the corporate limits of the City of Fitchburg until expressly altered by the City Council, and

Ordinance 2014-O-37
Page 2 of 5

WHEREAS, Fiduciary Real Estate Development, Inc. has submitted an application (RZ-2043-14) for Planned Development District General Implementation Plan (PDD-GIP) zoning for part of lots 1, 2 and 3 CSM 11159, and

WHEREAS, the Plan Commission has reviewed, after public hearing on November 18, 2014, the application in accord with ordinance standards and recommends approval of PDD-GIP zoning for part of lots 1, 2 and 3 CSM 11159, with the area more particularly described in Exhibit A.

NOW THEREFORE the City Council of the City of Fitchburg, Dane County, Wisconsin does ordain as follows:

(A) PDD-GIP zoning is hereby granted for part of lots 1, 2 and 3 CSM 11159 as particularly described in Exhibit A, and in accord with submitted plans and information which accompanied the rezoning application in a report titled "Quarry Vista Apartment Homes General Implementation Plan - Amended November 5, 2014" received on November 4, 2014. The documents referred to above are hereby made a part of this ordinance, and with the following additional requirements:

1. Approval and recording of a land division will be required prior to SIP issuance.
2. Recording of a Subdivision Improvement Agreement.
3. Necessary public improvement shall be installed and accepted prior to any building construction, unless approvals are granted to allow early start under section 24-14(b) - (e). (An operable public water supply is one necessary condition under section 24.14.)
4. Park requirements and fees shall be calculated and handled with land division approval.
5. Signage shall be handled during the PDD-SIP (Planned Development District - Specific Implementation Plan) zoning.
6. Project is approved for 152 dwelling units in 3 structures.
7. Zoning standards shall follow those outlined in the report titled "Quarry Vista Apartment Homes General Implementation Plan - Amended November 5, 2014".

(B) This ordinance shall take effect following its publication, the consent of the property owner, or the recording of a plat, whichever occurs last. However, in accord with section 22-596 of the zoning code, owners shall consent within 30 days of approval for the PDD-GIP zoning to be in effect.

(C) Applicant shall pay cost of ordinance publication to avoid a two Council meeting approval process.

(D) Approval of preliminary and final plats by the Common Council.

5

The above and foregoing ordinance was duly adopted by the City Council of the City of Fitchburg, at a regular meeting held on the 25th day of November, 2014.

Patti Anderson
Patti Anderson, City Clerk

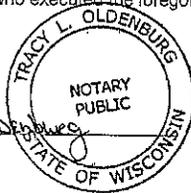
Approved: 12-2-14

Shawn Pfaff
Shawn Pfaff, Mayor

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this 2nd day of December, 2014, the above named Patti Anderson, and Shawn Pfaff to me known to be the City Clerk and Mayor (respectively) of the City of Fitchburg, and the persons who executed the foregoing instrument and acknowledged the same.

Tracy L. Oldenburg
Notary Public, State of Wisconsin



Printed Name of Notary Public Tracy L. Oldenburg
My Commission Expires: Dec 18, 2016

Consent of the Property Owner

Name: Keith E. Hammersley

Date: 12/08/2014

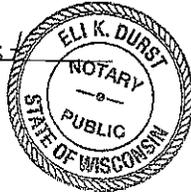
Title Managing Member

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this 8 day of December, 2014, the above named Keith E. Hammersley to me known to be Member, of Hawthorn Farm LLC and the person who executed the foregoing instrument and acknowledged the same.

Eli K. Durst
Notary Public, State of Wisconsin

Printed Name of Notary Public Eli K. Durst
My Commission Expires: 12/18/16



Consent of Mortgage Holder:

Oak Bank
Mary B. Schuchardt Date: 12-8-14
Mortgage Holder, Senior Vice President
Mary B. Schuchardt, Senior Vice President

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this 8 day of December, 2014, the above named

Mary B. Schuchardt to me known to be the Senior Vice President

of Oak Bank and the person who executed the foregoing instrument and acknowledged the same.

Carol Van Pee
Notary Public, State of Wisconsin

Printed Name of Notary Public Carol Van Pee
My Commission Expires: 3-13-16

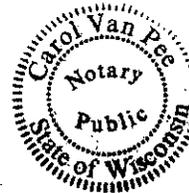


Exhibit A—Legal Description

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 152-154 as Document Number 3959694, Dané County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin to-wit:

Commencing at the Northwest corner of said Section 18; thence S89°50'48"E, 70.73 feet along the North line of said NW1/4; thence S02°09'12"W, 34.25 feet to a point of curve also being the point of beginning; thence Easterly along a curve to the right which has a radius of 30.00 feet and a chord which bears N81°49'03"E, 10.77 feet; thence S87°50'32"E, 257.45 feet to a point of curve; thence Easterly along a curve to the left which has a radius of 478.00 feet and a chord which bears N85°53'55.5"E, 104.23 feet to a point of curve; thence Southeasterly along a curve to the right which has a radius of 15.00 feet and a chord which bears S53°05'23"E, 22.04 feet; thence S05°49'08"E, 447.90 feet; thence S77°20'54"W, 140.54 feet; thence S77°15'15"W, 205.69 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 356.24 feet and a chord which bears S83°37'38"W, 79.08 feet; thence N90°00'00"W, 27.59 feet; thence N00°56'55"E, 544.54 feet to the point of beginning. Containing 210,871 square feet (4.841 acres).

(AMENDED) APPENDIX 'C'
SPECIFIC IMPLEMENTATION PLAN

APRIL 21, 2015 – Amended May 6, 2015; September 22, 2015

SURVEYOR'S CERTIFICATE

Fiduciary Real Estate Development, Inc.
 181 North Water Street, Suite 200
 Waukesha, WI 53190

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standards Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and ACSM, and includes Items 1, 4, 5, 6, 11(a), Table A, therefore, the field work was completed on May 27, 2014.

Dated this 8th day of June, 2014



Brett T. Hoffmann, Registered Land Surveyor #52742

NOTES

- This survey was performed over District 2 of the proposed Quarry Vista plat.
- Surveyed for Fiduciary Real Estate Development, 181 North Water Street, Suite 200 Waukesha, WI 53190.

LEGAL DESCRIPTION

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 152-154 as Document Number 385884, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T8N, R5E, City of Fitchburg, Dane County, Wisconsin having:
 Commencing at the Northwest corner of said Section 18; thence S89°50'48"E, 70.73 feet along the North line of said NW1/4; thence S02°50'12"W, 54.25 feet to a point of curve also being the point of beginning; thence Eastwly along a curve to the right which has a radius of 30.00 feet and a chord which bears N11°49'53"E, 10.77 feet; thence S87°50'32"E, 257.45 feet to a point of curve; thence Eastwly along a curve to the left which has a radius of 478.00 feet and a chord which bears S85°15'55"E, 156.23 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 15.00 feet and a chord which bears S52°52'12"E, 22.04 feet; thence S02°45'08"E, 447.90 feet; thence S77°00'54"W, 140.54 feet; thence S77°15'12"W, 205.49 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 358.24 feet and a chord which bears S83°37'30"W, 79.08 feet; thence S80°00'00"W, 27.59 feet; thence S00°56'55"E, 544.34 feet to the point of beginning, containing 210,677 square feet 14,841 square feet.

TITLE COMMITMENT

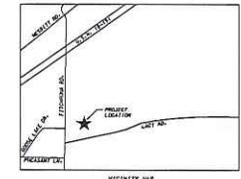
Disposition of Exceptions identified in Schedule B - Part II
 Commitment for Title Insurance
 Issued by Knight Barry Title Group
 Commitment date May 15, 2014
 Title Insurance File No. 2115810

EXCEPTIONS

- 11-19-20 021. These items are statements, standard exceptions or financial matters which cannot be adjusted on this survey.
2. Easements, restrictions and other matters shown on Certified Survey Map No. 11159 recorded August 26, 2004 as Document No. 385884.
 1. No other permit or approval is valued or deemed satisfied except for the approval herein provided.
 2. House on Lot 1 is nonconforming as to the side street (Fitchburg Road) setback in the City of Fitchburg.
 -Affects subject parcel, not identifiable.
3. Order Establishing Utility District recorded February 29, 1989, as Document No. 1233025.
 -Affects subject parcel, not identifiable.
4. Notice Affecting Real Estate situated within the Town of Fitchburg dated September 21, 1978 and recorded September 21, 1978 in the Office of the Register of Deeds for Dane County in Volume 956 of Records, page 82 as Document No. 1269282.
 -Affects subject parcel, not identifiable.
5. Notice Affecting Real Estate situated within the Town of Fitchburg dated September 21, 1978 and recorded September 21, 1978 in the Office of the Register of Deeds for Dane County in Volume 956 of Records, page 82 as Document No. 1269197.
 -Affects subject parcel, not identifiable.
6. Ordinance passed on August 8, 1989 as Document No. 1247617.
 -Affects subject parcel, not identifiable.
7. Resolution and Order Altering the Boundary Lines of Fitchburg Utility District No. 1, recorded in Volume 2737 of Records, page 41 as Document No. 2589374.
 -Located on land east of the subject parcel.
8. Individual Conveyance of Easement recorded on April 16, 2002 as Document No. 3475850.
 -Is not located on subject parcel. Located within the current Fitchburg Road Right-of-Way.
9. Mortgage from Home Farm Land, LLC to Independent Bank in the amount of \$300,000.00 dated December 8, 2004 and recorded December 12, 2004 as Document No. 4002002 - Lots 2 and 3 CSM 11159.
10. Assignment of Rights from Home Farm Land, LLC to Independent Bank recorded December 12, 2004 as Document No. 4002004 - Lots 2 and 3 CSM 11159.
11. Mortgage from Nathan Summersley and Jane Horowitz to Mortgages Electronics Registration Systems, including safety as a nominee for Lender, Countrywide Bank, FSA - and its successors and assigns, in the amount of \$168,000.00 dated January 21, 2005 and recorded January 28, 2005 as Document No. 433214 - The mortgage described above was assigned of record to Federal National Mortgage Association by an instrument recorded November 1, 2012 in Document No. 4328531.

LEGEND

- FOUND PLS WORKMANT
- FOUND 1" IRON PIPE
- FOUND 2" IRON REBAR
- SANITARY SEWER
- GAS MAIN
- OVERHEAD ELECTRIC
- TELEPHONE CIRCULAR
- MANHOLE
- POWER POLE KALDIT
- POWER POLE
- GUY WIRE
- VALVE
- MONITORING WELL
- FENCE
- CONC. CURB
- CONCRETE



SCALE: 1" = 40'
 0 40 80



PROJECT NUMBER: 14-0013



FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

CONSTRUCTION DOCUMENTS



ELAN RESIDENTIAL DEVELOPMENT

D'ONOFRIE RUTKIE AND ASSOCIATES, INC.
 7500 Wisconsin Way, Madison, WI 53717
 Phone: 608.283.7530 • Fax: 608.283.1029
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DATE OF ISSUANCE: September 04, 2015

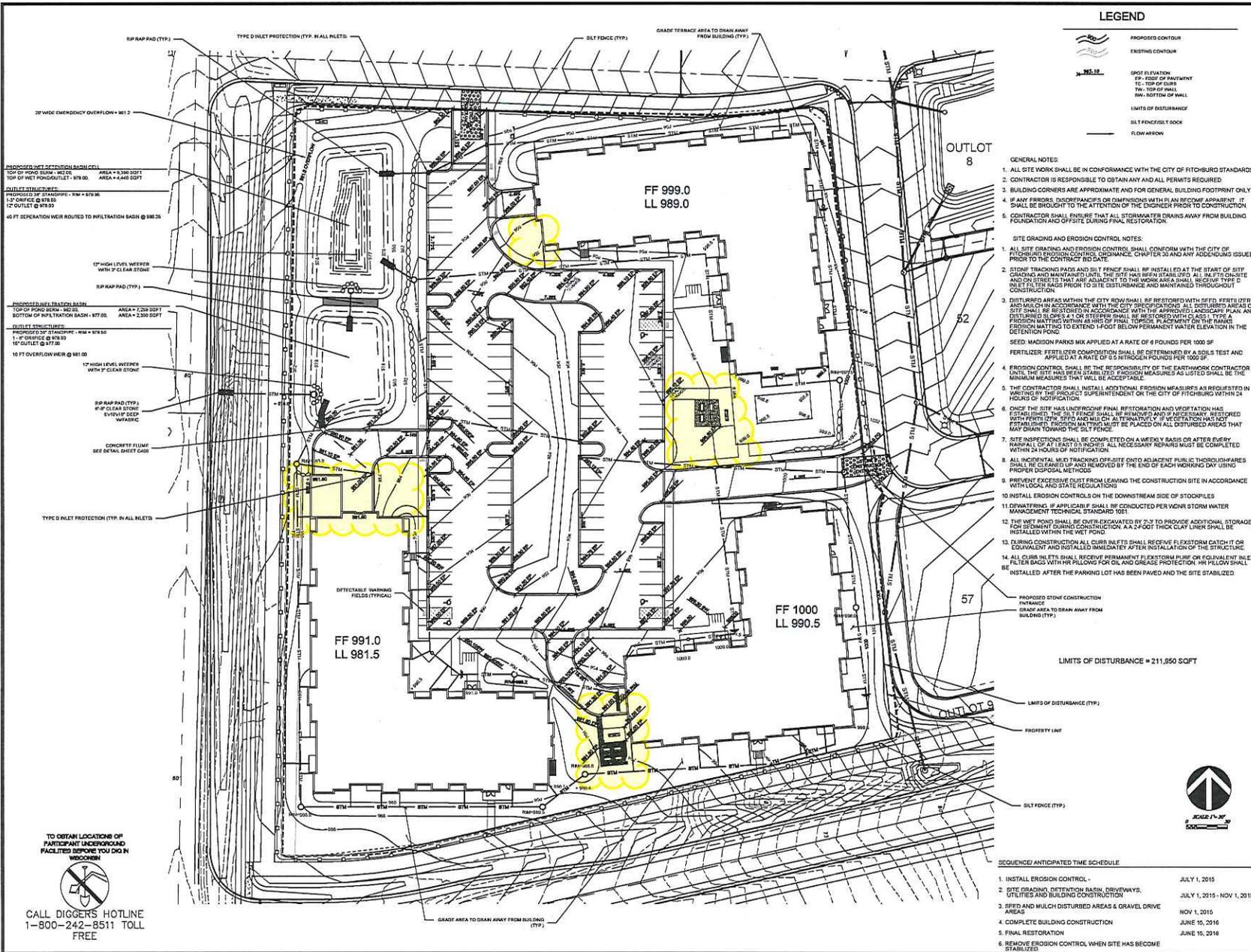
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SITE PLAN

SHEET NUMBER

C100



LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
FW - ROOF OF FOOTPRINT
TO: TOP OF CURB
TW - TOP OF WALL
BW - BOTTOM OF WALL
- LIMITS OF DISTURBANCE
- SILT FENCE/SILT SOCK
- FLOW ARROW

GENERAL NOTES:

1. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CITY OF FITCHBURG STANDARDS.
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
4. IF ANY FINDINGS, DISCREPANCIES OR DISPARITIES WITH AN RECORD AGREEMENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL INSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATION AND OFF-SITE DURING FINAL RESTORATION.

SITE GRADING AND EROSION CONTROL NOTES:

1. ALL SITE GRADING AND EROSION CONTROL SHALL CONFORM WITH THE CITY OF FITCHBURG'S EROSION CONTROL ORDINANCE, CHARTER 23.0 AND ANY ADDENDUMS ISSUED PRIOR TO THE CONTRACT BID DATE.
2. STONE TRACKING PADS AND SILT FENCE SHALL BE INSTALLED AT THE START OF SITE GRADING AND MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED. ALL INLET ON-SITE AND ON STREETS THAT ARE ADJACENT TO THE WORK AREA SHALL RECEIVE TYPE D INLET FILTER BAGS PRIOR TO SITE DISTURBANCE AND MAINTAINED THROUGHOUT CONSTRUCTION.
3. DISTURBED AREAS WITHIN THE CITY ROW SHALL BE RESTORED WITH SEED, FERTILIZER AND MULCH IN ACCORDANCE WITH THE CITY ORDINANCE. ALL DISTURBED AREAS ON SITE SHALL BE RESTORED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. ANY DISTURBED SLOPES 4:1 OR STEEPER SHALL BE RESTORED WITH CASH TYPE A FERTILIZER MIXING WITHIN 48 HRS OF FINAL TURFING. PLACEMENT ON THE BANKS OF FERTILIZER MIXING TO EXTEND 1 FOOT BELOW PERMANENT WATER ELEVATION IN THE DETENTION POOL.
4. SEED: MASON PARKS MIX APPLIED AT A RATE OF 4 POUNDS PER 1000 SF. FERTILIZER: FERTILIZER COMPOSITION SHALL BE DETERMINED BY A SOILS TEST AND APPLIED AT A RATE OF 5.5 NITROGEN POUNDS PER 1000 SF.
5. EROSION CONTROL SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR UNTIL THE SITE HAS BEEN STABILIZED. EROSION MEASURES AS LISTED SHALL BE THE MINIMUM MEASURES THAT WILL BE ACCEPTABLE.
6. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION MEASURES AS REQUESTED IN WRITING BY THE PROJECT SUPERINTENDENT OR THE CITY OF FITCHBURG WITHIN 24 HOURS OF NOTIFICATION.
7. ONCE THE SITE HAS UNDERGONE FINAL RESTORATION AND VEGETATION HAS ESTABLISHED, THE SILT FENCE SHALL BE REMOVED AND IF NECESSARY, REINSTALLED WITH PERMITS, SEED AND MULCH ALTERNATIVELY IF VEGETATION HAS NOT ESTABLISHED. EROSION MATING MATS TO BE PLACED ON ALL DISTURBED AREAS THAT MAY DRAIN TOWARD THE SILT FENCE.
8. SITE RESTORATION SHALL BE COMPLETED ON A WEEKLY BASIS OR AFTER EVERY RAINFALL OF AT LEAST 1 INCH. ALL NECESSARY REPAIRS MUST BE COMPLETED WITHIN 24 HOURS OF NOTIFICATION.
9. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
10. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
11. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOOPLES.
12. DOWNSLOPING, IF APPLICABLE SHALL BE CONDUCTED PER WQWR STORM WATER MANAGEMENT TECHNICAL STANDARD 1001.
13. THE WET POND SHALL BE OVER EXCAVATED BY 2-3" TO PROVIDE ADDITIONAL STORAGE FOR SEDIMENT DURING CONSTRUCTION. A 2-FOOT THICK CLAY LINER SHALL BE INSTALLED WITHIN THE WET POND.
14. DURING CONSTRUCTION ALL CURB INLETS SHALL RECEIVE FLEXSTORM CATCH IT OR EQUIVALENT AND INSTALLED IMMEDIATELY AFTER INSTALLATION OF THE STRUCTURE.
15. ALL CURB INLETS SHALL RECEIVE PERMANENT FLEXSTORM RIB OR FLEXWALL INLET FILTER BAGS WITH HR PELLOW FOR OIL AND GREASE PROTECTION. HR PELLOW SHALL BE INSTALLED AFTER THE PARKING LOT HAS BEEN PAVED AND THE SITE STABILIZED.

PROPOSED STONE CONSTRUCTION ENTRANCE
GRADE AREA TO DRAIN AWAY FROM BUILDING (TYP.)

LIMITS OF DISTURBANCE = 211,550 SQFT

LIMITS OF DISTURBANCE (TYP.)

PROPERTY LINE

SILT FENCE (TYP.)

SEQUENCE ANTICIPATED TIME SCHEDULE

1. INSTALL EROSION CONTROL	JULY 1, 2015
2. SITE GRADING, DETENTION BASIN, DRIVEWAYS, UTILITIES AND BUILDING CONSTRUCTION	JULY 1, 2015 - NOV 1, 2015
3. SEED AND MULCH DISTURBED AREAS & GRAVEL DRIVE AREAS	NOV 1, 2015
4. COMPLETE BUILDING CONSTRUCTION	JUNE 15, 2016
5. FINAL RESTORATION	JUNE 15, 2016
6. REMOVE EROSION CONTROL WHEN SITE HAS BECOME STABILIZED	JUNE 15, 2016

JL arch

JOSEPH LEE
2418 CROSSROAD
Madis

JLA PROJECT NUMBER: 14-015

Fiducia
REAL ESTATE DEVELOPMENT

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

CONSTRUCTION DOCUMENTS

ELAN
apartments

ELAN RESIDENTIAL DEVELOPMENT

D'ONOFRIO KOTYKE AND ASSOCIATES, INC.
7530 Wisconsin Way, Madison, WI 53717
Phone: 608.835.7550 • Fax: 608.835.1009
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DATE OF ISSUANCE: September 04, 2015

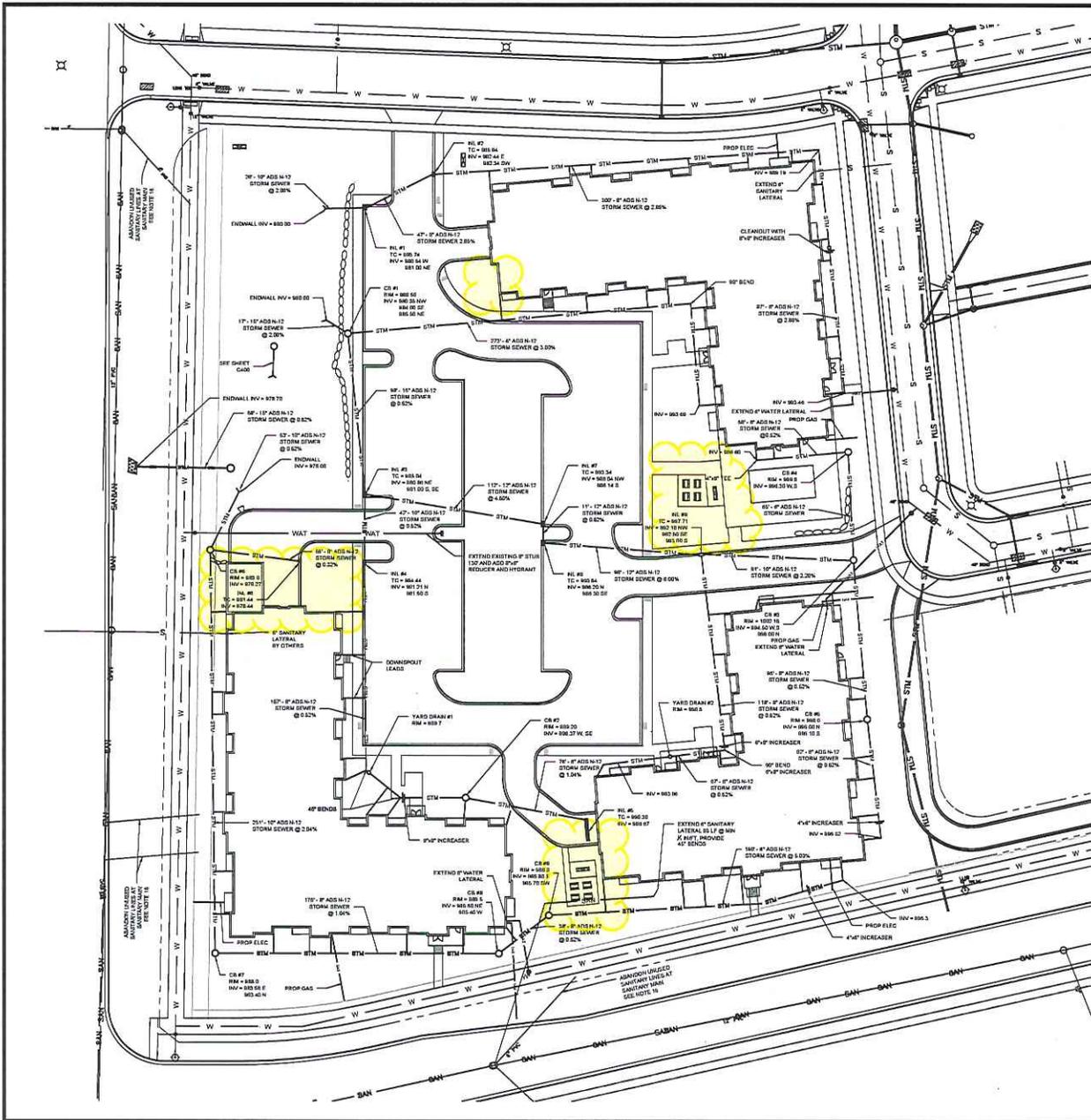
REVISION SCHEDULE		
Rev.	Description	Date

SHEET TITLE

GRADING AND EROSION CONTROL PLAN

SHEET NUMBER

C200



- UTILITY NOTES:
1. ALL STORM SEWER AND SANITARY SEWER SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION, INCLUDING ALL ADDENDUMS.
 2. WATER MAIN SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF FITCHBURG AND DNR STANDARDS.
 3. WATER MAIN SHALL HAVE A MINIMUM 5' OF BURY TO TOP OF PIPE.
 4. CB #1 - #3 SHALL BE 36" DIAMETER PRECAST MANHOLES WITH NEENAH R-2560-D1 CASTING AND GRATE.
 5. CB #1, #3, #5 - #8 SHALL HAVE NEENAH R-1500 CASTING WITH SOLID LID.
 6. CB #2, #4, #6, AND #9 SHALL HAVE NEENAH R-2560-D1 CASTING AND BEEHIVE GRATE.
 7. MH #1 - #4 AND #6 - #9 SHALL BE 2' X 2' PRECAST STRUCTURES WITH NEENAH R-3067 FRAME AND GRATE.
 8. MH #5 TRENCH DRAIN SHALL BE NEENAH R-426-61 WITH TYP. M FRAME AND GRATE COVER. FURNISH TRENCH DRAIN WITH BOTTOM OUTLET.
 9. CONTRACTOR TO COORDINATE SANITARY LATERAL AND WATER SERVICE ROUTING AND BUILDING CONNECTION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION.
 10. ALL STORM LEADS CONNECTED TO BUILDING DOWNSPOUTS TO BE 4" ADS N-12 STORM SEWER SLOPED AT 1/16" INFT WITH WYES INTO THE MAIN PARALLEL TO THE BUILDING.
 11. PER CITY ORDINANCE, CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VALVES. CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 270-4270 FOR OPERATION OF THESE VALVES.
 12. UTILITY CONTRACTOR TO USE A CONCRETE APRON ENDWALL AT THE 18" DISCHARGE PIPE FROM THE INFILTRATION BASIN AND TIE INTO THE ADS N-12 STORM SEWER PIPE USING A CONCRETE COLLAR PER THE CITY OF FITCHBURG STANDARDS.
 13. ALL WATER SERVICES BETWEEN THE PUBLIC MAIN UP TO A PRIVATE FIRE HYDRANT ARE REQUIRED TO BE A MINIMUM OF 8" AND BE INSTALLED PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 14. SAFE SAMPLE RESULTS NEED TO BE PROVIDED TO THE FITCHBURG UTILITY PRIOR TO PRESSURE TESTING THE PRIVATE WATER MAINS.
 15. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE AT THE POINT OF CONNECTION.
 16. EXISTING SANITARY LATERALS, THAT WILL NOT BE REUSED, WILL NEED TO BE ABANDONED AT THE SEWER MAIN PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR THE PUBLIC WORKS CONSTRUCTION. PUBLIC WORKS WILL NEED TO WITNESS THESE ABANDONMENTS.
 17. ALL PRIVATE WELLS ON THIS SITE NEED TO BE ABANDONED PER DNR REQUIREMENTS. A DNR WELL ABANDONMENT FORM NEEDS TO BE SUBMITTED TO PUBLIC WORKS FOR EACH ABANDONED WELL.



FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

CONSTRUCTION DOCUMENTS



ELAN RESIDENTIAL DEVELOPMENT

D'ONDROFF KOTTKE AND ASSOCIATES, INC.
7530 Worwood Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DATE OF ISSUANCE: September 04, 2015

REVISION SCHEDULE		
Mark	Description	Date

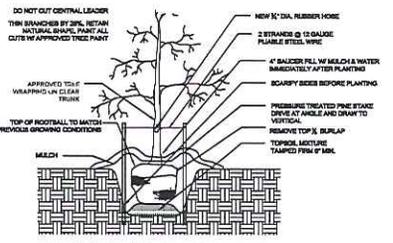
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SITE UTILITY PLAN

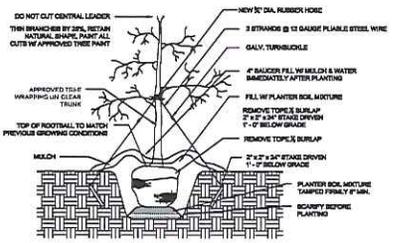
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C300

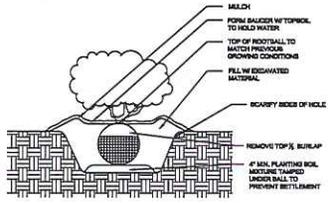




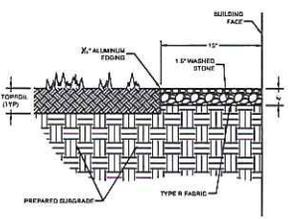
TREE PLANTING DETAIL (TREES OVER 2" CALIPER)



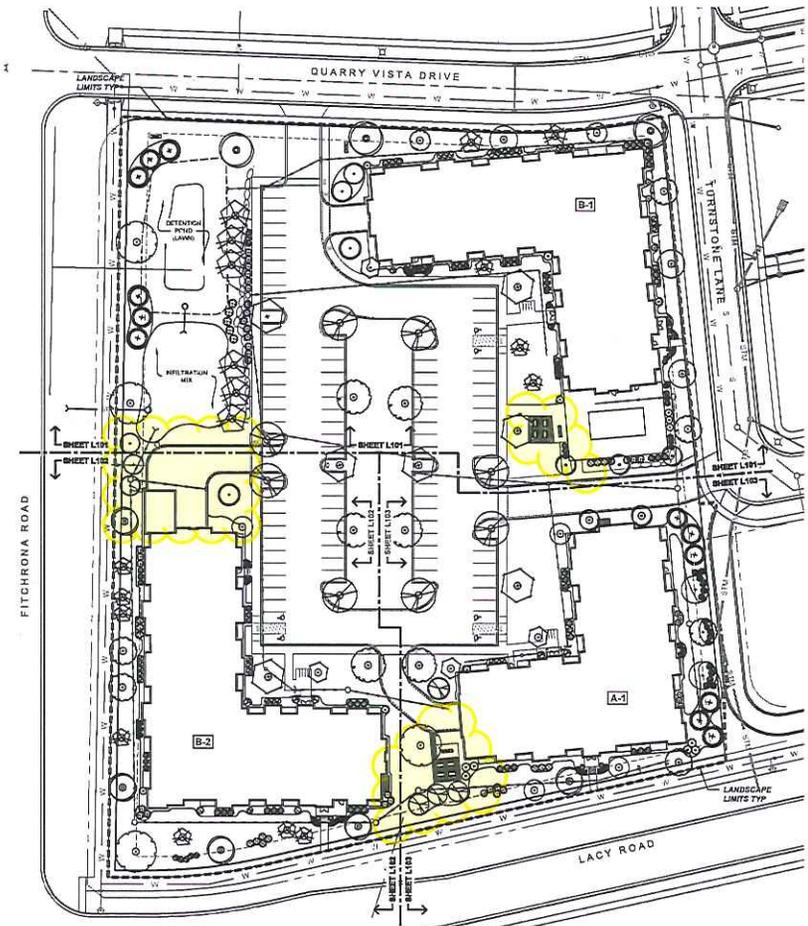
TREE PLANTING DETAIL (TREES UNDER 2" CALIPER)



SHRUB PLANTING DETAIL



STONE MAINTENANCE EDGE

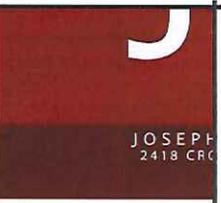


SITE LANDSCAPE PLAN - GENERAL NOTES

- CONTACT DODGE'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK
- ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING
- LANDSCAPE EDGING SHALL BE ALUMINUM 'CURV-RITE' EDGING
- ALL TREES IN TURF AREAS SHALL HAVE A 6" DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH
- ALL LANDSCAPE AREAS NOT WITHIN A PLANTING BED SHALL BE FINISH GRADED, AND SEEDING WITH TURFGRASS SEED PER THE PROJECT MANUAL SPECIFICATIONS UNLESS OTHERWISE NOTED
- IRRIGATION MIX SHALL CONFORM TO PRAIRIE NURSERY 'MOIST MEADOW AND RAIN GARDEN MIX'
- ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY ZONING ORDINANCE
- SEE THE PROJECT MANUAL FOR SPECIFICATIONS AND REQUIREMENTS FOR PLANTING, STAKING OF TREES, WARRANTY PERIOD, MAINTENANCE, ETC.
- SEE DETAILS FOR PLANTING INSTALLATION

LANDSCAPE SCHEDULE

FGB	Fothergilla gardenii 'Beaver Creek'	Be
HMA	Hydrangea macrophylla 'All Summer Beauty'	All
POS	Physocarpus opulifolius 'Seward'	Su
RT	Rhus typhina	St
SJM	Spiraea japonica 'Magic Carpet'	Ma
SP	Syringa 'Penda'	Bk
VCC	Viburnum carlesii	Ko
VT	Viburnum trilobum 'Alfredo'	Alf
WR	Weigela 'Rumba'	Ru
EVERGREEN SHRUBS		
CPG	Chamaecyparis pisifera 'Golden Mops'	Gc
JHB	Juniperus horizontalis 'Blue Chip'	Bk
JSW	Juniperus scopulorum 'Welchii'	Wl
JVB	Juniperus virginiana 'Blue Mountain'	Bl
RP	Rhododendron 'PJM'	PJ
TCB	Tsuga canadensis 'Bennet'	Be
TMT	Taxus x media 'Tauntonii'	Ta
TOH	Thuja occidentalis 'Holmstrup'	Ho
TOS	Thuja occidentalis 'Smaragd'	Py



FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

CONSTRUCTION DOCUMENTS



ELAN RESIDENTIAL DEVELOPMENT

D'UNFRED BUTTRE AND ASSOCIATES, INC.
7530 Viewward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DATE OF ISSUANCE September 4, 2015

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

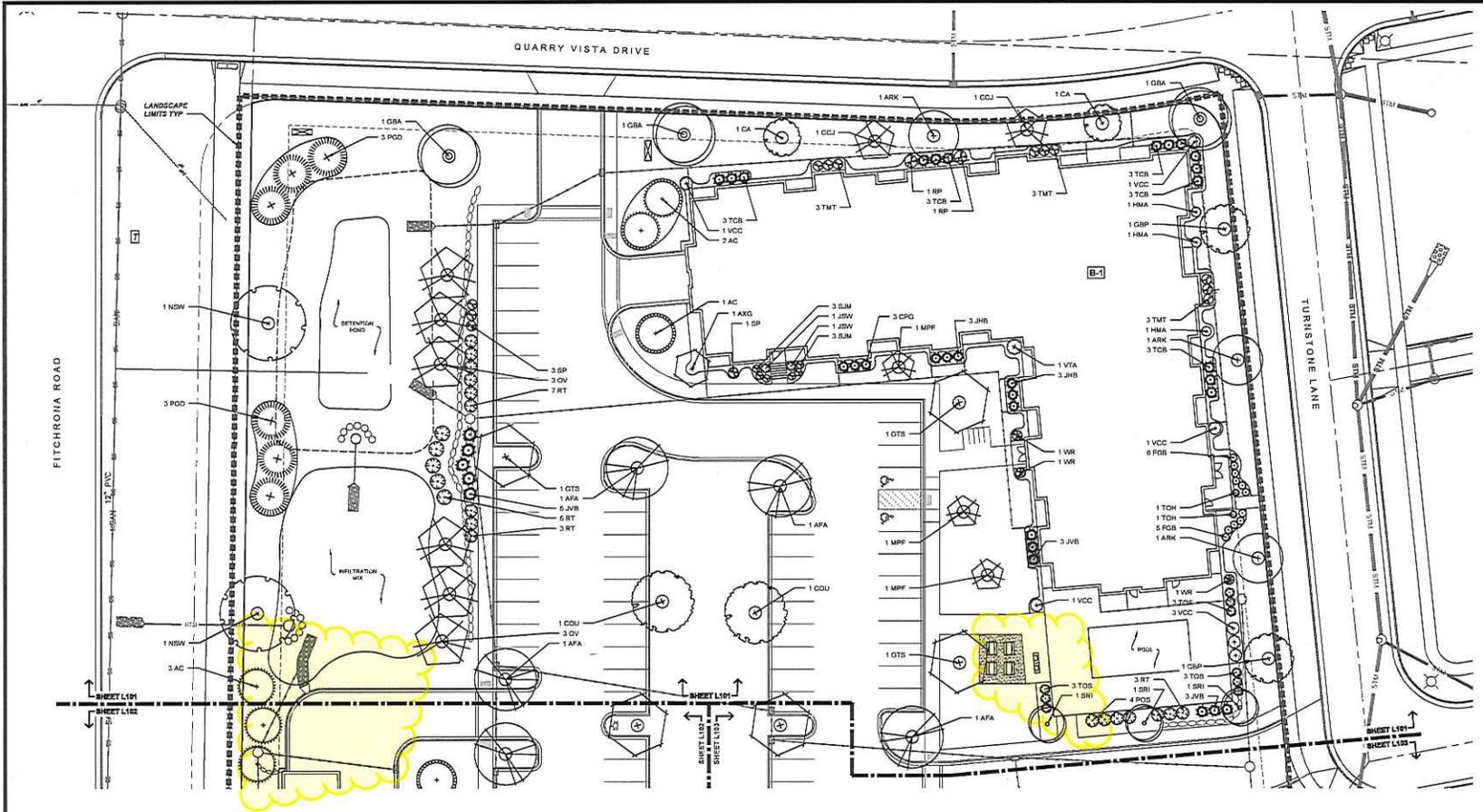
OVERALL LANDSCAPE PLAN

SHEET NUMBER

L100



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LANDSCAPE SCHEDULE

GBR	Grass	
GTS	<i>Gleditsia triacanthos</i> 'Shademaster'	Sh
MPF	<i>Malus</i> 'Prairie Fire'	Pr
NSW	<i>Nyssa sylvatica</i> 'Wildfire'	Wf
OV	<i>Ostrya virginiana</i>	Ov
SRI	<i>Syringa reticulata</i> 'Ivory Pillar'	Iv
EVERGREEN TREES		
AC	<i>Abies concolor</i>	Cc
PGD	<i>Picea glauca</i> var. <i>densata</i>	Blk
PS	<i>Pinus strobus</i>	Ea

LEVELS AND TYPES OF TREES

CPG	<i>Chamaecyparis pisifera</i> 'Golden Mops'	Gc
JHB	<i>Juniperus horizontalis</i> 'Blue Chip'	Blk
JSW	<i>Juniperus scopulorum</i> 'Welchii'	Wf
JVB	<i>Juniperus virginiana</i> 'Blue Mountain'	Blk
RP	<i>Rhododendron</i> 'PJM'	PJ
TCB	<i>Tsuga canadensis</i> 'Bennet'	Be
TMT	<i>Taxus x media</i> 'tauntonii'	Ta
TOH	<i>Thuja occidentalis</i> 'Holmstrup'	Hc
TOS	<i>Thuja occidentalis</i> 'Smaragd'	Py

SITE LANDSCAPE PLAN - GENERAL NOTES

- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
- ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
- LANDSCAPE EDGING SHALL BE ALUMINUM "CLUB-RITE" EDGING.
- ALL TREES IN TURF AREAS SHALL HAVE A 8" DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH.
- ALL LANDSCAPE AREAS NOT WITHIN A PLANTING BED SHALL BE FINISH GRADED, AND SEEDED WITH TURFGRASS SEED PER THE PROJECT MANUAL SPECIFICATIONS UNLESS OTHERWISE NOTED.
- INFILTRATION MIX SHALL CONFORM TO PRAIRIE NURSERY 'MOIST MEADOW AND RAIN GARDEN' MIX.
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- SEE DETAIL 'D' FOR PLANTING INSTALLATION.

JOSEPH
2418 CRC

EA 1908/CT 10/2008 14-0715

Fiducia
REAL ESTATE DEVELOPMENT

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

CONSTRUCTION DOCUMENTS

ELAN
APARTMENTS

ELAN RESIDENTIAL DEVELOPMENT

D'AMORIO KOTTE AND ASSOCIATES, INC.
7530 Woodward Way, Madison, WI 53717
Phone: 608.835.7550 • Fax: 608.835.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DATE OF ISSUANCE September 4, 2015

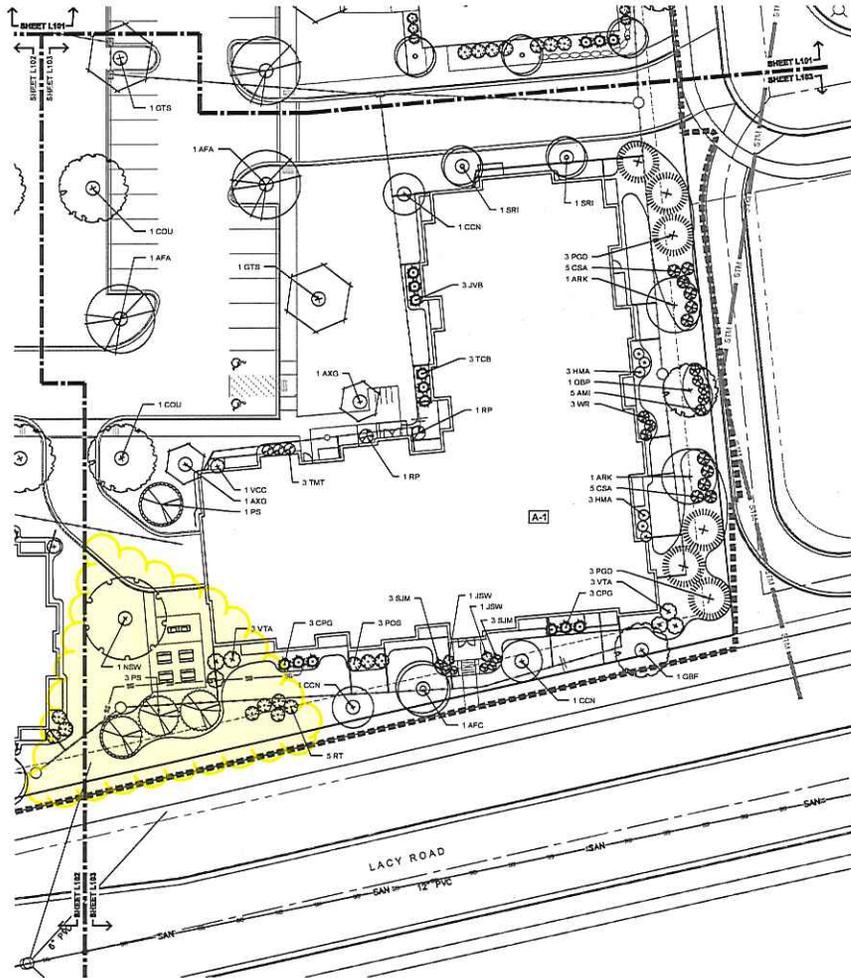
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L101



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SITE LANDSCAPE PLAN - GENERAL NOTES

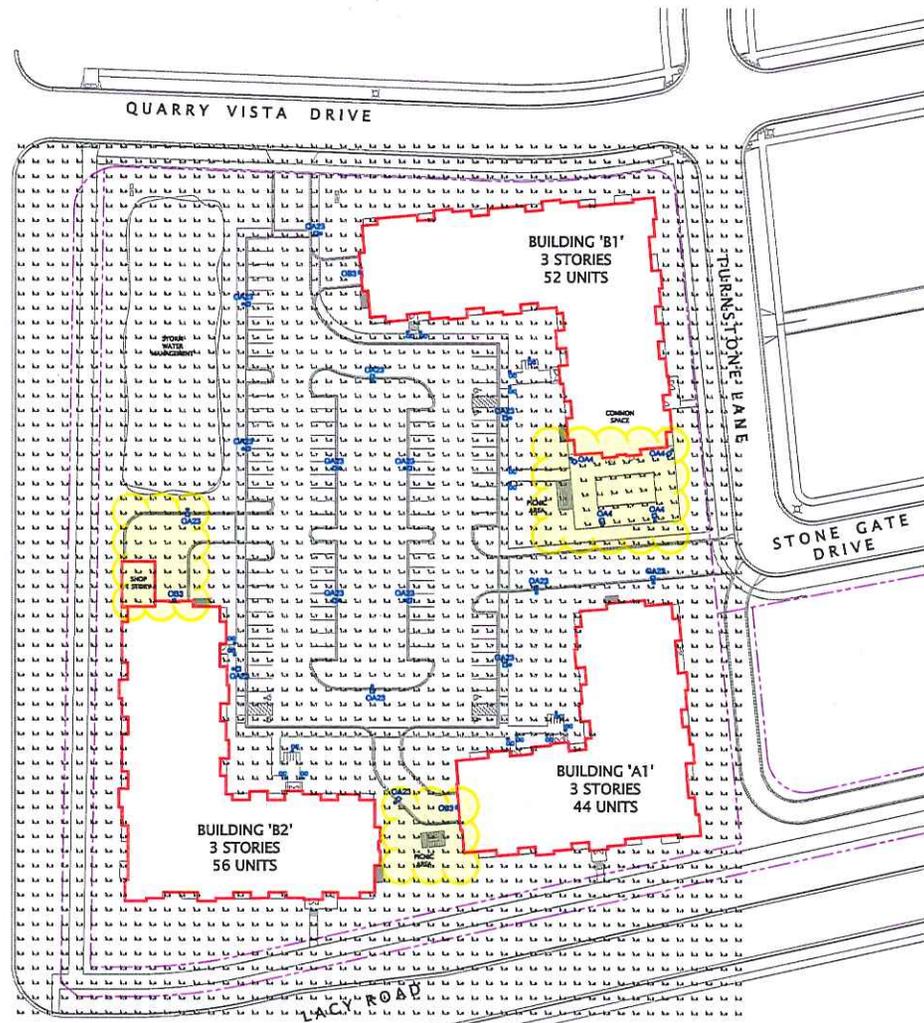
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4. LANDSCAPE EDGING SHALL BE ALUMINUM "CURV-RITE" EDGING.
5. ALL TREES IN TURF AREAS SHALL HAVE A 4' DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH.
6. ALL LANDSCAPE AREAS NOT WITHIN A PLANTING BED SHALL BE FRESH GRADED, AND SEEDS WITH TURFGRASS SEED PER THE PROJECT MANUAL SPECIFICATIONS UNLESS OTHERWISE NOTED.
7. IRRIGATION MIX SHALL CONFORM TO PRAIRIE NURSERY MOIST MEADOW AND RAIN GARDEN MIX.
8. ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
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11. SEE DETAILS FOR PLANTING INSTALLATION.

LANDSCAPE SCHEDULE

FGB	Fothergilla gardenii 'Beaver Creek'	Be
HMA	Hydrangea macrophylla 'All Summer Beauty'	All
POS	Physocarpus opulifolius 'Seward'	Su
RT	Rhus typhina	St
SJM	Spiraea japonica 'Magic Carpet'	Me
SP	Syringa 'Penda'	Blc
VCC	Viburnum carlesii	Ko
VT	Viburnum trilobum 'Alfredo'	Alf
WR	Weigela 'Rumba'	Ru
EVERGREEN SHRUBS		
CPG	Chamaecyparis pisifera 'Golden Mops'	Gc
JHB	Juniperus horizontalis 'Blue Chip'	Bl
JSW	Juniperus scopulorum 'Welchii'	Wl
JVB	Juniperus virginiana 'Blue Mountain'	Bl
RP	Rhododendron 'PJM'	PJ
TCB	Tsuga canadensis 'Bennet'	Be
TMT	Taxus x media 'Tauntonii'	Ta
TOH	Thuja occidentalis 'Holmstrup'	Ho
TOS	Thuja occidentalis 'Smaragd'	Py

REVISION SCHEDULE		
Mark	Description	Date





Qty	Label	Assignment	Total Lamp Lumens	Units, Letters	LLF	Description
18	GA20	BRIDGE	14000	18Y1	0.70	LUMINEX - PFT1100P15
4	GA1	BRIDGE	14000	7Y06	0.70	LUMINEX - PFT104P15
3	GA3	BRIDGE	N/A	3Y04	0.675	LUMINEX - 3070SA
17	CC	BRIDGE	N/A	1700	0.60	LUMINEX - 300-01-L2205-4000-UNV-TD-CMELV-02-08

Label	Color/Type	Units	Avg	Max	Min	Angle/ft	Beam/ft
ENTRANCE	Recessed	Ft	6.88	15.2	0.2	N/A	N/A
POOL DECK	Recessed	Ft	2.88	4.2	0.2	1.20	1.00
POOL SURFACE	Recessed	Ft	2.88	4.2	0.2	1.20	1.00
PARKING LOT 2 DRIVE	Recessed	Ft	1.43	2.2	0.2	4.77	16.88


Enterprise Lighting LTD

**QUARRY VISTA / ELAN
RESIDENTIAL DEVELOPMENT
FITCHBURG, WISCONSIN**

SITE LIGHTING PLAN

DATE	SCALE	SHEET NUMBER
MAY 14, 2015	1" = 30'-0"	E1



Enterprise Lighting Ltd
Manufacturers' Representative

Date: Dec 10, 2014

Enterprise Lighting, LTD.
2007 Pewaukee Rd.
Waukesha WI 53188
Phone: (262) 953-2700
Fax: (262) 953-2710

Job Name
Quarry Vista - current site

Bid Date
Dec 10, 2014

Submittal Date
Dec 10, 2014

Submitted by Enterprise Lighting, LTD.	Catalog Number: PFT11523P15	Type: OA23
Enterprise Light <small>Manufacturers' Representative</small>	Job Name: Quarry Vista - current site	Notes:

COOPER LIGHTING - LUMARK

DESCRIPTION

The Lumark Tribute Pole/Fixture Combo features all you need for easy selection and installation for poles and fixtures. Including the quality, die-cast Tribute area luminaire and 8' arm complete with lamp, square straight steel pole and necessary anchorage. Available in single or dual fixture combinations.

The Tributes/Pole Combo is ideal for parking areas, access roadways and other general off street area/site lighting applications.

SPECIFICATION FEATURES

Construction

Rugged one-piece die-cast aluminum housing and door frame finished in dark bronze polyester powder paint. One-piece silicone gasket protects the optical chamber from performance degrading contaminants. One (1) stainless spring latch and two (2) stainless steel hinges allow toolless opening and removal of door frame. U.L. Listed and CSA certified for wet locations.

Reflector

Hydroformed anodized aluminum reflector offered in an adjustable Type III or a Type IV distribution. Optical modules are field rotatable in 90° increments and offered standard with medium or mogul-base lampholders.

Electrical

Ballast and related electrical components are hard mounted to die-cast housing for optimal heat transfer and operating efficiency.

Mounting

Extruded 8" aluminum arm features internal bolt guides for easy positioning of fixture during installation to pole.

Finish

Housing and arm finished in a 5 stage premium TGIC bronze polyester powder coat paint.

Pole

Shaft is one piece construction ASTM A500 grade "B" steel, shot blasted and finished in dark bronze polyester powder coat. Anchor base is fabricated from ASTM grade steel. ASTM A365 steel full base cover is provided to enclose base plate and anchor bolts. Anchor bolts are per ASTM A578 with (2) nuts, (2) flat washers, and (1) lock washer. Hardware and threaded portion of bolt are hot dip galvanized. 3" hook for 3/4" bolt, 4" hook for 1" bolt.

Catalog #	Type
Project	
Comments	Date
Prepared by	



PFT TRIBUTE AND POLE COMBO

150 - 400 W
High Pressure Sodium
Pulse Start Metal Halide

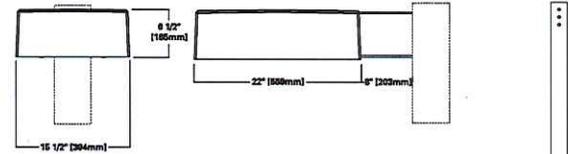
15' - 30'
Square Straight
Steel Pole

POLE AND FIXTURE COMBO

DARK SKY COMPLIANT

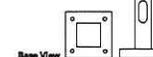
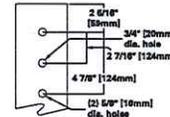
LAMP TYPE	WATTAGE
Pulse Start Metal Halide (MP)	150, 250, 325, 400W
High Pressure Sodium (HPS)	150, 250, 400W

DIMENSIONS



DRILLING PATTERNS

TYPE "M"



TECHNICAL DATA (Fixture)

UL Wet Location Listed
CSA Certified
ESA Compliant

ENERGY DATA

H-Reactance Ballast Input Watts
150W HPS HPF (150 Watts)
150W MP HPF (185 Watts)
CWA Ballast Input Watts
250W MP HPF (283 Watts)
250W HPS HPF (295 Watts)
320W MP HPF (385 Watts)
400W MP HPF (482 Watts)
400W HPS HPF (485 Watts)

EPA

Effective Projected Area: (Sq. Ft.)
Single: 1.62
Dual: 3.24

SHIPPING DATA
Approximate Net Weight:
35 lbs. (1273 kgs.)



COOPER Lighting
www.cooperlighting.com

Specifications and Dimensions subject to change without notice.
Consult your representative for additional options and finishes.

AJH102310
10/14/2009 12:23:29 PM

Submitted by Enterprise Lighting, LTD.

Job Name: Quarry Vista - current site

Catalog Number: XTOR3A

Type: OB3

Notes:

DESCRIPTION

The patent pending Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall surfaces, inverted mount for facade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks.

SPECIFICATION FEATURES

Construction
Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and large design. The small housing is available in 10W and 20W. The large housing is available in the 30W model. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three (3) half-inch, NPT threaded conduit entry points.

Optical
Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Solid state LED Crosstour luminaires are thermally optimized with five (5) luminaire packages in cool 5000K or neutral warm 3500K LED color temperature (CCT).

Electrical
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED sources. 10W models operate in -40°C to 40°C [-40°F to 104°F]. 20W and 30W models operate in -30°C to 40°C [-22°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 70% of initial light output after 72,000 hours of operation. Three (3) half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

Finish
Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

Warranty
Five-year limited warranty.

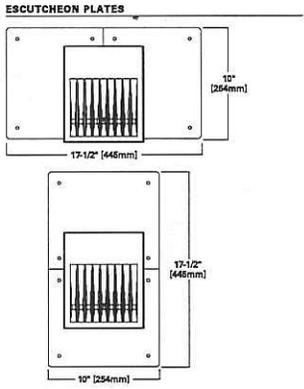
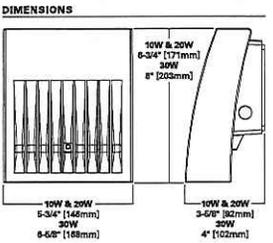
APPLICATIONS:
WALL / SURFACE POST / BOLLARD LOW LEVEL FLOODLIGHT INVERTED SITE LIGHTING



Catalog #	Type
Project	Date
Comments	
Prepared by	



XTOR CROSTOUR LED



CERTIFICATION DATA
UL/ULC Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
ARRA Compliant
ADA Compliant
NOM Compliant Models
IP66 Ingressed Protection Rated
Lighting Fixture Registered
DesignLights Consortium® Qualified*
Title 24 Compliant

TECHNICAL DATA
40°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum

EPA
Effective Projected Area:
(Sq. Ft.)
XTOR1A/XTOR2A=0.34
XTOR3A=0.45

SHIPPING DATA:
Approximate Net Weight:
3.7 - 5.25 lbs. (1.7 - 2.4 kgs.)

Cooper Lighting
by **F.T.C.N.**

ADH111091
2013-09-27 13:51:17
www.designlights.org

Submitted by Enterprise Lighting, LTD.

Job Name: Quarry Vista - current site

Catalog Number: XTOR3A

Type: OB3

Notes:

LUMEN MAINTENANCE

Ambient Temperature	TW-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
25°C	> 91%	> 350,000
40°C	> 91%	> 340,000
50°C	> 91%	> 330,000

20W Model

25°C	> 91%	> 340,000
40°C	> 90%	> 320,000
50°C	> 90%	> 300,000

30W Model

25°C	> 91%	> 340,000
40°C	> 91%	> 320,000
50°C	> 90%	> 300,000

LUMENS - CRI/CCT TABLE

LED Information	XTOR1A	XTOR2A	XTOR2A-N	XTOR3A	XTOR3A-N
Delivered Lumens (Wall Mount)	734	1432	1323	2649	2273
Delivered Lumens (With Flood Accessory Kit)	713	1424	1315	2614	2243
B.U.G. Rating*	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0
CCT (Kvln)	5000	5000	3500	5000	3500
CRI (Color Rendering Index)	67	65	68	65	68
Power Consumption (Watts)	6W	21W	21W	30W	30W

* B.U.G. Rating does not apply to floodlighting.

ORDERING INFORMATION

Sample Number: XTOR2A-N-WT-PC1

Series¹	LED Kelvin Color¹	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR1A=Small Door, 10W XTOR2A=Small Door, 20W XTOR3A=Small Door, 30W	Black=Bright White (Standard) 5000K Neutral Warm White, 3500K	Black=Carbon Bronze (Standard) WT=Summit White	347V=347V* PC=Photocontrol 120V** PC=Photocontrol 208-277V*** HA=50 C High Ambient**	WU=XTOR=Wire Guard* XTORFLD=KNOCK=Knockout Floodlight Kit* XTORFLD-TUN=Trunkline Floodlight Kit* XTORFLD-KNOCK=Knockout Floodlight Kit, White* XTORFLD-TUN-WT=Trunkline Floodlight Kit, White*

STOCK ORDERING INFORMATION

10W Series	20W Series	30W Series
XTOR1A=10W, 5000K, Carbon Bronze	XTOR2A=20W, 5000K, Carbon Bronze	XTOR3A=30W, 5000K, Carbon Bronze
XTOR1A-WT=10W, 5000K, Summit White	XTOR2A-N=20W, 3500K, Carbon Bronze	XTOR3A-N=30W, 3500K, Carbon Bronze
XTOR1A-PC1=10W, 5000K, 120V PC, Carbon Bronze	XTOR2A-WT=20W, Summit White	XTOR3A-WT=30W, Summit White
	XTOR2A-PC1=20W, 120V PC, Carbon Bronze	XTOR3A-PC1=30W, 120V PC, Carbon Bronze



5-DAY QUICK SHIP ORDERING INFORMATION

10W Series	20W Series	30W Series
XTOR1A-WFPC1=10W, 5000K, Summit White, 120V PC	XTOR2A-PC3=20W, 5000K, 208-277V PC, Carbon Bronze	XTOR3A-PC3=30W, 5000K, 208-277V PC, Carbon Bronze
	XTOR2A-WFPC1=20W, 5000K, Summit White, 120V PC	XTOR3A-WFPC1=30W, 5000K, Summit White, 120V PC
	XTOR2A-WFPC2=20W, 5000K, Summit White, 208-277V PC	XTOR3A-WFPC2=30W, 5000K, Summit White, 208-277V PC
	XTOR2A-N-WT=20W, 3500K, Summit White	XTOR3A-N-WT=30W, 3500K, Summit White
	XTOR2A-N-PC1=20W, 3500K, 120V PC, Carbon Bronze	XTOR3A-N-PC1=30W, 3500K, 120V PC, Carbon Bronze
	XTOR2A-N-PC2=20W, 3500K, 208-277V PC, Carbon Bronze	XTOR3A-N-PC2=30W, 3500K, 208-277V PC, Carbon Bronze
	XTOR2A-N-WFPC1=20W, 3500K, Summit White, 120V PC	XTOR3A-N-WFPC1=30W, 3500K, Summit White, 120V PC
	XTOR2A-N-WFPC2=20W, 3500K, Summit White, 208-277V PC	XTOR3A-N-WFPC2=30W, 3500K, Summit White, 208-277V PC

Cooper Lighting
by **F.T.C.N.**

Estos: 100 Eaton Boulevard
Cleveland, OH 44122
P: 770-658-8300
www.cooperlighting.com

Estos: Cooper Lighting Division
121 Highway 26 South
Peachtree City, GA 30228
P: 770-658-8300
www.cooperlighting.com

Specifications and dimensions subject to change without notice.

ADH111091
2013-09-27 13:51:17

Submitted by Enterprise Lighting, LTD.		Catalog Number: 303-B1-LEDB2-4000-UNV-T2- DIMELV-BZ-36		Type: OC	
 Enterprise Lighting <small>Manufacturers Representative</small>		Job Name: Quarry Vista - current site		Notes:	

lumière

DESCRIPTION

Eon 303 - B1 and 303 - B2 are compact, low profile, dimmable, LED bollards that provide downlight only via a fixed head. 303 - B1 has a single head on one side of the luminaire and 303 - B2 has two, integrated heads coming off opposite sides of the luminaire. 303 - B1 and 303 - B2 come standard with universal input LED drivers (120 - 277V, 50/60 Hz). Dimming is achieved with a standard ELV, reverse phase dimming driver. Eon fixtures may be used indoors or outdoors and carry an IP66 rating. Our patented LumalLevel™ leveling system provides quick installation, easy adjustment, secure mounting and protection from vibration.

SPECIFICATION FEATURES

A ... Material

Head is precision-machined from corrosion-resistant 6061-T6 aluminum. Body is extruded aluminum and mounting base is cast from corrosion resistant silicone aluminum alloy.

B ... Finish

Fixture and mounting base are double protected by a RoHS compliant chemical film undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. Mounting base is painted black. Fixture housing and head are available in a variety of standard colors. In addition to the standard five colors offered by Lumiere, the Eon bollards are also available in colors to match other outdoor Cooper brands, such as Invue. See the Finish section in the ordering detail for more information.

C ... Lens

Clear, tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock. EDGE LIT option when specified with the EDGE option, the glass will be slightly thicker, clear, tempered and sealed in the same manner referenced above. The added glass thickness will offer a brighter line of light around the edge of the glass that will accentuate the fixture's aesthetics and styling.

D ... Adjustable Mounting Base

Cast aluminum mounting base is equipped with the patented LumalLevel™ leveling system that includes mounting chassis, 70 shore neoprene base, stainless steel hardware and 3/4" conduit entry. It provides quick installation, easy adjustment, secure mounting and protection from vibration.

E ... Hardware

Stainless steel hardware is standard to provide maximum corrosion-resistance.

F ... Electrical

Both models come standard with universal input LED drivers (120-277, 50/60Hz). The standard driver is ELV reverse phase dimmable.

G ... LED

LEDs are included and available in three color temperatures (2700K, 3000K & 4000K) and a variety of optics. Both color temperature and distribution must be specified when ordering - see reverse side for details and catalog logic. 303 - B1 comes standard with two mini lightbars and 303 - B2 comes standard with four mini lightbars.

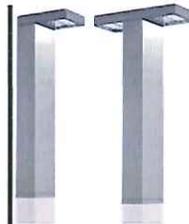
H ... Labels & Approvals

UL and cUL listed, standard wet label, IP66 rated.

I ... Warranty

Lumiere warrants its fixtures against defects in materials & workmanship for five (5) years. Auxiliary equipment such as transformers, ballasts and LED drivers carry the original manufacturer's warranty.

Catalog #	Type
Project	
Comments	Date
Prepared by	



EON

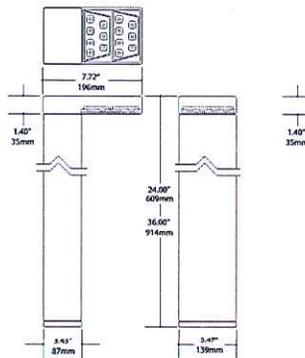
303-B1 / 303-B2

15.5 W LED
31 W LED

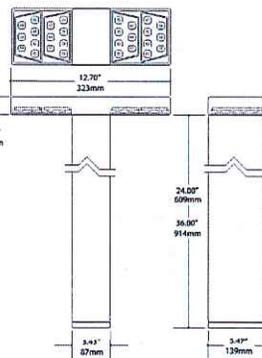
LED
BOLLARD

IP66

303-B1



303-B2



COOPER Lighting
www.cooperlighting.com

Specification and Dimensions subject to change without notice.
Consult your representative for additional options and finishes.

Submitted by Enterprise Lighting, LTD.		Catalog Number: 303-B1-LEDB2-4000-UNV-T2- DIMELV-BZ-36		Type: OC	
 Enterprise Lighting <small>Manufacturers Representative</small>		Job Name: Quarry Vista - current site		Notes:	

LED INFORMATION

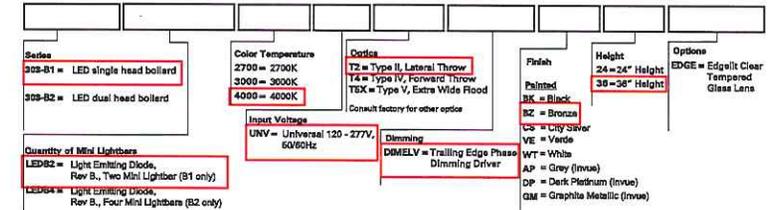
LED	Watts	Distribution	Total Lumens	CRI	*K	Life (hrs.)	Volts
LEDB2-2700-T2	15.5	Type II - Lateral Throw	725	95	2700	50000	Universal Input [120 - 277V, 50/60Hz]
LEDB2-2700-T4	15.5	Type IV - Forward Throw	709	85	2700	50000	Universal Input [120 - 277V, 50/60Hz]
LEDB2-2700-TSX	15.5	Type V - Flood	626	65	2700	50000	Universal Input [120 - 277V, 50/60Hz]
LEDB2-3000-T2	15.5	Type II - Lateral Throw	95	3000	50000	Universal Input [120 - 277V, 50/60Hz]	
LEDB2-3000-T4	15.5	Type IV - Forward Throw	85	3000	50000	Universal Input [120 - 277V, 50/60Hz]	
LEDB2-3000-TSX	15.5	Type V - Flood	65	3000	50000	Universal Input [120 - 277V, 50/60Hz]	
LEDB2-4000-T2	15.5	Type II - Lateral Throw	1209	95	4000	50000	Universal Input [120 - 277V, 50/60Hz]
LEDB2-4000-T4	15.5	Type IV - Forward Throw	1181	85	4000	50000	Universal Input [120 - 277V, 50/60Hz]
LEDB2-4000-TSX	15.5	Type V - Flood	1044	65	4000	50000	Universal Input [120 - 277V, 50/60Hz]
LEDB4-2700-T2	31	Type II - Lateral Throw	1436	95	2700	50000	Universal Input [120 - 277V, 50/60Hz]
LEDB4-2700-T4	31	Type IV - Forward Throw	1410	85	2700	50000	Universal Input [120 - 277V, 50/60Hz]
LEDB4-2700-TSX	31	Type V - Flood	1247	65	2700	50000	Universal Input [120 - 277V, 50/60Hz]
LEDB4-3000-T2	31	Type II - Lateral Throw	95	3000	50000	Universal Input [120 - 277V, 50/60Hz]	
LEDB4-3000-T4	31	Type IV - Forward Throw	85	3000	50000	Universal Input [120 - 277V, 50/60Hz]	
LEDB4-3000-TSX	31	Type V - Flood	65	3000	50000	Universal Input [120 - 277V, 50/60Hz]	
LEDB4-4000-T2	31	Type II - Lateral Throw	2393	95	4000	50000	Universal Input [120 - 277V, 50/60Hz]
LEDB4-4000-T4	31	Type IV - Forward Throw	2350	85	4000	50000	Universal Input [120 - 277V, 50/60Hz]
LEDB4-4000-TSX	31	Type V - Flood	2078	65	4000	50000	Universal Input [120 - 277V, 50/60Hz]

NOTES AND FORMULAS

- Apply appropriate light loss factors where necessary.
- Photometry is LM-79 compliant.

ORDERING INFORMATION

Sample Number: 303 - B1 - LEDB1 - 3000 - UNV - T2 - BZ



COOPER Lighting
www.cooperlighting.com

Specification and Dimensions subject to change without notice.
Consult your representative for additional options and finishes.

MASTERPLAN DATA											
BLDG	UNITS							PARKING			
	ST	1BR	1BR+	2BR	2BR+	TOTAL	BR'S	COVERED	SURFACE	TOTAL	RATIO
A1	3	15	9	14	3	44	58	44	26	70	1.59/UNIT
B1	3	17	13	16	3	52	68	52	32	84	1.62/UNIT
B2	4	19	15	15	3	56	70	53	31	84	1.50/UNIT
T.	10	51	37	45	9	152	196	149	89	238	1.57/UNIT
	6%	34%	24%	30%	6%						1.21/BR

PARKING NOTES:

COVERED VEHICULAR & BICYCLE PARKING COUNTS ARE MINIMUM. SURFACE PARKING COUNTS ARE MAXIMUM. COVERED BICYCLE PARKING SHALL BE PROVIDED IN THE LOWER LEVEL BY INDIVIDUAL STORAGE LOCKERS OR WALL/CEILING HOOKS ABOVE AUTOMOBILE SPACES.

LANDSCAPING NOTES:

ALL LANDSCAPING ELEMENTS SHOWN ON THIS MASTERPLAN ARE CONCEPTUAL ONLY. SEE LANDSCAPE PLANS FOR INFORMATION AND DETAILS REGARDING THE ACTUAL LANDSCAPING FOR THIS PROJECT.

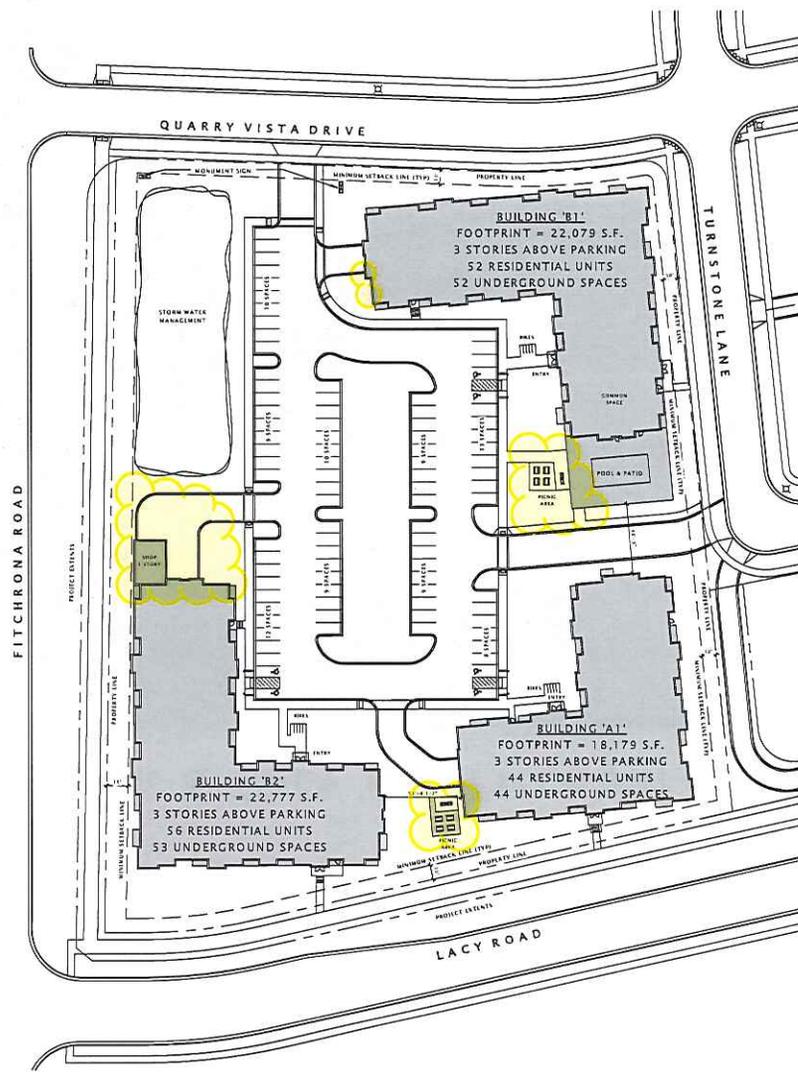
EXTERIOR SITE LIGHTING:

ALL EXTERIOR LIGHTING SHALL BE ESTABLISHED, DIRECTED, AND MAINTAINED SO AS NOT TO BE CAST DIRECTLY ON PUBLIC RIGHTS-OF-WAY OR NEIGHBORING PROPERTIES-- OR BE LIGHTED IN INTENSITY OR COLORS SERIOUSLY DISTURBING TO NEIGHBORING PROPERTIES (PER CITY OF FITCHBURG ZONING CODE SECTION 22-607 (B) 0.)

SEE THE FOLLOWING SHEETS FOR ADDITIONAL SITE INFORMATION:

SHEET ASP101-A1	BUILDING 'A1'
SHEET ASP101-B1	BUILDING 'B1'
SHEET ASP101-B2	BUILDING 'B2'

ZONING REQUIREMENT	DESIGN VALUE	CALCULATIONS
SITE DENSITY	31.40 Units/Acre	152 Units / 4.84 AC. = 31.40
BUILDING COVERAGE	29.9% of Parcel	63,035 S.F. / 210,871 S.F. = 29.9%
FLOOR AREA RATIO	83.7% of Parcel	176,601 S.F. / 210,871 S.F. = 83.7%
IMPERVIOUS SURFACE	58.2% of Parcel	122,676 S.F. / 210,871 S.F. = 58.2%
LANDSCAPE AREA	41.8% of Parcel	88,195 S.F. / 210,871 S.F. = 41.8%





ELAN RESIDENTIAL DEVELOPMENT
Fitchrona & Lacy Rd. Fitchburg, Wisconsin



SIP – AMENDMENT

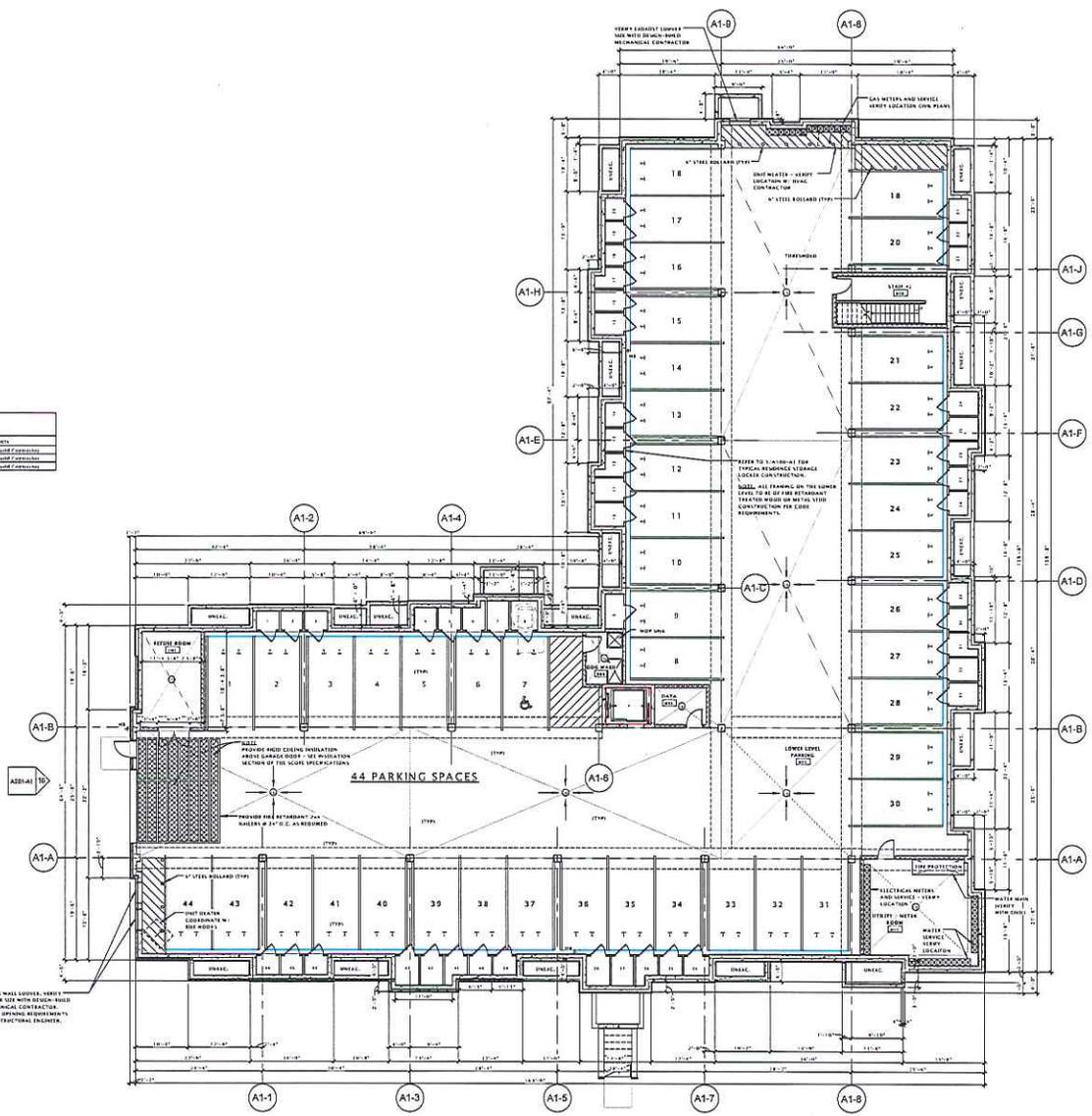
BUILDING: A1



JLA PROJECT NUMBER: 14-0515

SEPTEMBER 9, 2015

LOUVER SCHEDULE						
Mark	Width	Height	Description	Manufacturer	Model	Frame Color
1A	3'-0"	4'-0"	Steel Louver	TRU	TRU	White
1B	2'-0"	4'-0"	Steel Louver	TRU	TRU	White
1C	2'-0"	4'-0"	Steel Louver	TRU	TRU	White



17 BUILDING 'A1' - LOWER LEVEL PLAN
3/32" = 1'-0"

SCALE: DRAWING TO BE FULLY DIMENSIONED PER 2003 IBC, WITH 1/4" AND NEAR 1/4"

WINDOW SCHEDULE										
Mark	Width	Height	Description	Manufacturer	Window Type	U-FACTOR	SHGC	AREA	U-FACTOR	SHGC
1	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
2	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
3	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
4	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
5	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
6	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
7	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
8	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
9	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
10	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
11	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
12	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
13	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
14	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
15	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
16	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
17	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
18	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
19	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
20	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
21	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
22	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
23	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
24	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
25	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
26	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42
27	3'-0"	4'-0"	Fixed Single Glaze	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F	0.31	0.42	13.24	0.31	0.42

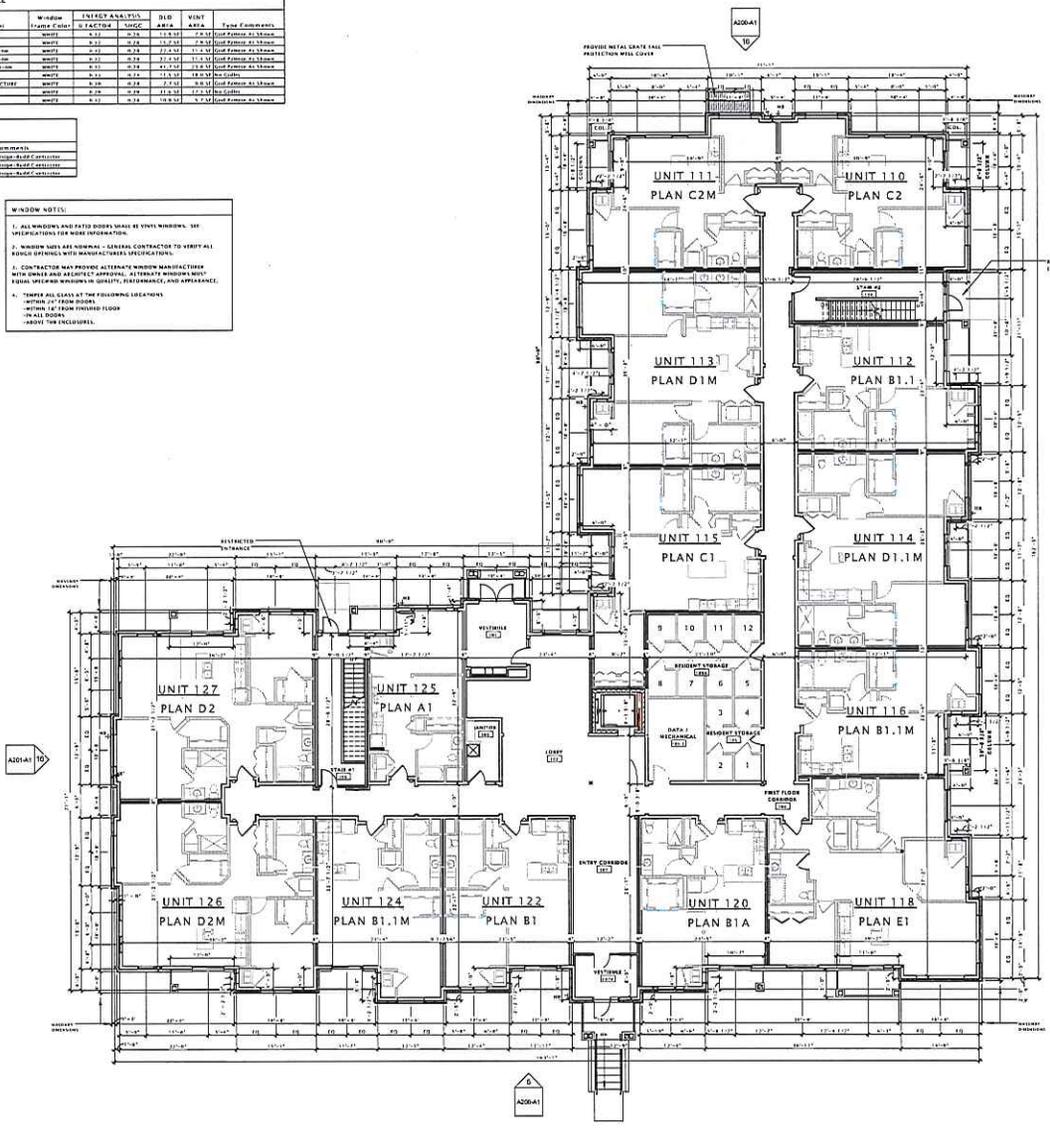
LOUVER SCHEDULE					
Mark	Width	Height	Description	Manufacturer	Notes
1	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
2	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
3	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
4	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
5	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
6	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
7	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
8	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
9	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
10	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
11	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
12	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
13	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
14	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
15	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
16	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
17	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
18	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
19	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
20	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
21	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
22	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
23	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
24	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
25	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
26	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F
27	3'-0"	4'-0"	Fixed Louver	Polysar Windows, Ltd. (Polysar)	1.0W, 1.0F

BUILDING 'A1' - FIRST FLOOR UNIT SCHEDULE		
UNIT NO.	PLAN TYPE	AREA
110	PLAN C2	810.50
111	PLAN C2M	810.50
112	PLAN C1	712.50
113	PLAN D1M	1171.50
114	PLAN D1.1M	1114.50
115	PLAN C1	1011.50
116	PLAN B1.1M	712.50
117	PLAN C1	1101.50
118	PLAN B1.1M	712.50
119	PLAN B1.1M	712.50
120	PLAN B1A	712.50
121	PLAN B1	712.50
122	PLAN B1	712.50
123	PLAN B1	712.50
124	PLAN B1	712.50
125	PLAN A1	712.50
126	PLAN D2M	1114.50
127	PLAN D2	1114.50

ENLARGED UNIT SHEET LISTING	
UNIT NO.	PLAN TYPE
A410	A1, A1.1, A1M, A1.1M, A2
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.2M
A412	B1A, B1.1A, B1.1A
A413	B2, B2M
A414	C1
A415	C2, C2.1, C2M, C2.1M
A416	C1, C1.1, C1M, C1.1M
A417	D1, D1.2, D1.4, D1.4, D1.4M
A418	D1M, D1.1M, D1.1M, D1.4M, D1.4M, D1.4M
A419	D2, D2.1, D2M, D2.1M
A420	E1, E1.1, E1M, E1.1M

WINDOW NOTES:

1. ALL WINDOWS AND PATIO DOORS SHALL BE VINYL WINDOWS. SEE SPECIFICATIONS FOR MORE INFORMATION.
2. WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY FINISH OPENINGS WITH MANUFACTURER'S SPECIFICATIONS.
3. CONTRACTOR HAS PROVIDED INTERNAL WINDOW MANUFACTURER WITH DIMS AND REQUIRED APPROVAL. ALTERNATE WINDOW MUST FULFILL SPECIFIED WINDOW QUALITY, PERFORMANCE, AND APPEARANCE.
4. TRIMMER AND CLEAN AT THE FOLLOWING LOCATIONS:
 - OPENS AT FROM ROOMS
 - IN ALL ROOMS
 - ABOUT THE FOLLOWING:



BUILDING 'A1' - FIRST FLOOR PLAN
3/32" = 1'-0"

ALL DIMENSIONS TO BE FIRST UNLESS OTHERWISE NOTED
© 2014 JLA, ALL RIGHTS RESERVED



JOSEPH LEE - ASSOCIATES
2418 C/O BROADWAY, SUITE 2100
HOUSTON, TEXAS 77002
TEL: 713.455.1100



FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SIP - AMENDMENT



ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: SEPTEMBER 9, 2015

SHEET TITLE
BUILDING 'A1' FIRST FLOOR PLAN

SHEET NUMBER
A101-A1



13 SOUTH ELEVATION - A1
1/8" = 1'-0"



16 NORTH ELEVATION - A1
1/8" = 1'-0"

JLA
JOSEPH LEE & ASSOCIATES

2415 CLAYBANK DRIVE, SUITE 2100
MEMPHIS, TENNESSEE 38117
901.241.4500

14-0011

Fiduciary
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SIP - AMENDMENT

ELAN
APARTMENTS

ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: SEPTEMBER 9, 2015

SHEET TITLE: EXTERIOR ELEVATIONS 'A1' BUILDING

SHEET NUMBER: A200-A1



16 EAST ELEVATION - A1
1/8" = 1'-0"



16 WEST ELEVATION - A1
1/8" = 1'-0"

JLA
ARCHITECTS

JOSEPH LEE & ASSOCIATES
2418 CALLEJON DE OROZCO, SUITE 200
SAN ANTONIO, TEXAS 78205
412.247.0552

JLA PROJECT NUMBER 14-0314

Fiduciary
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL
ESTATE
DEVELOPMENT, INC.

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ELAN
apartments

ELAN RESIDENTIAL
DEVELOPMENT

PROGRESS DOCUMENTS

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DATE OF ISSUANCE SEPTEMBER 9, 2015

SHEET TITLE

EXTERIOR ELEVATIONS
'A1' BUILDING

SHEET NUMBER

A201-A1



ELAN RESIDENTIAL DEVELOPMENT
Fitchrona & Lacy Rd. Fitchburg, Wisconsin



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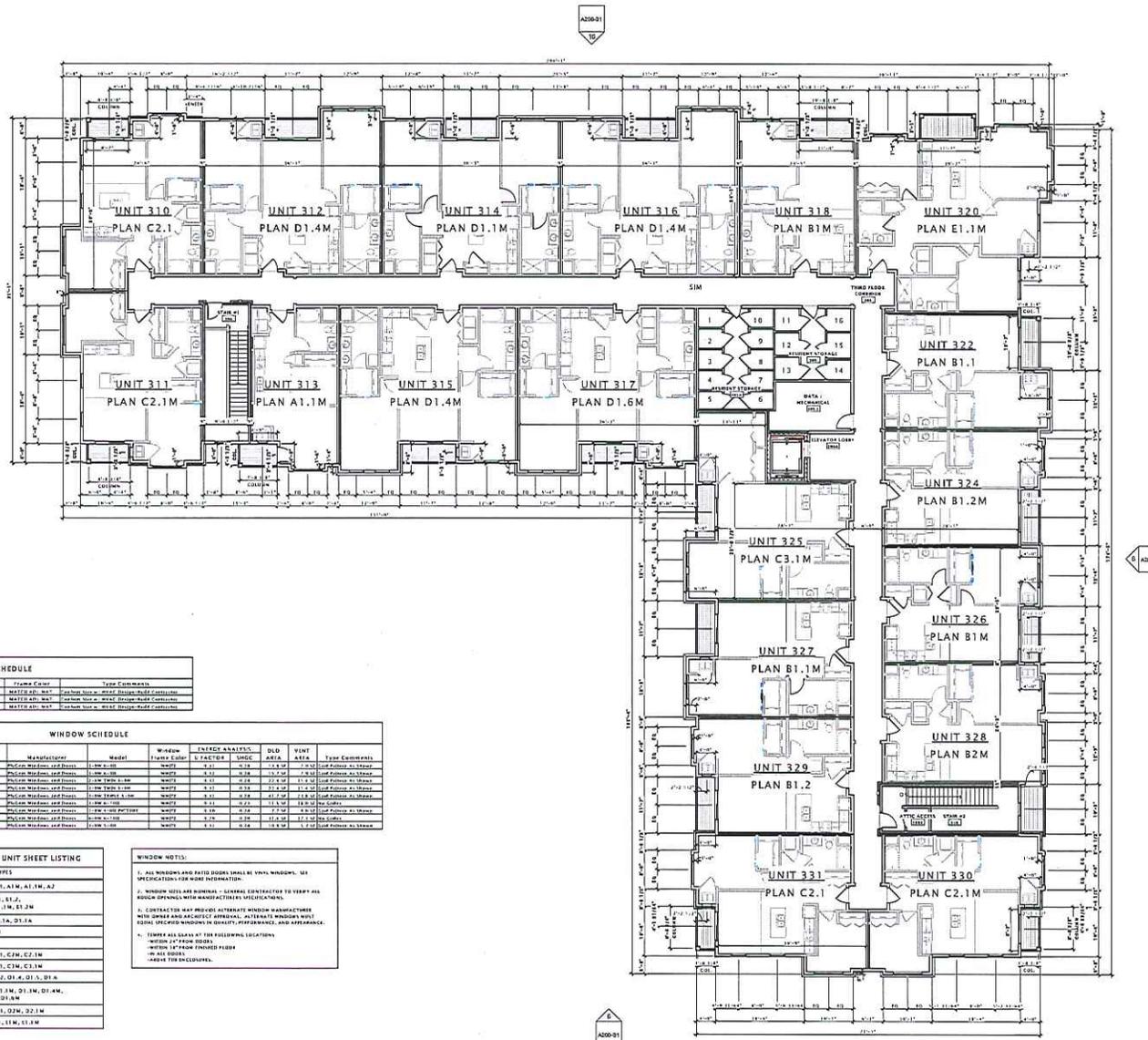
BUILDING: B1

JLA PROJECT NUMBER: 14-0515

SEPTEMBER 9, 2015

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction without further direction.

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
1	Construction Release (2-D) (R) (S)	09/09/15



LOUVER SCHEDULE						
Mark	Width	Height	Description	Manufacturer	Model	Frame Color
L1	24'-0"	4'-0"	Aluminum Louver	None	None	White
L2	24'-0"	4'-0"	Aluminum Louver	None	None	White
L3	24'-0"	4'-0"	Aluminum Louver	None	None	White

WINDOW SCHEDULE										
Mark	Width	Height	Description	Manufacturer	Model	Frame Color	U FACTOR	SHGC	GLA	VENT
W1	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W2	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W3	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W4	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W5	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W6	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W7	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W8	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W9	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W10	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W11	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W12	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W13	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W14	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W15	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W16	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W17	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W18	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W19	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None
W20	48'-0"	4'-0"	Large Window	None	None	White	0.25	0.45	144.00	None

BUILDING 'B1' - THIRD FLOOR UNIT SCHEDULE		
UNIT NO.	SQ. FT.	AREA
310	1,100	1,100 SF
311	1,100	1,100 SF
312	1,100	1,100 SF
313	1,100	1,100 SF
314	1,100	1,100 SF
315	1,100	1,100 SF
316	1,100	1,100 SF
317	1,100	1,100 SF
318	1,100	1,100 SF
319	1,100	1,100 SF
320	1,100	1,100 SF
321	1,100	1,100 SF
322	1,100	1,100 SF
323	1,100	1,100 SF
324	1,100	1,100 SF
325	1,100	1,100 SF
326	1,100	1,100 SF
327	1,100	1,100 SF
328	1,100	1,100 SF
329	1,100	1,100 SF
330	1,100	1,100 SF
331	1,100	1,100 SF

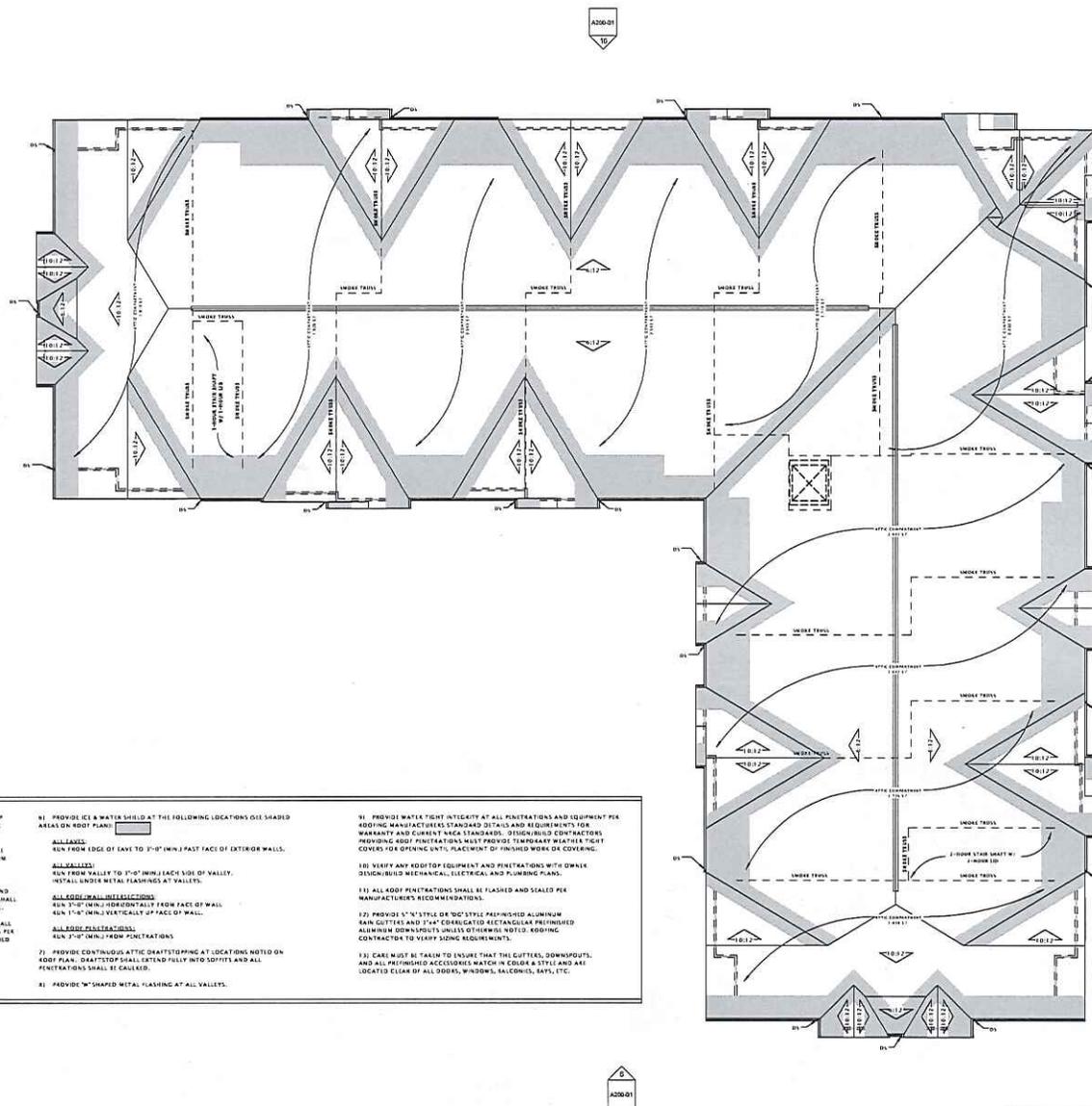
ENLARGED UNIT SHEET LISTING	
SHEET	PLAN TYPES
A101	01, A1.1, A1.1M, A2
A102	01, B1.1, B1.2
A103	01, B1.1M, B1.2M
A104	01, B1.1A, B1.1A
A105	02, C2.1, C2.1M
A106	03, C3.1, C3.1M, C3.1M
A107	01, D1.1, D1.1M, D1.1M, D1.1M
A108	01, D1.1M, D1.1M, D1.1M, D1.1M
A109	02, D2.1, D2.1M, D2.1M
A110	01, E1.1, E1.1M, E1.1M

WINDOW NOTES:

- ALL WINDOWS AND PARTS SHALL BE VINYL WINDOW. SEE SPECIFICATIONS FOR MORE INFORMATION.
- WINDOW SHALL BE BURNING - GENERAL CONTRACTOR TO VERIFY ALL WINDOW OPENINGS WITH MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR MAY PROVIDE ALTERNATE WINDOW MANUFACTURER WITH OWNER AND ARCHITECT APPROVAL. ALL ALTERNATE WINDOWS MUST EQUAL SPECIFIED WINDOW IN QUALITY, PERFORMANCE, AND APPEARANCE.
- FINISH ALL SILL AT THE FOLLOWING LOCATIONS:
 - UNIT 310 THROUGH UNIT 319
 - UNIT 322 THROUGH UNIT 329
 - UNIT 330 THROUGH UNIT 331

17 BUILDING 'B1' - THIRD FLOOR PLAN
3/32" = 1'-0"

SCALE: REFER TO B1 FIRST FLOOR PLAN FOR UNIT LOCATIONS AND UNIT TYPES.



- ROOF NOTES**
- 1) ROOF SHALL BE **ADD-01** UNLESS NOTED OTHERWISE. TOP CORNER OF FLASHING SHALL BE PITCHED AS INDICATED ON ROOF PLAN. SEE ROOF ASSEMBLY SHEET FOR DETAILED INFORMATION.
 - 2) AT CANYON ROOF AREAS PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF SUBSTRATE TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS/SCUPPIER DRAINING.
 - 3) ROOF DRAINS/SCUPPIERS ARE SHOWN FOR INTENT ONLY. PLUMBING DESIGN/BUILD CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
 - 4) ROOF SLOPE SHOWN ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL PROVIDE INTAKE & EXHAUST ROOF VENTS TO PROVIDE 1 S.F. OF VENT AREA PER 300 S.F. OF ATTIC AREA PER ATTIC COMPARTMENT. DOWNLIES DESIGN/BUILD MECHANICAL CONTRACTOR SHALL PROVIDE CALCULATIONS SHOWING FINAL VENTILATION PLAN PRIOR TO INSTALLATION.
 - 5) OVERHANGS SHALL BE AS SHOWN ON ROOF PLAN.
 - 6) PROVIDE 1/2" SHAPED METAL FLASHING AT ALL VALLEYS.
 - 7) PROVIDE CONTINUOUS ATTIC DRAFTSTOPPING AT LOCATIONS NOTED ON ROOF PLAN. DRAFTSTOP SHALL EXTEND FULLY INTO SOFFITS AND ALL PENETRATIONS SHALL BE CALLED.
 - 8) PROVIDE ICE & WATER SHIELD AT THE FOLLOWING LOCATIONS OR SHARED AREAS ON ROOF PLAN:
 - ALL VALLEYS
 - RUN FROM EDGE OF TAPE TO 3"-8" (MIN.) PAST FACE OF EXTERIOR WALLS.
 - ALL VALLEYS
 - RUN FROM VALLEY TO 3"-8" (MIN.) EACH SIDE OF VALLEY.
 - INSTALL UNDER METAL FLASHINGS AT VALLEYS.
 - ALL ROOF/WALL PENETRATIONS
 - RUN 3"-8" (MIN.) HORIZONTALLY FROM FACE OF WALL
 - RUN 1"-8" (MIN.) VERTICALLY UP FACE OF WALL.
 - ALL ROOF PENETRATIONS
 - RUN 3"-8" (MIN.) FROM PENETRATIONS
 - 9) PROVIDE WATER TIGHT ATTICITY AT ALL PENETRATIONS AND EQUIPMENT PER ADDING MANUFACTURER'S STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT WAKE STANDARDS. DESIGN/BUILD CONTRACTORS PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATHER TIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED WORK OR COVERING.
 - 10) VERIFY ANY ROOF TOP EQUIPMENT AND PENETRATIONS WITH OWNER DESIGN/BUILD MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
 - 11) ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MANUFACTURER'S RECOMMENDATIONS.
 - 12) PROVIDE 5" X 1" STYLE OR 2" X 2" STYLE PAINT-FINISHED ALUMINUM RAIN GUTTERS AND 1/4" CORRUGATED TRIANGULAR FINISHED ALUMINUM DOWNSPOUTS UNLESS OTHERWISE NOTED. ROOFING CONTRACTOR TO VERIFY SLOPE REQUIREMENTS.
 - 13) CARE MUST BE TAKEN TO INSURE THAT THE CUTTERS, DOWNPOUTS, AND ALL FINISHED ACCESSORIES MATCH IN COLOR & STYLE AND ARE LOCATED CLEAN OF ALL DOORS, WINDOWS, BALCONIES, RAYS, ETC.

17 BUILDING 'B1' - ROOF PLAN
3/32" = 1'-0"

WALL FLASHING TO BE FULLY SPINNED PER (SIP) SECTION 1.1.4.4.4.4.4.



15 SOUTH ELEVATION - B1
1/8" = 1'-0"



16 NORTH ELEVATION - B1
1/8" = 1'-0"



6 EAST ELEVATION - B1
1/8" = 1'-0"



16 WEST ELEVATION - B1
1/8" = 1'-0"



ELAN RESIDENTIAL DEVELOPMENT
Fitchrona & Lacy Rd. Fitchburg, Wisconsin

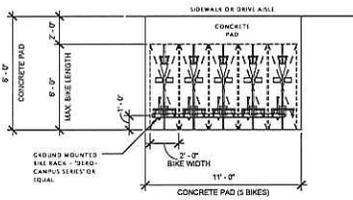


SIP – AMENDMENT

BUILDING: B2

JLA PROJECT NUMBER: 14-0515

SEPTEMBER 9, 2015

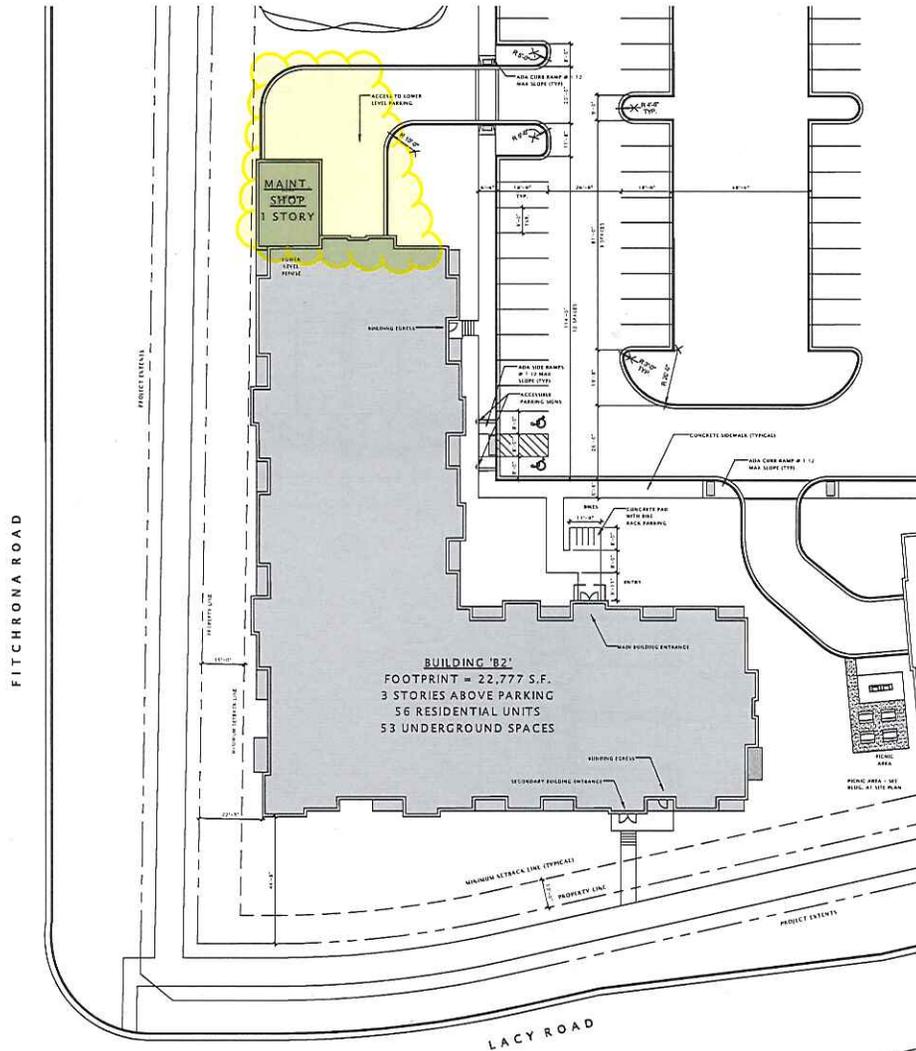


○ EXTERIOR BIKE PARKING
1/4" = 1'-0"



EXAMPLE OF THE STREET BIKE RACK TO BE LOCATED AT THE EXTENSION OF EACH BUILDING SIDE SET PLANS FOR LOCATION.

○ EXTERIOR BIKE RACK STYLE
1/8" = 1'-0"



17 ARCHITECTURAL SITE PLAN - 'B2' BLDG
1" = 20'-0"



JLA
JOSEPH, LEE & ASSOCIATES

2418 CROSSROADS DRIVE, SUITE 2300
MADISON, WI 53704-3224
608.261.5500

BA PROJECT NUMBER: 14-0515

Fiducia
REAL ESTATE DEVELOPMENT

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SIP - AMENDMENT

ELAN
APARTMENTS

ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: SEPTEMBER 9, 2015

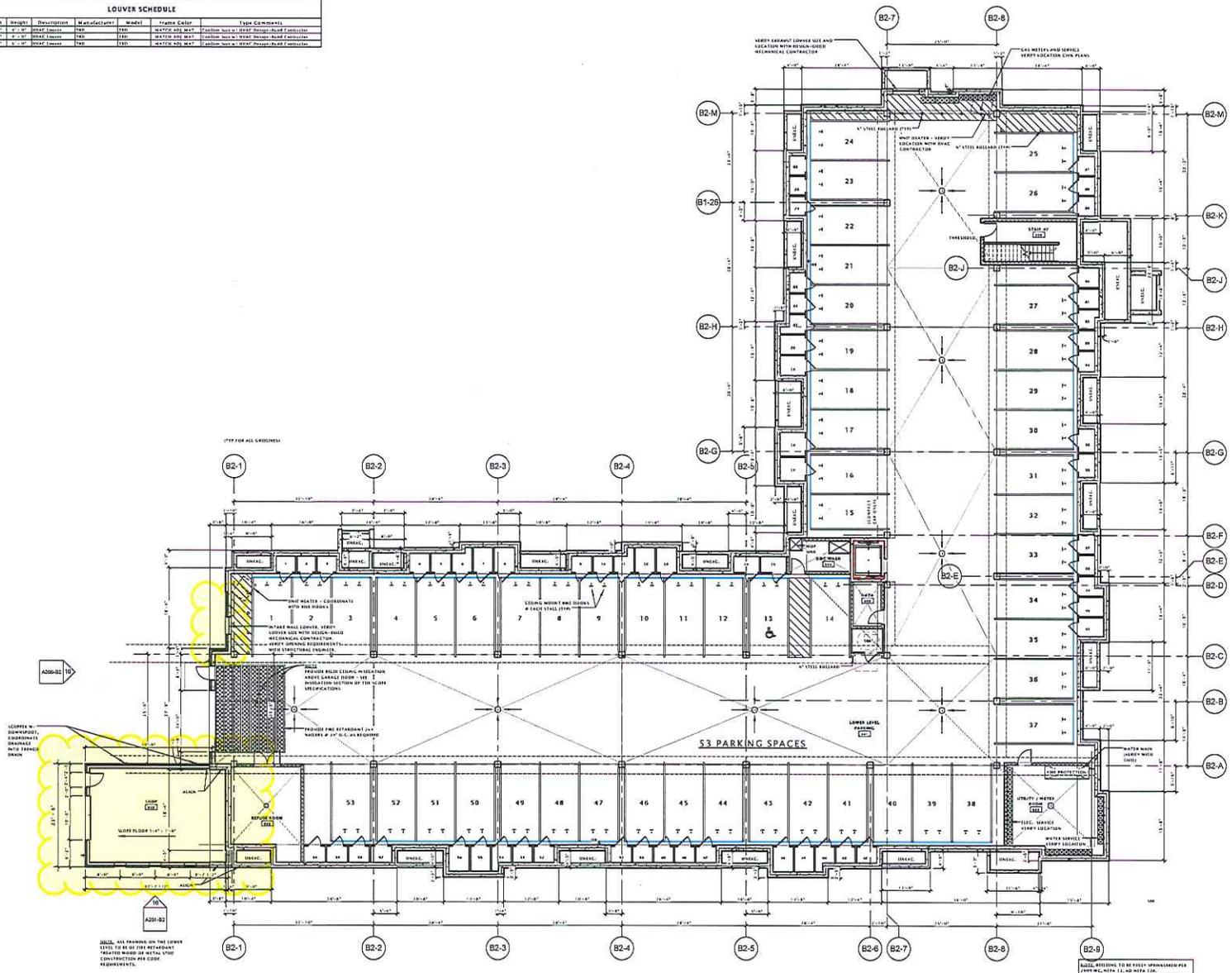
SHEET TITLE

ARCHITECTURAL SITE PLAN - BUILDING 'B2'

SHEET NUMBER

ASP101-B2

LOUVER SCHEDULE						
Max.	Width	Height	Description	Manufacturer	Model	Type Comments
12"	4" x 36"	4" x 36"	INTEGRAL Louver	TRU	462726 AND 46271	Factory Spec w/ INTRAC Design-Point Construction
12"	4" x 36"	4" x 36"	INTEGRAL Louver	TRU	462726 AND 46271	Factory Spec w/ INTRAC Design-Point Construction
12"	4" x 36"	4" x 36"	INTEGRAL Louver	TRU	462726 AND 46271	Factory Spec w/ INTRAC Design-Point Construction



17 BUILDING 'B2' - LOWER LEVEL PLAN
3/22 = 1/4"

LA PROJECT NUMBER 14-0553



FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SIP - AMENDMENT



ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS
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DATE OF ISSUANCE SEPTEMBER 9, 2015

SHEET TITLE
BUILDING 'B2' LOWER LEVEL PLAN

SHEET NUMBER
A100-B2

WINDOW SCHEDULE											
Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	U-Factor	SHGC	AVG	AVG	Type Comments
1	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
2	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
3	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
4	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
5	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
6	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
7	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
8	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
9	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
10	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
11	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
12	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
13	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
14	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
15	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
16	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
17	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
18	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
19	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown
20	4'-0"	4'-0"	Large Single Hung - Casement	Polysar Windows and Doors	1100-100	White	0.31	0.29	12.0	0.33	Load Bearing As Shown

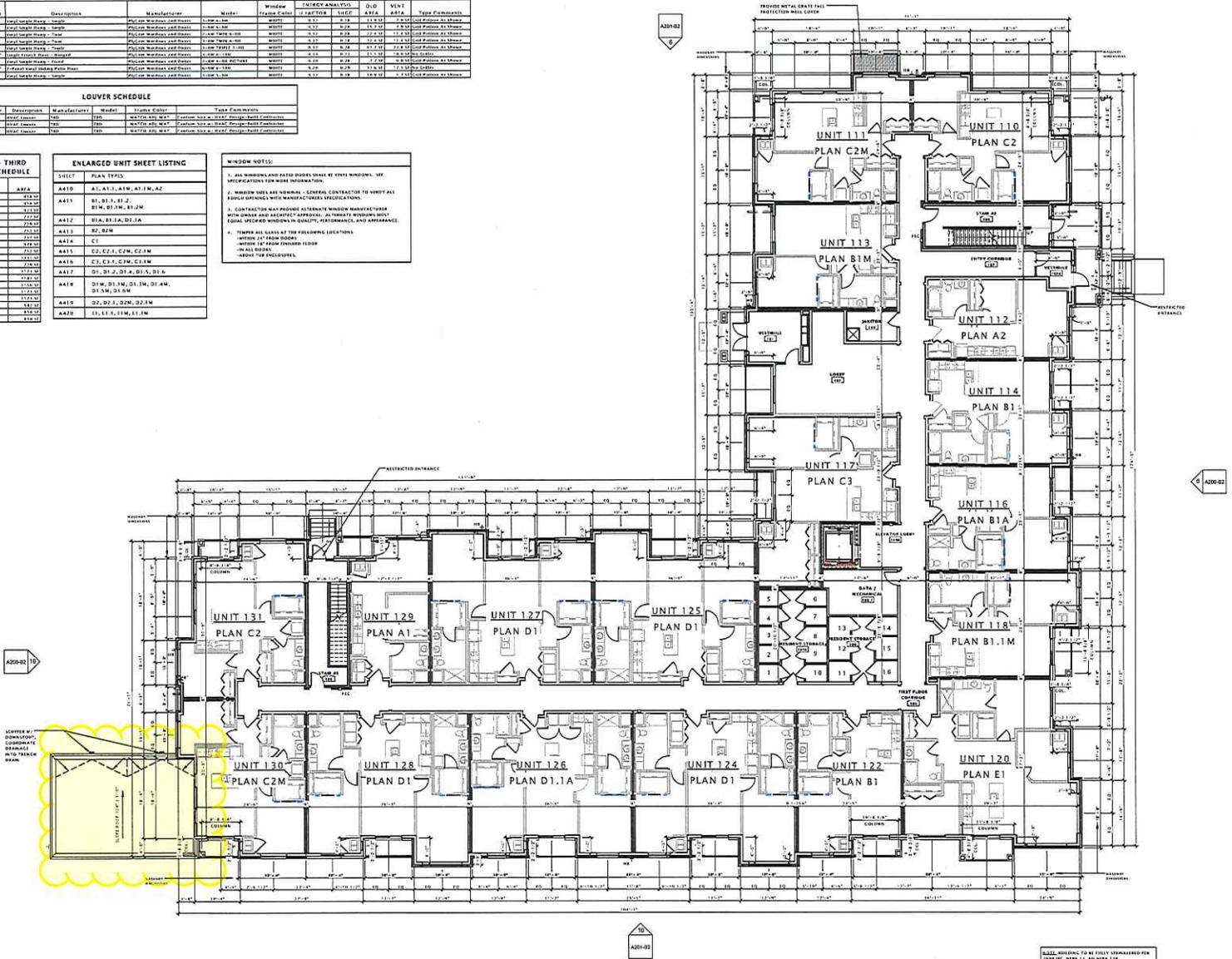
LOUVER SCHEDULE											
Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Type Comments				
1	4'-0"	4'-0"	Large Louver	Polysar Windows and Doors	1100-100	White	Polysar Louver Design-Build Comments				
2	4'-0"	4'-0"	Large Louver	Polysar Windows and Doors	1100-100	White	Polysar Louver Design-Build Comments				

BUILDING 'B2' - THIRD FLOOR UNIT SCHEDULE			
UNIT	PLAN TYPE	AREA	SHEET
110	PLAN C2M	410.00	A410
111	PLAN C2M	410.00	A411
112	PLAN C2M	410.00	A412
113	PLAN C2M	410.00	A413
114	PLAN C2M	410.00	A414
115	PLAN C2M	410.00	A415
116	PLAN C2M	410.00	A416
117	PLAN C2M	410.00	A417
118	PLAN C2M	410.00	A418
119	PLAN C2M	410.00	A419
120	PLAN C2M	410.00	A420

ENLARGED UNIT SHEET LISTING	
SHEET	PLAN TYPE
A410	A1, A1.1, A1.1M, A1.1M.1, A2
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.2M
A412	B1A, B1.1A, B1.1A
A413	B2, B2M
A414	C1
A415	C2, C2.1, C2M, C2.1M
A416	C3, C3.1, C3M, C3.1M
A417	D1, D1.1, D1.1M, D1.1M.1
A418	D1M, D1.1M, D1.1M, D1.1M.1, D1.1M.1M, D1.1M
A419	D2, D2.1, D2M, D2.1M
A420	E1, E1.1, E1.1M, E1.1M

WINDOW NOTES:

- ALL WINDOWS AND DOOR SIZES SHALL BE FROM WINDOWS, NOT SPECIFICATIONS FOR MORE INFORMATION.
- WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL SIZES OFFERS WITH MANUFACTURER SPECIFICATIONS.
- CONTRACTOR MAY PROVIDE ALTERNATE WINDOW MANUFACTURER WITH QUALITY AND ACCEPTABLE APPEARANCE. ALTERNATE WINDOWS MUST EQUAL SPECIFIED WINDOWS IN QUALITY, PERFORMANCE, AND APPEARANCE.
- REMOVE ALL GLASS AT THE FOLLOWING LOCATIONS:
 - UNIT 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120
 - UNITS BY NEW PROVIDER FLOOR (ALL UNITS)
 - BEYOND THE FOLLOWING:



BUILDING 'B1' - FIRST FLOOR PLAN
3/32" = 1'-0"

ALL BUILDING TO BE FULLY SPRINKLERED PER 2006 IBC, WITH 1.5" AN-SPR 124

PROJECT NUMBER: 18-0511

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SIP - AMENDMENT

ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS
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DATE OF ISSUANCE: SEPTEMBER 9, 2015

REVISION SCHEDULE		
Mark	Date/Author	Describe
1	Construction Review by R. King, JLD	09/02/2015
2	Construction Review by R. King, JLD	09/02/2015

SHEET TITLE
BUILDING 'B1' - FIRST FLOOR PLAN

SHEET NUMBER
A101-B2

WINDOW SCHEDULE										
Width	Height	Description	Manufacturer	Model	Window Frame Color	INTEC ANALYSIS		UIC	VINT	Type Comments
						B FACTOR	EDGE	AREA	AREA	
4'-0"	4'-0"	Fixed Single Glaze - Horizontal	Polycam Windows Ltd. (Pawnee)	1-10W-1-000	White	0.12	0.12	12.00	12.00	Fixed Single Glaze as Shown
4'-0"	4'-0"	Fixed Single Glaze - Vertical	Polycam Windows Ltd. (Pawnee)	1-10W-1-000	White	0.12	0.12	12.00	12.00	Fixed Single Glaze as Shown
4'-0"	4'-0"	Fixed Single Glaze - Top	Polycam Windows Ltd. (Pawnee)	1-10W-1-000	White	0.12	0.12	12.00	12.00	Fixed Single Glaze as Shown
4'-0"	4'-0"	Fixed Single Glaze - Bottom	Polycam Windows Ltd. (Pawnee)	1-10W-1-000	White	0.12	0.12	12.00	12.00	Fixed Single Glaze as Shown
4'-0"	4'-0"	Fixed Single Glaze - Side	Polycam Windows Ltd. (Pawnee)	1-10W-1-000	White	0.12	0.12	12.00	12.00	Fixed Single Glaze as Shown
4'-0"	4'-0"	Fixed Single Glaze - Corner	Polycam Windows Ltd. (Pawnee)	1-10W-1-000	White	0.12	0.12	12.00	12.00	Fixed Single Glaze as Shown
4'-0"	4'-0"	Fixed Single Glaze - Diagonal	Polycam Windows Ltd. (Pawnee)	1-10W-1-000	White	0.12	0.12	12.00	12.00	Fixed Single Glaze as Shown
4'-0"	4'-0"	Fixed Single Glaze - Staircase	Polycam Windows Ltd. (Pawnee)	1-10W-1-000	White	0.12	0.12	12.00	12.00	Fixed Single Glaze as Shown
4'-0"	4'-0"	Fixed Single Glaze - Staircase	Polycam Windows Ltd. (Pawnee)	1-10W-1-000	White	0.12	0.12	12.00	12.00	Fixed Single Glaze as Shown

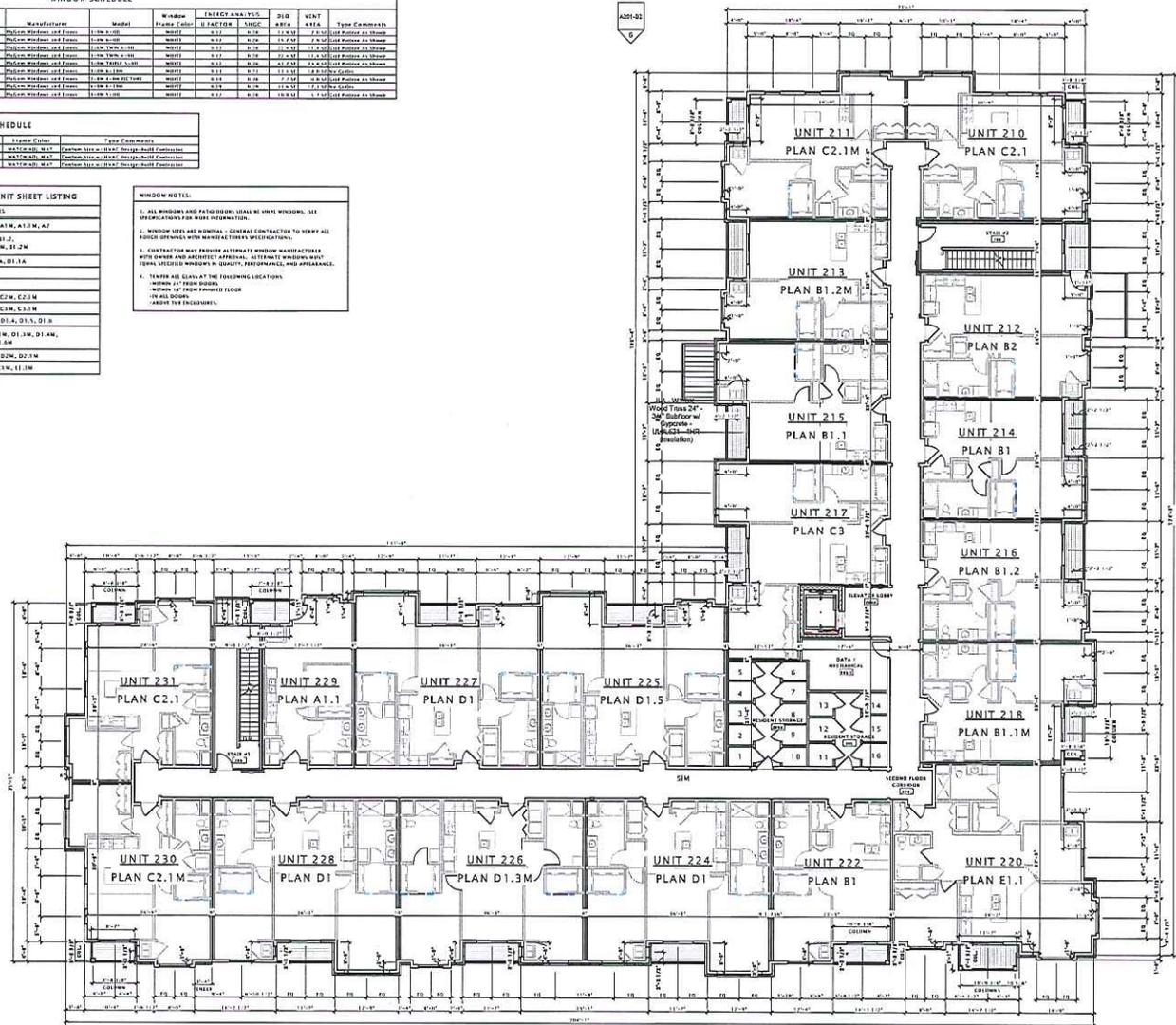
LOUVER SCHEDULE						
Width	Height	Description	Manufacturer	Model	Color	Finish
4'-0"	4'-0"	Fixed Louver	Polycam Windows Ltd. (Pawnee)	1-10W-1-000	White	Polycam Windows Ltd. (Pawnee)
4'-0"	4'-0"	Fixed Louver	Polycam Windows Ltd. (Pawnee)	1-10W-1-000	White	Polycam Windows Ltd. (Pawnee)
4'-0"	4'-0"	Fixed Louver	Polycam Windows Ltd. (Pawnee)	1-10W-1-000	White	Polycam Windows Ltd. (Pawnee)

BUILDING 'B2' - THIRD FLOOR UNIT SCHEDULE		
UNIT NO.	PLAN TYPE	AREA
A10	PLAN C2.1M	233.47
A11	PLAN C2.1M	233.47
A12	PLAN B2	233.47
A13	PLAN B2	233.47
A14	PLAN B2	233.47
A15	PLAN B2	233.47
A16	PLAN B2	233.47
A17	PLAN B2	233.47
A18	PLAN B2	233.47
A19	PLAN B2	233.47
A20	PLAN B2	233.47

ENLARGED UNIT SHEET LISTING		
SHEET	PLAN TYPE	AREA
A410	A1, A1.1, A1.W, A1.1.W, A1.2	
A411	B1, B1.1, B1.2, B1.W, B1.1.W, B1.2.W	
A412	B1.3, B1.3.W, B1.3.W	
A413	B2, B2.W	
A414	C1	
A415	C2, C2.1, C2.W, C2.1.W	
A416	C3, C3.1, C3.W, C3.1.W	
A417	D1, D1.1, D1.2, D1.3, D1.3.W, D1.4, D1.4.W, D1.4.W	
A418	D1.W, D1.1.W, D1.1.W, D1.4.W, D1.4.W, D1.4.W	
A419	D2, D2.1, D2.W, D2.1.W	
A420	E1, E1.1, E1.W, E1.1.W	

WINDOW NOTES:

- ALL WINDOWS AND PATIO DOORS SHALL BE VINYL WINDOWS. SEE SPECIFICATIONS FOR MORE INFORMATION.
- WINDOWS MUST BE OPERABLE. GENERAL CONTRACTOR TO VERIFY ALL FINISH OPERABLES WITH MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR MAY PROVIDE ALTERNATE WINDOW MANUFACTURERS WITH EQUAL OR BETTER OPERABLE, APPEARANCE, AND PERFORMANCE. TERMS LISTED WINDOW IN QUALITY, PERFORMANCE, AND APPEARANCE.
- THRESHOLD SHALL BE AT THE FINISHING LEVELS WITHIN 1" FROM DOOR BOTTOM OF EACH WINDOW FRAME - IN ALL DOORS - (SEE FINISH SCHEDULES).



17 BUILDING 'B1' - SECOND FLOOR PLAN
3/22" = 1/4"

ALL WINDOW TO BE FULLY OPERABLE PER
UPPER LEVEL, NPA, 1.1, AND NPA 1.2.



JOSEPH LEE & ASSOCIATES
2014 REGISTERED OFFICE: 10011 207th
AVENUE, SUITE 100, BURNABY, BC V5A 4E9
B.A. PROJECT NUMBER: 14-0515

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SIP - AMENDMENT

ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change, including add/omit items. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE		SEPTEMBER 9, 2015	
REVISION SCHEDULE			
Rev.	Description	Date	
1	Construction Schedule (1.1, 1.2, 1.3, 1.4)	12/14/2015	

SHEET TITLE
BUILDING 'B2' SECOND FLOOR PLAN

SHEET NUMBER
A102-B2

WINDOW SCHEDULE											
Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS U-FACTOR	SIGC	SHG	SHGC	TYPE COMMENTS
A	1'-0"	3'-0"	Small Single Hung - Right	Pella Windows and Doors	1-100 4-100	White	0.18	0.18	13.0	0.40	Use Pella 40 Series
A	1'-0"	3'-0"	Small Single Hung - Left	Pella Windows and Doors	1-100 4-100	White	0.18	0.18	13.0	0.40	Use Pella 40 Series
A	1'-0"	3'-0"	Small Single Hung - Right	Pella Windows and Doors	1-100 4-100	White	0.18	0.18	13.0	0.40	Use Pella 40 Series
A	1'-0"	3'-0"	Small Single Hung - Left	Pella Windows and Doors	1-100 4-100	White	0.18	0.18	13.0	0.40	Use Pella 40 Series
A	1'-0"	3'-0"	Small Single Hung - Right	Pella Windows and Doors	1-100 4-100	White	0.18	0.18	13.0	0.40	Use Pella 40 Series
A	1'-0"	3'-0"	Small Single Hung - Left	Pella Windows and Doors	1-100 4-100	White	0.18	0.18	13.0	0.40	Use Pella 40 Series
A	1'-0"	3'-0"	Small Single Hung - Right	Pella Windows and Doors	1-100 4-100	White	0.18	0.18	13.0	0.40	Use Pella 40 Series
A	1'-0"	3'-0"	Small Single Hung - Left	Pella Windows and Doors	1-100 4-100	White	0.18	0.18	13.0	0.40	Use Pella 40 Series
A	1'-0"	3'-0"	Small Single Hung - Right	Pella Windows and Doors	1-100 4-100	White	0.18	0.18	13.0	0.40	Use Pella 40 Series
A	1'-0"	3'-0"	Small Single Hung - Left	Pella Windows and Doors	1-100 4-100	White	0.18	0.18	13.0	0.40	Use Pella 40 Series
A	1'-0"	3'-0"	Small Single Hung - Right	Pella Windows and Doors	1-100 4-100	White	0.18	0.18	13.0	0.40	Use Pella 40 Series

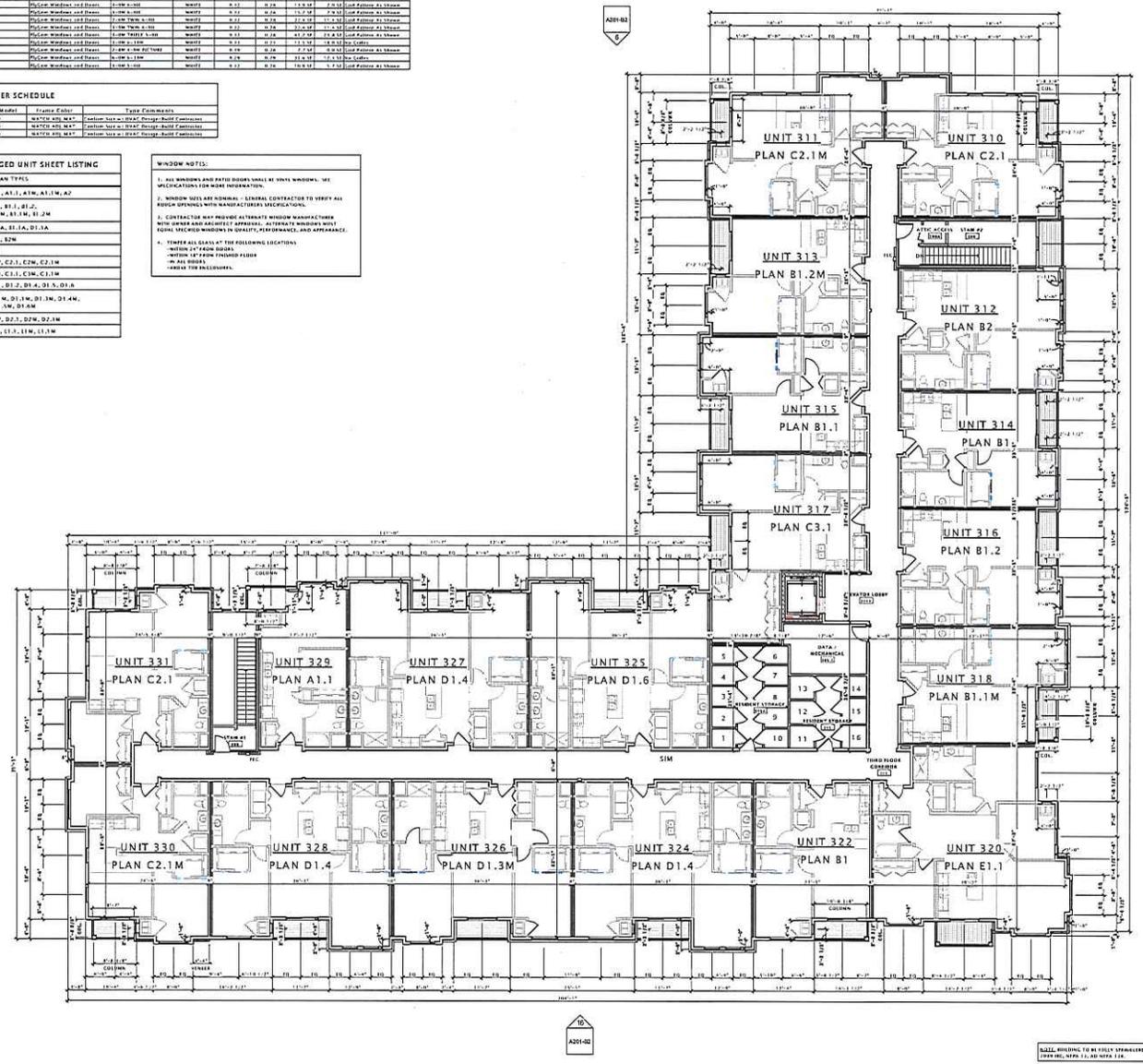
LOUVER SCHEDULE										
Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Type	Comments		
L1	1'-0"	3'-0"	Fixed Louver	TPO	3000 400 100	White	Fixed Louver	Use TPO 3000 Series		
L2	1'-0"	3'-0"	Fixed Louver	TPO	3000 400 100	White	Fixed Louver	Use TPO 3000 Series		

BUILDING B2 - THIRD FLOOR UNIT SCHEDULE			
UNIT NO.	PLAN TYPE	AREA	COMMENTS
311	PLAN C2.1M	833.00	
312	PLAN B1.2M	833.00	
313	PLAN B1.2M	833.00	
314	PLAN B1.2M	833.00	
315	PLAN B1.2M	833.00	
316	PLAN B1.2M	833.00	
317	PLAN B1.2M	833.00	
318	PLAN B1.2M	833.00	
319	PLAN B1.2M	833.00	
320	PLAN B1.2M	833.00	
321	PLAN B1.2M	833.00	
322	PLAN B1.2M	833.00	
323	PLAN B1.2M	833.00	
324	PLAN B1.2M	833.00	
325	PLAN B1.2M	833.00	
326	PLAN B1.2M	833.00	
327	PLAN B1.2M	833.00	
328	PLAN B1.2M	833.00	
329	PLAN B1.2M	833.00	
330	PLAN B1.2M	833.00	
331	PLAN B1.2M	833.00	
332	PLAN B1.2M	833.00	
333	PLAN B1.2M	833.00	
334	PLAN B1.2M	833.00	
335	PLAN B1.2M	833.00	
336	PLAN B1.2M	833.00	
337	PLAN B1.2M	833.00	
338	PLAN B1.2M	833.00	
339	PLAN B1.2M	833.00	
340	PLAN B1.2M	833.00	
341	PLAN B1.2M	833.00	
342	PLAN B1.2M	833.00	
343	PLAN B1.2M	833.00	
344	PLAN B1.2M	833.00	
345	PLAN B1.2M	833.00	
346	PLAN B1.2M	833.00	
347	PLAN B1.2M	833.00	
348	PLAN B1.2M	833.00	
349	PLAN B1.2M	833.00	
350	PLAN B1.2M	833.00	
351	PLAN B1.2M	833.00	
352	PLAN B1.2M	833.00	
353	PLAN B1.2M	833.00	
354	PLAN B1.2M	833.00	
355	PLAN B1.2M	833.00	
356	PLAN B1.2M	833.00	
357	PLAN B1.2M	833.00	
358	PLAN B1.2M	833.00	
359	PLAN B1.2M	833.00	
360	PLAN B1.2M	833.00	
361	PLAN B1.2M	833.00	
362	PLAN B1.2M	833.00	
363	PLAN B1.2M	833.00	
364	PLAN B1.2M	833.00	
365	PLAN B1.2M	833.00	
366	PLAN B1.2M	833.00	
367	PLAN B1.2M	833.00	
368	PLAN B1.2M	833.00	
369	PLAN B1.2M	833.00	
370	PLAN B1.2M	833.00	
371	PLAN B1.2M	833.00	
372	PLAN B1.2M	833.00	
373	PLAN B1.2M	833.00	
374	PLAN B1.2M	833.00	
375	PLAN B1.2M	833.00	
376	PLAN B1.2M	833.00	
377	PLAN B1.2M	833.00	
378	PLAN B1.2M	833.00	
379	PLAN B1.2M	833.00	
380	PLAN B1.2M	833.00	
381	PLAN B1.2M	833.00	
382	PLAN B1.2M	833.00	
383	PLAN B1.2M	833.00	
384	PLAN B1.2M	833.00	
385	PLAN B1.2M	833.00	
386	PLAN B1.2M	833.00	
387	PLAN B1.2M	833.00	
388	PLAN B1.2M	833.00	
389	PLAN B1.2M	833.00	
390	PLAN B1.2M	833.00	
391	PLAN B1.2M	833.00	
392	PLAN B1.2M	833.00	
393	PLAN B1.2M	833.00	
394	PLAN B1.2M	833.00	
395	PLAN B1.2M	833.00	
396	PLAN B1.2M	833.00	
397	PLAN B1.2M	833.00	
398	PLAN B1.2M	833.00	
399	PLAN B1.2M	833.00	
400	PLAN B1.2M	833.00	

ENLARGED UNIT SHEET LISTING	
SHEET	PLAN TYPE
A410	A1, A1.1, A1M, A1.1M, A2
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.2M
A412	B1A, B1.1A, B1.1A
A413	B2, B2M
A414	C1
A415	C2, C2.1, C2M, C2.1M
A416	C3, C3.1, C3M, C3.1M
A417	D1, D1.1, D1.4, D1.5, D1A, D1.1M, D1.1M, D1.4M, D1.4M, D1.4M
A418	D1A, D1.1M, D1.1M, D1.4M, D1.4M, D1.4M
A419	D2, D2.1, D2M, D2.1M
A420	E1, E1.1, E1M, E1.1M

WINDOW NOTES:

- ALL WINDOWS AND PATIO DOORS SHALL BE DOUBLE GLAZED. SEE SPECIFICATIONS FOR MORE INFORMATION.
- WINDOW SIZES ARE NOMINAL. GENERAL CONTRACTOR TO VERIFY ALL FINISH OPENINGS WITH MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR MAY PROVIDE ALTERNATE WINDOW MANUFACTURER WITH OWNER AND ARCHITECT'S APPROVAL. ALTERNATE WINDOWS MUST EQUAL SPECIFIED WINDOWS IN QUALITY, PERFORMANCE, AND APPEARANCE.
- FINISH ALL GRILLS AT THE FOLLOWING LOCATIONS:
- INTERIOR OF FRONT PORCHES
- IN ALL ROOMS
- MARKED ON THIS DRAWING.

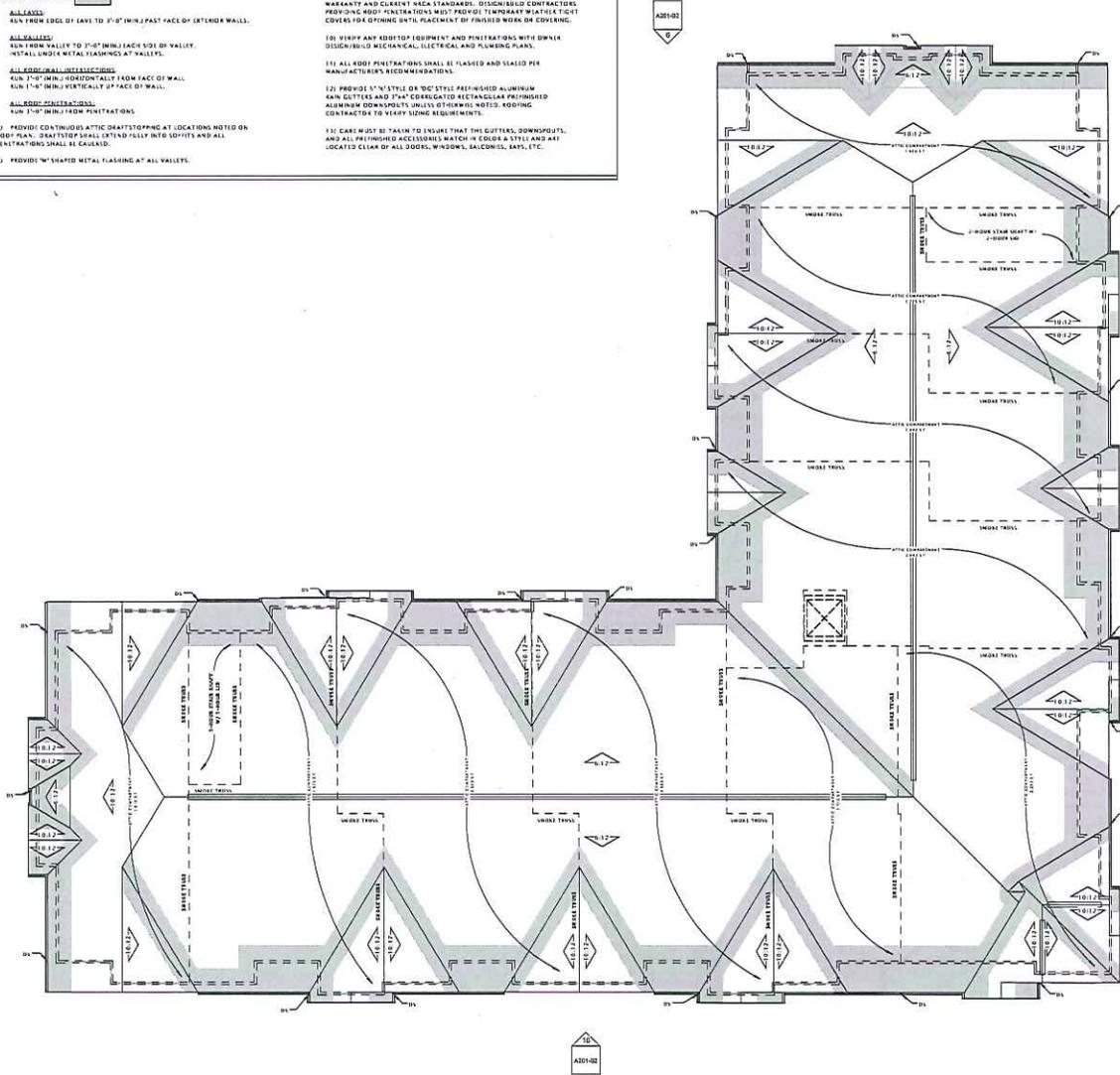


17 BUILDING 'B1' - THIRD FLOOR PLAN
3/32" = 1'-0"

SCALE: BUILDING TO BE FULLY SPECIFIED PER
DRAWING NOTES TO WHICH REFER.

ROOF NOTES

- 1) ROOF SHALL BE **ASSEMBLED** UNLESS NOTED OTHERWISE. TOP SIDING OF TRUSS SHALL BE PROVIDED AS NOTED ON ROOF PLAN. SEE ROOF ASSEMBLY SHEET FOR DETAILED INFORMATION.
- 2) AT CANTY ROOF AREAS: PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF SUBSTRATE TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS/SCUPPAs (SINGLES).
- 3) ROOF DRAINS/SCUPPAs ARE SHOWN FOR INTENT ONLY. PLUMBING DESIGNER/MECHANICAL CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE AND LOCATION OF ROOF DRAINS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
- 4) RIDGE VENTS SHOWN ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL PROVIDE FINAL RIGID ROOF VENTS TO PROVIDE 1.5% OF VENT AREA PER 100 SQ. FT. ATTIC AREA PER ATTC COMPARTMENT. OWNER'S DESIGNER/MECHANICAL CONTRACTOR SHALL PROVIDE CALCULATIONS SHOWING FINAL VENTILATION PLAN PRIOR TO INSTALLATION.
- 5) OVERHANGS SHALL BE AS SHOWN ON ROOF PLAN.
- 6) PROVIDE ICE & WATER SHIELD AT THE FOLLOWING LOCATIONS DUE TO SHADY AREAS ON ROOF PLAN:
 - ALL EAVES**
 - 6" FROM EDGE OF EAVE TO 3'-0" (MIN.) PAST FACE OF EXTERIOR WALLS.
 - ALL VALLEYS**
 - 6" FROM VALLEY TO 3'-0" (MIN.) EACH SIDE OF VALLEY.
 - INSTALL UNDER METAL FLASHINGS AT VALLEYS.
 - ALL GENERAL PENETRATIONS**
 - 6" FROM 3'-0" (MIN.) HORIZONTAL FROM FACE OF WALL
 - 6" FROM 1'-0" (MIN.) VERTICALLY UP FACE OF WALL.
 - ALL ROOF PENETRATIONS**
 - 6" FROM 3'-0" (MIN.) FROM PENETRATIONS
- 7) PROVIDE CONTINUOUS ATTC CHAFT STOPPING AT LOCATIONS NOTED ON ROOF PLAN. CHAFT STOP SHALL BE 1/2" RISE INTO GUTTER AND ALL PENETRATIONS SHALL BE CAULKED.
- 8) PROVIDE "W" SHAPED METAL FLASHING AT ALL VALLEYS.
- 9) PROVIDE WATER TIGHT "INTERLOCK" AT ALL PENETRATIONS AND EQUIPMENT FOR RISING. MANUFACTURER'S STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT MECA STANDARDS. DESIGNER/MECHANICAL CONTRACTOR PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WATER TIGHT COVERIES FOR OPENING UNTIL PLACEMENT OF FINISHED WORK OR COVERING.
- 10) VERIFY ANY ADDITOP (EQUIPMENT AND PENETRATIONS WITH OWNER DESIGNER/MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
- 11) ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MANUFACTURER'S RECOMMENDATIONS.
- 12) PROVIDE 5" x 8" STYLE OR 6" x 6" STYLE PREFINISHED ALUMINUM RAIN GUTTERS AND 7" x 4" CORRUGATED RECTANGULAR PREFINISHED ALUMINUM DOWNSPUTS UNLESS OTHERWISE NOTED. ROOFING CONTRACTOR TO VERIFY SIZING REQUIREMENTS.
- 13) CARE MUST BE TAKEN TO INSURE THAT THE GUTTERS, DOWNSPUTS, AND ALL PERIPHERAL ACCESSORIES MATCH IN COLOR & STYLE AND ARE LOCATED CLEAR OF ALL DOORS, WINDOWS, BALCONIES, ETC.



17 BUILDING 'B2' - ROOF PLAN
3/32" = 1'-0"

BASED BUILDING TO BE FULLY UNFURNISHED PER PERMITS WITH JLA ARCHITECTURE, LLC.

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional details. There are no final construction documents and those will be used for final building or construction-related purposes.

DATE OF ISSUANCE: SEPTEMBER 9, 2015

SHEET TITLE

EXTERIOR ELEVATIONS
'B2' BUILDING

SHEET NUMBER

A201-B2



18 EAST ELEVATION - B2
3/32" = 1'-0"

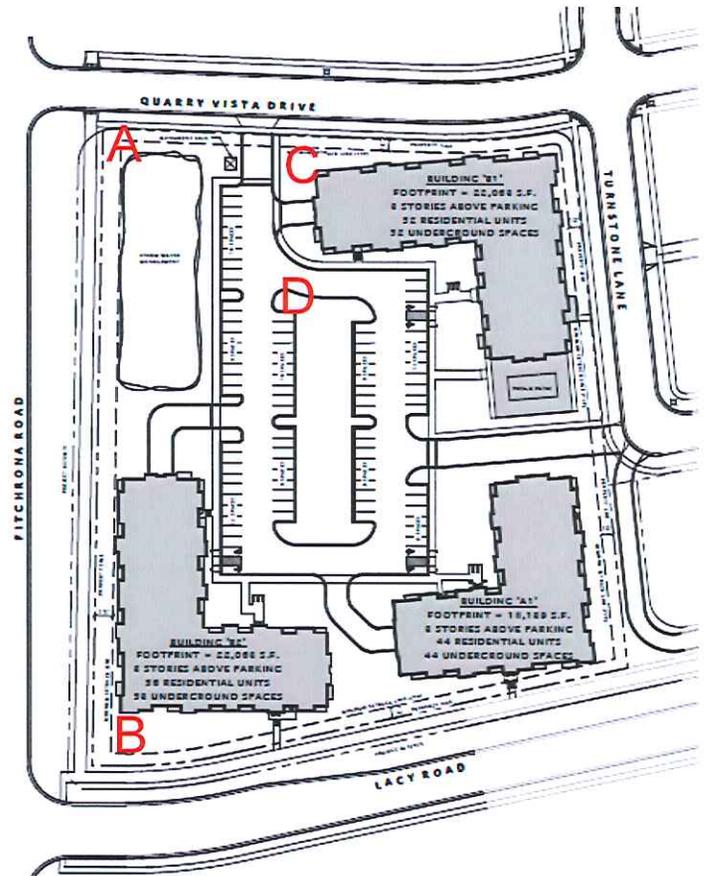


19 WEST ELEVATION - B2
3/32" = 1'-0"

APPENDIX 'D'
SIGN PROGRAM

APRIL 21, 2015 – Amended May 6, 2015; September 22, 2015

ELAN
apartments



ELAN APARTMENTS - FITCHBURG, WI

Location : A & B



Scale 1"=1'-0"
 (2) 4'h x 8'w x 1/2" MDO Plywood Now Leasing Signs Rev1
 Digital printed on vinyl applied to boards
 Installed on 4x4 posts.



Customer ELAN APARTMENTS
 Street
 City FITCHBURG, WI

Date: 4.17.15
 Acct. Rep. James Miller

Designer: JEM
 Drawing No. Leasing sign41715
 Revision 1
 Scale:

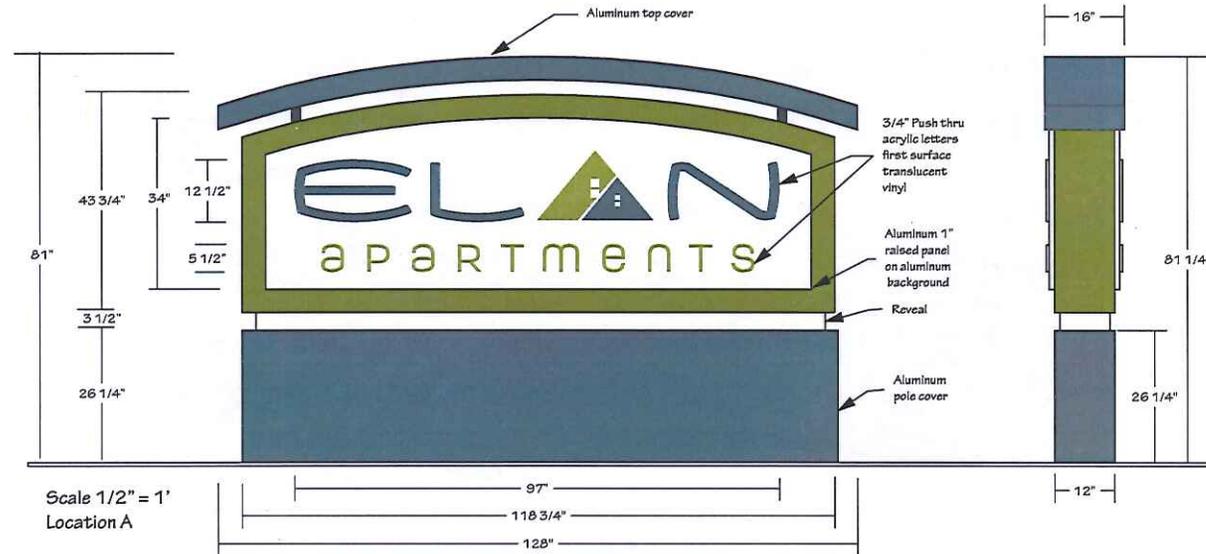
Client Approval
 Signature:
 Print:
 Date:

Landlord Approval
 Signature:
 Print:
 Date:

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Elan Apartments



Scale 1/2" = 1'
Location A

Double Faced Internal illumination with white LED
Sign SqFt = 72

Monument sign

- MAP Satin White
- MAP paint match PMS 582C
- MAP paint match PMS 431C



Customer Fiduciary_ Elan
Street Fitchburg, WI

Date: 4.20.15
Acct. Rep. James Miller

Designer: M Studnicka
Drawing No. Elan Sign A
Revision Scale:

Client Approval
Signature:
Print:
Date:

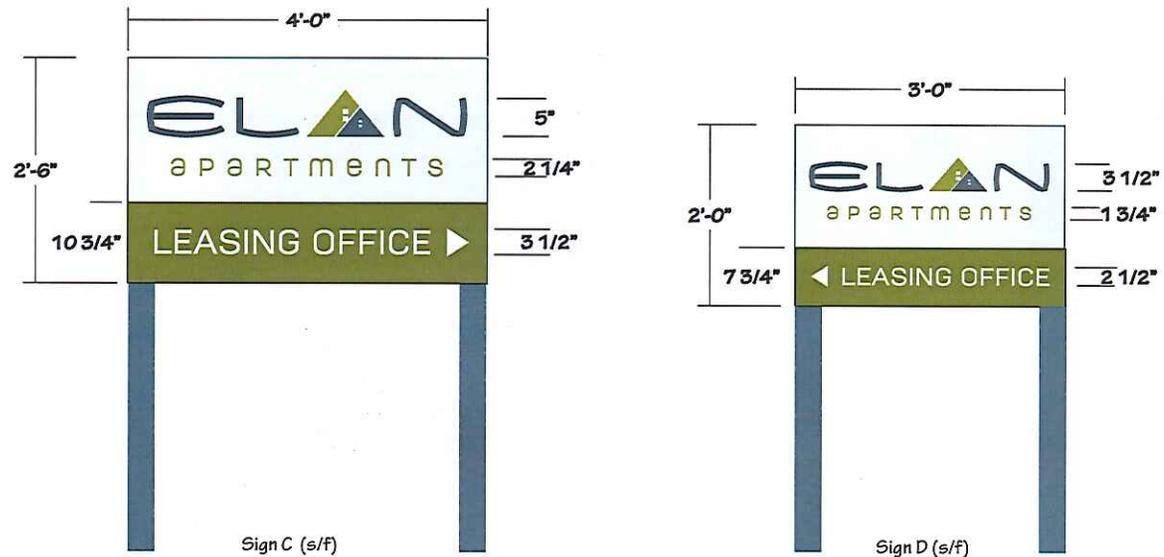
Landlord Approval
Signature:
Print:
Date:

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ELAN APARTMENTS - FITCHBURG, WI

Location: C and D

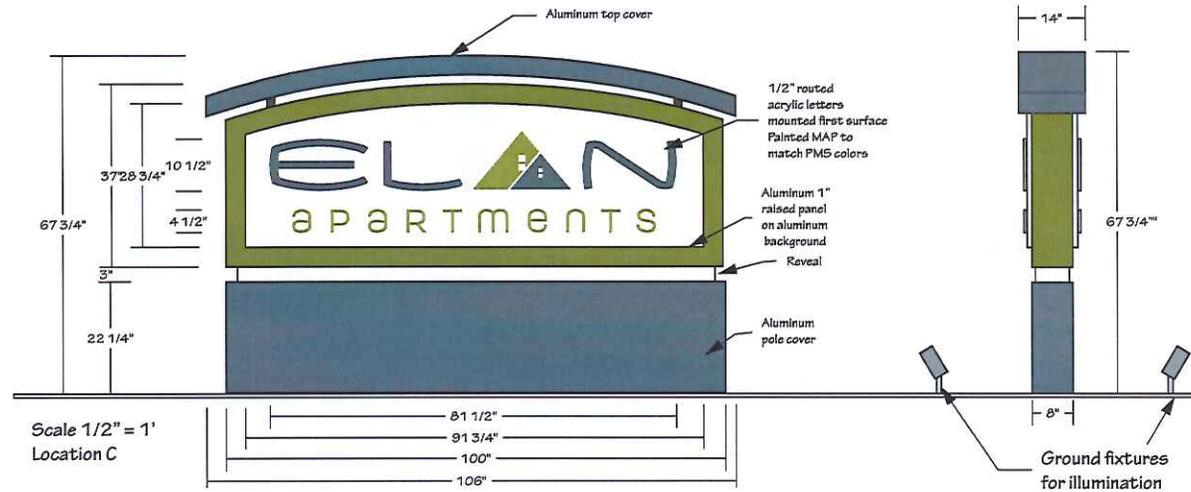


TEMPORARY SIGNS C & D

(2) 1/2" MDO Plywood Now Leasing Signs Rev1
 Digital printed on vinyl applied to boards
 Installed on 4x4 posts.

	Customer ELAN APARTMENTS	Date: 4.17.15	Designer: JEM	Client Approval	Landlord Approval	Wisconsin Sign & Graphics, LLC is the sole owner of the artwork, photographs, video, text, and other content contained herein. All rights reserved. No part of this publication may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Wisconsin Sign & Graphics, LLC. © Copyright Wisconsin Sign & Graphics, LLC 2014. 
	Street City FITCHBURG, WI	Acct. Rep. James Miller	Drawing No. Revision 1 Scale:	Signature: Print: Date:	Signature: Print: Date:	
109 Hotel St. • Brooklyn, WI 53521 • 1.608.455.5055 • www.WisSign.com						Signs For Your Success!

Elan Apartments



Monument sign

- MAP Satin White
- MAP paint match PMS 582C
- MAP paint match PMS 431C

Double Faced non-illuminated

Sign SqFt = 49.872



Customer Fiduciary_ Elan
Street Fitchburg, WI

Date: 4.29.15
Acct. Rep. James Miller

Designer: M Studnicka
Drawing No. Elan Sign C
Revision Scale:

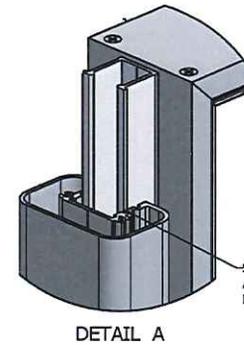
Client Approval
Signature:
Print:
Date:

Landlord Approval
Signature:
Print:
Date:

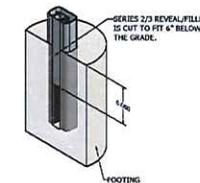
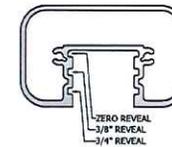
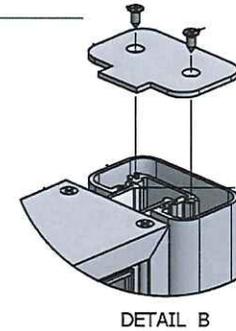
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Elan Apartments / Fitchburg, WI

Directional Sign D
SF 24 x 36



SLIDE THE BOI ASSEMBLY INTO THE DESIRED REVEAL POSTION.



Customer Elan Apartments
Street
City Fitchburg, WI

Date: 4.14.15
Acct. Rep. James Miller

Designer: M Studnicka
Drawing No. Elan Apart 24x36 C
Revision
Scale:

Client Approval
Signature:
Print:
Date:

Landlord Approval
Signature:
Print:
Date:

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APPENDIX 'E'
NEIGHBORHOOD INPUT INFORMATION

APRIL 21, 2015 – Amended May 6, 2015; September 22, 2015

Invite list for 10-14-14 Neighborhood meeting
Fiduciary Real Estate Development - Quarry Vista Multi-Family

BEYLER LIVING TR	6342 PHEASANT LN	VERONA WI 53593
BRAD D ANDERSON	2712 FITCHRONA RD	FITCHBURG WI 53719
COREY L DINTELMAN	2706 FITCHRONA RD	FITCHBURG WI 53711
DANE COUNTY	210 MARTIN LUTHER KING JR BLVD RM 114	MADISON WI 53703-3342
DIANE REMEIKA	1321 MORRISON ST	MADISON WI 53703
EARLE N WILLIAMS & ARISA M WILLIAMS	2687 FITCHRONA RD	MADISON WI 53719
FITCHBURG MINERALS LLC	6295 LACY RD	VERONA WI 53595
FITCHBURG, CITY OF	5520 LACY RD	FITCHBURG WI 53711
GREGORY A LUKAS & DIANE M LUKAS	7330 SOUTHERN OAK PL	MADISON WI 53719
HAMM FAM LAND LLC	6244 OAK HOLLOW DR	OREGON WI 53575
HAMMERSLEY, KEITH E	6291 LACY RD	FITCHBURG WI 53593
JOHN H ELLINGER	2720 FITCHRONA RD	FITCHBURG WI 53719
JOHNSON REV LIVING TR, MARTIN H	6355 PHEASANT LN	VERONA WI 53593
KENNETH E KAEGI & TERESA J KAEGI	6344 GOOSE LAKE DR	VERONA WI 53593
KENNETH O KOBERLE & JUDITH KOBERLE	2669 FITCHRONA RD	MADISON WI 53719
KEVIN N WUNDER & LORIANN S WUNDER	6353 GOOSE LAKE DR	VERONA WI 53593
LARRY J STARCZYNSKI & SHERRY L STARCZYNSKI	2701 FITCHRONA RD	MADISON WI 53719
MADISON METROPOLITAN SEWERAGE DISTRICT	1610 MOORLAND RD	MADISON WI 53713
MAURER TR	2657 FITCHRONA RD	VERONA WI 53593
NATHAN HAMMERSLEY	6310 LACY RD	FITCHBURG WI 53593
NSNK LLC	6291 LACY RD	VERONA WI 53593
PAYNE & DOLAN INC	PO BOX 781	WAUKESHA WI 53187
PRINGLE LIVING TR	2700 FITCHRONA RD	FITCHBURG WI 53719
ROBERT D KOHLENBERG & NORMA K KOHLENBERG	2653 FITCHRONA RD	VERONA WI 53593
SCOTT C LITTLE & SHEILA A LITTLE	6350 PHEASANT LN	VERONA WI 53593
TODD E MEURER & HOLLY M DOWLING	6352 GOOSE LAKE DR	VERONA WI 53593
VIVIAN G KILLERLAIN	6341 PHEASANT LN	VERONA WI 53593
Amanda Arnold, Town of Verona	335 N. Nine Mound Road	Verona, WI 53593-1035



Fiduciary
Real Estate Development, Inc.

October 3, 2014

RE: Proposed 152-unit Apartment Home Project
Hamm Fam Land, LLC lands
Outlot 9 of the plat of Quarry Vista
NW ¼ of the NW ¼ of Section 18

Dear Neighbor,

This letter is in regards to our proposed Apartment Home development located in the City of Fitchburg, near your property at the intersection of Lacy and Fitchrona Roads. Please find the following:

- Location map depicting our property and the surrounding neighborhood
- 11"x17" color rendered Concept Plan of our project which was reviewed by the City Plan Commission at their meeting on September 16, 2014.

We will be submitting our full General Implementation Plan (GIP) for the project by the City's Tuesday October 21, 2014 deadline in order to be on the City Plan Commission meeting agenda on Tuesday, November 18, 2014.

In order to solicit your input on the proposed design, we would like to invite you to an Open House:

Tuesday, October 14, 2014 from 5:30 to 6:30 PM

The open house will be held at the Hammersley Stone Offices, 6291 Lacy Road, Fitchburg, WI 53593

Again, we would appreciate any input you have on our plans and please do not hesitate to contact me (information below) if you have any questions or need additional information.

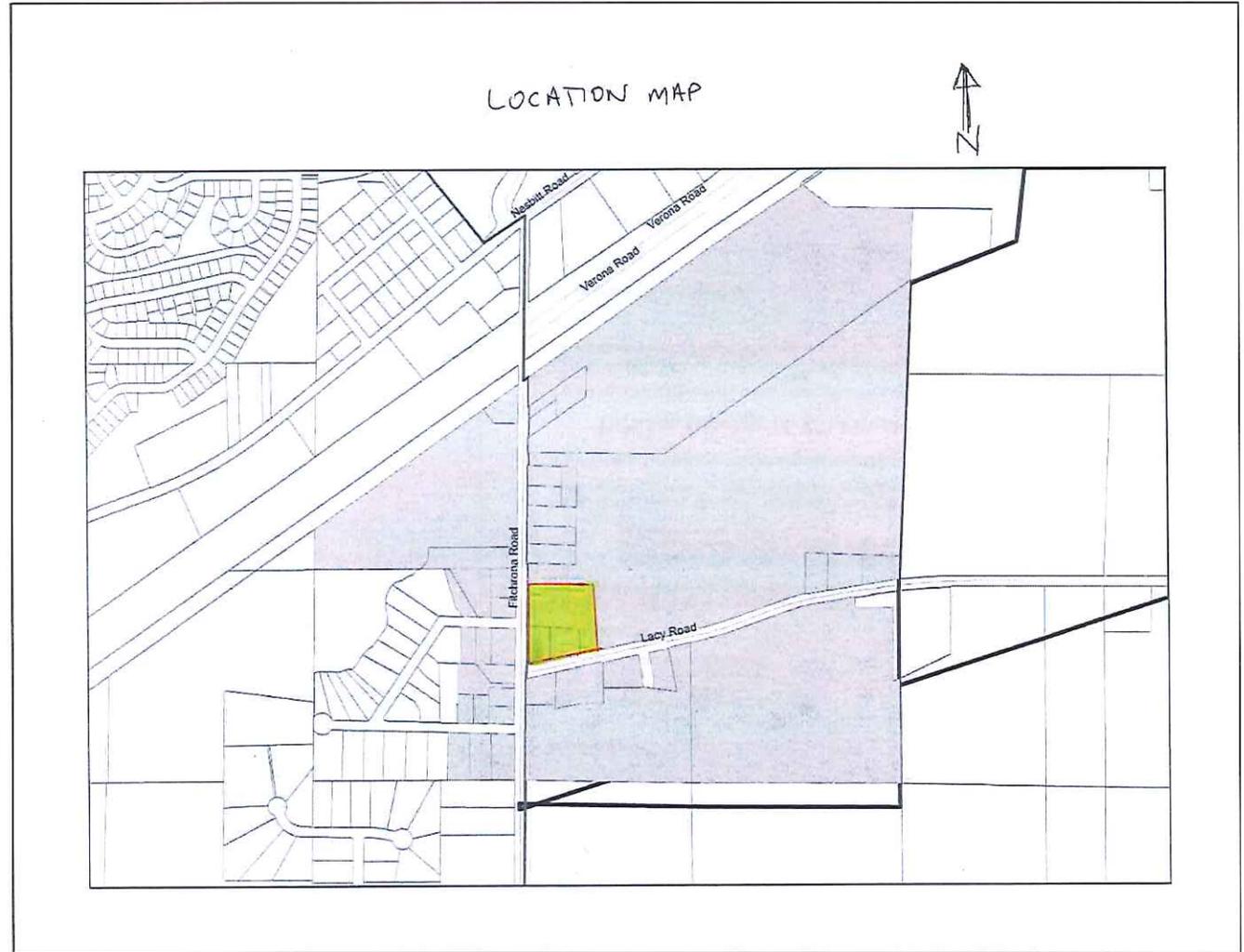
Sincerely,

Fiduciary Real Estate Development, Inc.

William F. Ohm
Project Manager
Direct line 414-274-8212
Email bohmf@frecj-inc.com

789 North Water Street • Milwaukee, Wisconsin 53202 • (414) 226-4515 • Facsimile: (414) 226-4549 • www.frecj-inc.com

Sample Attachment to Neighborhood Meeting Invitation



Sample Attachment to Neighborhood Meeting Invitation



Neighborhood Meeting Sign-In Sheet



Grading and Utility Construction
Crushed Stone Supplies



6291 Lacy Rd.
Fitchburg, WI 53593
Phone: (608) 845-7804
Fax: (608) 845-5532

October 14, 2014

*Meeting about neighborhood
Fiduciary, Bakersgate*

<p><i>Gene Krause</i></p> <p><i>Gary Aebly</i></p> <p><i>Edward Kuliszewski</i></p> <p><i>Ellen Mauer</i></p> <p><i>Ken Pappert</i></p> <p><i>Diane J. Roman</i></p> <p><i>Ken Schmitt</i></p> <p><i>Todd Meier</i></p> <p><i>Dennis Mounsey (Payne and Dolan)</i></p>	<p><i>Tonto Trail</i></p> <p><i>Pat Trail</i></p> <p><i>Fitchburg Rd</i></p> <p><i>Fitchburg Rd</i></p> <p><i>Fitchburg Rd</i></p> <p><i>Lacy Rd</i></p> <p><i>Town Plan Comm</i></p> <p><i>Goose Lake Dr.</i></p> <p><i>6295 Lacy Rd</i></p>
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**Elan Apartments - Lot 15 of Quarry Vista Plat
6305? Quarry Vista Drive
Public Works Review #5**

The following comments are based on the Architectural Design Review (ADR 2015) and Rezoning (RZ-2079-15) request submitted by Craig Raddatz dated September 22, 2015, amended plans dated September 4, 2015 and Applicant Responses dated for Lot 15 in the Quarry Vista Plat. EJE 9-29-15; TF 9-30-15; GV 9-29-15; AB 9-29-15; CH 10-1-15. Additional comments beyond these may be required on future reviews.

General Comments

1. Please confirm the sizing and location of the refuse and recycling containers.
Applicant Response: There is an interior Refuse Room located on the lower level of each building adjacent to the overhead door. The exact type and size of the containers hasn't been determined, but they will be appropriately sized for each multi-family building.
Additional PW Review #4 Comment: Please confirm that both refuse and recycling containers are sized and located properly, not just refuse.
2. The applicant will need to submit a Construction & Demolition Reuse/Recycling (CDRR) Plan to Public Works. CDRR Plans are required both for new construction and for demolition.
Applicant Response: A plan will be prepared and submitted for review.

Transportation Comments

1. The driveway configuration out to Stone Gate Drive/Turnstone Lane still has an impact on the Private Drive access. Please share this concept with Montgomery & Associates and coordinate the driveway design at that location. The curb from the site overlaps the public sidewalk. This access point needs further coordination.
Applicant Response: This item will be reviewed and additional information provided.
2. Consider bike/ped connections from the site to the paths on Lacy Road and Fitchrona Road. A nice connection could be made to the Lacy Road path between buildings A-1 and B-2. Similarly, a connection could be incorporated to the Fitchrona Road path north of Building B-2.
Applicant Response: This item will be reviewed and additional information provided.
3. **Additional PW Review #4 Comment:** The plan sheets show curb and gutter along Lacy Road and Fitchrona Road. At this time, both roads will remain with a rural cross-section. The roads may be improved with curb and gutter in the future but not with the Quarry Vista development.
4. **PW Review #5 – Proposed changes do not affect transportation functions.** However, per transportation comment #2 above, applicant should consider a bike/ped connection to the paths on Lacy Road and Fitchrona Road. Two of the proposed locations for the picnic tables and grills are located in places that would be ideal to provide this bike/ped connection.
Applicant Response: The Project Engineer has reviewed the viability of bike/ped connections from the Elan site to Lacy and Fitchrona Roads. The

**Elan Apartments - Lot 15 of Quarry Vista Plat
6305? Quarry Vista Drive
Public Works Review #5**

Engineer has indicated due to grading issues a connection to Fitchrona Road is not practical. A possible connection to Lacy Road could be made, however, given that the Elan Apartments is a private community, and the picnic areas are also private and for the benefit of the community's residents, we would choose not to construction a connection.

Water Main and Sanitary Sewer

1. Coordinate final water and sewer lateral locations with the final approved plans for public works construction in Quarry Vista. Final service locations and sizes need to be shown on the plans. The attached plan shows the location of existing sewer laterals to be used to service two of the three proposed buildings.
Applicant Response: See the submitted plan dated May 5, 2015.
2. All water services between the public main up to a private fire hydrant are required to be a minimum of 8" and be installed per the Latest Edition of the City of Fitchburg Standard Specifications for Public Works Construction. Please label and note accordingly.
Applicant Response: See the submitted plan dated May 5, 2015.
3. The following notes need to be included on the site utility plan:
Applicant Response: See the submitted plan dated May 5, 2015.
 - o Safe sample results need to be provided to the Fitchburg Utility prior to pressure testing the private water mains.
 - o It is the contractor's responsibility to verify that the existing valves will hold the pressure test prior to connection. The City is not responsible for any costs incurred due to the contractor not verifying that the existing valve will hold the pressure test prior to connection. If a new valve is required, the applicant will be required to install one at their expense at the point of connection.
4. Public water for the development and the sewer service off Turnstone Lane will not be available for use until public improvements are accepted for the Quarry Vista plat. Building permits may not be issued until public water is available.
Applicant Response: This is understood.
5. Existing sanitary laterals, that will not be reused, will need to be abandoned at the sewer main per the latest edition of the City of Fitchburg Standard Specifications for Public Works Construction. Public Works will need to witness these abandonments. The attached plan shows the location of the existing laterals to be abandoned. Please show and label accordingly.
Applicant Response: The noted plan was not attached to the email we received from Susan, please forward us this plan and we will address the lateral abandonments.

Additional PW Review #4 Comment. The sanitary lateral to be abandoned on Fitchrona Road at the north end of Lot 15 and the 6" sanitary lateral to be

**Elan Apartments - Lot 15 of Quarry Vista Plat
6305? Quarry Vista Drive
Public Works Review #5**

abandoned on Lacy Road need to be abandoned at the manhole, not the main. Please correct.

6. All private wells on this site need to be abandoned per DNR requirements. A DNR well abandonment form needs to be submitted to Public Works for each abandoned well.

Applicant Response: Well abandonment forms will be provided as required.

7. Water impact fees will need to be paid prior to release of any building permits. These fees will be included with the permit fee. The 2015 impact fee rate is \$729/Unit.

Applicant Response: This is understood. Review #5: Impact fee indicated in Specific Implementation Plan (Page 6) is incorrectly shown as \$691/unit. 2015 impact fee is \$729/unit.

Applicate Response: We are aware and understand that the 2015 required impact fee is \$729.00/unit.

8. MMSD fees need to be paid for this lot prior to the release of an early start permit.

Applicant Response: This is understood.

9. The Quarry Vista plat conditions require 80 units to be occupied within six months of occupancy of the first unit/single family home within the Quarry Vista plat.

Applicant Response: This is understood.

10. Early start permits may not be issued for this site until award of the Fitchrona Road Water Main Bid is approved by Fitchburg Council.

Erosion Control and Stormwater Management (ECSWM) Comments

1. Please confirm whether the net impervious area is increasing from the already approved Erosion Control and Stormwater Management (ECSWM) permit. If so, the applicant will need to submit either a new ECSWM permit application or request an amendment to the current permit.

**Planned Development District
Amending Specific Implementation Plan
Zoning for Lot 15 Quarry Vista Relative to
Building Addition for a Maintenance
Facility, Picnic/Patio Areas and
Exterior Building Modifications.**

Legal Description:

Lot 15 Quarry Vista

Return to: Fitchburg City Clerk
5520 Lacy Road
Fitchburg, WI 53711

Parcel No's: 060918225052

Plan Commission
Initiated By

Planning/Zoning
Drafted By

10/27/2015
Date

**ORDINANCE NO. 2015-O-32
ZONING ORDINANCE AMENDMENT AMENDING SPECIFIC IMPLEMENTATION PLAN
ZONING FOR LOT 15 QUARRY VISTA RELATIVE TO BUILDING ADDITION FOR A
MAINTENANCE FACILITY, PICNIC/PATIO AREAS AND EXTERIOR BUILDING
MODIFICATIONS.**

WHEREAS, pursuant to Fitchburg Ordinance No. 87-0-06, Section 3, Zoning District Maps were adopted within the corporate limits of the City of Fitchburg until expressly altered by the City Council, and

WHEREAS, Craig Raddatz, agent for Fiduciary Real Estate Development, Inc., has submitted an application (RZ-2079-15) to amend Planned Development District Specific Implementation Plan (PDD-SIP) zoning for Lot 15 Quarry Vista, to include a building addition for a maintenance facility, picnic/patio areas and for exterior building modifications; and

WHEREAS, PDD-SIP zoning was originally granted by Ordinance No. 2015-O-14 (Rezoning request RZ-2057-15), and

WHEREAS, the Plan Commission has reviewed the application in accord with ordinance standards and recommends approval of the PDD-SIP zoning amendment for Lot 15 Quarry Vista.

NOW THEREFORE the City Council of the City of Fitchburg, Dane County, Wisconsin does ordain as follows:

- (A) PDD-SIP zoning is hereby amended to allow for modifications to the plans for Lot 15 Quarry Vista in accord with submitted plans and information which accompanied the rezoning application received on September 22, 2015, which is hereby made a part of this ordinance, and with the following additional requirements:
 - 1. No other permit or approval is waived or deemed satisfied except for the approval provided herein.
 - 2. All aspects of Ordinance 2015-O-14 remain in place, except for the amendments provided herein to modify specific development aspects as detailed in the submittal materials of September 22, 2015.

(B) This ordinance shall take effect following its publication, or the consent of the property owner, whichever occurs last. However, in accord with section 22-596 of the zoning code, owners shall consent within 30 days of approval for the PDD-SIP zoning to take effect.

(C) Applicant shall pay cost of publication to avoid a two Council meeting approval process.

The above and foregoing ordinance was duly adopted by the City Council of the City of Fitchburg, at a regular meeting held on the _____ day of _____, 2015.

Patti Anderson, City Clerk

Approved: _____
Stephen L. Arnold, Mayor

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this ____ day of _____, 2015, the above named Patti Anderson, and Stephen L. Arnold to me known to be the City Clerk and Mayor (respectively) of the City of Fitchburg, and the persons who executed the foregoing instrument and acknowledged the same.

Notary Public, State of Wisconsin

Printed Name of Notary Public _____
My Commission Expires: _____

Consent of the Property Owner

Name: _____

Date: _____

Title _____

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this ____ day of _____, 2015, the
above named _____ to me known to
be _____, of _____ and the person
who executed the foregoing instrument and acknowledged the same.

Notary Public, State of Wisconsin

Printed Name of Notary Public _____
My Commission Expires: _____

Consent of Mortgage Holder:

Mortgage Holder

Date: _____

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this ____ day of _____, 2015, the above named
_____ to me known to be the _____
of _____ and the person who executed the foregoing instrument
and acknowledged the same.

Notary Public, State of Wisconsin

Printed Name of Notary Public _____
My Commission Expires: _____

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
 Direct Referral Approved by:

Date Referred: **Sept 22, 2015** Ordinance Number: **2015-O-28**
 Date to Report Back: **Oct 27, 2015** Resolution Number:

Sponsored by: Mayor Drafted by: PW and Planning

TITLE: An Ordinance Amending Chapter 27 Streets and Public
 Ways – Section 27-402(b) Relative to Curb Opening Width
 for Commercial or Industrial Driveways

Background: The Public Works and Planning Departments have experienced an increase in variance requests for increased driveway opening widths for commercial and industrial properties. In an effort to stream-line this process, and allow for more flexibility in the driveway opening widths for commercial and industrial properties, staff is recommending an ordinance amendment. This amendment allows for administrative approval by the Director of Public Works for requests for increased driveway widths. If the Director of Public Works denies the request, the ordinance re-assigns the board approval to the Board of Public Works, as opposed to the Board of Appeals. The ordinance also modifies the language to clarify the definitions and ensure consistency between the ordinance and the standard detail drawings that are maintained by public works. Staff’s recommendation is to approve Ordinance 2015-O-28.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Board of Public Works	Horton	Oct. 19, 2015	Approved
2	Plan Commission	Hovel	Oct. 20, 2015	Approved
3				
4				

Amendments:

Mayor Arnold
Introduced By

Planning Dept.
Drafted By

Board of Public Works,
Plan Commission
Referred to

Sept 22, 2015
Date

ORDINANCE NO. 2015-O-28
AN ORDINANCE AMENDING CHAPTER 27 STREETS AND PUBLIC WAYS –
SECTION 27-402(b) RELATIVE TO CURB OPENING WIDTH FOR COMMERCIAL OR
INDUSTRIAL DRIVEWAYS

The Common Council of the City of Fitchburg, Dane County, Wisconsin hereby ordains as follows:

SECTION 1: Section 27-402(b) is hereby amended to read:

- (b) When allowed, curb openings (excluding tapers) shall be no less than 14 feet nor more than 24 feet in width for single-family and multifamily dwellings. The curb opening (excluding tapers) for each driveway at a two-family dwelling unit shall not exceed 20 feet in width (40 feet total). The curb opening (excluding tapers) intended to afford access to commercial or industrial property shall be as determined and prescribed by the department, but no greater than 37 feet in width. The applicant may request an administrative variance for a commercial or industrial curb opening (excluding tapers) that is greater than 37 feet in width by providing documentation that demonstrates the following:
- (1) Is needed to accommodate truck turning movements to the property to avoid impacts to the orderly flow of traffic on adjacent road. Applicant should supply:
 - a. Size of vehicle and frequency of truck activity;
 - b. Turning path exhibit for truck movements at the driveway; and
 - c. Designation of primary access for truck traffic to the site.
 - (2) Will not have an adverse impact upon properties adjacent to the property upon which the proposed driveway is located;
 - (3) Has been designed to address all public safety impacts associated with the increased curb opening width.

The Director of Public Works may require special conditions for the additional curb opening width such as, but not limited to, pavement markings, colored concrete, or signage.

If the Director of Public Works declines to approve a request for a larger commercial or industrial curb opening width, such request shall be referred to the Board of Public Works for recommendation and to the Council for action.

SECTION 2: This ordinance shall take effect the day after its publication.

SECTION 3: If any section, subsection, sentence, clause or phrase of this Ordinance is for any reason held to be invalid or unconstitutional by reason of a decision of any court of competent jurisdiction, such decision shall not affect the validity of any other section, subsection, sentence, clause or phrase thereof.

Adopted this ____ day of _____, 2015.

Stephen L. Arnold, Mayor

Attested: _____

Patti Anderson, City Clerk

Published: _____, 2015

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **September 22, 2015**
Date to Report Back: **October 27, 2015**

Ordinance Number:
Resolution Number: **R-105-15**

Sponsored by: Mayor

Drafted by: Public Works

TITLE: A RESOLUTION APPROVING THIRD-PARTY FINANCING AND OWNERSHIP OF SOLAR PHOTOVOLTAIC PANELS ON THE FITCHBURG PUBLIC LIBRARY ROOF

Background:

The Fitchburg Public Library roof was designed in 2010 to accommodate a ballasted solar photovoltaic (PV) system, and electrical conduits were installed to connect the panels to the library's electrical system. At that time, a 50 kilowatt (kW) solar PV system was designed using Solyndra PV panels. Solyndra's demise and concerns about the roof warranty being invalidated led to the delay of the Library solar project. Plans were made to pursue solar PV once prices dropped in the future. Since 2010, PV prices have been cut nearly in half, but incentives through Focus on Energy, a State of Wisconsin energy incentive program, have also declined dramatically.

Because Focus on Energy grants have declined and are expected to end in 2015, the City's Solar Team evaluated financing the Library Solar Project through a third-party investor who is eligible for a 30% federal tax credit that is available only to businesses, and is set to expire at the end of 2016. The City of Monona used this option to fund 100kW of solar energy on four facilities in 2013.

Under this model, a solar broker is hired to find an investor who pays all the upfront costs of design and construction as well as operation and maintenance costs. The investor owns the system, but the City may also negotiate to purchase the system at half price after the federal tax credits are realized in five to six years. There is no cost to the City other than staff time to plan and coordinate the project. The City also will also save an estimated 50% in energy costs from energy generated on site.

Third-party financing provides the City a low-risk solution at a reduced cost as well all the extra benefits of solar energy like meeting our 25x25 Energy Independence Communities commitment and broader environmental goals. MGE electricity rates are projected to increase, so having a larger renewable energy portfolio will provide more certainty and help the City keep energy costs down.

The City of Monona led a tour of their solar project in August 2015 and also shared key information on roof warranty issues. After reviewing City of Fitchburg's roof warranty through Firestone, the City learned that the roof warranty would not be invalidated by placing solar panels on top of the roof using a ballast design. The ballasted system (racks holding panels) are set on top of roof and do not puncture the membrane. (The solar equipment actually prolongs the life of the roof by shielding it from sun, rain and hail.) The City may need to negotiate an extended warranty to accommodate solar panels, similar to City of Monona. Terms may include roof inspections one day before and one day after solar installation as well as annual inspections.

Next steps would include:

- Negotiating a connection agreement with Madison Gas & Electric
- Negotiating a warranty continuance letter from Firestone
- Coordinating with Fitchburg Design Center committee
- Hiring a solar project broker

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Board of Public Works	Horton	10/12/15	Approved
2	Finance Committee	Dodge	10/27/15	
3	Library Board	Rawson	10/21/15	Tie Vote/No Recommendation
4				

Amendments:

Mayor
Introduced by

Public Works
Prepared by

Library, Public Works, Finance
Referred to

September 17, 2015
Date

RESOLUTION R-105-15

RESOLUTION APPROVING THIRD-PARTY FINANCING AND OWNERSHIP OF SOLAR PHOTOVOLTAIC PANELS ON THE FITCHBURG PUBLIC LIBRARY ROOF

WHEREAS, The City of Fitchburg has an opportunity to partner with a private investor who would own solar photovoltaic panels on the Fitchburg Public Library roof. The investor owner pays all upfront costs of design, installation and maintenance in order to receive federal tax credits available only to businesses. There would be no cost to the City other than staff time.

WHEREAS, The Fitchburg Public Library will realize a nearly 50 percent cut in energy costs based on the amount of solar energy produced and used on site; and

WHEREAS, The Library solar panels will help the City of Fitchburg meet its commitment to produce 25% of its energy from renewable resources by 2025 through its resolution to join the State of Wisconsin's 25x25 Energy Independent Community Partnership,

WHEREAS, The Fitchburg Public Library is solar ready with a roof designed to accommodate the weight of ballast-style solar panels, and with electrical conduits already in place to connect solar panels; and

WHEREAS, Federal solar tax credits that cover 30% of total project expenditures will expire on Dec. 31, 2016; and

WHEREAS, the project may require some outside assistance in the event the City does not have sufficient staff time available.

NOW BE IT HEREBY RESOLVED, BY THE Fitchburg Common Council that it authorizes staff to negotiate a third-party financing agreement for an investor owner to design, install, operate and maintain ballast-style solar photovoltaic panels on the Fitchburg Public Library roof.

BE IT FURTHER RESOLVED, by the Fitchburg Common Council that it will authorize staff to negotiate an extended roof warranty with Firestone Building Products.

Adopted this ____ day of _____, 2015.

Patti Anderson, City Clerk

Stephen L. Arnold, Mayor

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **October 13, 2015**
Date to Report Back: **October 27, 2015**

Ordinance Number:
Resolution Number: **R-115-15**

Sponsored by: Mayor

Drafted by: Public Works

TITLE: ACCEPTING WATER MAIN IMPROVEMENTS ON LOT 2 OF CSM 1 0031 (SUB-ZERO)

Background: The Subdivider is nearing completion of the water main improvements on Lot 2 of CSM 10031. This resolution is necessary in order for a building permit to be issued for construction of the Sub-Zero expansion on this lot.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Board of Public Works	Horton	10/19/15	Approved
2				
3				
4				

Amendments:

Stephen L. Arnold, Mayor
Introduced By

Public Works
Drafted By

Board of Public Works
Committee

October 13, 2015
Date

Resolution R-115-15

ACCEPTING WATER MAIN IMPROVEMENTS ON LOT 2 OF CSM 10031 (SUB-ZERO)

WHEREAS, on September 22, 2015, Sub-Zero Group, Inc. ("Subdivider") and the City of Fitchburg (the "City"), entered into a contract (the "Contract") for subdivision improvements on Lot 2 of CSM 10031, in the City of Fitchburg (the "CSM"); and

WHEREAS, the City Engineer has inspected and conditionally approved the water main improvements in the CSM , as being in the condition called for by the contract; and

WHEREAS, all required charges and fees have been or will be paid and deposited, and land dedication and easements will be made as required by said Contract; and

WHEREAS, affidavits, evidencing that there are no claims, actions, or demands for damages based upon contract or tort arising out of or in any way relating to the CSM and that no monies are owed to any surveyor, mechanic, subcontractor, material man or laborer for the project and no such claims, actions or demands, will be filed subsequent to approval of this resolution; and,

WHEREAS, the Subdivider has agreed to provide security to insure said water main improvements in the CSM, against defects in materials and workmanship for one year subsequent to compliance with the terms of the Contract and this Resolution and otherwise to comply with the terms of the Resolution and the Contract.

NOW, THEREFORE, BE IT HEREBY RESOLVED, The Common Council of the City of Fitchburg, Dane County, Wisconsin, hereby accepts the municipal water main improvements as constructed on Lot 2 of CSM 10031 subject to: (a) filing of affidavits and lien waivers with the City Engineer evidencing that there are no claims, actions or demands for damages arising out of or in any way relating to the project and that no monies are owed to any surveyor, mechanic, contractor, subcontractor, materialman or laborer and no such claims, actions or demands will be filed by the City Clerk, (b) that sufficient security, satisfactory to the City Engineer, City Attorney and Mayor has been posted pursuant to the Contract to guarantee against defects in materials and workmanship in the improvements hereby accepted for a period of one year following

compliance with the terms and conditions of this Resolution; (c) timely payment by Subdivider of all outstanding engineering, inspection, consulting, legal fees, and other outstanding expenses and administrative costs incurred by the City as outlined in the contract; (d) verification by the City Administrator that all outstanding invoice charges related to Lot 2 of CSM 10031, have been paid by the Subdivider; and (e) No building permits are to be issued until punch list items are completed.

BE IT FURTHER RESOLVED, Upon compliance with all above conditions, the City accepts for public use all municipal water main improvements for buildings on Lot 2 of CSM 10031, and the Mayor and City Clerk may execute the required acceptances on behalf of the City.

Adopted by the Common Council of the City of Fitchburg this _____ day of October, 2015.

Approved By: _____
Stephen L. Arnold, Mayor

Attested By: _____
Patti Anderson, City Clerk

DATE: 10/22/2015
TO: FINANCE COMMITTEE
FROM: FINANCE DEPARTMENT
RE: CASH DISBURSEMENTS

<u>Checks</u>	<u>Description</u>		<u>Batch</u>	<u>Amount</u>
<u>Dated</u>			<u>Check Nos.</u>	
10/13/2015	Pre-approvals over \$25,000	A	112148-112149	\$74,772.50
10/14/2015	Weekly Batch	B	112150-112188	\$144,244.86
10/15/2015	10/13/15 Finance Batch approvals	C	112189-112190	\$167,402.49
10/16/2015	Reissue of voided checks	D	112191-112192	\$0.00
10/20/2015	Pre-approval over \$25,000	E	112193	\$34,756.50
10/21/2015	Weekly Batch	F	112194-112222	\$52,500.81
			Check Total	\$473,677.16

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
 Direct Referral Approved by:

Date Referred: **October 13, 2015** Ordinance Number:
 Date to Report Back: **October 27, 2015** Resolution Number: **R-113-15**

Sponsored by: Mayor Drafted by: Public Works

TITLE: APPROVING CONTRACT AMENDMENT WITH SEH FOR ARCHITECTURAL/ENGINEERING SERVICES A GEO-THERMAL SYSTEM FOR THE WEST FIRE STATION BUILDING

Background: Oversight committee has decided to use a geo-thermal system which requires an increase in the architectural and design services agreement with SEH.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Finance	Dodge	10/27/2015	
2				
3				
4				

Amendments:

Thomas Hovel

From: Trevor Frank <tfrank@sehinc.com>
Sent: Thursday, October 08, 2015 7:12 AM
To: Thomas Hovel

Tom,

The main items related to additional design services for utilizing geothermal heating/cooling for the building are:
Developing additional specification sections to cover the geothermal well field, heat pumps and piping distribution
Coordination of building loads with bore field sizing
Design of the bore field and manifold vault
Additional heat and cooling load calculations
Additional on site inspection during the drilling and installation of the bore field circuits
Additional design of the interior zoning and layout of the heat pumps
Additional piping design for each individual heat pump
Additional submittals and shop drawings to review
Additional on-site inspection during installation and additional time to punchlist and commission the equipment

Trevor M. Frank, AIA, NCARB, LEED AP, PMP |
Sr. Architect
SEH | 425 W. Water Street, Suite 300 | Appleton, WI 54911
920.380.2806 direct | 920.585.4320 Cell
www.sehinc.com
SEH--Building a Better World for All of Us™

AIA[®] Document G802[™] – 2007

Amendment to the Professional Services Agreement

Amendment Number: 001

TO: Thomas Hovel
(*Owner or Owner's Representative*)

In accordance with the Agreement dated: February 13, 2015

BETWEEN the Owner:
(*Name and address*)
City of Fitchburg
5520 Lacy Road
Fitchburg, WI 53711

and the Architect:
(*Name and address*)
Short Elliott Hendrickson Inc. (SEH)
425 West Water Street, Suite 300
Appleton, WI 54911

for the Project:
(*Name and address*)
Northwest Fire Station

Authorization is requested
 to proceed with Additional Services.
 to incur additional Reimbursable Expenses.

As follows:

Architect to coordinate additional services between the geothermal engineer and the mechanical engineer to provide a complete and fully operational ground source geothermal heating and cooling system for the NW fire station. These professional services are in addition to the basic mechanical system design services previously approved as part of the overall design of the NW fire station.

The following adjustments shall be made to compensation and time.
(*Insert provisions in accordance with the Agreement, or as otherwise agreed by the parties.*)

Compensation:
Forty Thousand Four Hundred Eighty Dollars (\$40,480.00)

Time:
No additional design time will be built into the delivery schedule at this time

SUBMITTED BY:

AGREED TO:

(Signature)

Trevor Frank, AIA, Project Manager

(Signature)

Steve Arnold, Mayor

(Printed name and title)

10/7/15

(Date)

Patti Anderson, City Clerk
City of Fitchburg

(Printed name and title)

10/7/15

(Date)

Stephen L. Arnold, Mayor
Introduced by

Planning
Prepared by

Finance
Referred to

October 8, 2015
Date

RESOLUTION R-113-15
APPROVING CONTRACT AMENDMENT WITH SEH FOR ARCHITECTURAL/ENGINEERING SERVICES A GEO-THERMAL SYSTEM FOR THE WEST FIRE STATION BUILDING

WHEREAS, the Fire Station Oversight Committee has decided to pursue a geo-thermal heating and cooling system for the west fire station, and

WHEREAS, this requires a higher level of design services than originally contemplated in the original contract with SEH, and

WHEREAS, the Finance Committee has reviewed the contract amendment and recommends approval.

NOW, THEREFORE, BE IT HEREBY RESOLVED, that the Common Council hereby approves the contract amendment with SEH for design services for a geo-thermal heating and cooling system for the West Fire Station in the amount of \$40,480. (The original contract amount was for \$216,125 and the revised amount, with this amendment, will now be \$256,605.)

BE IT FURTHER RESOLVED, that it authorizes the City Engineer and City Attorney to negotiate any necessary amendments with SEH, and for the Mayor and City Clerk to sign.

Adopted this ____ day of October, 2015.

Approved: _____
Stephen L. Arnold, Mayor

Attested By: _____
Patti Anderson, City Clerk

City of Fitchburg Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **September 22, 2015** Ordinance Number: **2015-O-29**
Date to Report Back: **October 27, 2015** Resolution Number:

Sponsored by: Mayor

Drafted by: Attorney Mark Sewell

TITLE: An Ordinance to Amend SEC. 35-3(a)1 – Permit Fees

Background: Recently, in 2003, the state legislature amended Wisconsin Statute 66.0268. That statute is attached and requires municipal fees may not exceed the actual direct cost to the City associated with a project subject to the fee. It also provides that the City bears the burden of proof. The Data Center has recently objected to the amount of fees being charged in connection with an alteration of its existing facility on Nobel Drive. The purpose of this ordinance is to allow the Director of Public Works to modify fees where they are not proportional to the actual City costs.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Finance	Misty Dodge	10/13/15	Approved
2	Board of Public Works	Cory Horton	10/19/15	Approved as Amended
3				
4				

Amendments: Change Council to County on Ordinance page



525 Junction Road
Madison, WI 53717
www.tdstelcom.com

AUG 21 2015

August 20, 2015

Mark Sewell
City Attorney
The City of Fitchburg
5520 Lacy Road
Fitchburg, WI 53711

Re: 5515 Nobel Drive Building Permit Fee

Dear Mr. Sewell:

I am writing you on behalf of OneNeck IT Solutions LLC ("OneNeck") regarding permitting protocol for our 5515 Nobel Drive Building project. As discussed earlier this week, the currently contemplated installations we highlighted simply finish off the shell area previously permitted and partially constructed in 2011. Accordingly, the architectural plans for this work have already been reviewed by the City of Fitchburg (the "City") and approved as part of the new construction permit originally authorized to OneNeck. We are submitting payment of the related permit fees, in protest, pursuant to Section 66.0628 of the Wisconsin Statutes, as we believe this cost of permitting is excessive and exceeds the City's reasonable direct costs that are associated therewith.

Pursuant to the direction given us from the City, we propose to resolve this issue via an amendment to the City of Fitchburg ordinance Section 35-31 Permit Fees. We propose Section 35-31 (a) be amended so that it reads in its entirety as follows:

Sec. 35-31. - Fee Schedule. A fee schedule for all permits issued by the building inspection department shall be as set forth in the annual budget appendix fee schedule. The fee schedule shall be kept on file in the building inspector's office and shall be referred to as the "building inspection permit fee schedule." The building inspection permit fee schedule shall be considered a supplement to this article and shall be made available for reference and public inspection during normal business hours. Notwithstanding the foregoing, in the event the City's work to review plans and grant a permit in a particular construction project is not proportionate to the fee provided in the inspection permit fee schedule, the Director of Public Works may make a special determination to lower or waive the permit fee.

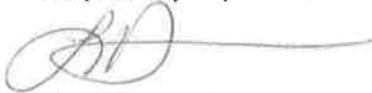
As discussed earlier this week, in the event an amendment is not passed and this permit fee issue is not resolved within sixty (60) days, we will file a petition to appeal this permit fee with the Tax Appraisals Commission based on our belief that the fee does not bear a reasonable relationship to the service for which the fee was imposed, in accordance with Section 66.0628 of the Wisconsin Statutes.

Background and statutory basis of our argument:

1. In 2011, comprehensive plans were submitted, approved and permitted for the expansion by the City. The plans included all of the current contemplated installations.
 - a. Full permit fees were paid in 2011. Approximately 50% of the interior shell finishes and equipment were installed at that time leaving 50% in an unfinished shell condition.
 - b. As such, the State of Wisconsin has currently waived additional review and permitting of these installations by our Mechanical and Electrical contractors.
2. The proposed installations complete an additional 25% (Data Room #5) of the unfinished shell space. This is comparable to building out a Tenant space in a shell retail or office development.
3. The project is no more complicated for review than other Group IV or V classifications of construction (the parts are larger, more expensive and systems are redundant (duplicates), but the installation is no more complicated) and the cost of the permitting service the City provides (permit fee) should reflect that.
4. Several other municipalities within Dane County take the phases of construction into consideration in their permitting process and are reflected accordingly in their fee structures (see attached).

I appreciate your willingness to work with us on this important economic development matter and look forward to hearing from you at your earliest convenience. As we discussed, irregular permitting delays will significantly and negatively impact our ability to attract new Data Center users to the City of Fitchburg.

Respectfully requested,



Lisa Davenport
Corporate Attorney

Cc: Hank Koch
OneNeck IT Solutions LLC VP, Mission Critical Facilities

Robert Glasgow
OneNeck IT Solutions LLC, Project Manager, Large Facilities

Attachments:

Madison Permit Fee Schedule
Beloit Permit Fee Schedule
Middleton Permit Fee Schedule

INSPECTION FEES

New Buildings and Additions

Note: The fees in the table below are based on the total square footage of the building including all floor levels, attached garages, porches, balconies and decks.

Note: When an application is submitted for a property when only the shell of the building is to be completed, the fee will be calculated at 50% of the total fee for that particular fee group. When an application is submitted for construction of the interior of a building where the shell of the building has been previously granted a permit, the fees shall be based on the square footage of that space and the fee shall be calculated at 50% of the total fee for that particular fee group.

Building Types:

- **Group 1:** Residential
- **Group 2:** Arenas, Armories, Assembly Halls, Banks, Barber shops, Beauty shops, Bowling, Cafeterias, Churches, Clinics, Dance Halls, Dry Cleaning, Educational Institutions, Exhibition Buildings, Funeral Homes, Gyms, Halls, Hospitals, Hotels, Labs, Libraries, Motels, Natatorium Shelters, Nursing Homes, Offices, Places of Detention, Repair Garages, Restaurants, Retail, Service Garages, Skating Rinks, Taverns, Theaters
- **Group 3:** Factories, Freight Terminals, Mach. Shops, Sewage Plants, Storage Buildings, Storage Garages, Substations, Vaults, Warehouses, and all others not included in Group 1 or 2

Building Type	Building (Minimum Fee of \$25.00)	Electricity (Minimum Fee of \$10.00)	Plumbing (Minimum Fee of \$10.00)	HVAC (Minimum Fee of \$10.00)	Total:
Group 1	\$.095/sq. ft.	\$.075/sq. ft.	\$.075/sq. ft.	\$.075/sq. ft.	\$.32/sq. ft.
Group 2	\$.16/sq. ft.	\$.10/sq. ft.	\$.10/sq. ft.	\$.10/sq. ft.	\$.46/sq. ft.
Group 3	\$.10/sq. ft.	\$.05/sq. ft.	\$.05/sq. ft.	\$.05/sq. ft.	\$.25/sq. ft.

Existing Buildings

(Alterations, Repairs, for Building Only and Parking Lots of Over 5 Stalls)

- \$11.00 per \$1,000.00 or fraction of the estimated cost of the project minus mechanicals. Minimum fee of \$25.00.

Miscellaneous

- Accessory bldg used as equip storage \$.06/sq. ft. or \$25 Min
- Awnings \$20.00
- Certificate of Occupancy
 - First Certificate \$10.00
 - Each additional Certificate \$75.00
 - Zoning only Change of Use \$75.00
 - Mobile Home \$15.00
 - Mobile Home re-inspection \$5.00
- Moving of a structure
 - 20,000 cubic feet or less \$250.00
 - each additional 20,000 cu ft \$50.00
 - Maximum fee \$450.00
- Private detached Garage \$.06/sq. ft. or \$25 Min
- Private in-ground pool \$25
- Razing
 - Single Family Home \$150.00

- Two Family Home \$250.00
- Comm. Bldg first 20,000 cu ft \$150.00
- each additional 20,000 cu ft \$100.00
- Accessory bldg \$20.00
- Solar Panels or collector system \$21.00
- Street Occupancy Permit \$50.00 per 100 ft
- Tents for merchandise display \$50.00

Division of Housing Services Building Permits 364-6700

Purpose:

The purpose of the Building Code is to provide minimum standards for the protection of life, limb, health, property, environment, and for the safety and welfare of the general public, consumers, owners and occupants of residential, commercial, industrial and public buildings.

Scope:

Building Code/Permits control all matters concerning the construction, alteration, addition, repair, removal, demolition, use, location, occupancy and maintenance of all buildings and structures and their service equipment and appurtenances located in the city.

Permits:

A permit is required before beginning construction, alteration, repair, improvement, demolition or moving any building or structure, including mobile homes. A permit is also required for the installation of a satellite television antenna, repair and construction of a wireless communication tower or equipment facility. Permits are not required for minor repairs, maintenance, or alterations whose value does not exceed \$500.00 and does not change the occupancy, area, structural strength, fire protection, exits, light or ventilation of a building structure. **A Building Permit application and Fence Permit application can be found under permit section of this website.**

BUILDING PERMITS ARE REQUIRED FOR THE FOLLWING WORK:

- New Buildings
- Addition to existing buildings
- Alterations
- Repairs including roofing, siding and all repairs exceeding \$500.00 in material costs. (exempt from requiring permits are painting, insulation, decorating and floor coverings)
- Fencing
- Pools exceeding 2 feet in water height
- Signs, Canopies or Marquees
- Decks
- Moving Buildings
- Demolitions
- Early Starts (foundations only)

- Building Permits are good for a period of one year and may be renewed for a \$15.00 fee

CITY OF BELOIT
FEE SCHEDULE FOR BUILDING ALTERATIONS,
REPAIRS, ROOFING AND SIDING
COMMERCIAL/RESIDENTIAL

<u>Project Cost</u>	<u>Fee</u>	<u>Project Cost</u>	<u>Fee</u>
\$1,000	\$15.00	\$21,000	\$95.00
\$2,000	\$19.00	\$22,000	\$99.00
\$3,000	\$23.00	\$23,000	\$103.00
\$4,000	\$27.00	\$24,000	\$107.00
\$5,000	\$31.00	\$25,000	\$111.00
\$6,000	\$35.00	\$26,000	\$115.00
\$7,000	\$39.00	\$27,000	\$119.00
\$8,000	\$43.00	\$28,000	\$123.00
\$9,000	\$47.00	\$29,000	\$127.00
\$10,000	\$51.00	\$30,000	\$131.00
\$11,000	\$55.00	\$31,000	\$135.00
\$12,000	\$59.00	\$32,000	\$139.00
\$13,000	\$63.00	\$33,000	\$143.00
\$14,000	\$67.00	\$34,000	\$147.00
\$15,000	\$71.00	\$35,000	\$151.00
\$16,000	\$75.00	\$36,000	\$155.00
\$17,000	\$79.00	\$37,000	\$159.00
\$18,000	\$83.00	\$38,000	\$163.00
\$19,000	\$87.00	\$39,000	\$167.00
\$20,000	\$91.00	\$40,000	\$171.00

COMMERCIAL MISCELLANEOUS FEES

FIRE ESCAPES	<u>\$15.00</u>
OCCUPANCY OR CHANGE IN PERMIT	<u>\$100.00 for Non Residential</u>
SIGN /PERMANENT	<u>See Chapter 30</u>
CANOPIES OR MARQUEES	<u>\$0.10 for every sq. ft. or surface area</u>
	<u>\$25.00 Minimum</u>
FAILURE TO CALL FOR AN INSPECTION	<u>\$15.00</u>

REHAB PROJECTS EXEMPT ITEMS:

Insulation, Flooring, Carpeting, Painting, and Decorating

No permit required to repair or install: Gutters (only) Roof venting (only) Insulation (only) Painting.

CITY of BELOIT

COMMERCIAL BUILDING PERMIT FEES

\$15.00 MINIMUM UNLESS OTHERWISE INDICATED

BUILDING ALTERATIONS AND REPAIRS

COMMERCIAL

1 ST \$1,000.00 OF VALUE	<u>\$15.00</u>
NEXT \$49,000 OF VALUE	<u>\$4.00 for every \$1,000.00 or fraction thereof</u>
\$50,000.00 AND OVER	<u>\$211.00 plus \$3.00 for every \$1,000.00 of fraction thereof in excess of \$50,000.00</u>

MOVING BUILDINGS

BUILDINGS UNDER 500 SQ. FT. 20' WIDE OR 13' HIGH	<u>\$25.00 for each day or fraction of a day building in on public right of way</u>
OTHER BUILDINGS	<u>\$50.00 plus \$15.00 for each day or fraction of a day building is on public right of way</u>

WRECKING

SMALL COMMERCIAL BUILDINGS OF NOT MORE THAN 3,000 SQ. FT.	<u>\$50.00</u>
OTHER BUILDINGS	<u>\$50.00 for the 1st 3,000 sq. ft. \$5.00 for every 1,000 sq. ft. or fraction thereof in excess of 3,000 sq. ft.</u>

EARLY START

COMMERCIAL & INDUSTRIAL \$75.00

RENEWAL OF PERMIT \$15.00

City of Beloit

COMMERCIAL BUILDING PERMIT FEES

\$15.00 MINIMUM UNLESS OTHERWISE INDICATED

NEW BUILDINGS

COMMERCIAL & INDUSTRIAL

1ST 1,000 SQ. FT. OF FLOOR AREA \$150.00
NEXT 9,000 SQ. FT. OF FLOOR AREA \$5.00 for every 100 sq. ft. or fraction thereof (total of all floors)
NEXT 40,000 SQ. FT. \$4.00 for every 100 sq. ft. or fraction thereof (total of all floors)
OVER 50,000 SQ. FT. \$2,150.00 plus \$2.50 for every 100 sq. ft. or fraction thereof in excess of 50,000 sq. ft.(total of all floors)
PLUS OCCUPANCY \$100.00

UNHEATED COMMERCIAL & INDUSTRIAL BUILDINGS

1ST 10,000 SQ. FT. \$5.00 for every 100 sq. ft. or fraction thereof. No less than \$75.00
OVER 10,000 SQ. FT. \$500.00 plus \$2.50 for every 100 sq. ft. or fraction thereof in excess of 10,000 sq. ft.
PLUS OCCUPANCY \$100.00

COMMERCIAL ADDITIONS

1 ST 1,000 SQ. FT. OF FLOOR AREA	<u>\$100.00</u>
NEXT 9,000 SQ. FT.	<u>\$5.00 for every 100 sq. ft. or fraction thereof</u>
OVER 10,000 SQ. FT.	<u>\$525.00 plus \$2.50 for every 100 sq. ft. or fraction thereof in excess of 10,000 sq. ft.</u>
PLUS OCCUPANCY	<u>\$100.00</u>

UNHEATED COMMERCIAL & INDUSTRIAL WAREHOUSE & STORAGE

1 ST 10,000 SQ. FT. OF FLOOR AREA	<u>\$5.00 for every 100 sq. ft. or fraction thereof. Not less than \$100.00</u>
OVER 10,000 SQ. FT.	<u>\$450.00 plus \$2.50 for every 100 sq. ft. or fraction thereof in excess of 10,000 sq. ft.</u>
PLUS OCCUPANCY	<u>\$100.00</u>



Town of Middleton

Office of the Inspector of Buildings

195 North Main Street
Middleton, Massachusetts 01949

978-777-2850

FAX 978-774-0718

www.townofmiddleton.org

COMMERCIAL BUILDING PERMIT FEE SCHEDULE

NEW CONSTRUCTION: The permit fees for all new commercial construction, including additions, and accessory buildings are based on the latest fee schedule published by Building Officials Code Administrators (BOCA).

Permit fee=Gross Area x Gross Area Modifier x Type of Construction x Permit Fee Multiplier (.0075).

The latest RS Means Commercial Cost Data will also be used to determine costs of construction when necessary.

Total Permit Fees are collected at the issuance of the Foundation Permit-BOCA Fee

All Building Costs And Fees Will Be Rounded Up

ALL OTHER BUILDING PERMITS

Alterations, Renovations, Remodeling, including Ramps, Demolition, Etc.

\$12.00 per thousand for the first \$10,000.00 of valuation and \$8.00 per thousand thereafter.

PERMIT TYPE	FEES
Minimum Permit Fee	\$75.00-Commercial
Swimming Pools, Tennis & Sports Courts	\$50.00 Application fee & \$15.00 per thousand construction cost
DEMOLITION	FEES
Commercial Demolition	\$12.00 per thousand for the first \$10,000.00 of contract and \$8.00 per thousand thereafter- \$100.00-Minimum
MOVING OF STRUCTURES	FEES
a) Large structures (over two story structures)	\$300.00
b) One Story and Two Story structures	\$200.00
c) Small structures (less than 200 square feet gross floor area)	\$100.00
MISCELLANEOUS PERMITS	FEES
Chimneys	\$25.00 Application fee & \$15.00 per thousand construction cost
New Construction HVAC- (Heating Ventilating & Air Conditioning)	\$10.00 for the first \$10,000 of the value of building cost and \$2.00 per thousand of building cost thereafter
Replacement HVAC- (Heating Ventilating & Air Conditioning)	\$100.00 Application fee and \$15.00 per thousand HVAC construction cost
Re-inspection Fee	\$40.00 Per Trip
Duplicate Building Permit or Duplicate Certificate of Occupancy	\$50.00
Permit Renewal	\$100.00
Extension of Building Permit-(6 month-2x limit)	\$100.00 (per time if construction is not started within 6 months)
Reissue of Revoked/Suspended Building Permit	\$100.00 (per time)
Zoning Verification Letters	\$75.00
Fences For Pools Only	\$50.00 Application fee & \$15.00 per thousand construction cost
Temporary Trailer for use as office space during rebuild	\$100.00
Temporary Construction Trailer-6 month permit	\$50.00
Temporary Construction Sign-6 month permit	\$100.00
Tents-Commercial	\$100.00
Occupancy Permit	\$50.00

ANY WORK STARTED WITHOUT OBTAINING A BUILDING PERMIT
WILL BE SUBJECT TO A FINE AND DOUBLE PERMIT FEE

Submitted by admin on Wed, 08/19/2015 - 06:00

Demand for servers fuels growth

By: Scott Girard



Photo by Scott Girard. OneNeck Madison Data Center facility manager Eric Patterson talks about the different server set ups throughout the facility.

Eric Patterson waited for one door to close behind him before scanning his ID card, leaning toward a retinal scanning machine to get through the next.

Behind that second door were more server racks, and the data center's prized possessions: servers.

"Companies come to us when they have the very core of their business, some technology server or system that absolutely positively can't ever go down," Patterson, OneNeck IT Solutions' facility manager, explained. "Those companies realize that if their server goes down, they simply

tell their customers, 'Sorry, you can't make any transactions.' That goes over pretty poorly."

Security isn't the only feature OneNeck sees as a requirement for it to be successful – although the building is designed to withstand an EF3 tornado. OneNeck also has redundancies built in at nearly every turn inside the Nobel Drive center to ensure its systems stay up and running no matter what. Customers are counting on OneNeck to provide reliable, off-site servers and cloud-computing solutions.

"It's our job to think of everything that could impact our customer's liability, and make sure it never happens," Patterson said.

Those redundancies include two separate telecommunications rooms with fiber optics running in from four different directions. There are also backup batteries all around the facility, and two backup generators in case the power goes out.

The building itself is run mostly by a computer, though it's staffed 24 hours a day in case of emergencies.

The building's automation, though, is more reliable than humans and can respond much more quickly. For example, Patterson said, if there is a leak in a pipe somewhere, the system can turn off that valve and switch whatever water is running through there into a backup.

"It's determining when it needs to start an air conditioner, or if one of them fails it's shutting that down and starting backup," he explained. "People are one of the biggest causes of problems to our customers. We flip the wrong switch, we flip the wrong valve."

The company, which has nine data centers around the United States, provides off-site servers for companies that don't have the space to house and maintain them. Patterson said having off-site servers is especially important for industries like medicine, where recent years have seen an explosion in what information is kept on computers.

"They're very good at what they do," he said. "They don't know (how big to make a data facility), and they would constantly be running out of space, and expanding it, and running out of space again, and now it's overheating."

The company also provides server solutions to other industries, including financial, retail, manufacturing and government.

OneNeck was created several years ago through a series of acquisitions by Chicago-based Telephone and Data Systems, Inc. Middleton-based TDS Telecommunications Corp., also owned by Telephone and Data Systems, Inc., is in charge of operations for OneNeck, according to the company's website.

The Fitchburg data center was first constructed in 2008 and was built to have the space for three additions.

"Ultimately, data centers have a very short lifespan," Patterson said. "This allows us to fend that off."

The first of the additions was completed in 2011, and continued demand led to the new construction, expected to be completed by early 2016.

"Already the largest commercially available data center in Wisconsin, the build-out will provide another 9,000 square feet and increase the total available space in service to more than 50,000 square feet," the company announced in a release at the end of July.

"It validates what we do," Patterson said of the \$5.2 million expansion.

The company also began offering cloud-based space in 2012, and has seen rapid growth in that part of the industry. It works well for industries like retail that need tons of space for a two-month period when shopping is most popular and don't need it the rest of the year.

The cloud option allows them to avoid investing in physical infrastructure for what amounts to a small window of time when it's needed, Patterson said.

Rate this article:

No votes yet



City of Fitchburg
 Building Inspection Department
 5520 Lacy Road
 Fitchburg, WI 53711

UNIFORM PERMIT APPLICATION

REC. # 10251 8/21/15
 RB

PART I To Be Completed By Applicant (please print or type)

JOB ADDRESS (street number & name) 5515 Nobel Drive	LOT #	SUBDIVISION
---	-------	-------------

PROJECT NEW BUILDING ADDITION ALTERATION OR REPAIR TO EXISTING MOVING DEMOLITION OTHER

BUILDING TYPE SINGLE FAMILY DUPLEX MULTI-FAMILY COMMERCIAL/INDUSTRIAL GARAGE/STORAGE OTHER

WORK TYPE BUILDING CONSTRUCTION ELECTRICAL PLUMBING HVAC OTHER

ESTIMATED COSTS (LABOR & MATERIALS)	CONSTRUCTION (\$)	ELECTRICAL (\$)	PLUMBING (\$)	HVAC (\$)	OTHER (\$)	TOTAL (\$)
		2,455,000				

JOB DESCRIPTION Adding (2) new electrical services, (6) new UPS's, (20) PDU's, and misc lights and receptacles in existing shell space

OWNER'S NAME OneNeck IT Solutions	OWNER'S ADDRESS (include zip code) 525 Junction Rd Madison WI 53717	CONTACT PHONE # 608-663-3330
---	---	--

Contractor Name & Type	Lic/Cert#	Mailing Address	Contact Phone# & E-mail
Dwelling Contractor (Constructr.) Name			
Dwelling Contractor Qualifier Name		Dwelling Contractor Qualifier shall be an owner, CEO, COB or employee of Dwelling Contractor	
Electrical Contractor Name Faith Technologies	250064	22 Transport Ct Madison WI 53704	608-472-2259 rob.guenther@faithtechnologies.com
Plumbing Contractor Name			
Heating/Cooling Contractor Name			

BUILDING FEATURES (NEW BUILDINGS AND ADDITIONS ONLY)		# Of Levels (include basement)	Foundation (concrete, masonry, etc.)	Site Constructed or Pre-Fab
Electrical Service Size (amps)	Overhead or Underground	Water (municipal or private)	Sewer (municipal or septic)	Sanitary Permit # (If applicable)
Attached or Detached Garage	Space Heating (forced, hot water, etc.)	Space Heating Fuel (natural gas, electric.)	Water Heating Fuel	Central Air Conditioning?

I, THE UNDERSIGNED, DO HEREBY CERTIFY THAT THE ABOVE INFORMATION IS CORRECT AND AGREE THAT IN THE PERFORMANCE OF THIS WORK I WILL BE BOUNDED BY AND SUBMIT TO ALL STATUTES OF THE STATE OF WISCONSIN, CONFIRM TO ALL APPLICABLE CODES AND ORDINANCES OF THE CITY OF FITCHBURG AND ABIDE BY ALL RULES AND REGULATIONS PRESCRIBED BY THE BUILDING INSPECTION DEPARTMENT.

SIGNATURE OF APPLICANT 	APPLICATION DATE 6-26-15	CONSTRUCTION START DATE 7-13-15
-----------------------------------	------------------------------------	---

PART II To Be Completed By Building Official

Application # 364-15	Date Approved 7-14-15	PERMITS ISSUED	<input type="checkbox"/> BLDG <input checked="" type="checkbox"/> ELEC <input type="checkbox"/> PLBG <input type="checkbox"/> HVAC <input type="checkbox"/> OTHER
--------------------------------	---------------------------------	-----------------------	---

APPROVED BUILDING USE Data Storage	BUILDING OFFICIAL J. Crook	W.U.B.P.#	AREAS (SQ. FT.)	BASEMENTS	LIVING AREA	GARAGE	OTHER	
PERMIT FEES (\$)	BUILDING	ELECTRICAL	PLUMBING	HVAC	ZONING	W.U.B.P.S.	UTILITY	TOTAL
	WATER IMPACT	FIRE IMPACT	EROSION	PLAN REVIEW	OCCUPANCY	OTHER	OTHER	\$ 44,190-

CONDITIONS OF APPROVAL THIS PERMIT IS ISSUED PRUSUANT TO THE FOLLOWING CONDITIONS. FAILURE TO COMPLY MAY RESULT IN SUSPENSION OR REVOCATION OF THIS PERMIT OR OTHER PENALTIES.

RECEIVED
 8/21/15

66.0628 Fees imposed by a political subdivision.

(1) In this section:

(a) "Political subdivision" means a city, village, town, or county.

(b) "Reasonable relationship" means that the cost charged by a political subdivision for a service provided to a person may not exceed the political subdivision's reasonable direct costs that are associated with any activity undertaken by the political subdivision that is related to the fee.

(2) Any fee that is imposed by a political subdivision shall bear a reasonable relationship to the service for which the fee is imposed.

(3) If a political subdivision enters into a contract to purchase engineering, legal, or other professional services from another person and the political subdivision passes along the cost for such professional services to another person under a separate contract between the political subdivision and that person, the rate charged that other person for the professional services may not exceed the rate customarily paid for similar services by the political subdivision.

(4)

(a) Any person aggrieved by a fee imposed by a political subdivision because the person does not believe that the fee bears a reasonable relationship to the service for which the fee is imposed may appeal the reasonableness of the fee to the tax appeals commission by filing a petition with the commission within 60 days after the fee's imposition, as provided under s. 73.01 (5) with respect to income or franchise tax cases, and the commission's decision may be reviewed under s. 73.015. For appeals brought under this subsection, the filing fee required under s. 73.01 (5) (a) does not apply.

(b) With regard to an appeal filed with the tax appeals commission under par. (a), the political subdivision shall bear the burden of proof to establish that a reasonable relationship exists between the fee imposed and the services for which the fee is imposed.

History: 2003 a. 134; 2007 a. 44; 2015 a. 20; 2013 a. 173 s. 35.

Stephen L. Arnold
Introduced by

Mark Sewell
Prepared by

Public Safety
Referred to

September 22, 2015
Date

ORDINANCE 2015-O-29

AN ORDINANCE TO AMEND SEC. 35-31(a) – PERMIT FEES

The Common Council of the City of Fitchburg, Dane-~~Council~~ County, Wisconsin ordains as follows:

Sections 35-31(a) is hereby amended as follows:

Sec. 35-31(a). – Fee Schedule. A fee schedule for all permits issued by the building inspection department shall be as set forth in the annual budget appendix fee schedule. The fee schedule shall be kept on file in the building inspector's office and shall be referred to as the "building inspection permit fee schedule." The building inspection permit fee schedule shall be considered a supplement to this article and shall be made available for reference and public inspection during normal business hours.
Notwithstanding the foregoing, in the event the City's work to review plans and grant a permit in a particular construction project is not proportionate to the fee provided in the inspection permit fee schedule, the Director of Public Works may make a special determination to lower or waive the permit fee.

The ordinance shall take effect upon publication.

Adopted this 13th day of October, 2015.

Approved by: _____
Stephen L. Arnold, Mayor

Attested by: _____
Patti Anderson, City Clerk

Published: October 20, 2015

**** As amended by Board of Public Works**

Fitch-Rona EMS
2016 Operating Budget

	2015 Approved Budget	Working 2016 Budget	Difference 2015 Budget vs. 2016 Budget	Percent Change
1	Revenues			
2	Run Income	\$ 1,156,035	\$ 1,205,865	\$ 49,830 4.3%
3	Services Sub-Total	\$ 1,156,035	\$ 1,205,865	\$ 49,830 4.3%
4				
5	City of Fitchburg	\$ 464,355	\$ 495,794	\$ 31,439 6.77%
6	City of Verona	\$ 348,125	\$ 382,865	\$ 34,740 9.98%
7	Town of Verona	\$ 50,347	\$ 51,031	\$ 684 1.36%
8	Municipalities Sub-Total	\$ 862,827	\$ 929,690	\$ 66,863 7.75%
9				
10	Project Donations		\$ -	
11	Interest Income	\$ 1,130	\$ 1,984	\$ 854 75.6%
12	Misc. Income	\$ 1,900	\$ 3,635	\$ 1,735 91.3%
13	Funds Applied from Assigned Account	\$ 6,060	\$ 5,142	\$ (918) -15.2%
14	Misc. Sub-Total	\$ 9,090	\$ 10,761	\$ 1,671 18.4%
15				
16	Total Revenues	\$ 2,027,952	\$ 2,146,315	\$ 118,363 5.8%
17				
18	Expenses			
19	Salaries & Wages	\$ 902,283	\$ 991,481	\$ 89,198 9.9%
20	Scheduled Overtime	\$ 218,167	\$ 225,698	\$ 7,531 3.5%
21	Unscheduled Overtime	\$ 62,273	\$ 53,996	\$ (8,277) -13.3%
22	Soc. Sec. & Medicare Taxes	\$ 90,478	\$ 97,245	\$ 6,767 7.5%
23	Retirement Plan	\$ 138,422	\$ 132,296	\$ (6,126) -4.4%
24	Miscellaneous Benefits	\$ 3,650	\$ 3,400	\$ (250) -6.8%
25	Health & Dental Ins.	\$ 233,653	\$ 255,818	\$ 22,165 9.5%
26	Worker's Comp. Ins.	\$ 64,277	\$ 69,590	\$ 5,313 8.3%
27	Income Continuation	\$ 2,340	\$ 2,340	\$ - 0.0%
28	Assigned Fund - Sick Time/Insurance	\$ -	\$ -	\$ -
29	Medical Director Annual Fee	\$ 36,060	\$ 37,142	\$ 1,082 3.0%
30	Salary Sub-Total	\$ 1,751,603	\$ 1,869,006	\$ 117,404 6.7%
31				
32	Oil, Gas & Lube	\$ 24,450	\$ 19,850	\$ (4,600) -18.8%
33	Tune-up & Repair	\$ 21,470	\$ 21,350	\$ (120) -0.6%
34	Medical Supplies	\$ 49,400	\$ 46,500	\$ (2,900) -5.9%
35	Office Supplies	\$ 2,000	\$ 1,800	\$ (200) -10.0%
36	Postage	\$ 500	\$ 550	\$ 50 10.0%
37	Public Education	\$ 650	\$ 600	\$ (50) -7.7%
38	Staff Training	\$ 5,500	\$ 4,250	\$ (1,250) -22.7%
39	Staff Support	\$ 6,000	\$ 4,400	\$ (1,600) -26.7%
40	Uniforms	\$ 5,700	\$ 6,400	\$ 700 12.3%
41	Personnel Recruitment	\$ 3,630	\$ 4,927	\$ 1,297 35.7%
42	Subscriptions & Dues	\$ 950	\$ 825	\$ (125) -13.2%
43	Admin Space Lease	\$ 5,462	\$ 7,125	\$ 1,663 30.4%
44	Facilities Furnishings	\$ 750	\$ 600	\$ (150) -20.0%
45	Utilities	\$ 4,000	\$ 3,750	\$ (250) -6.3%
46	Telephone	\$ 6,850	\$ 7,000	\$ 150 2.2%
47	Radio Equipment	\$ 4,000	\$ 4,000	\$ - 0.0%
48	Radio Maintenance	\$ 2,000	\$ 1,750	\$ (250) -12.5%
49	Medical Equipment	\$ 4,750	\$ 5,000	\$ 250 5.3%
50	Medical Equipment Maint.	\$ 2,750	\$ 3,450	\$ 700 25.5%
51	EMT Safety Equipment	\$ 1,200	\$ 900	\$ (300) -25.0%
52	Training Equipment	\$ 1,500	\$ 1,400	\$ (100) -6.7%
53	Office Equipment	\$ 1,600	\$ 1,200	\$ (400) -25.0%
54	Office Equipment Maint.	\$ 825	\$ 750	\$ (75) -9.1%
55	Computer Support	\$ 12,000	\$ 11,250	\$ (750) -6.3%
56	FAP Project Expenses			\$ -
57	Accounting Fees	\$ 9,000	\$ 12,880	\$ 3,880 43.1%
58	Legal Fees General	\$ 4,000	\$ 4,250	\$ 250 6.3%
59	Legal Fees-Labor Contract	\$ -	\$ -	\$ - #DIV/0!
60	Assigned Funds - Labor Contract	\$ 8,000	\$ 8,000	\$ - 0.0%
61	Property Insurance	\$ 11,800	\$ 15,200	\$ 3,400 28.8%
62	Billing Service	\$ 69,362	\$ 72,352	\$ 2,990 4.3%
63	Paramedic Intern Program	\$ 6,250	\$ 5,000	\$ (1,250) -20.0%
64	Misc. Expense Sub-Total	\$ 276,349	\$ 277,309	\$ 960 0.3%
65				
66	TOTAL EXPENSES	\$ 2,027,952	\$ 2,146,315	\$ 118,363 5.8%
67				
68	Net Gain (or Loss)	\$ 0	\$ -	\$ (0)

Fitch-Rona EMS
 District Apportionments
 2015 Budget

Net Operating Cost And Apportionments

2016 EMS District Budget	2014 Actual		2015 Approved		2015 Draft	
Operating Budget	1,933,400		2,027,952		\$ 2,146,315	
Service Income Estimate	\$1,111,804	57.5%	\$1,165,125	57.5%	\$1,216,625	56.7%
Net Operating Cost	821,596	42.5%	862,827	42.5%	929,690	43.3%

2015 Apportionments to Municipalities

	City of Fitchburg	City of Verona	Town of Verona	Total
2015 Equalized Valuations	2,711,401,700	2,093,811,600	279,077,300	5,084,290,600
Percentage of Total Valuation	53.3290%	41.1820%	5.4890%	100.0000%
2016 Municipal Costs	495,794	382,865	51,031	929,690

2015 Budget Apportionment Comparisons

2014 Equalized Valuations	2,623,964,200	1,967,177,000	284,498,900	4,875,640,100
Percentage of Total Valuations	53.8178%	40.3471%	5.8351%	100.0000%
2014 Apportionments	464,355	348,125	50,347	862,827
\$ Change from last year	31,439	34,739	684	66,863
% Change from last year	6.77%	9.98%	1.36%	7.75%

**Fitch-Rona EMS District
Monthly Data Report September 2015**

Year to Date Call Volume

Month	# Runs	2014
January	235	230
February	218	192
March	211	210
April	235	191
May	213	227
June	235	224
July	222	270

Month	# Runs	2014
August	231	251
September	243	254
October		230
November		216
December		213
Total	2043	2709

Calls Per Station

Transport Summary by Rig

Reporting Month			
Unit	M44	M45	*4
# calls/transported	144/96	92/73	3/0

Year to Date			
Unit	M44	M45	*4
# calls/transported	1217/849	818/567	4/0

Monthly Average Run Times

Average Run Times	
Enroute	00:00:51
To Scene	00:06:15
At Scene	00:14:44
To Destination	00:18:11
Back in Service	00:10:46
Total	00:50:47

Overlapping Calls by Month

Report Totals:
Occurrences of 2 Overlaps: 35
Occurrences of 3 Overlaps: 3
Occurrences of > 4 Overlaps: 1

Monthly Runs by City

City	# of Runs	Year to Date	Previous Year
Belleville	6	29	43
Blanchardville	2	5	0
Brooklyn	0	0	2
Fitchburg	154	1281	1336
Madison	6	44	40
Mount Horeb	5	48	46
New Glarus	2	6	0
Oregon	0	8	9
Verona	54	539	607
Verona (Tn)	13	78	unk
Other	1	5	1
Total	243	2043	2084

Monthly Transport Hospital

Destination	# of Runs
Meriter Hospital	42
St. Mary's Hospital	47
UW Hospital	81
VA	2
Other	1
Total	173

Monthly Disposition

Response Disposition	# of Times	% of Times
Cancelled	15	6.17%
Good Intent	1	0.41%
Patient Refused Care	21	8.64%
Standby Only, No Patient Contacts	12	4.94%
Treated and Refused Transport	9	3.70%
Treated and Released	6	2.47%
Treated, Dead at Scene	1	0.41%
Treated, Transferred Care	2	0.82%
Treated, Transported by EMS	171	70.37%
Treated, Transported by Law Enforcement	2	0.82%
Unknown	0	0.00%

**Fitch-Rona EMS District
Monthly Data Report September 2015**

Monthly Top 10

Impression	All Calls
Traumatic Injury	28 (11.72%)
Pain	18 (7.53%)
No Apparent Illness/Injury	17 (7.11%)
Other Illness/Injury	15 (6.28%)
Chest Pain/Discomfort	13 (5.44%)
Respiratory Distress	12 (5.02%)
Weakness	11 (4.60%)
Altered Level of Consciousness	9 (3.77%)
Abdominal Pain/Problems	6 (2.51%)
Behavioral/Psychiatric Disorder	6 (2.51%)

A/R Aging (as of September 30, 2015)

<u>0-30</u>	<u>31-60</u>	<u>61-90</u>	<u>91-120</u>	<u>121-150</u>	<u>151-180</u>	<u>180+</u>	<u>Total</u>
204,161	80,346	30,358	17,436	14,771	7,365	18,346	372,783
54.8%	21.5%	8.1%	4.7%	4.0%	2.0%	4.9%	100.0%
40.0%	20.0%	10.0%	7.0%	5.0%	3.0%	15.0%	100.0%
53,870	19,532	3,970	1,265	7,406	1,412	2,301	89,756

Cash on Hand

	<u>9/30/15</u>	<u>8/31/15</u>	<u>9/3/14</u>	<u>+/- Last Month</u>	<u>+/- Last Year</u>
Checking	-8,709.98	8,763.73	25,476.73	-17,473.71	-69,168.27
Savings	46,062.11	46,099.42	46,357.20	-37.31	3,984.90
CD's-Total	547,959.77	808,003.40	572,622.33	-260,043.63	235,397.54
CD's-Operational	425,524.79	685,568.42	470,187.35	-260,043.63	215,397.54
Total Cash	585,311.90	862,866.55	644,456.26	-277,554.65	-59,144.36

Assigned Fund Balances

Sick Time Contg.	80,937.66	80,937.66	60,937.66	0.00	20,000.00
Labor Negotiation	13,883.54	13,883.54	13,883.54	0.00	0.00
Medical Director Fee	19,283.78	19,283.78	19,283.78	0.00	0.00
Ambulance	8,330.00	8,330.00	8,330.00	0.00	0.00
FAP Funds	27,438.13	27,438.13	32,066.30	0.00	-4,628.17
Bike Responder Fund	1,438.39	1,908.39	1,908.39	-470.00	-470.00
Unassigned Cash	434,000.40	711,085.05	508,046.59	-278,024.65	-74,046.19

Fitch-Rona EMS 2015 Budget (in-house version)

September 30, 2015	2015 Actual (through 09/30/15)	Forecast	2015 Approved Budget	Difference approved vs forecast	74.8%
Revenues					
Run Income	\$ 884,489	\$ 1,182,558	\$ 1,156,035	\$ 26,523	76.5%
Services Sub-Total	\$ 884,489	\$ 1,182,558	\$ 1,156,035	\$ 26,523	76.5%
City of Fitchburg	\$ 464,355	\$ 464,355	\$ 464,355	\$ -	100.0%
City of Verona	\$ 348,125	\$ 348,125	\$ 348,125	\$ -	100.0%
Town of Verona	\$ 50,347	\$ 50,347	\$ 50,347	\$ -	100.0%
Municipalities Sub-Total	\$ 862,827	\$ 862,827	\$ 862,827	\$ -	100.0%
Project Donations	\$ -	\$ -	\$ -	\$ -	
Interest Income	\$ 1,612	\$ 2,149	\$ 1,130	\$ 1,019	142.7%
Misc. Income	\$ 12,665	\$ 13,065	\$ 1,900	\$ 11,165	142.7%
Funds Applied from Reserve	\$ -	\$ 6,060	\$ 6,060	\$ -	
Misc. Sub-Total	\$ 14,277	\$ 21,274	\$ 9,090	\$ 12,184	157.1%
TOTAL REVENUES	\$ 1,761,593	\$ 2,066,660	\$ 2,027,952	\$ 38,708	86.9%
Expenses					
Salaries & Wages	\$ 695,113	\$ 903,647	\$ 902,283	\$ 1,364	77.0%
Overtime-Scheduled	\$ 149,482	\$ 214,327	\$ 218,167	\$ (3,840)	68.5%
Overtime-Unscheduled	\$ 21,834	\$ 41,000	\$ 62,273	\$ (21,273)	35.1%
Soc.Sec.&Medicare Taxes	\$ 67,173	\$ 88,661	\$ 90,478	\$ (1,817)	74.2%
Retirement Plan	\$ 98,256	\$ 128,267	\$ 138,422	\$ (10,155)	71.0%
Misc Benefits	\$ 2,653	\$ 2,617	\$ 3,650	\$ (1,033)	72.7%
Health & Dental Ins.	\$ 156,515	\$ 213,454	\$ 233,653	\$ (20,199)	67.0%
Worker's Comp. Ins.	\$ 30,520	\$ 60,671	\$ 64,277	\$ (3,606)	47.5%
Income Continuation	\$ -	\$ -	\$ 2,340	\$ (2,340)	0.0%
Unreserved Fund-Sick Time	\$ -	\$ -	\$ -	\$ -	
Medical Director Annual Fee	\$ 24,750	\$ 33,000	\$ 36,060	\$ (3,060)	
Salary Sub-Total	\$ 1,246,296	\$ 1,685,643	\$ 1,751,603	\$ (65,960)	71.2%
Oil, Gas & Lube	\$ 14,787	\$ 20,200	\$ 24,450	\$ (4,250)	60.5%
Tune-up & Repair	\$ 13,552	\$ 20,069	\$ 21,470	\$ (1,401)	63.1%
Medical Supplies	\$ 35,173	\$ 48,897	\$ 49,400	\$ (503)	71.2%
Office Supplies	\$ 1,040	\$ 1,250	\$ 2,000	\$ (750)	52.0%
Postage	\$ 309	\$ 410	\$ 500	\$ (90)	61.8%
Public Education	\$ 324	\$ 432	\$ 650	\$ (218)	49.8%
Staff Training	\$ 1,752	\$ 3,336	\$ 5,500	\$ (2,164)	31.9%
Staff Support	\$ 3,032	\$ 5,043	\$ 6,000	\$ (957)	50.5%
Uniforms	\$ 3,324	\$ 5,700	\$ 5,700	\$ -	58.3%
Personnel Recruitment	\$ 1,298	\$ 1,750	\$ 3,630	\$ (1,880)	35.8%
Subscriptions & Dues	\$ 623	\$ 950	\$ 950	\$ -	65.6%
Admin Space Lease	\$ 2,793	\$ 5,462	\$ 5,462	\$ -	51.1%
Facilities Furnishings	\$ 1,146	\$ 1,350	\$ 750	\$ 600	152.8%
Utilities/Maintenance	\$ 3,846	\$ 4,700	\$ 4,000	\$ 700	96.2%
Telephone	\$ 4,788	\$ 6,384	\$ 6,850	\$ (466)	69.9%
Radio Equipment	\$ 2,530	\$ 3,610	\$ 4,000	\$ (390)	63.3%
Radio Maintenance	\$ 1,190	\$ 1,780	\$ 2,000	\$ (220)	59.5%
Medical Equipment	\$ 13,093	\$ 15,693	\$ 4,750	\$ 10,943	275.6%
Medical Equipment Maint.	\$ 2,016	\$ 2,750	\$ 2,750	\$ -	73.3%
EMT Safety Equipment	\$ 1,087	\$ 1,000	\$ 1,200	\$ (200)	90.6%
Training Equipment	\$ 542	\$ 1,500	\$ 1,500	\$ -	36.1%
Office Equipment	\$ 575	\$ 1,100	\$ 1,600	\$ (500)	35.9%
Office Equipment Maint.	\$ 300	\$ 575	\$ 825	\$ (250)	36.4%
Computer Support	\$ 26,919	\$ 28,500	\$ 12,000	\$ 16,500	224.3%
Project Expenses	\$ -	\$ -	\$ -	\$ -	
Accounting Fees	\$ 15,956	\$ 18,172	\$ 9,000	\$ 9,172	177.3%
Legal Fees-General	\$ 5,203	\$ 4,666	\$ 4,000	\$ 666	130.1%
Legal Fees-Labor	\$ -	\$ -	\$ -	\$ -	
Unreserved Funds - Labor Contract	\$ -	\$ 8,000	\$ 8,000	\$ -	
Property Insurance	\$ 8,969	\$ 15,178	\$ 11,800	\$ 3,378	76.0%
3Rivers Billing Services	\$ 55,152	\$ 70,953	\$ 69,362	\$ 1,591	79.5%
Paramedic Intern Program	\$ 4,750	\$ 4,750	\$ 6,250	\$ (1,500)	76.0%
Misc. Expense Sub-Total	\$ 226,069	\$ 304,161	\$ 276,349	\$ 27,812	81.8%
TOTAL EXPENSES	\$ 1,472,365	\$ 1,989,804	\$ 2,027,952	\$ (38,148)	72.6%
Net Gain (or Loss)	\$ 289,228	\$ 76,856	\$ -		

Fitch-Rona 2015 EMS District Draft Annual Report

In reviewing the operational scorecard it looks like there wasn't much change here at Fitch-Rona EMS in 2015. Our total call volume is very similar to 2015, 2700 calls. The division of calls between stations hasn't changed for several years. The Fitchburg station responds to 59% of calls, the Verona responds to 41% of calls. We continue to beat our standard time goals; less than 60 seconds to get out the door responding to calls and less than 15 minutes at the scene of calls. From the time the call for service comes in to the time we are back in service, ready for the next call, is less than one hour – 50 minutes 47 seconds on average.

Fitch-Rona EMS District Annual Report

Draft

Data to September 30, 2015

2015

A Message from EMS Chief Brian Myrland



In reviewing the operational scorecard it looks like there wasn't much change here at Fitch-Rona EMS in 2015. The division of calls between stations hasn't changed for several years. The Fitchburg station responds to 59% of calls, the Verona responds to 41% of calls. We continue to beat our standard time goals; less than 60 seconds to get out the door responding to calls and less than 15 minutes at the scene of calls. From the time the call for service comes in to the time we are back in service, ready for the next call, is less than one hour – 50 minutes 47 seconds on average.

A closer look at the department tells a different story. Major changes to the operations of the department began in 2015. We moved into a new Verona station in August, relocating from our station on Venture Court to the new municipal EMS and fire station located at 101 Lincoln Street. This is a state of the art facility designed to accommodate fifty years of growth for both departments. The facility not only houses one of our front-line ambulances, it is the new headquarters for Fitch-

Rona. After 35 years in Fitchburg Fitch-Rona moved our administration offices to Verona.

The move to new offices was phase one of a restructuring plan that has the department moving into a new, relocated station on the west side of Fitchburg in 2016 and into a new, third station on Fitchburg's east side in early 2018. The new station in 2018 will house a third front ambulance and grow our paramedic staff to 21 full time professionals.

The staffing plan for the department has experienced some planned and some unplanned changes in 2015. As approved by the municipalities, the Deputy Chief roles will be expanded from a 1.5 full time equivalent to 2.0 full time equivalent starting in 2016. The new deputy Chief of Operations has been identified and will begin a limited role in the last quarter of the year before moving into the fulltime role in January of 2016.

An unplanned change in management was initiated when Deputy Chief Cindy Diedrich tendered her retirement paperwork effective in the first quarter of 2016. A search for a replacement for the Deputy Chief of Administration was successful and that position will be filled in November allowing sufficient time to train prior to Deputy Chief Diedrich's departure.

Cindy's accomplishments here at Fitch-Rona cannot be adequately covered in this space. She began her career at Fitch-Rona in 1998 and has worked her way through the ranks to the position of Deputy Chief. She touches all aspects of the departments operations and is equally involved through Dane County on various committees and work groups. She will be missed but her impact will continue to be felt for years to come.

As stated in this report many times, we are lucky to be supported by the City of Fitchburg, City of Verona and Town of Verona. We have always had the equipment we need and over the next three years we will be housed in new facilities with an eye towards the future.

We often receive thank you's from citizens that we have responded to in difficult times. They see a professional organization with highly qualified staff members. What they don't always see is the commitment from the municipalities, the time volunteered by Commission members and the cooperation we get from our police and fire departments.

Thank you for your continued support of the Fitch-Rona EMS District and our dedicated, professional staff.

Brian Myrland
EMS Chief

Fitch-Rona EMS District Annual Report

2015

Draft

Data to September 30, 2015

2015 Annual Report

Accounting Policies

The district undergoes a formal financial audit or less formal review on an annual basis. The EMS Commission and each municipality agreed to allow our accounting firm to do a financial audit every three years and conduct a review in between the audits. The Certified Public Accounting firm of Johnson Block was retained to review the 2014 records and returned their report in the spring of 2015. Each member of the Fitch-Rona EMS Commission and each municipality were presented with a copy of the Independent Accountant's Review Report. The 2015 audit will occur in early 2016.

Accounts Receivable

The accounts receivable function within the district is outsourced and continues to be a sound choice. The billing functions involved with the various governmental programs responsible for a large number of the district's invoices require capabilities beyond those the district could provide. The timeliness of invoice processing and improved accuracy of our billing records has increased the average return per call. Receivables are in-line with EMS standards. In 2015 Fitch-Rona EMS received \$0.524 for every dollar billed. Much of this is due to the necessary write-offs that occur with government insurance and the increased number of hardship cases we see.

Grant Receipts

We did not receive any grants in 2015.

Cash Flow

Improvements in the cash flow for the district have been noted due in part to improved billing procedures and excellent documentation by our EMT staff. The district uses a combination of bank accounts to manage available cash in order to maximize potential interest earnings. An internal cash flow report is completed monthly to assist in management of this process.

Designated Funds

We have reserved funds set aside for future obligations. All interest accrued from these accounts, with the exception of the medical director fee, becomes part of the general Operating budget.

Designated Fund	Current Balance
Retirement Health Insurance	\$ 80,937
Labor Contract Legal Fees	\$ 21,884
Ambulance Replacement	\$ (TBD)
Medical Director	\$ 19,283

Retirement Health Insurance

This fund is set up to manage funding retirees' health insurance benefits based on sick leave hours available at retirement. We perform an analysis of the funding needs through 2030 and each year the amount will vary depending on the future cash needs to provide health insurance to our retirees. We will be making annual contributions to the account to reduce future liability for this benefit to our employees.

Fitch-Rona EMS District Annual Report

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Legal Fees for Labor Contract

This fund is set up to manage attorney costs incurred during the negotiation process. This fund is used to cover the legal fees directly related to negotiations of our Labor Contract. As in the past, we will begin replenishing the account after the negotiation process is completed. \$8,000 was contributed to the fund in 2015 however this is a contract negotiation year and monies are expected to be used for this.

Ambulance Replacement

We purchased a replacement front-line ambulance in 2015 and the old ambulance will be sold. The new ambulance was delivered in October. We used the \$8330 from a past sale towards this new ambulance. When we sell the old ambulance, we will place that money back into this account. This amount is yet to be determined as the ambulance is currently not sold. We maintain a fleet of four ambulances.

Medical Director Fees

In anticipation of new costs associated for Medical Direction, Fitch-Rona EMS began setting aside funds in 2010 in an attempt to ease the burden of this new operational cost. The fund is used to cover a portion of the reoccurring cost of the state required Medical Direction. The 2015 cost for Medical Direction was \$33,000 with \$6,060.00 coming from funds previously set aside. By 2018, this fund will be depleted and Medical Direction fees will come entirely from our operational budget.

Un-Assigned Contingency Funds

Our goal is to have a Contingency Fund balance of 20% of our total operating budget by year's end. The purpose of the fund is to ensure short term financial stability for our operation in the unlikely event of an interruption or down-turn in our revenue stream. In years where revenue exceeds expenses we add to the contingency funds. Our goal is to contribute to this account balance during years with increased run volumes rather than budget for these funds. Our fund balance at the beginning 2015 was \$367,187. Our current target for this fund is \$394,687 by the end of 2015. A policy was enacted this year that specifies a limit to Fitch-Rona's Contingency Fund balance. Once fully funded, Fitch-Rona EMS will return any revenue dollars that exceed our planned expenses to the municipalities.

Operations

Fitch-Rona operates two full-time ambulances 365 days of the year. This process requires 14 full-time licensed paramedics with a small number of part-time employees to cover any absences. Fitch-Rona continues to allow Paramedic volunteers to ride on the ambulance for training purposes but our focus is with those that have completed the Fitchburg Fire Department/Fitch-Rona EMS intern program. Our staffing levels proved to be sufficient in 2015.

Stand-By Coverage

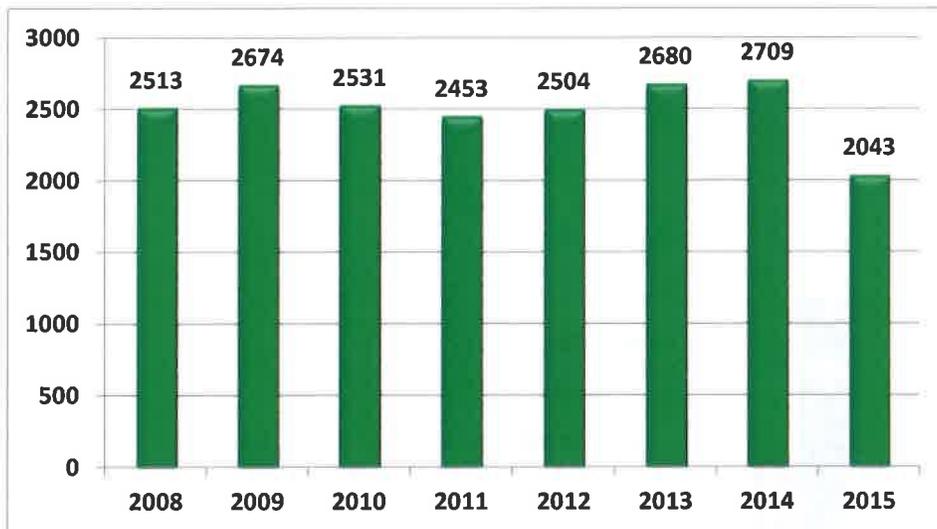
Fitch-Rona tries to accommodate all requests by local event coordinators for a dedicated ambulance to monitor their events. The frequency of events like local "Mud Runs", triathlons and fun runs continue to increase. At times these requests are ideal for our Bicycle Medics but the vast majority of requests still call for a dedicated ambulance staffed by paramedics. Due to the direct costs of this additional service Fitch-Rona has a set fee that is charged to the requesting program. All revenue received goes into our Operating Budget.

Mass Casualty Exercise

Fitch-Rona EMS, along with Fitchburg and Verona Police and Fire Departments, and the Verona School District again participated in two mass casualty exercises this year. One was a functional exercise for the Emergency Operations Center (EOC) and the other a full-scale exercise with responders, patients and multiple departments. These departments have been working on a joint operating procedure for responding to incidents involving multiple casualties by a shooter/killer. The response is two-fold – establishing a “Warm Zone” where medical personnel can tend to casualties under police protection, and managing an incident that involves multiple victims. The mass casualty training expanded this year to include us being invited to participate in a week-long training with area police departments. The police practiced setting up a warm zone and EMS practiced entering the zone, communicating with the Interior Supervisor, managing triage and setting up a treatment area. We completed each drill by providing pertinent information to school officials so they could begin an organized re-unification plan. The events went well and all participating departments gained a greater understanding of the operational pressure points. Practicing events such as these is very important for responders. It was also an excellent way for Fitch-Rona to foster and strengthen relationships with our fellow responding departments. We will continue to work with departments on events involving multiple casualties.

Annual Call Volume

Annual run volume was relatively flat until 2013 where we saw a solid increase. In 2015 we continued to see an increase in run volume.



Fitch-Rona EMS District Annual Report

Draft

Data to September 30, 2015

2015

Distribution of Calls

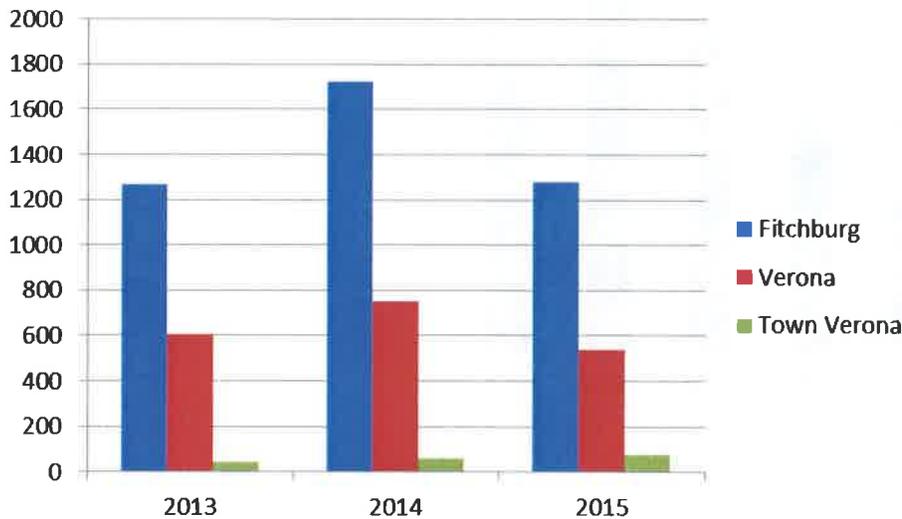
The distribution of calls by municipality typically mirrors the equalized valuation numbers used to proportion the expenses incurred on the district's behalf. Operationally it is important to track the call volume by station.

Ambulance Call Volume by Station

Ambulance	Total
4* Stand-by	4
44 - Fitchburg	1217
45 - Verona	818
Total	2043

The Verona station is the location that typically responds for out of area intercepts. These calls are usually higher acuity calls and have extended drive time. The Fitchburg station has a higher call volume. Due to these factors the actual "time on call" for the two ambulances balances out. The stand-by numbers reflect patient contact during a stand-by event and do not necessarily result in a transport.

Calls in our District by Municipality



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2015

Calls Outside Our District

As an Advanced Life Support (ALS) service Fitch-Rona is offering patients the highest level of pre-hospital care available. Surrounding communities often do not have the call volume to support paramedic level care and must ask for assistance when ALS service is indicated. This response is called an Intercept. We also respond as Automatic Aid (sent to support services on high acuity calls) to nearby areas which takes us out of district. 7.1% of our total call volume represents out of District calls.

	2013	2014	2015
Belleville	42	54	29
Blanchardville	1	2	5
Brooklyn	2	4	0
Madison	29	41	44
Mount Horeb	52	71	48
New Glarus	4	6	6
Oregon	7	9	8
Other	4	4	5

Calls Into Our District

As a participating agency with the Dane County Automatic Aid for Closest ALS Unit, there are times when neighboring ALS services come into our District. Additionally, there are times when both ALS and BLS units respond to our District as a mutual aid ambulance. These occurrences are not common.

Overlapping Call Response

Fitch-Rona EMS District currently has two full-time Paramedic ambulances on duty twenty-four hours a day, seven days a week. When evaluating the effectiveness of our staffing model, it is important to review how often both ambulances are on calls leaving the district vulnerable should another call come in. While we have mutual aid agreements in place for such situations, the time for an out of District ambulance to arrive on-scene to begin patient care is significantly increased.

Occurrences of Overlapping Calls in 2015

Two Calls	Three Calls	> Four Calls
348	27	9

This chart represents the times when both ambulances were busy responding to calls at the same time. It also shows the occurrences where three and four calls were ongoing at the same time.

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2015

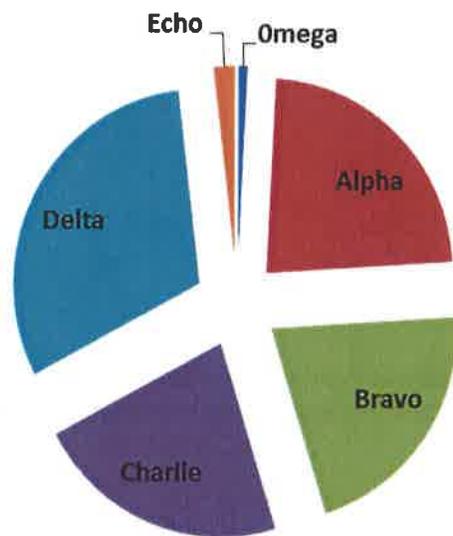
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Data to September 30, 2015

Dispatch Code

Fitch-Rona EMS is dispatched by the Dane County Emergency Communications Center. The dispatchers use a process called Priority Dispatch to determine the acuity of each call in order to send the appropriate level response. An Omega level call is the least severe with Alpha (A) through Echo (E) level increasing in severity. Any call that is Charlie, Delta and Echo is automatically deemed Advanced Life Support.

Over 54% of our calls are labeled Advanced Life Support (ALS) based on care given during transport compared to the 65% that are dispatched ALS.



Response Request

Response Request	#	%
911 Response (Primary Service Area)	1913	93.64%
Automatic Aid	40	1.96%
Flagdown/Walk-in	2	0.10%
Flagdown/Walk-in Non-emergent	1	0.05%
Intercept	41	2.01%
Interfacility Transfer (Unscheduled)	2	0.10%
Mutual Aid	16	0.78%
Standby	28	1.37%
Unknown	0	0.00%
Total	2043	100%

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Data to September 30, 2015

2015

Top Ten Incident Types Based on Dispatch

Type	All Calls
Falls	311 (15.25%)
Sick Person (Specific Diagnosis)	242 (11.87%)
Unconscious/Fainting (Near)	188 (9.22%)
Chest Pain (Non-Traumatic)	165 (8.09%)
Breathing Problem	150 (7.36%)
Traffic/Transportation Incidents	145 (7.11%)
Convulsions/Seizure	97 (4.76%)
Standby	86 (4.22%)
Traumatic Injuries (Specific)	79 (3.87%)
Hemorrhage/Laceration	65 (3.19%)

Top Ten Primary Patient Complaints Based on Paramedic Impression

Impression	All Calls
Traumatic Injury	230 (11.28%)
No Apparent Illness/Injury	192 (9.42%)
Pain	130 (6.38%)
Chest Pain/Discomfort	107 (5.25%)
Other Illness/Injury	106 (5.20%)
Weakness	82 (4.02%)
Abdominal Pain/Problems	77 (3.78%)
Seizure	70 (3.43%)
Respiratory Distress	62 (3.04%)
Behavioral/Psychiatric Disorder	52 (2.55%)

- The average age of our patients is 52 years old.
- 9.5% of our calls involved pediatric patients (<19 years old).
- This year, we treated and transported more females than males.
- Monday was our busiest day
- Between the hours of 3PM and 6 PM we were the most active.
- We transported 69.4% of the time we responded to a potential patient

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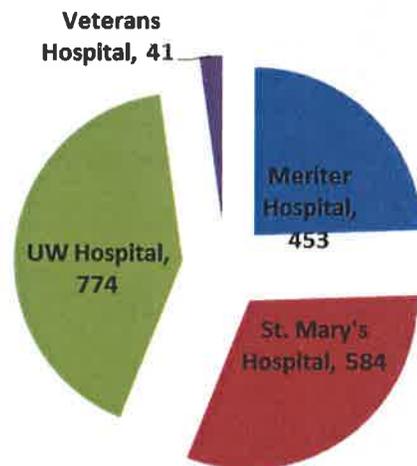
Data to September 30, 2015

Call Disposition Breakdown

Response Disposition	# of Times
Cancelled	131
Dead at Scene	6
Good Intent	18
No Patient Found	4
No Treatment Required	8
Patient Refused Care	195
Standby Only, No Patient Contacts	83
Treated and Refused Transport	92
Treated and Released	52
Treated, Dead at Scene	7
Treated, Transferred Care	7
Treated, Transported by EMS	1418
Treated, Transported by Law Enforcement	10
Unable to Locate Patient/Scene	12
Total	2043

Receiving Hospitals

The selection of hospital destination is determined by a number of factors including acuity, type of call, patient choice (insurance based) and specific emergency room situation.



Stations

The district operates out of two stations, one in Fitchburg and one in Verona. Fitch-Rona has been working closely with Verona department staff and consultants on the design of a Public Safety Building which houses both Fire Department and Fitch-Rona staff. The Verona station was completed in mid- 2015. Fitch-Rona relocated the administrative offices to the new Verona Station in August 2015 due to space concerns at the Fitchburg Station 2 location. At Station 2 in Fitchburg, the paramedics continue to share office and dormitory space with the on-duty Fitchburg Fire Department staff and Interns. Fitchburg, like Verona, is in the process of designing replacement stations to house both the fire and EMS departments. Completion of the Fitchburg stations is anticipated to be in 2016.

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Data to September 30, 2015

Response Time

The time elapsed from dispatch to arrival on scene is referred to as Response Time.

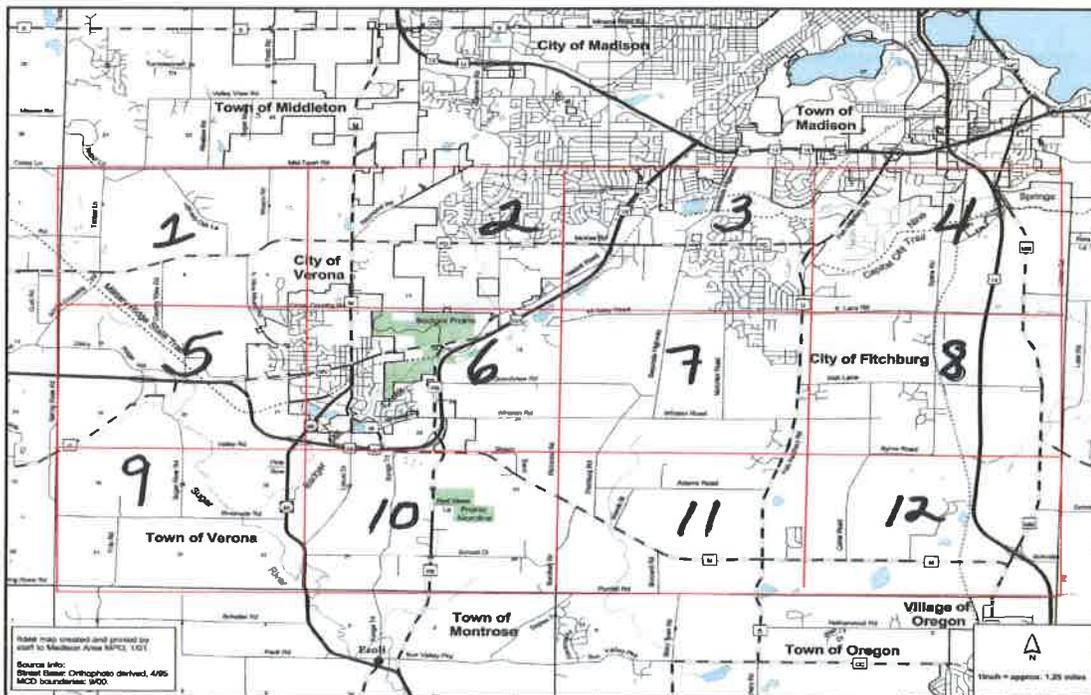
Actual Response Time is a result of a number of factors such as call type, station location, traffic, and weather conditions. This year our times improved. This is likely due to better routing of traffic during road construction.

The chart below represents the 12 zones of the Fitch-Rona District. The percentage of calls is listed as is the average response time for all emergent and non-emergent calls. Non-emergent response is proven to be much safer than the higher speed emergent response and is warranted for less serious calls.

Station location is a primary factor in determining response time. This is expressed in the average response times noted below. Our current stations are located in zones 3 and 6. Times listed represent time enroute to time on-scene.

Call Percentage and Enroute to On-Scene Response Times by Zone

Zone 1- Medic 45 0.64% 7:37 min	Zone 2 -Medic 44 1.62% 5:22 min	Zone 3 - Medic 44 29% 5:52 min	Zone 4 - Medic 44 22.1% 7:48 min
Zone 5 - Medic 45 1.7 % 5:46 min	Zone 6 - Medic 45 24.1% 4:52 min	Zone 7 - Medic 44 0.88% 6:53 min	Zone 8 - Medic 44 2.6% 10:06 min
Zone 9 - Medic 45 0.24% 8:02 min	Zone 10 - Medic 45 0.4% 8:09 min	Zone 11 - Medic 45 0.69% 10:53 min	Zone 12 - Medic 45 3.8% 11:29 min



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Data to September 29, 2015

2015

Annual Call Time Averages

Total call time averages are dictated by many factors, many that are outside of our immediate control such as station location, weather and level of call dispatched. The scene time is considered one of the most important factors in patient care. Our average scene time remains at 15 minutes which is a benchmark we established several years ago. Of special note is the average time it takes us to get back into service available for call which is less than an hour. We pay particular attention to the total "in service" time for each of our ambulances. This is one of the methods we use to determine capacity issues in EMS.

Average Run Times	
Enroute	00:00:59
To Scene	00:06:15
At Scene	00:15:35
To Destination	00:15:04
Back in Service	00:13:46
Total	00:51:39

Response Mode to Scene

Emergent response (lights and sirens) comprise approximately 64% of our calls. The other 34% of calls do not require expedited response, and are responded to without use of lights or sirens where the driver operates under normal driving conditions. The response mode to the scene is dictated by the dispatch code level received.

Response Mode to Scene	# of Times	% of Times
Initial Lights and Sirens, Downgraded to No Lights or Sirens	13	0.64%
Initial No Lights or Sirens, Upgraded to Lights and Sirens	3	0.15%
Lights and Sirens	1281	62.70%
No Lights and Sirens	746	36.51%
Unknown	0	0.00%

Transport Mode from the Scene

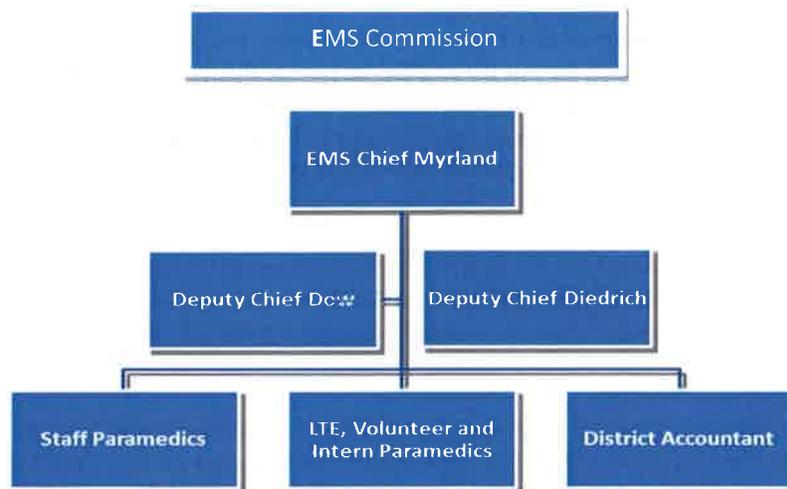
Included with our response time analysis is discussion of transport mode from the scene to the hospital. If our crew determines that a patient can be transported non-emergently – proven to be the safest mode of transportation - they opt to do so. As noted in the chart, we transport non-emergent over 60% of the time. In 2015 we transported patients to area hospitals on 69.4% of our calls.

Transport Mode from Scene	# of Times	% of Times
Initial Lights and Sirens, Downgraded to No Lights or Sirens	8	0.39%
Initial No Lights or Sirens, Upgraded to Lights and Sirens	5	0.24%
Lights and Sirens	212	10.38%
No Lights or Sirens	1206	59.03%
Unknown	612	29.96%
Total	2043	100%

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Data to September 30, 2015

Management and Staffing



EMS Commission

We have nine members from the communities we cover that serve on our EMS Commission. They are:

City of Fitchburg: Patrick Stern (Chair), Carola Gaines and Katherine Sanders

City of Verona: Nancy Bartlett, Luke Diaz and Joan Sullivan

Town of Verona: Craig Schneider, Terry Schnapp and Mike Duerst

Jason Williams and Jeff Schoenfeldt from Fitchburg were replaced on the Commission this year after upwards of 10 years of service each. Dale Yurs was replaced by Luke Diaz as the City of Verona representative. We wish to thank them all for their dedication and support to Fitch-Rona EMS.

Officer in charge

In order to manage over-all operational capability the members of the management team continue to be assigned as Officer in Charge (OIC) twenty-four hours a day 365 days a year. This assignment is the responsibility of the management team. It is an on-call position. No additional compensation is paid for this role.

Medical Direction

The Advanced Life Support (ALS) Consortium that came together in 2010 created a single Medical Director for all participating Dane County ALS departments. Currently Dr. Michael Lohmeier is the Medical Director for these departments and Dr. Michael Mancera is the Assistant Medical Director. Additionally, Dr. Megan Gussick and Dr. Vanessa Tomas (Pediatric) along with a team of Residents take an active role in teaching the paramedic community.

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Data to September 30, 2015

Education and Recertification of Paramedics

UW Hospital is the primary education center for paramedic continuing education. The UW Emergency Education Center (UWEEC) provides much of the continuing education for our paramedics as part of the ALS Consortium which also includes Medical Direction. Monthly training, consistent across all participating ALS services, is making positive improvements in pre-hospital care throughout Dane County. All of the ALS services are utilizing a Poly Com set-up so monthly trainings are viewable regardless of where the speaker is presenting. This allows Medics to view the training while on duty.

Medical Protocols and Procedures

In 2015, Dane County Emergency Medical Services took the ALS/BLS protocols from 2013 and worked on revisions. There were representatives from the hospitals, ALS and BLS services participating. Final protocols are expected to be out in practice pending changes expected from the American Heart Association which dictates a good part of our cardiac and stroke response.

Simulation Training

Our Medical Directors are implementing a program where they take a traveling simulation manikin out to each department and practice with the Paramedics in the back of an ambulance. This program is in its infancy but is proving to be well received by the field paramedics. It offers more real-time training with equipment and environmental surroundings that better match a response to a call. The program is being piloted in the City of Madison but visits to other services is slated to begin in the fall of 2015.

Fitchburg Firefighter /Paramedic Intern

Fitch-Rona EMS and Fitchburg Fire are now in our fourth year working together to sponsor interns that are committed to making Fire/EMS a career. We have jointly developed a program that supports interns in their third year of training. In the third year interns are assigned to a paramedic crew working the same hours that the paramedics keep (24 hours on/48 hours off) while attending Paramedic school. The success of the program is evident as many of our recent interns have accepted full time paramedic jobs in departments throughout the United States.

One intern attended the 2014-2015 Mercy Hospital Paramedic Training Program, Janesville, WI, and completed the program with success. The student passed the internal testing as well as the National Registry process without difficulty. He reported that he felt the program was well done and would recommend it in the future.

In mid-2015, the Verona Fire Department began pursuing a fire intern program. Currently they have one intern that is attending Madison College and doing ride time on the ambulance to gain experience.

Fitchburg has a successful ongoing intern program. Currently there are three interns that are in their second year and are doing ride time on the ambulance.

If there is funding available, we'd like to continue supporting this valuable program.

Medical Community Involvement

In addition to our Paramedic intern program Fitch-Rona continues to be involved and support the local teaching centers in Dane County. In 2015, Fitch-Rona mentored nine paramedic students from the Mercy Hospital Paramedic Program and two students from the UW program. Additionally, we added two volunteer Paramedics that attended Madison College to our roster for a limited time so they could gain valuable ambulance experience. These volunteers also worked for the Verona Fire Department. They were added to our LTE pool after they gained experience.

Community Outreach Programs

Our participation within the communities is an excellent opportunity for staff to interact in public forums.

- AED placement and support program
- Community Events
 - Verona Mud Run
 - Berbee Derbee
 - Ironman Triathlon
 - IronKids Triathlon
 - EPIC User Group Meeting
- Athletic Event Stand-by
 - High School Football
 - High School Track
- CPR, CCR and AED training for police, dispatchers, fire fighters and municipal staff
- Advisory Committees for area EMS training centers

Fitch-Rona EMS Bike Medic Program

The bike medic program is very successful. We have received many compliments on our use of the bikes and our ability to maneuver through crowded areas. We have seen an increase in the number of requests for our bike medic stand-by presence. While the paramedics on bikes cannot transport patients, the value of their presence is immediate care. Our bikes are equipped with: a defibrillator, airway supplies, trauma dressings, and most paramedic level medications. These first responding paramedics render care and relay pertinent information to the responding ambulance crew when required. As more and more event planners decide it is important to have a stand-by paramedic crew we will see more use of our bike medics. It is our goal to increase the use of bike medics for community events as often as possible.

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Data to September 30, 2015

2015

Funding Sources

EMS services are unique in the public service sector with our ability to offset a portion of our operational funding requirements through billing for services provided. Currently Fitch-Rona EMS income covers 57% of our operating expenses.

Municipality	Annual Cost	Percentage
Fitch-Rona	\$1,165,125	57%
Fitchburg	\$464,355	23%
City of Verona	\$348,125	17%
Town of Verona	\$50,347	3%
Total Budget	\$2,027,952	100%

Capital Improvement Projects

A portion of the capital projects were completed as scheduled in 2015.

- Ambulance purchase
- Continued turn-out gear purchases

Service Fees

The fee structure used for EMS service is divided into three parts: Base Charge, Supply Charge and Mileage Fee. In 2015 our Base Fees were increased to \$900 for residents of the district and \$950 for non-residents.

Mileage Fee is based on transport mileage only and is \$18 per mile. No Transport fees are on a sliding scale. Supply Charges are specific to each call.

	2013	2014	2015
ALS Resident Base Rate	\$800	\$800	\$900
ALS Non-Resident Base Rate	\$850	\$850	\$950
No-Transport	\$100-\$400*	\$100-\$400	\$100-\$400
Mileage	\$15/mile	\$18/mile	\$18/mile
Stand-By	\$100/hr	\$100/hr	\$100/hr + Set-up fee

* Fitch-Rona uses a tiered billing scheme for no-transport.

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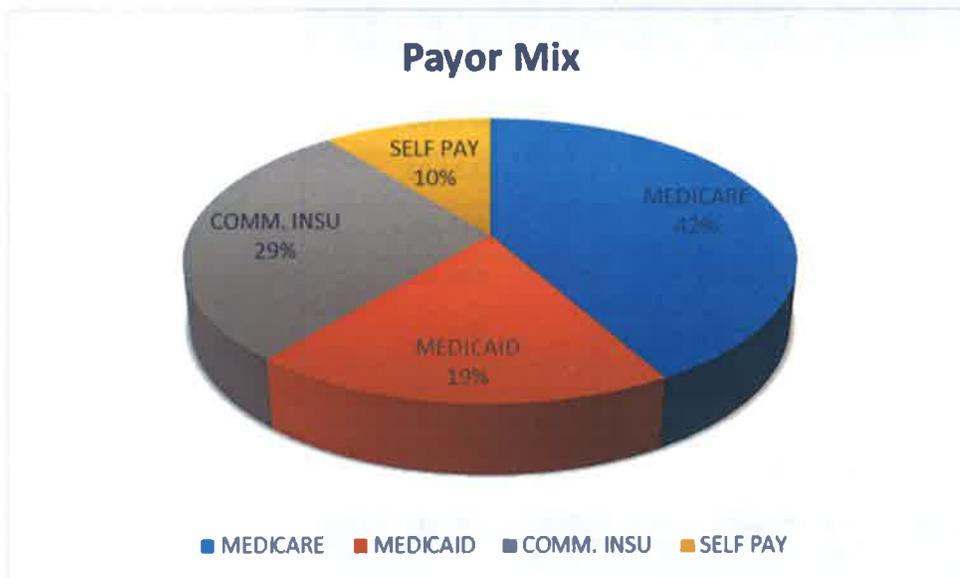
Income Categories

The majority of our Service Fees are covered by various insurance companies and governmental programs. 58.5% of our patient transports involve Medicare or Medicaid reimbursement resulting in significant write offs. Here is a breakdown for 2015 to September 30:

Payor	# Calls	% of total	Charges	% of total
Medicare	695	41.9%	\$ 715,590.60	42.0%
Medicaid	316	19.0%	\$ 328,091.00	19.2%
Commercial Insurance	475	28.6%	\$ 532,114.80	31.2%
Self-pay	174	10.5%	\$ 129,970.15	7.6%
Total	1660		\$ 1,705,766.55	

Self-pay also includes non-transport

2015 Payor Mix



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Data to September 30, 2015

2015

Service Fee vs. Actual Payment

Service fees charged do not accurately represent potential income. Both Medicaid and Medicare limit payments to a fraction of the fee charged and do not cover our actual cost of service. Additionally some of our calls result in a no-charge such as cancelled calls, false alarms and calls where no assessment is necessary. Currently of all calls billed, 6.3 % will result in further collection. For 2015, it is too early to calculate our net receivables.

ALS Billing Agreements

Medicare requires any Basic Life Support Service that utilizes intercepts for higher level care assistance to have a billing agreement in place with that ALS service. Within Dane County we succeeded in standardizing these Intercept Billing agreements. We currently charge a percentage of the Centers for Medicare and Medicaid Services (CMS) ALS2 reimbursement rate to area BLS services when we intercept with them and the patient treated is a Medicare or Medicaid patient. In 2015 we increased the number of participating services. We have billing agreements with the following services:

Arena, Argyle, Barneveld, Belleville, Blanchardville, Brooklyn, Cross Plains, Evansville, Mazomanie District 1, Marshall, McFarland, Mt Horeb, New Glarus, Oregon, Sauk Prairie, Stoughton and Waunakee.

The standardization of language based on the Medicare and Medicaid Services rate allows for the fee to meet any changes that may occur in the reimbursement rate set by CMS without having to open up the agreements for revision every time reimbursement rates change. The majority of BLS services within Dane County and the surrounding area use this language.

2015 Medicaid Reimbursement Rates

	We Charge	They Pay	Write-off per call
BLS	\$900.00	\$151.84	\$748.16
ALS1	\$900.00	\$180.31	\$719.69
ALS2	\$900.00	\$260.97	\$639.03
Mileage	\$18.00	\$5.56	\$12.44
Supplies	\$50.00	\$14.73	\$35.27
O2	\$80.00	\$14.73	\$65.27
IV	\$75.00	\$25.25	\$49.75

2015 Medicare Reimbursement Rates

	We Charge	They Allow*	Write-off per call
BLS	\$900.00	\$350.31	\$549.69
ALS1	\$900.00	\$415.99	\$484.01
ALS2	\$900.00	\$602.09	\$297.91
Mileage	\$18.00	\$7.27	\$10.73

*Medicare additionally withholds 2% of their payment due to sequestration

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No-Transport Responses

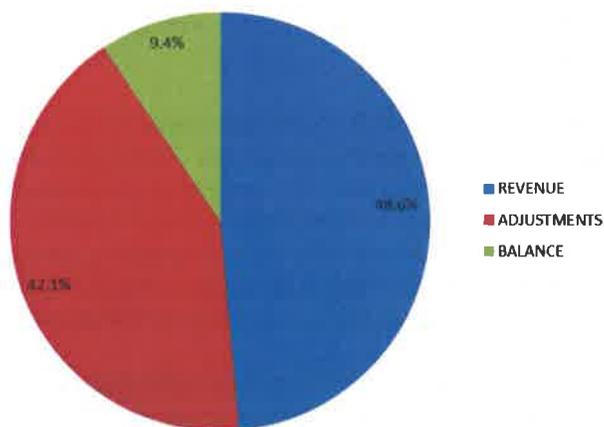
There are times when we respond to a 911 call and the patient opts not to be transported to the hospital. In some cases there is no charge for our response. If we render care on scene there will be a charge which is determined by the level of care provided. Additionally, we have a tiered charge for patients who call often but refuse transport.

Charges	# Calls	Total Charges
\$0.00	120	\$0.00
\$100.00	230	\$23,000.00
\$400.00	19	\$7,600.00

Annual Charges vs. Receivables

This chart represents charges sent out vs. revenue received. As noted earlier, there are significant adjustments that are made due to Medicare and Medicaid. Additionally, we are faced with more requests for payment forgiveness due to financial hardship. So far in 2015 we have written off \$4,688 due to financial hardship. When dealing with insurance companies, there is a delay in payment due to submittal time and review processes which is reflected in our monthly aging reports.

Charges	Revenue	Adjustments	Balance
\$ 1,705,766.55	\$ 712,697.66	\$ 658,835.38	\$ 334,233.51
	41.8%	38.6%	19.6%



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Five Year Plan Management

Fitch-Rona's five year plan is a fluid document and has been in place since 2001. Our philosophy is that the plan will evolve each year with pertinent changes/updates covered annually in the finalized Annual Report. The Annual Report is dispersed to each community in draft form during the October Municipal Meeting for budget approval and as a final document in March of the following year. The plan has two areas of discussion: Near Term and Long Term with both sections having potential implications to our Five Year Plan.

Near Term

We moved our Administrative Offices and a front line ambulance into a new station in Verona in August of 2015. In 2016 our Fitchburg based operations will move into a new station on the west side of Fitchburg, replacing the current station on King James Way. Fitch-Rona management and staff played an active role in the station planning.

Fitch-Rona EMS is a key component in Dane County's Advanced Life Support network. As such the management team is involved in several committees and advisory councils that are involved in all aspects of prehospital care throughout the county.

Local coordination with police and fire departments, municipal departments and school systems is a strong focus of our administrative duties. Planning is already underway to conduct ongoing training interdepartmentally to continue the momentum of organized response in a mass casualty situation.

Recent expansion of administrative roles and increasing operational needs required the department to examine its current staffing plan. It has been suggested for several years that the addition of a third 24/7 ambulance will be needed to better serve the citizens on the eastern side of our district. Adding fifty percent capacity to our department will necessitate a change in the current staffing model. In 2015 steps were taken to begin this expansion and reorganization.

A new staffing model that takes our anticipated growth and current shortfalls in operational development into consideration has been developed. In 2014 we proposed Captain Positions for management and internal promotions which was approved. This concept proved to be more costly than anticipated and less functional than our current model. An alternative staffing plan was developed and presented to all municipalities in early 2015. The changes were approved. Beginning in January of 2016 we will move from a structure of 1.5 FTE Deputy Chief positions to 2 FTE positions. Both Deputy Chief positions will be 40 hours/week with day to day administrative and operational management responsibilities. The continuity that these positions offer will be an important development in the day to day operations. The second phase of the 2016 staffing plan has internal promotion of up to three staff paramedics to the position of Lieutenant.

Lieutenants will be responsible for maintaining vehicles, equipment, supplies and stations in peak operational capacity. They will work closely in support of the Chief and Deputy Chief's.

Fitch-Rona EMS is exploring a new opportunity to service District citizens with services that are being introduced across the country. Community Paramedics are being introduced in a variety of locations. These position are designed to assist citizens that otherwise are finding it hard to locate available services. This is a more proactive approach to EMS. We are designing programs to keep recently discharged patients from having to be readmitted to local hospitals. We want to sponsor educational programs in business throughout the District where Community Paramedics can educate our citizens on issues concerning their health. We see opportunities assist local businesses with CPR training for their employees and chances to locate Automatic External Defibrillators that have proven effective in improving outcomes of heart attack victims.

Community paramedicine is a new, expanding field of EMS. Fitch-Rona Ems is looking to work with local hospitals, elder care facilities, business and organizations to help prevent the need to utilize our emergency response capacity. It should prove to be a win-win scenario for all involved.

Long Term

Based on our average growth in call volume, Fitch-Rona EMS will exceed 3000 calls annually in 2017. 1500 calls per year per ambulance is a point at which lost calls (calls that require Mutual Aid ambulances from outside the community to respond to) become significant.

Response time, a primary concern of all public safety departments, is a function of station location and distance to calls. Our goal is to get to ninety percent of calls in less than 9 minutes (Urban locations). With current station locations this is not possible in some areas. This is a concern for the District particularly along the eastern portion of our territory. Given the development plans for Fitchburg's northeastern neighborhoods, response times to this area should be improved.

The City of Fitchburg will be incorporating land now serviced by Town of Madison EMS sometime prior to January 2020. This additional territory will increase the call volume of the Fitch-Rona District. As the time nears for the City of Fitchburg to incorporate the Rimrock Road area, it is clear that the current locations for emergency responders are inadequate.

The solution to increasing call volumes and response time concerns can be accomplished with the relocation of Fitchburg Fire Station #1. Planning is currently underway for a new Fire/EMS station on the eastside of Fitchburg. As Fitchburg relocates Fire Station #1 east, to facilitate eastward expansion of the city, a third front line ambulance should be added to the District.

Establishment of a third ambulance will require 7 additional full-time crew members and several part-time staff to provide full coverage. The most recent staffing plan for the department will be sufficient to manage the anticipated expansion of service. Additional call volume will generate a portion of the funding needed however the District must begin planning now to cover the additional costs of this expanded operational capacity.

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Internal Cash Base Operating Statement- September 2015

This statement is an unaudited management report used to monitor our financial position.

Revenue-We are anticipating 2700 runs for 2015 which is nearly 2% higher than our budget which accounts for the positive variance in our forecasted run revenue. We have had a greater number of standbys this year compared to our budget including \$7,500 from work at the Epic User Group Meeting.

Expenses-Employee wages and benefits are forecasted to come in 3.8% below budget. Our operating expenses (non-employee related) are forecasted to be nearly \$28,000 over budget. We purchased two Knox boxes and an inventory software program that was not budgeted. Our computer support included the reconstruction of our main server that crashed last winter as well as service to set up our system in Verona as a result of our move. Earlier in the year we contracted with Paychex (our payroll service provider) to utilize their Human Resource Administrative Service to assure all our records and policies are up to date from an efficiency and legal prospective. We also have numerous expense items which are below budget.

Net effect we show a forecast for year end with a positive variance of nearly 3.8% compared to budget

Net Gain (Loss)

If generated funds exceed total expenses, based on final audited financial records, those funds will be used to build Fitch-Rona's contingency fund until we reach our goal of 20% of the annual budget. Funding shortfalls are covered by the contingency fund if available.

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Fitch-Rona EMS 2015 Budget (In-house Version Cash Basis)

	September 30, 2015	2015 Actual (through 09/30/15)	Forecast	2015 Approved Budget	Difference approved vs forecast	
1	Revenues					74.8%
2	Run Income	\$ 884,489	\$ 1,182,558	\$ 1,156,035	\$ 26,523	76.5%
3	Services Sub-Total	\$ 884,489	\$ 1,182,558	\$ 1,156,035	\$ 26,523	76.5%
4						
5	City of Fitchburg	\$ 464,355	\$ 464,355	\$ 464,355	\$ -	100.0%
6	City of Verona	\$ 348,125	\$ 348,125	\$ 348,125	\$ -	100.0%
7	Town of Verona	\$ 50,347	\$ 50,347	\$ 50,347	\$ -	100.0%
8	Municipalities Sub-Total	\$ 862,827	\$ 862,827	\$ 862,827	\$ -	100.0%
9						
10	Project Donations	\$ -	\$ -	\$ -	\$ -	
11	Interest Income	\$ 1,612	\$ 2,149	\$ 1,130	\$ 1,019	142.7%
12	Misc. Income	\$ 12,665	\$ 13,065	\$ 1,900	\$ 11,165	142.7%
13	Funds Applied from Reserve	\$ -	\$ 6,060	\$ 6,060	\$ -	
14					\$ -	
15	Misc. Sub-Total	\$ 14,277	\$ 21,274	\$ 9,090	\$ 12,184	157.1%
16						
17	TOTAL REVENUES	\$ 1,761,593	\$ 2,066,660	\$ 2,027,952	\$ 38,708	86.9%
19	Expenses					% spent
20	Salaries & Wages	\$ 695,113	\$ 903,647	\$ 902,283	\$ 1,364	77.0%
21	Overtime-Scheduled	\$ 149,482	\$ 214,327	\$ 218,167	\$ (3,840)	68.5%
	Overtime-Unscheduled	\$ 21,834	\$ 41,000	\$ 62,273	\$ (21,273)	35.1%
22	Soc. Sec. & Medicare Taxes	\$ 67,173	\$ 88,661	\$ 90,478	\$ (1,817)	74.2%
23	Retirement Plan	\$ 98,256	\$ 128,267	\$ 138,422	\$ (10,155)	71.0%
24	Misc Benefits	\$ 2,653	\$ 2,617	\$ 3,650	\$ (1,033)	72.7%
25	Health & Dental Ins.	\$ 156,515	\$ 213,454	\$ 233,653	\$ (20,199)	67.0%
26	Worker's Comp. Ins.	\$ 30,520	\$ 60,671	\$ 64,277	\$ (3,606)	47.5%
28	Income Continuation	\$ -	\$ -	\$ 2,340	\$ (2,340)	0.0%
29	Unreserved Fund-Sick Time	\$ -	\$ -	\$ -	\$ -	
	Medical Director Annual Fee	\$ 24,750	\$ 33,000	\$ 36,060	\$ (3,060)	
30	Salary Sub-Total	\$ 1,246,296	\$ 1,685,643	\$ 1,751,603	\$ (65,960)	71.2%

Fitch-Rona EMS District Annual Report

2015

Draft

Data to September 30, 2015

Fitch-Rona EMS 2015 Budget (In-house Version Cash Basis)

32	Oil, Gas & Lube	\$ 14,787	\$ 20,200	\$ 24,450	\$ (4,250)	60.5%
33	Tune-up & Repair	\$ 13,552	\$ 20,069	\$ 21,470	\$ (1,401)	63.1%
34	Medical Supplies	\$ 35,173	\$ 48,897	\$ 49,400	\$ (503)	71.2%
35	Office Supplies	\$ 1,040	\$ 1,250	\$ 2,000	\$ (750)	52.0%
36	Postage	\$ 309	\$ 410	\$ 500	\$ (90)	61.8%
37	Public Education	\$ 324	\$ 432	\$ 650	\$ (218)	49.8%
41	Staff Training	\$ 1,752	\$ 3,336	\$ 5,500	\$ (2,164)	31.9%
42	Staff Support	\$ 3,032	\$ 5,043	\$ 6,000	\$ (957)	50.5%
43	Uniforms	\$ 3,324	\$ 5,700	\$ 5,700	\$ -	58.3%
44	Personnel Recruitment	\$ 1,298	\$ 1,750	\$ 3,630	\$ (1,880)	35.8%
45	Subscriptions & Dues	\$ 623	\$ 950	\$ 950	\$ -	65.6%
46	Admin Space Lease	\$ 2,793	\$ 5,462	\$ 5,462	\$ -	51.1%
47	Facilities Furnishings	\$ 1,146	\$ 1,350	\$ 750	\$ 600	152.8%
48	Utilities/Maintenance	\$ 3,846	\$ 4,700	\$ 4,000	\$ 700	96.2%
49	Telephone	\$ 4,788	\$ 6,384	\$ 6,850	\$ (466)	69.9%
50	Radio Equipment	\$ 2,530	\$ 3,610	\$ 4,000	\$ (390)	63.3%
51	Radio Maintenance	\$ 1,190	\$ 1,780	\$ 2,000	\$ (220)	59.5%
52	Medical Equipment	\$ 13,093	\$ 15,693	\$ 4,750	\$ 10,943	275.6%
53	Medical Equipment Maint.	\$ 2,016	\$ 2,750	\$ 2,750	\$ -	73.3%
54	EMT Safety Equipment	\$ 1,087	\$ 1,000	\$ 1,200	\$ (200)	90.6%
55	Training Equipment	\$ 542	\$ 1,500	\$ 1,500	\$ -	36.1%
56	Office Equipment	\$ 575	\$ 1,100	\$ 1,600	\$ (500)	35.9%
57	Office Equipment Maint.	\$ 300	\$ 575	\$ 825	\$ (250)	36.4%
58	Computer Support	\$ 26,919	\$ 28,500	\$ 12,000	\$ 16,500	224.3%
59	Project Expenses	\$ -	\$ -	\$ -	\$ -	
60	Accounting Fees	\$ 15,956	\$ 18,172	\$ 9,000	\$ 9,172	177.3%
61	Legal Fees-General	\$ 5,203	\$ 4,666	\$ 4,000	\$ 666	130.1%
62	Legal Fees-Labor	\$ -	\$ -	\$ -	\$ -	
63	Unreserved Funds - Labor Contract	\$ -	\$ 8,000	\$ 8,000	\$ -	
64	Property Insurance	\$ 8,969	\$ 15,178	\$ 11,800	\$ 3,378	76.0%
65	3Rivers Billing Services	\$ 55,152	\$ 70,953	\$ 69,362	\$ 1,591	79.5%
66	Paramedic Intern Program	\$ 4,750	\$ 4,750	\$ 6,250	\$ (1,500)	76.0%
67	Misc. Expense Sub-Total	\$ 226,069	\$ 304,161	\$ 276,349	\$ 27,812	81.8%
68						
69	TOTAL EXPENSES	\$ 1,472,365	\$ 1,989,804	\$ 2,027,952	\$ (38,148)	72.6%
70	Net Gain (or Loss)	\$ 289,228	\$ 76,856	\$ -		

City of Fitchburg

Committee or Commission Referral

Direct Referral Initiated by:
Direct Referral Approved by:

Date Referred: **October 13, 2015** Ordinance Number:
Date to Report Back: **October 27, 2015** Resolution Number: **R-112-15**

Sponsored by: Mayor Arnold Drafted by: Sigurslid

**TITLE: APPROVING THE EMPLOYEE DEVELOPMENT
 POLICIES AND PROCEDURES**

Background:

See attached memo.

Order	Referred To	Staff Contact	Place on Agenda For	Action Taken On Referral
1	Personnel Committee	Sigurslid	10/21/2015	Approved
2				
3				
4				

Amendments:



Date: September 16, 2015

To: Pat Marsh, City Administrator

From: Lisa Sigurslid, Human Resources Manager

Re: Employee Development Program and Procedures Recommendation

Background

In 2014, the City underwent an extensive compensation and classification review of all of regular full and part-time positions (excluding represented public safety personnel). The main purpose of this project was to align all positions on a common pay structure with a focus on equity both internally and within the marketplace. During the course of this project the Personnel Committee was presented with three different compensation models – full step system, open range system, and combination system. The Personnel Committee selected the combination system that provides scheduled steps up to the control point with an open “merit” range up to the maximum. The pay structure was approved by the Personnel Committee on September 22, 2014 and by the Common Council on September 23, 2014.

Following the approval of the pay structure, a work group was formed by former Administrator Tony Roach to research a new evaluation system for the implementation of the merit component of the pay plan. The group met weekly with the goal of having an evaluation system ready by January 1, 2015. It quickly became evident that a January 1 target date was not realistic. The Personnel Committee met on December 11, 2014, approving the recommended pay plan implementation and administration procedures. These procedures provide a procedure for placing all employees on the new scale and guidance as to how new employees would be placed. An update on the performance evaluation project was also shared at this meeting as work continued.

The work group met regularly through the winter and spring of 2015. Numerous options were discussed before finalizing an evaluation system similar to that of Manteca, California. Enclosed is the group’s recommendation for an Employee Development Program, including procedures, to be utilized by all staff, including those not on the non-represented salary structure. What follows is the recommendation for implementing the Employee Development Program throughout the remainder of 2015 and into 2016, with full implementation by May 1, 2016.

Employee Development Program Implementation

The timeline detailed below provides a roadmap for full implementation of the employee development program by May 1, 2016. These dates are contingent upon the approval of the program by the Personnel Committee and the Common Council. Delays in approval by these bodies may result in a lengthier implementation.

Now through December, 2015	Human Resources to resume implementation of the NeoGov Perform module (automated evaluation software)
October 13, 2015	Referral by the City Council to the Personnel Committee
October 27, 2015	Referral due back to the City Council, approval of the Employee Development Program
November 2, 2015	Human Resources submits 2015 pay changes for processing Eligible employees will receive either a one-step increase or a 1.5% merit increase retroactive to their anniversary date. To be eligible for an increase, employees cannot be on a performance improvement plan. Employees that received a pay exception from the Personnel Committee in December 2014 will not be eligible for any further merit increases in 2015.
November 2015- December 2015	Manager and Supervisor Training Human Resources will meet with Managers and Supervisors to explain the new evaluation process. Training will include: conducting the Evaluation Planning Meeting, Core Values, General Competencies, Leadership Competencies. NeoGov Perform training will be held in early 2016 at the latest.
November 2015 - April 2016	Evaluation Planning Meetings Managers will hold their first Evaluation Planning Meetings with their direct reports. This meeting will include a review of the Core Values, selection of the General Competencies, and goal setting. These meetings will be conducted as follows:

<u>Meeting Month</u>	<u>Employee Anniversary Date</u>
November	November & May
December	December & June
January	January & July
February	February & August
March	March & September
April	April & October

Example: During December 2014, Managers will meet with their direct reports that have anniversary dates in December and June. These employees will receive their first evaluation using the new model in June and December of 2016. It is important to remember that as some will have just six months until their next evaluation, goals and objectives should be determined accordingly.

OVERVIEW

The Reference Guide has been designed as a resource for all employees. Its primary purposes are to bring more detailed definition to the behaviors that are important for the City of Fitchburg to achieve our strategic goals and to create a common, objective language for talking about job performance and behavioral skills.

Each Competency in the guide has a Definition and a set of behavioral skills called Behavioral Indicators. The Behavioral Indicators are observable behaviors that individuals employ when they are demonstrating a particular Competency. For example, when an employee is demonstrating “Initiative”, one of the things others will observe that individual doing is seeking information from many different sources before deciding on his/her own approach. This is the third Behavioral Indicator in the guide under the Competency “Initiative”. Note that observing a behavior means you can either see or hear an individual exhibiting that behavior.

During the planning phase of the employee development process, supervisors and their employees will use the guide to determine how the employee can most effectively achieve their goals or planned outcomes. There are five Core Values; they are Accountability, Service Excellence, Dedication, Initiative, and Pride. These values are key to the success of all City staff and will be included on all evaluations. There are sixteen general competencies and five management and leadership competencies. Based on the job duties, five to seven competencies from the general list will be utilized that will help the employee achieve his/her planned outcomes or goals. All competencies are important, but there are certain competencies that are more relevant than others to the particular job or focus for the year. Note: All employees who supervise others must be evaluated on all of the management and leadership competencies.

Once the Competencies have been assigned, the supervisor and employee will discuss Behavioral Indicators in each Competency that will be performance expectations for that employee.

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EVALUATION PROCESS

The Employee Development process is a yearlong process that culminates in a formal, written evaluation approximately one month prior to the employee's anniversary date (in position). There are three distinct steps to the evaluation process, each of them occurring at various times throughout the year.

Preliminary Meeting – At the preliminary meeting, the employee will meet with their immediate supervisor to establish the criteria for the upcoming review period. The position description and job requirements will be reviewed, competencies will be selected, and goals will be set. Together the evaluation planning worksheet will be completed and signed.

Mid-Year Check-in – Approximately six months after the preliminary meeting, the employee and supervisor will meet formally to review the competencies selected and the progress made on the agreed upon goals. Additional informal meeting are expected to occur at various times throughout the evaluation period.

Performance Evaluation – Approximately one month prior to the employee's anniversary date, the formal evaluation will be completed by the supervisor and discussed with the employee. Following the completion of the performance evaluation, the meeting will transition into the Preliminary meeting for the next evaluation cycle.

COMPETENCY SCORING AND WEIGHT

Each core value/competency on the evaluation will be scored on a scale of one to five. The overall score will be determined by adding all individual scores together and dividing by the number of evaluated competencies.

There will be two or three scored sections on the evaluations, depending on the position. Non-supervisory employees will be rated on Core Values and General Competencies. Supervisory employees will have an additional section, Management and Leadership Competencies.

Non-Supervisory Employees

Core Values – 50%

General Competencies – 50%

Supervisory/Management Employees

Core Values – 50%

General Competencies – 25%

Management & Leadership – 25%

All items within each category will be weighted equally.

RATING SCALE

The following rating scale will be utilized for each value/competency.

1 – Unsatisfactory	Employee performance is regularly below expectations. A separate action plan or Performance Improvement Plan is necessary for this rating.
2 – Needs Improvement	Employee performance occasionally does not meet expectations. This rating may be addressed within the evaluation by a comment. A separate action plan or Performance Improvement Plan may also be utilized.
3 – On Target	Employee performance consistently meets expectations.
4 – Exceeds Expectations	Employee performance frequently exceeds expectations.
5 – Outstanding	Employee demonstrates exceptional performance and makes superior contributions. This rating should be used sparingly to indicate extraordinary performance with achievements far in excess of expectations.

CUMULATIVE SCORE

An employee's cumulative score will be determined by adding together the scores for each competency and dividing by the total number of competencies. Employees will receive a salary adjustment based upon their cumulative score and the tables below.

For Employees within Steps (below market)

Cumulative Score	
2.99 or below	No Increase
3.00 – 3.99	One Step Increase (2.5%)
4.00 and above	Two Step Increase (5.0%)

For Employees within the Pay for Performance Range (at or above market)

Cumulative Score	
2.99 or below	No Increase
3.00 – 3.49	Council approved increase
3.50 – 3.99	Council approved Increase plus .50%
4.00 – 4.49	Council approved increase plus 1.00%
4.50 and above	Increase Recommended by Department Head and approved by Administrator

Effective January 1, 2016, step and pay for performance increases will be effective the first day of the pay period following the employee's date in position.

CORE VALUES

These core values are the guiding principles for all employees of the City of Fitchburg. They are the foundation on which we perform our individual job functions and provide direction on how people are to conduct themselves as representatives of the City of Fitchburg. They represent our highest priorities, deeply held beliefs, and core, fundamental driving forces. These core values define how we want our organization resonating with and appealing to staff and our customers.

Accountability: We recognize that our behavior must reflect honesty, sincerity, and integrity through ethical and legal standards. We are dependable and accountable to our taxpayers, citizens, and each other.

Service Excellence: We provide excellent customer service by being helpful, positive, and caring. We maintain a respectful attitude with all of our customers.

Dedication: We are dedicated to the community and each other. We work together to bring out the best from our combined talents, experiences, knowledge and cultures, thereby creating a strong, positive, cooperative, and fun environment.

Initiative: We strive to embrace change, encourage and support new ideas and methods, and are committed to continuous improvement. We search for ways to increase efficiencies, responsibly manage our limited resources, and develop a sustainable community.

Pride: We take pride in our work, continuously improving our skills and abilities to deliver quality services in a timely manner. We recognize and celebrate the successes of our fellow staff and the community.

GENERAL COMPETENCIES

ATTENTION TO DETAIL

DEFINITION:

Thoroughness in accomplishing a task through concern for all the areas involved, no matter how small. Monitors and checks work or information and plans and organizes time and resources efficiently.

BEHAVIORAL INDICATORS:

- Provides accurate, consistent information on all paperwork.
- Provides information on a timely basis and in a usable form to others who need to act on it.
- Maintains a checklist, schedule, calendar, etc., to ensure that small details and/or deadlines are not overlooked.
- Double-checks the accuracy of information and work product.
- Carefully monitors the details and quality of own and others' work.
- Expresses concern that things be done right, thoroughly, or precisely.
- Follows policies, procedures, and safety and security measures in using various equipment.
- Completes all reports and documents according to procedures and standards.
- Maintains properly equipped work area.
- Takes necessary actions to produce work that requires little or no checking.

COLLABORATION

DEFINITION:

Develops cooperation and teamwork while participating within your workgroup or within a group of people, working toward solutions which generally benefit all involved parties.

BEHAVIORAL INDICATORS:

- Solicits the input of others who are affected by plans or actions.
- Gives credit and recognition to others who have contributed.
- Finds areas of agreement when working with conflicting individuals or groups.
- Identifies and pushes for solutions in which all parties can benefit.
- Demonstrates concern for treating people fairly and equitably.
- Keeps people informed and up-to-date.
- Builds consensus.
- Listens to all points of view.
- Readily gets cooperation of others for whom one has no direct supervisory responsibility.

COMMUNICATION

DEFINITION:

Creates an atmosphere in which timely and high quality information flows smoothly both up the organization and down, inside and outside the organization; encourages open expression of ideas and opinions.

BEHAVIORAL INDICATORS:

- Asks open-ended questions that encourage others to give their points of view.
- Keeps people accurately informed and up to date.
- Appropriately expresses one's own opinion.
- Refrains from immediate judgment and criticism of others' ideas, delivering criticism in a way that demonstrates sensitivity to the feelings of others.
- Waits for the other person to finish their intended message before responding.
- Encourages staff to keep one another informed and share information.
- Uses vocabulary which is appropriate to the audience.
- Keeps responsible people informed of both positive and potentially negative information.
- Asks questions as necessary to clarify a message being delivered, demonstrating close concentration on the message.
- Encourages response and dissent to ideas and issues.

CUSTOMER FOCUS

DEFINITION:

Demonstrates concern for meeting internal and external customers' needs in a manner that provides satisfaction for the customer. ["Customers" can be residents, visitors, volunteers, co-workers, peers, supervisors or managers, vendors, suppliers, external partners or other stakeholders.]

BEHAVIORAL INDICATORS:

- Asks questions to identify customer's needs or expectations.
- Understands by stating what he/she believes are the customer's needs or expectations and asks the speaker to verify or clarify.
- Considers the impact on the external customer when taking action, setting policies or carrying out one's own job tasks.
- Looks for external trends that are likely to shape the wants and needs of customers in the near future.
- Involves stakeholders in the decision-making or problem-solving process as early as possible.
- Looks for creative approaches to providing or improving services that may increase efficiency and decrease cost.
- Works to remove barriers that get in the way of giving customers top notch service.
- Asks questions of customers to assess satisfaction with service being provided.
- Refers customer to appropriate department or employee to solve specific problems.
- When referring customers to different departments, follows up to make sure that the customer has been taken care of.
- Seeks ways to continuously improve external and internal customer satisfaction with product or service quality and on-time delivery.
- Strives to provide immediate assistance to customer's needs. If delays are necessary, frequently provides status reports to customers and follows up to assure satisfactory completion.

RESULTS

DEFINITION:

Demonstrates concern for achieving or surpassing results against an internal or external standard of excellence, shows a passion for improving the delivery of services with a commitment to continuous improvement.

BEHAVIORAL INDICATORS:

- Holds self and other team members accountable for achieving results.
- Recognizes and capitalizes on opportunities.
- Sets and maintains high performance standards for self and others. Tries new things to reach challenging goals while also taking action to minimize the risks involved.
- Persists until personal and team goals are achieved and commitments met.
- Finds more efficient and less expensive ways to do things.
- Works to meet individual and departmental goals with positive regard, acknowledgment of, and cooperation with the achievement of others' goals.
- Motivates others to translate ideas into actions and results.

INITIATIVE

DEFINITION:

Does more than is required or expected in the job; does things that no one has requested that will improve or enhance products and services, avoid problems, or develop opportunities. Plans ahead for potential problems or opportunities and takes appropriate action.

BEHAVIORAL INDICATORS:

- Does things before being asked or before the situation necessitates action (i.e., forced to by events).
- Recognizes and acts upon opportunities.
- Seeks information from many different resources before deciding on own approach.
- Does more than is minimally required in the assignment, task or job description.
- Digs beneath the obvious to get at the facts, even when not asked to do so.
- Creates opportunities or minimizes potential problems by anticipating and preparing for these in advance.
- Tries out new ideas after consideration of all factors involved and potential consequences and outcomes.
- Seeks out and/or accepts additional responsibilities in the context of the job.

JOB-FOCUSED LEARNING

DEFINITION:

Demonstrates eagerness to acquire the necessary technical knowledge, skills, and ability to accomplish a result or to serve a customer's needs effectively. Has desire and drive to acquire knowledge and skills necessary to perform the job more effectively.

BEHAVIORAL INDICATORS:

- Seeks out opportunities to gain additional operational exposure and experience.
- Identifies and pursues areas for development and training that will enhance job performance.
- Maintains fluency in appropriate business applications, software, or tools.
- Keeps up to date on current research and technology in their field.
- Reviews, selects, and disseminates information regarding key technologies, best practices, and tools to others in the group.
- Demonstrates resourcefulness in acquiring necessary knowledge inside or outside area of expertise when designing solutions or improving performance.
- Continually looks for ways to expand job capabilities.
- Selects appropriate development activities from a range of competing alternatives and pursues them.

ORGANIZATIONAL UNDERSTANDING

DEFINITION:

Understands the agendas and perspectives of others, recognizing and effectively balancing the interests and needs of one's own group with those of the broader organization.

BEHAVIORAL INDICATORS:

- Understands the organizational implications of events.
- Knows how to use the organization's formal and informal system to get things done.
- Demonstrates awareness of goals of other units and of the organization and makes requests or decisions in support of this awareness.
- Uses the most appropriate channels and cost-effective means in communications within and between departments.
- Identifies key decision makers on issues of concern.
- Recognizes which issues are worth pursuing and when it is time to compromise.
- Keeps objectives that are related to organizational priorities at the top of one's own priorities and the priorities of one's work group.
- Works to build a sense of common purpose across all work groups, avoiding a "we versus them" attitude.
- Identifies underlying problems affecting organizational or individual performance such as market conditions, taxpayer concerns, or other external forces.

PLANNING AND ORGANIZING

DEFINITION:

Establishes a systematic course of action for self or others to ensure accomplishment of a specific objective.
Sets priorities, goals, and timetables to achieve maximum productivity.

BEHAVIORAL INDICATORS:

- Develops or uses systems to organize and keep track of information (e.g., "to-do" lists, appointment calendars, follow-up file systems).
- Sets priorities with an appropriate sense of what is most important.
- Keeps track of activities completed and yet-to-do to accomplish stated objectives.
- Keeps clear, detailed records of activities related to the accomplishment of stated objectives.
- Plans with an appropriate and realistic sense of the time demand involved.
- Knows status of one's own work at all times.
- Creates action plans for achieving performance expectations.

PROBLEM SOLVING/ANALYTICAL THINKING

DEFINITION:

Builds a logical approach to address problems or opportunities or manage the situation at hand by drawing on own knowledge and experience base and calling on other references and resources as necessary.

BEHAVIORAL INDICATORS:

- Undertakes a complex task by breaking it down into manageable parts in a systematic, detailed way.
- Anticipates the consequences of situations.
- Thinks of several possible explanations or alternatives for a situation.
- Identifies the information needed to solve a problem effectively.
- Gets input from internal/external contacts whom are closest to the problem.
- Presents problem analysis and recommended solution to others rather than just identifying or describing the problem itself.
- Acknowledges when one doesn't know something and takes steps to find out.
- Anticipates potential obstacles and develops contingency plans to overcome them.
- Considers the organization's priorities when making decisions or analyzing the costs and benefits of various alternative solutions.

TECHNICAL EXPERTISE

DEFINITION:

Applies and improves extensive or in-depth specialized knowledge, skills, and judgment to accomplish a result or to serve one's "customers" effectively. ["Customers" can be residents, visitors, volunteers, co-workers, peers, supervisors or managers, external partners, or other stakeholders.]

BEHAVIORAL INDICATORS:

- Understands technical aspects of one's job.
- Makes self available to others to help solve technical or procedural problems or issues.
- Continuously builds knowledge, keeping up-to-date on the technical or procedural aspects of the job.
- Acts on own to improve and increase technical or procedural knowledge.
- Uses a wide range and depth of technical or specialized knowledge and skills.
- Keeps up-to-date on resources available to serve the needs of customers.
- Thinks of ways to apply new developments to improve organizational performance or customer service.
- Applies technical/procedural knowledge to correctly address a situation, taking into consideration the full range of available facts.
- Applies technical procedures correctly and in a timely manner.
- Recognizes trends in theory and practice of one's own technical area and effectively prepares for anticipated changes.

RELIABILITY

DEFINITION: Consistently performs required job duties and assignments. Employee is trusted and depended upon by co-workers, supervisor, and peers.

BEHAVIORAL INDICATORS:

- Demonstrates a high level of dependability in all aspects of the job.
- Completes all assigned tasks on time and with minimal supervision.
- Is punctual and present for work.
- Fulfills all commitments made to peers, co-workers, and supervisor.
- Informs appropriate individuals when assigned tasks will not be completed in agreed upon time frame.

INTEGRITY

DEFINITION:

Behaves and works in a way that exhibits honesty, openness, and respect in accordance with the City's core values.

BEHAVIORAL INDICATORS:

- Acts in an honest and trustworthy manner based on personal accountability and a moral conviction to do the right thing.
- Acts consistently with high standards of ethical judgment when participating in group decisions and problem-solving.
- Acts to protect and does not violate or compromise the confidentiality of information. Recognizes when situations or directives are directly or indirectly in conflict with professional ethics or with the organization's stated values.
- Promises only what can reasonably be delivered.
- Appropriately and consistently complies with policies and procedures.

FLEXIBILITY

DEFINITION:

Adapts to changes in circumstances even when unexpected. Able to adjust to meet varied needs.

BEHAVIORAL INDICATORS:

- Changes behavioral style or method of approach when necessary to achieve a goal; adjusts style as appropriate to meet the needs of the situation.
- Adjusts easily to changes at work in a calm and positive manner.
- Modifies a strongly held position in response to contrary evidence when appropriate.
- Recognizes the merits of different approaches and uses them in accomplishing work activities.
- Modifies own behavior to fit the situation at hand or to meet the expectations of others.

BASIC COMPUTING SKILLS

DEFINITION:

The ability to utilize computers and related technology efficiently as needed to perform job duties.

BEHAVIORAL INDICATORS:

- Demonstrates the ability to use technology to receive and share information as an active member of the organization and to accomplish position responsibilities successfully.
- Uses the City email application to share and receive information.
- Uses the City calendar application to plan and schedule work, meetings, and appointments.
- Navigates the website to obtain information.
- Demonstrates proficiency in the use of software applications required for the position.

INTERPERSONAL RELATIONSHIPS

DEFINITION:

The ability to build cooperative relationships with customers, co-workers, supervisors, and peers. Welcomes and respects differing views and opinions.

BEHAVIORAL INDICATORS:

- Thinks carefully about the likely effect on others of one's words, actions, appearance, and mode of behavior.
- Maintains stable performance and emotional control when faced with opposition, pressure, hostility from others, and/or stressful conditions.
- Demonstrates appropriate and professional behavior at all times.
- Uses a high degree of tact and diplomacy in working with others.
- Models and exercises sound judgment regarding personal conduct.
- Is aware of one's own style or preference and its impact on others.
- Earns the respect of others.
- Stays calm in the face of others' anger or lack of control or when faced with complaints.
- Demonstrates respect for all differences (e.g., race, gender, ethnic background, disabilities, sexual orientation, age, career levels, style, and opinions.)
- Refrains from behavior or language that is exclusionary or offensive in nature.
- Solicits opinions from many diverse perspectives.
- Considers different ideas when making business decisions.
- Adheres to the policy on sexual and other unlawful harassment.
- Participates in City training and learning opportunities to increase competence in Diversity.

INNOVATION

DEFINITION:

Generates novel and valuable ideas and uses these ideas to develop new or improved processes, methods, systems, products, or services.

BEHAVIORAL INDICATORS:

- Works to develop new approaches when problem-solving; seeking ideas or suggestions from others as appropriate.
- Identifies novel approaches for completing work assignments more effectively or efficiently and works within the "established" system to push for "a better way."
- Able to envision the impact of possible future changes.
- Suggests new ways to improve the quality of products or services.
- Identifies new ideas, solutions, or directions in dealing with daily situations.
- Displays a high level of curiosity and translates it into new approaches to solutions.
- Translates adversity into opportunities for improvement.

**Innovation is a required Management and Leadership Competency. Innovation may only be selected for non-supervisory employees under the General Competency heading.

MANAGEMENT AND LEADERSHIP COMPETENCIES

CHANGE LEADERSHIP

DEFINITION:

Initiates and/or manages the change process and energizes it on an ongoing basis, taking steps to remove barriers or accelerate its pace.

BEHAVIORAL INDICATORS:

- Communicates a compelling vision that generates excitement, enthusiasm, and commitment.
- Communicates the need for change and inspires commitment to the process.
- Obtains and provides resources to enable implementation of change initiatives.
- Clearly communicates the direction, required performance, and challenges of the unit to its members.
- Identifies and enlists the support of key individuals and groups to move the change forward.
- Demonstrates commitment to innovation and continuous improvement in organizational performance.
- Takes action to call attention to a crisis or heighten the awareness of a need for change.
- Enlists others effectively as champions of the change one is pursuing.
- Leads initiatives to change the structure, system, or talent mix of the organization to more effectively support the business strategy.
- Serves as a personal model of the change that she/he expects of others.
- Works to make others feel ownership in one's own solution.

COACHING

DEFINITION:

Works to improve and reinforce performance of others. Facilitates skill development in staff by providing clear, behaviorally-specific performance feedback, and making or eliciting specific suggestions for improvement in a manner that builds confidence and maintains self-esteem.

BEHAVIORAL INDICATORS:

- Reinforces effective behaviors or results immediately after the event.
- Compares and clearly states actual performance to expected or desired performance.
- Takes extra time to assist and provides specific, detailed follow-up.
- Demonstrates or specifically explains correct procedures or desired performance.
- Devotes time to providing task-related help to others, as needed.
- Asks questions that help other people recognize the need for performance improvement.
- Expresses confidence in an individual's ability to improve performance.
- Talks with others openly and directly about problems with their performance, providing necessary focus, guidance, and direction.
- Tailors feedback and interactive approach to the individual.
- Discusses problems immediately, before they are forgotten or out of control.
- Ensures clarity of and commitment to performance expectations.
- Collects and incorporates the feedback of others to create development plans.
- Gives specific feedback and examples in a manner that maintains self-esteem.

COLLABORATIVE LEADERSHIP

DEFINITION:

Promotes and generates cooperation among one's peers in leadership to achieve a collective outcome; fosters the development of a common vision and fully participates in creating a unified leadership team that gets results.

BEHAVIORAL INDICATORS:

- Takes into account the organization as a whole when making decisions. Separates one's own interests from organizational interests in order to make the best possible judgments for the City.
- Supports and acts in accordance with final leadership team decisions even when such decisions may not entirely reflect one's own position.
- Solicits the input of peers across the City even when those peers may only be minimally affected or involved.
- Finds areas of agreement when working with conflicting viewpoints and opinions.
- Identifies and pushes for solutions in which all parts of the City can benefit.
- Builds consensus among one's peers in leadership.
- Communicates key City priorities and how one's department contributes to achieving those priorities.
- Shares annual goals with peers in the City to increase alignment, cooperation, and opportunities to collaborate.
- Builds buy-in for strategic goals across the City.

DELEGATION

DEFINITION:

Utilizes direct reports effectively by allocating decision-making and other responsibilities to the appropriate person or persons.

BEHAVIORAL INDICATORS:

- Does not complete tasks that are/should be part of a direct report's responsibility.
- Assigned accountabilities are clear end results, not simply tasks to complete.
- Assignments are delegated to the appropriate person and that individual is capable of performing them successfully.
- Individualizes delegation to meet the needs and abilities of the individual.
- Encourages others to set own deadlines within time constraints of assignment and holds them accountable for meeting the deadline.
- Asks employee for his/her plan to address issue to be delegated, allowing person to create and "own" the solution.
- Manages risks by making contingency plans with employee.
- Clearly communicates expectations or boundaries.
- Provides the necessary guidance and resources when assigning work.

INNOVATION

DEFINITION:

Generates novel and valuable ideas and uses these ideas to develop new or improved processes, methods, systems, products, or services.

BEHAVIORAL INDICATORS:

- Works to develop new approaches when problem-solving; seeking ideas or suggestions from others as appropriate.
- Identifies novel approaches for completing work assignments more effectively or efficiently, and works within the "established" system to push for "a better way."
- Able to envision the impact of possible future changes.
- Suggests new ways to improve the quality of products or services.
- Identifies new ideas, solutions, or directions in dealing with daily situations.
- Displays a high level of curiosity and translates it into new approaches to solutions.
- Translates adversity into opportunities for improvement.

Mayor Arnold
Introduced by

Sigurslid
Prepared by

Personnel Committee
Referred to

October 6, 2015
Date

**RESOLUTION R-112-15
APPROVING THE EMPLOYEE DEVELOPMENT
PROGRAM AND PROCEDURES**

WHEREAS, the City Council adopted a new compensation and classification system on September 23, 2014; and

WHEREAS, the new compensation and classification system contained a merit pay element; and

WHEREAS, the City Council and Personnel Committee directed staff to recommend a revised evaluation system that incorporates merit pay.

NOW, THEREFORE, BE IT HEREBY RESOLVED, that the Common Council of the City of Fitchburg, Dane County, Wisconsin, hereby approves the revised Employee Development Policies and Procedures as recommended by the Personnel Committee, dated October 27, 2015.

Adopted this 27th day of October, 2015.

Approved By: _____
Stephen L. Arnold, Mayor

Attested By: _____
Patti Anderson, City Clerk



Office of the Mayor

5520 Lacy Road
Fitchburg, WI 53711-5318

Phone: (608) 270-4200

October 15, 2015

Patti Anderson
City Clerk
City of Fitchburg
5520 Lacy Rd
Fitchburg, WI 53711

Dear Clerk Anderson:

This letter is your notice that I am today vetoing Resolution R-107-15, "A Resolution Establishing a Police and Municipal Building Oversight Committee to Be Appointed by the Council President", which was passed at the Common Council meeting of October 13, 2015.

This resolution is troublesome because it forms a new and unique type of committee, not otherwise envisioned by our Code of Ordinances, which requires staff resources but over which the Mayor and City Administrator have no control. It is the responsibility of the Mayor, as the city's chief executive, to exercise day-to-day management over city staff, and this resolution muddles the otherwise clear separation of powers between our executive and legislative branches.

I respect the Council's collective desire to undertake planning for this project at this time. To meet this desire while avoiding the problem above, I am today creating a Mayor's *ad hoc* committee to plan space expansion. Please see my separate letter to the Council for details.

I ask that pursuant to the requirements of Wisconsin Statutes 62.08(c), you present this veto to the Council at its next meeting by placing it on the agenda for discussion and possible action.

Sincerely,

Steve Arnold
Mayor



Office of the Mayor

5520 Lacy Road
Fitchburg, WI 53711-5318

Phone: (608) 270-4200

October 15, 2015

President Dan Carpenter and members of the Fitchburg Common Council
(via electronic mail)

Dear Council colleagues:

Today I have established a Mayor's *ad hoc* committee on city hall expansion. It should be clearly understood that both an addition to the current building and the creation of a separate building are possible outcomes for study by this committee.

I will appoint to the committee seven voting members, including three alders and four additional residents. I invite Jason Gonzalez, representing the Public Safety and Human Services Committee, Julia Arata-Fratta, representing the Finance Committee, and Dan Carpenter, the Common Council President, or his designee, to serve on the committee. If Julia serves, I appoint her as chair. I will appoint citizens in the coming days, but today I invite Council members to suggest residents for appointment who have knowledge of city government or experience in designing buildings. Those interested in serving should fill out a Mayoral Appointment Application form: <http://wi-fitchburg.civicplus.com/FormCenter/City-Administration-9/Mayoral-Appointment-Application-Form-62>.

The committee will be supported by three, non-voting staff members: Thomas Hovel representing level 3 departments, Patrick Marsh representing level 2 departments, and a representative of the police department, to be designated by the Chief of Police. These staff members will work together to determine which of them will staff each meeting and provide administrative support. All will attend the first, organizational meeting.

The limited work plan for this committee will be to vet the results of the 2015 space needs study, <http://www.fitchburgwi.gov/documentcenter/view/10945>, and provide an updated space requirements program for each department for the next twenty years, to be presented to Common Council for approval. It is my hope that this work can be started this year and completed by the end of 2016.

Sincerely,

Steve Arnold
Mayor

PENDING REFERRAL ITEMS	
•	Rezone Request RZ-1853-09 by Randy Bruce of Knothe & Bruce Architect, LLC, Agent for McKee Family, LLC, to Rezone from Residential Medium Density (R-M) to Planned Development District General Implementation Plan (PDD-GIP) Property Associated with Lots 53 & 54 of Chapel Valley Plat
•	R-70-14 Resolution Designating Path Location for a Connection to McKee Road from the Military Ridge Path - tabled June 24, 2014
•	2014-O-22 Chapter 54 - Parks, Recreation and Forestry, Article III Division 3. Tree and Shrub Management
•	R-26-15 Authorizing Acceptance of 2015 Contract Bid
•	R-102-15 Approving Huegel-Jamestown Park Master Plan Update
•	RZ-2082-15 by Thomas Sanford, Agent for Homeville Fitchburg/Bill Clemens, to Rezone Lot 1 CSM 12135 from PDD-GIP (Planned Development District- General Implementation Plan) Zoning to PDD-SIP (Planned Development District - Specific Implementation Plan) Zoning to Allow for Commercial Development
•	CS-2083-15 by Thomas Sanford, Agent for Homeville Fitchburg/Bill Clemens, to Divide Lot 1 CSM 12135 into Two Lots
•	2015-O-31An Ordinance Amending Chapter 14 to Amend Article 3 Section 14-63(a) and Create Article 3 Section 14-63(a)(1) and Article 3 Section 14-63(a)(2)
•	R-104-15 A Resolution Adopting the 2016 Annual City Operating Budget