

HAMPSTEAD

MONTGOMERY, ALABAMA

CRC SUBMITTAL

Thursday, 13 July 2006

DUANY PLATER-ZYBERK & COMPANY
ARCHITECTS AND TOWN PLANNERS

The Colonial Company
Anna Lowder & Harvi Sahota





HAMPSTEAD

MONTGOMERY, ALABAMA

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July 17, 2006

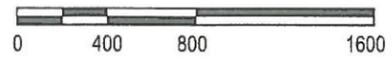
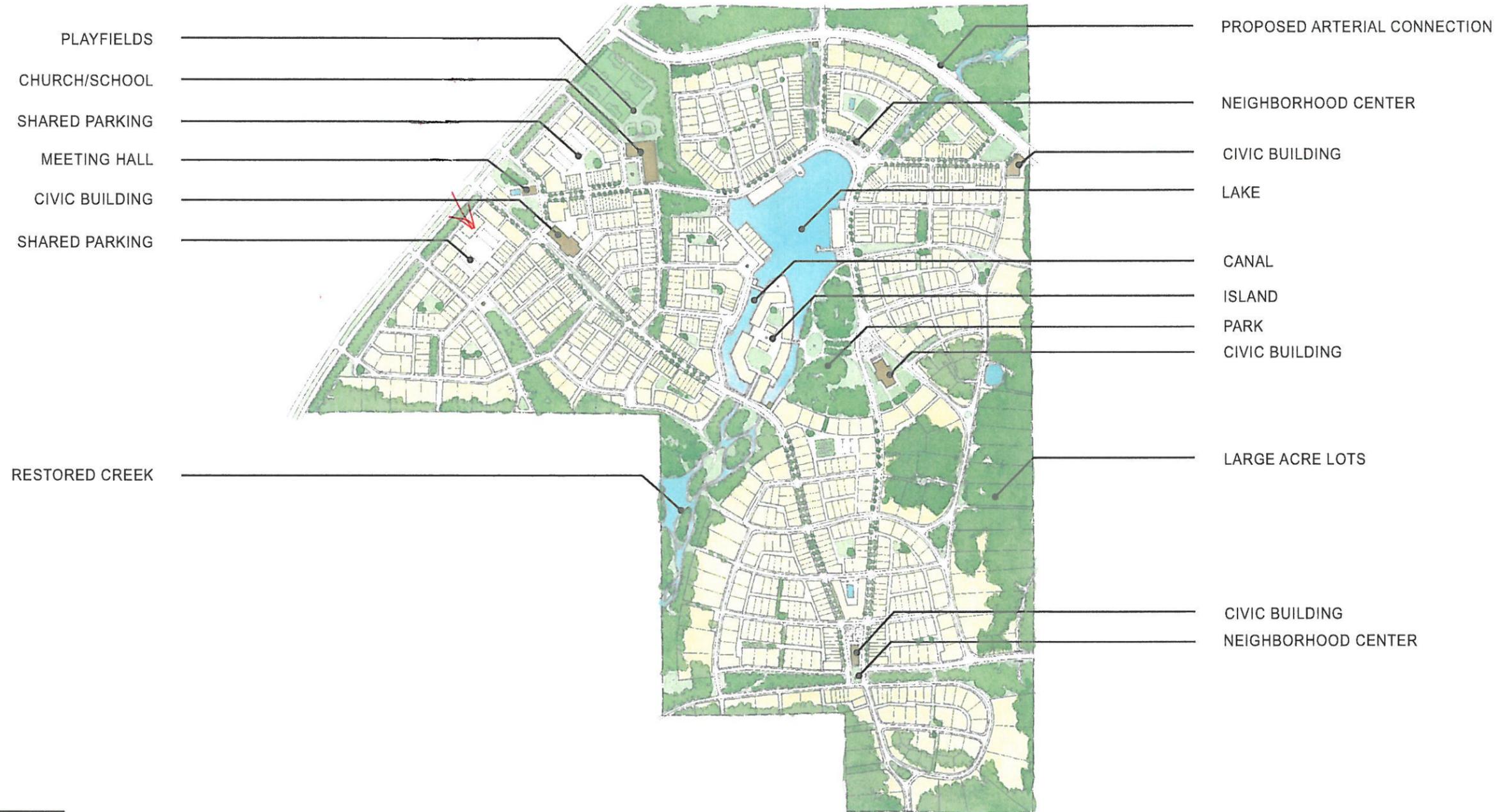
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HAMPSTEAD

MONTGOMERY, ALABAMA

HAMPSTEAD NEW COMMUNITY PLAN SUBMITTAL

CHARRETTE ILLUSTRATIVE MASTER PLAN

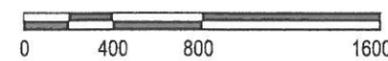


HAMPSTEAD

MONTGOMERY, ALABAMA

HAMPSTEAD NEW COMMUNITY PLAN SUBMITTAL

CURRENT ILLUSTRATIVE MASTER PLAN



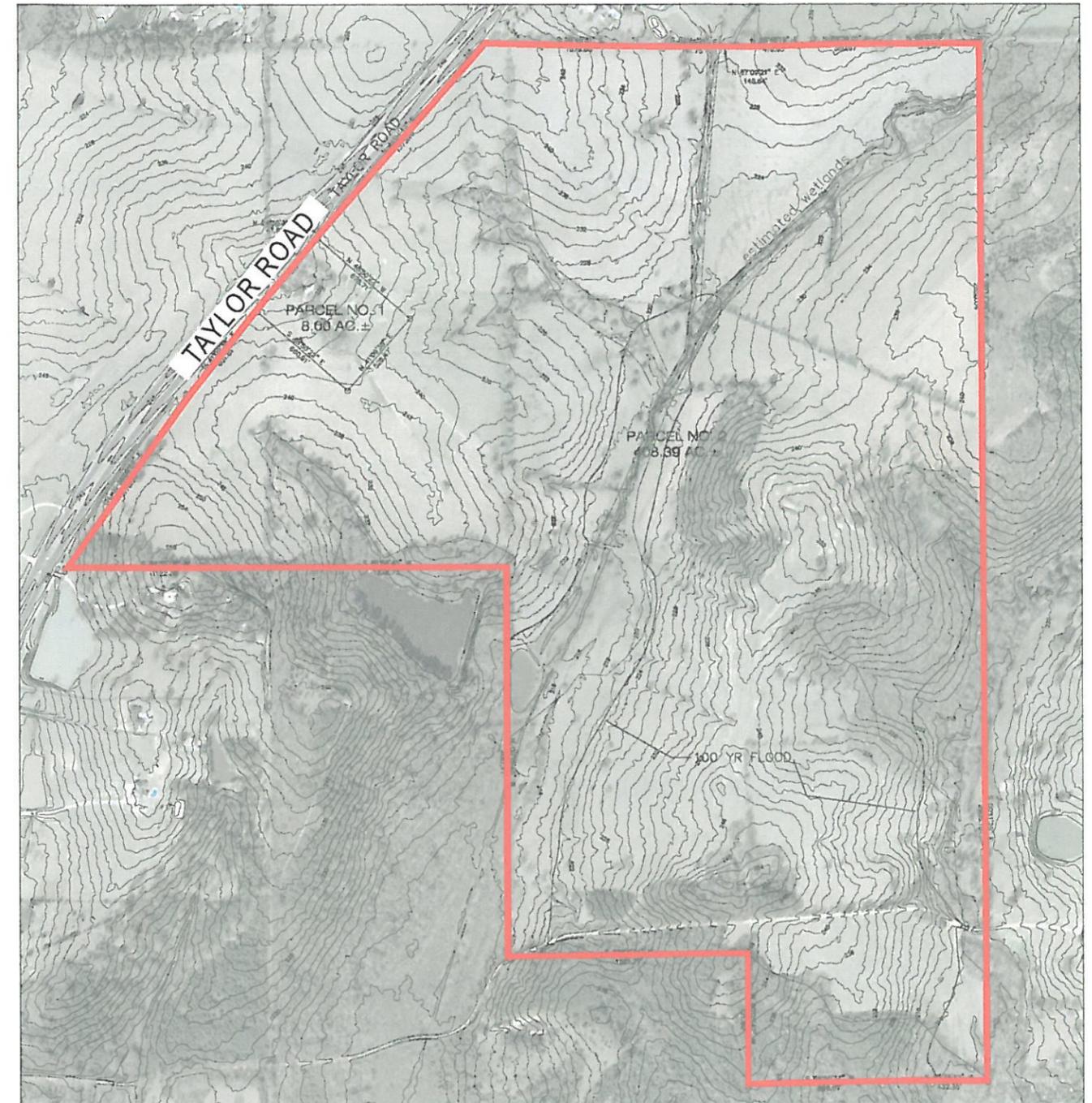
HAMPSTEAD

MONTGOMERY, ALABAMA

Compliance with Minimum Contiguous Acreage requirements for selected New Community Type(s) as set forth in Section 2.3.2.a

TND: Overall Acreage = 416 acres

SITE BOUNDARY



Compliance with Allocation of Land Outside Pedestrian Sheds as set forth in Section 2.1.8

Transect Zones outside shed: T1, T2, T3

Compliance with Pedestrian Shed requirements as set forth in Section 2.3.2.b

Transect Zones within shed: T3, T4, T5

Compliance with Transect Zone Allocation requirements as set forth in Table 14 A

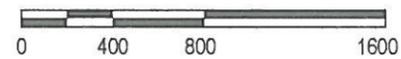
See table below

*Note: Transect allocation at north of property subject to final location of Regional Arterial Collector

- T1 - NATURAL ZONE
- T2 - RURAL ZONE
- T3 - SUB-URBAN ZONE
- T4 - GENERAL URBAN ZONE
- T5 - URBAN CENTER ZONE
- CS - CIVIC SPACE
- CB - CIVIC BUILDING RESERVE
- 1/4 MILE PEDESTRIAN SHED



	T1 NATURAL ZONE		T3 SUB-URBAN ZONE		T4 GENERAL URBAN		T5 URBAN CENTER		CIVIC		TOTAL	
	Area	Percentage	Area	Percentage	Area	Percentage	Area	Percentage	Area	Percentage	Area	Percentage
1	-	0.0%	11.54	10.6%	36.35	33.3%	30.16	27.6%	31.09	28.5%	109.14	100.0%
2	18.32	12.3%	19.57	13.1%	46.85	31.5%	17.06	11.5%	47.09	31.6%	148.89	100.0%
3	19.14	12.2%	45.81	29.1%	65.35	41.5%	16.25	10.3%	10.77	6.8%	157.32	100.0%
TOTAL	37.46	9.0%	76.92	18.5%	148.55	35.8%	63.47	15.3%	88.95	21.4%	415.35	100.0%



HAMPSTEAD

MONTGOMERY, ALABAMA

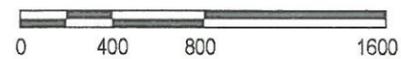
MAXIMUM BLOCK SIZE

Compliance with Maximum Block Size requirements as set forth in Table 14 C

Warrant Request

1. Block size exceeding by 32.16 lineal feet for interior parking while maintaining attached green
2. Block size exceeding by 221.02 lineal feet. T5 designation is anchoring an important termination.

- T1 - NO MAXIMUM
- T2 - NO MAXIMUM
- T3 - 3,000 feet max
- T4 -2,400 feet max
- T5 -2,000 feet max
- CS - CIVIC SPACE
- CB - CIVIC BUILDING RESERVE



Compliance with Thoroughfare requirements as set forth in Tables 3A, 3B and 3C.

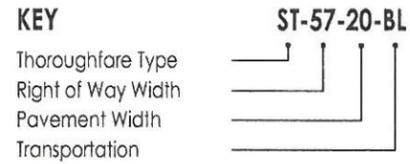
DEFINITIONS

Boulevards: are a transformation of highways upon entering an urbanized area. They are appropriate for speed-movement thoroughfares outside neighborhoods. The effect of the side medians is to buffer buildings along the edges from traffic on the center lanes.

Commercial Street: are appropriate for commercial buildings at Center and Core Zones. Trees are define by individual planters, creating a sidewalk of maximum width, with areas accommodating street furniture. A single species of tree should be planted in opportunistic alignment storefronts. Clear trunks and high canopies are necessary to avoid interference with shopfronts, signage, and awnings. Streets are detailed with raised curbs and closed storm drainage.

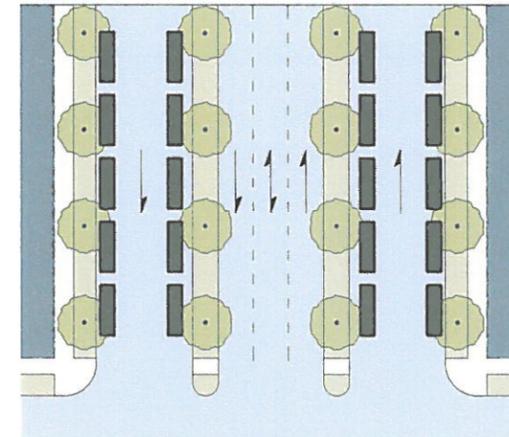
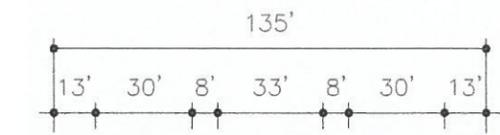
Street: a local, slow-movement thoroughfare suitable for General, Center, and Core Urban Zones. Streets provide frontage for higher-density buildings such as offices, shops, apartment buildings, and rowhouses. A street is urban in character, with raised curbs, closed drainage, wide sidewalks, parallel parking, and trees in individual planting areas. Character may vary somewhat, however, responding to the enfronting commercial and residential uses.

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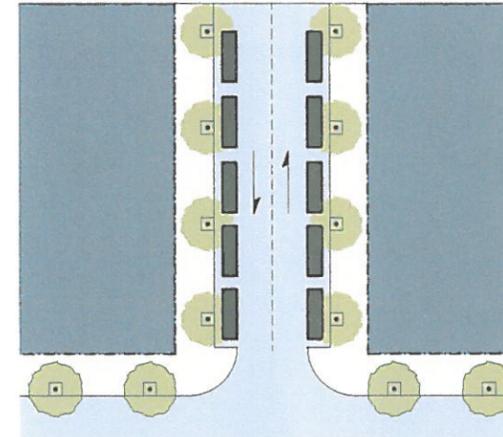
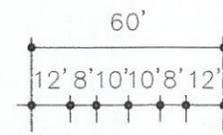


THOROUGHFARE TYPES

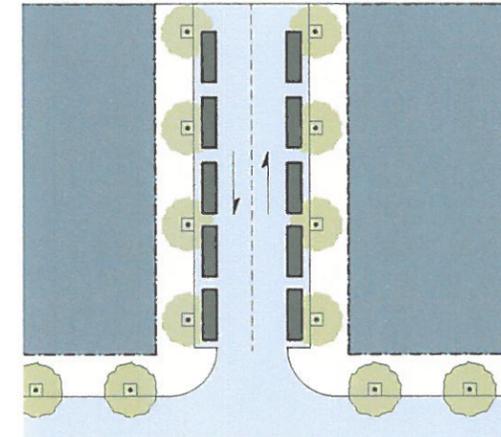
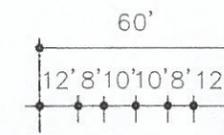
- Boulevard: BV
- Avenue: AV
- Commercial Street: CS
- Standard Street: SS
- Residential Street: RS
- Standard Road: SR
- Rural Road: RR
- Rear Alley: RA
- Rear Lane: RL
- Bicycle Trail: BT
- Bicycle Lane: BL
- Bicycle Route: BR
- Path: PT
- Transit Route: TR



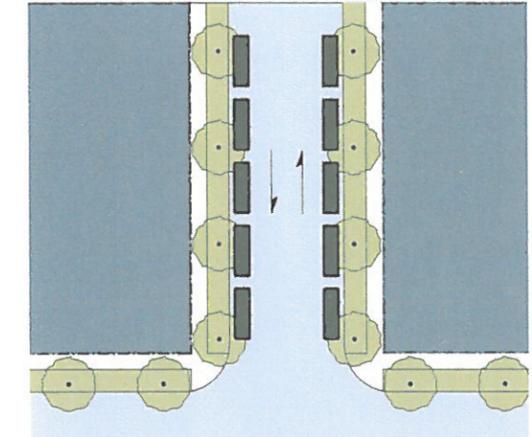
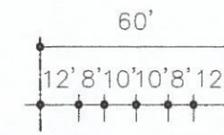
BV-135-33



CS-60-36



ST-60-36



ST-60-36 R

Thoroughfare Type	Transect Zone Assignment	Right-of-Way Width	Pavement Width	Movement	Design Speed	Pedestrian Crossing Time	Traffic Lanes	Parking Lanes	Curb Radius	Public Frontage Type	Walkway Type	Planter Type	Curb Type	Landscape Type	Transportation Provision
Boulevard - BV	T5	135 feet	30 feet - 33 feet - 30 feet	Free movement	35 MPH	8.5 seconds - 9.5 seconds - 8.5 seconds	3 lanes; two-ways, 1 turning lane & 2 one-way slip roads	8 feet marked	15 feet	Gallery/Arcade, Shopfront/Awning	6 foot sidewalk	7 foot continuous planter	Curb	Trees @ 30' o.c. avg.	BR, TR
Commercial Street - CS	T5	60 feet	36 feet	Slow movement	25 MPH	10 seconds	Two lanes, two ways	Both sides @ 8 feet marked	15 feet	Gallery/Arcade, Shopfront/Awning	13 foot sidewalk	4'X4' tree well	Curb	Trees @ 30' o.c. Avg.	BR
Standard Street - SS	T5, T4, T3	60 feet	36 feet	Slow movement	25 MPH	10 seconds	Two lanes, two ways	Both sides @ 8 feet marked	15 feet	Sloop, Forecourt, Light Court, Porch & Fence	8 foot sidewalk	5 foot continuous planter	Curb	Trees @ 30' o.c. Avg.	BR
Residential Street - RS	T5, T4, T3	60 feet	36 feet	Slow movement	25 MPH	10 seconds	Two lanes, two ways	Both Sides @ 8 feet unmarked	15 feet	Sloop, Forecourt, Light Court	5 foot sidewalk	7 foot continuous planter	Curb	Trees @ 30' o.c. Avg.	BR

FIRST DRAFT

Compliance with Thoroughfare requirements as set forth in Tables 3A, 3B and 3C.

DEFINITIONS

Street: a local, slow-movement thoroughfare suitable for General, Center, and Core Urban Zones. Streets provide frontage for higher-density buildings such as offices, shops, apartment buildings, and rowhouses. A street is urban in character, with raised curbs, closed drainage, wide sidewalks, parallel parking, and trees in individual planting areas. Character may vary somewhat, however, responding to the enfronting commercial and residential uses.

Street: a local, slow-movement thoroughfare suitable for General, Center, and Core Urban Zones. Streets provide frontage for higher-density buildings such as offices, shops, apartment buildings, and rowhouses. A street is urban in character, with raised curbs, closed drainage, wide sidewalks, parallel parking, and trees in individual planting areas. Character may vary somewhat, however, responding to the enfronting commercial and residential uses.

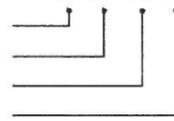
Road: a local, slow-movement thoroughfare suitable for Sub-Urban and Rural Reserve Zones. Roads provide frontage for low density buildings such as houses. A road tends to be rural in character, without curbs or striped on-street parking; it has clustered plantings and paths instead of sidewalks. The degree of rural or rustic character of a road may be adjusted by the manipulation of such elements. A road with parking is typically used where garages are served by a rear lane.

Road: a local, slow-movement thoroughfare suitable for Sub-Urban and Rural Reserve Zones. Roads provide frontage for low density buildings such as houses. A road tends to be rural in character, without curbs or striped on-street parking; it has clustered plantings and paths instead of sidewalks. The degree of rural or rustic character of a road may be adjusted by the manipulation of such elements. A road with parking is typically used where garages are served by a rear lane.

KEY

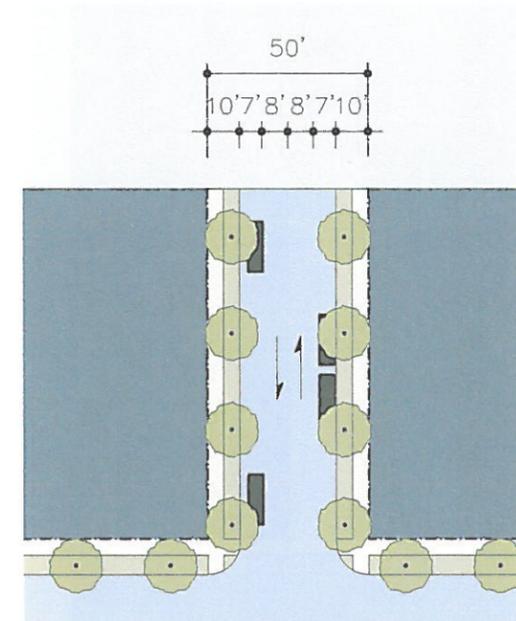
Thoroughfare Type
Right of Way Width
Pavement Width
Transportation

ST-57-20-BL

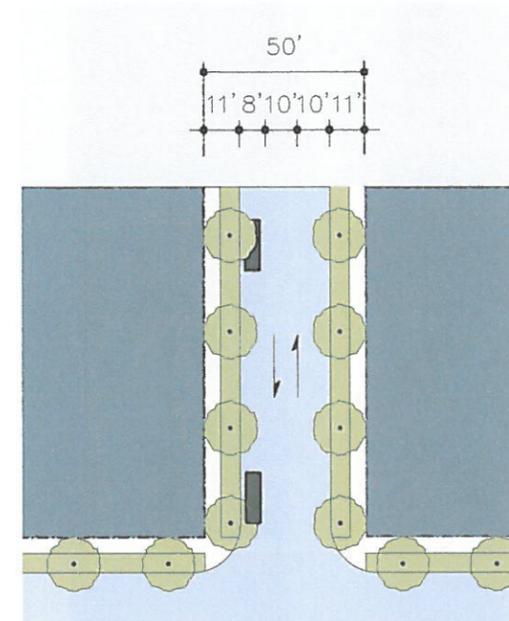


THOROUGHFARE TYPES

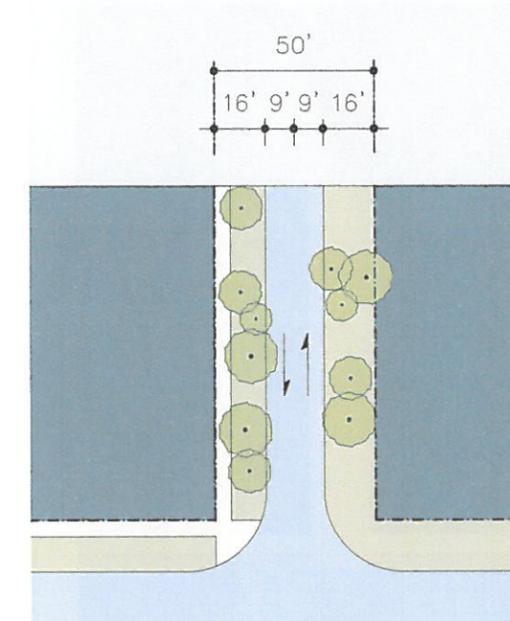
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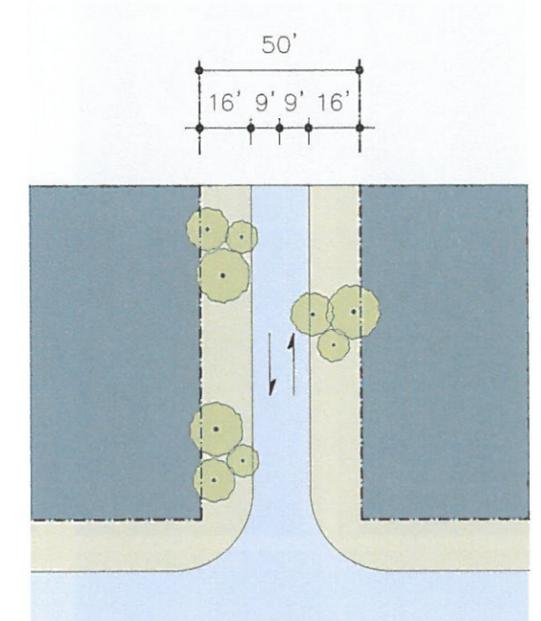
ST-50-30	
Thoroughfare Type	Residential Street - RS
Transect Zone Assignment	T5, T4, T3
Right-of-Way Width	50 feet
Pavement Width	30 feet
Movement	Yield movement
Design Speed	20 MPH
Pedestrian Crossing Time	8 seconds
Traffic Lanes	Two lanes, two ways
Parking Lanes	Both sides @ 7 feet unmarked
Curb Radius	15 feet
Public Frontage Type	Stoop, Forecourt, Light Court
Walkway Type	5 foot sidewalk
Planter Type	5 foot continuous planter
Curb Type	Curb
Landscape Type	Trees @ 30' O.C. Avg.
Transportation Provision	BR



ST-50-28	
Thoroughfare Type	Standard Street - SS
Transect Zone Assignment	T5, T4, T3
Right-of-Way Width	50 feet
Pavement Width	28 feet
Movement	Yield Movement
Design Speed	25 MPH
Pedestrian Crossing Time	7.5 seconds
Traffic Lanes	Two lanes, two ways
Parking Lanes	One side @ 8 feet unmarked
Curb Radius	15 feet
Public Frontage Type	Stoop, Forecourt, Light Court
Walkway Type	5 foot Sidewalk
Planter Type	6 foot continuous planter
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	BR



RD-50-18 S	
Thoroughfare Type	Standard Road - SR
Transect Zone Assignment	T4, T3
Right-of-Way Width	50 feet
Pavement Width	18 feet
Movement	Yield Movement
Design Speed	15 MPH
Pedestrian Crossing Time	4.5 seconds
Traffic Lanes	Two lanes, two ways
Parking Lanes	N/A
Curb Radius	25 feet
Public Frontage Type	Porch and fence, Common Lawn
Walkway Type	5 foot sidewalk on one side
Planter Type	11 foot continuous planter
Curb Type	Swale
Landscape Type	Trees clustered
Transportation Provision	BT



RD-50-18	
Thoroughfare Type	Rural Road - RR
Transect Zone Assignment	T3, T2, T1
Right-of-Way Width	50 feet
Pavement Width	18 feet
Movement	Yield Movement
Design Speed	15 MPH
Pedestrian Crossing Time	4.5 seconds
Traffic Lanes	Two lanes, two ways
Parking Lanes	N/A
Curb Radius	25 feet
Public Frontage Type	Porch and fence, Common Lawn
Walkway Type	Path optional
Planter Type	Continuous swale
Curb Type	Swale
Landscape Type	Trees clustered
Transportation Provision	BT

FIRST DRAFT

HAMPSTEAD

MONTGOMERY, ALABAMA

Compliance with Civic Function Allocation as set forth in Section 2.7.2.a

"Each Pedestrian Shed shall assign at least 5% of its urbanized area to Civic Space."

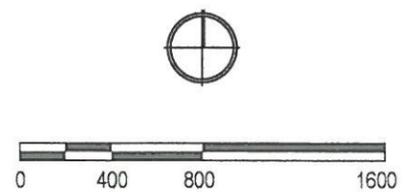
Neighborhood 1: 28.5 % developable land

Neighborhood 2: 31.6 % developable land

Neighborhood 3: 6.8 % developable land*

* T1 Natural Zone not included in Civic Space calculation but is also Green Space.

-  CIVIC SPACE
-  CIVIC BUILDINGS
-  1/4 MILE PEDESTRIAN SHED



Compliance with Civic Function Allocation as set forth in Section 2.7.2.c and Table 13

Section 2.7.2.c

"The main Civic Space shall be within 800 ft of the geographic center of each Pedestrian Shed, unless..."

Pedestrian Shed 1: 528 ft from center

Pedestrian Shed 2: 424 ft from center

Pedestrian Shed 3: 611 ft from center

Table 13

1. Square: 2.68 Acres

2. Green: 9.42 Acres

3. Plaza: 1.08 Acres

Compliance with Civic Space requirements as set forth in Section 2.7.2.e

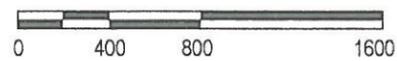
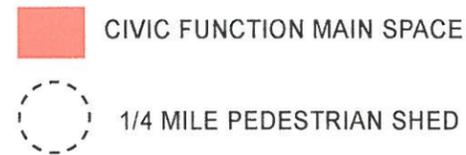
Section 2.7.2.e

"Each Civic Space shall have a minimum of 50% of its perimeter Enfronting a Thoroughfare."

Pedestrian Shed 1: 100%

Pedestrian Shed 2: 62.5%

Pedestrian Shed 3: 100%



HAMPSTEAD

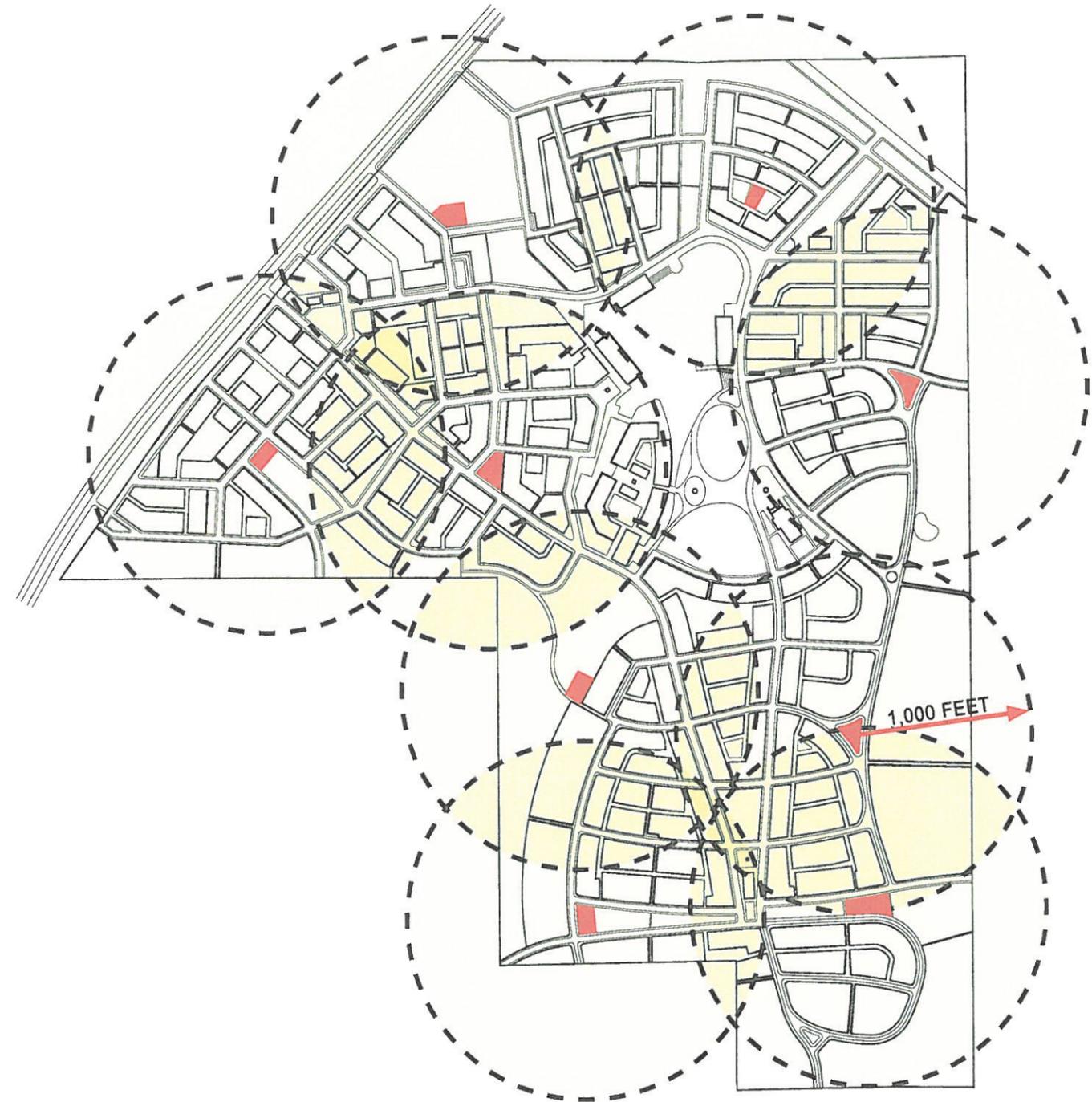
MONTGOMERY, ALABAMA

CIVIC FUNCTION PLAYGROUNDS

Compliance with Civic Function Allocation as set forth in Section 2.7.2. d

Nine Playgrounds

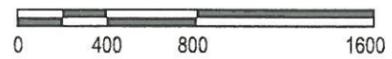
-  CIVIC FUNCTION PLAYGROUNDS
-  1000' PEDESTRIAN SHED



Compliance with Civic Function Allocation as set forth in Section 2.7.3. a, 2.7.3.b and 2.7.3.c

- 1. Meeting Hall
- 2. Childcare Building Reservation Lot
- 3. Third Place

-  CIVIC BUILDING
-  1/4 MILE PEDESTRIAN SHED



Compliance with Civic Function Allocation as set forth in Section 2.7.3.d

"Civic Building Sites shall not occupy more than 20% of the area of each Pedestrian Shed."

Pedestrian Shed 1

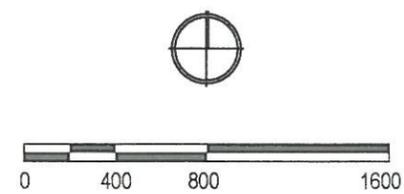
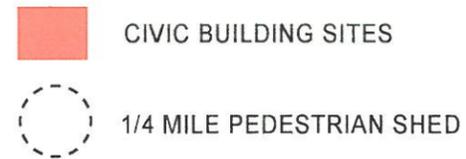
Total civic building sites: 6.38 acres = 6.6%

Pedestrian Shed 2

Total civic building sites: 6.7 acres = 5.3%

Pedestrian Shed 3

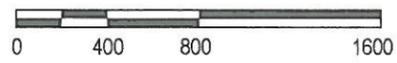
Total civic building sites: 1.91 acres = 1.6%



Compliance with Special Requirements set forth in Section 2.8.1.b and 2.8.1.e

-  T1 - NATURAL ZONE
-  T2 - RURAL ZONE
-  T3 - SUB-URBAN ZONE
-  T4 - GENERAL URBAN ZONE
-  T5 - URBAN CENTER ZONE
-  CS - CIVIC SPACE
-  CB - CIVIC BUILDING RESERVE

-  RECOMMENDED SHOPFRONT
-  TERMINATED VISTAS
-  1/4 MILE PEDESTRIAN SHED



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