



HAMPSTEAD

MONTGOMERY, ALABAMA

ARTICLE 4b
CRC SUBMITTAL
PHASE 1

SUBMITTAL 2 1/31/08

DUANY PLATER-ZYBERK & COMPANY
ARCHITECTS AND TOWN PLANNERS



HAMPSTEAD

MONTGOMERY, ALABAMA

The Hampstead Building Plan Submittal
booklet was prepared by:

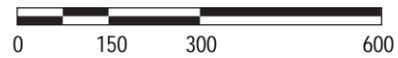
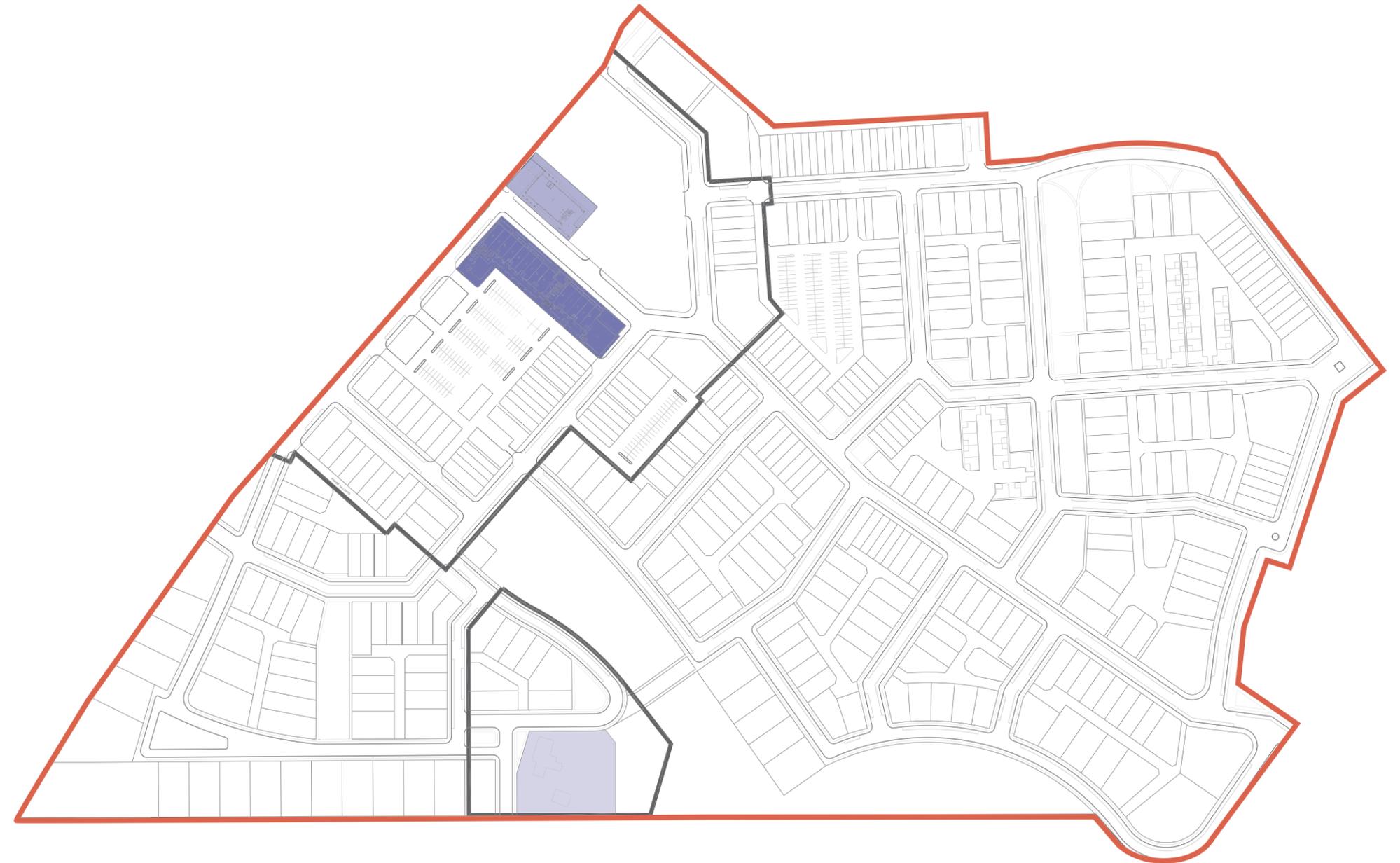
Duany Plater-Zyberk & Company on
behalf of City Loft Corporation.

January 31, 2008

Maria Elisa Mercer

DUANY PLATER-ZYBERK & COMPANY
1023 SW 25th Ave | Miami | Florida | 33135
T: 305 644 1023 F: 305 644 1021

-  *Building 1*
-  *Building 2*
-  *Watson Residence*



Compliance with General Architectural Standards as set forth in Section 4.2.5

4.2.5 General Architectural Standards

a. Building wall materials may be combined on each Facade only horizontally, with the heavier below the lighter. - All buildings are constructed with brick

b. Streetscreens should be between 3.5 and 8 feet in height and constructed of a material matching the adjacent building Facade. The Streetscreen may be a hedge or fence by Warrant. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access. In addition, all Streetscreens over 4 feet high should be 30% permeable or articulated. - N/A

c. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion. - All openings are of vertical and square proportion

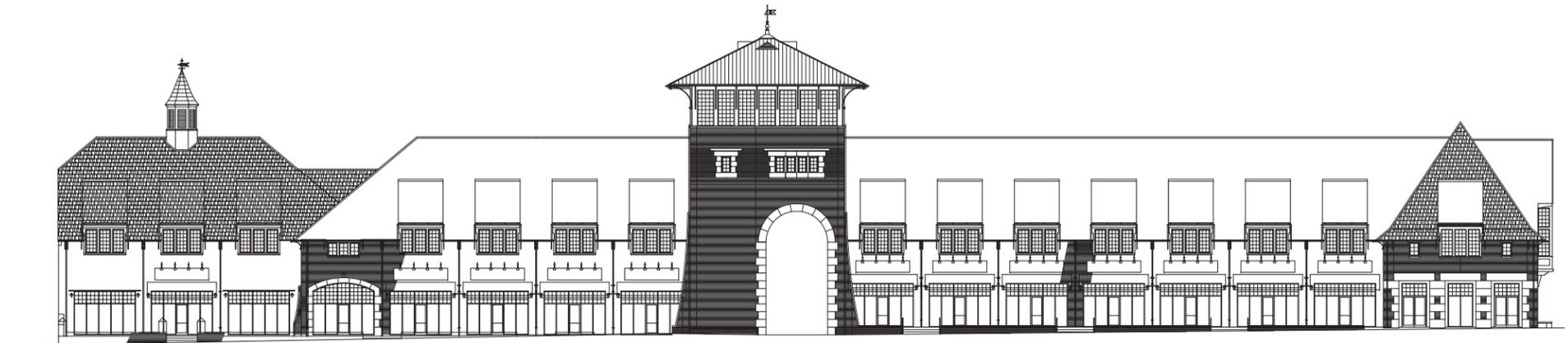
d. Openings above the first story shall not exceed 50% of the total building wall area, with each Facade being calculated independently. - All buildings meet standard

e. The Facades on retail frontages shall be detailed as storefronts and glazed with clear glass no less than 70% of the sidewalk-level story. - All buildings meet standard

f. Doors and windows that operate as sliders are prohibited along frontages. - All buildings meet standard - All buildings meet standard

g. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches and attached sheds may be no less than 2:12. - All buildings meet standard

h. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the CRC. - N/A



*elevations not to scale

HAMPSTEAD

MONTGOMERY, ALABAMA

HAMPSTEAD BUILDING PLAN SUBMITTAL

ARCHITECTURAL STANDARDS (T5)

Compliance with T5 Architectural Standards as set forth in Section 4.6.5

Building 1

(T5) Architectural Standards

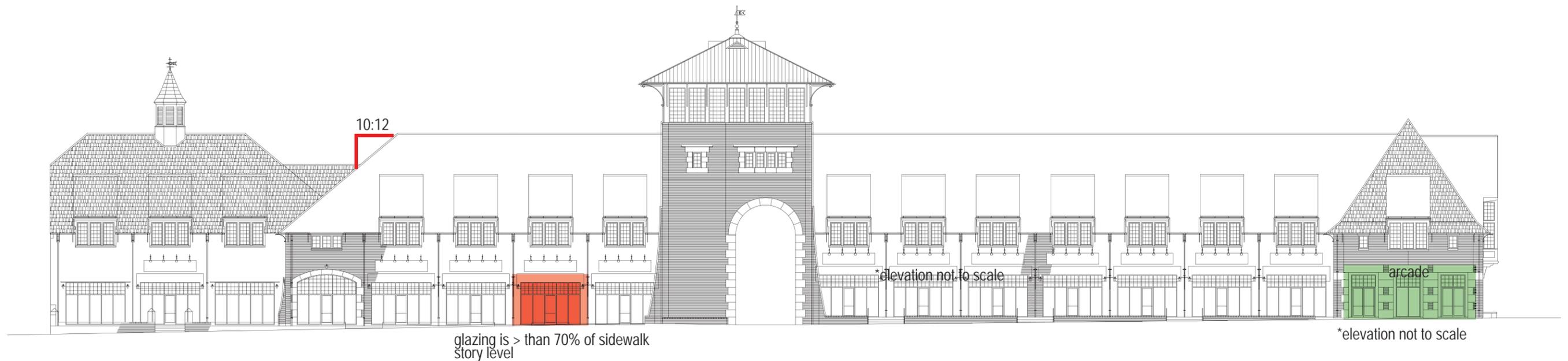
a. In addition to the general specifications shown in Section 4.2.5, specific standards shall be as follows.

b. The exterior finish materials on all Facades shall be limited to stone, brick and/or stucco. - Facade constructed with brick

c. Balconies, galleries and arcades shall be made of concrete, painted wood or metal. - Building meets standard

d. Buildings may have flat roofs enclosed by parapets or sloped roofs. - N/A

e. Streetscreens shall be located coplanar with the building Facade line as shown in Table 16D. - Building meets standard



Compliance with T5 Architectural Standards as set forth in Section 4.6.5

Building 2

(T5) Architectural Standards

a. In addition to the general specifications shown in Section 4.2.5, specific standards shall be as follows.

b. The exterior finish materials on all Facades shall be limited to stone, brick and/or stucco. - Facade constructed with brick

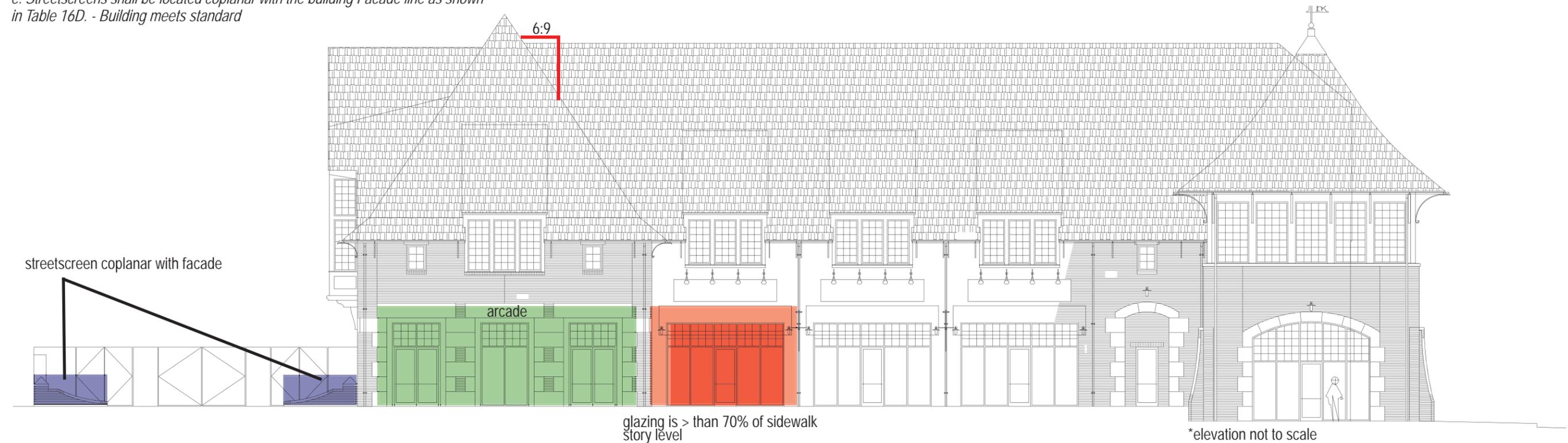
c. Balconies, galleries and arcades shall be made of concrete, painted wood or metal. - Building meets standard

d. Buildings may have flat roofs enclosed by parapets or sloped roofs. - N/A

e. Streetscreens shall be located coplanar with the building Facade line as shown in Table 16D. - Building meets standard



*elevation not to scale



*elevation not to scale

Compliance with T3 Architectural Standards as set forth in Section 4.4.5

Watson Residence

(T3) Architectural Standards

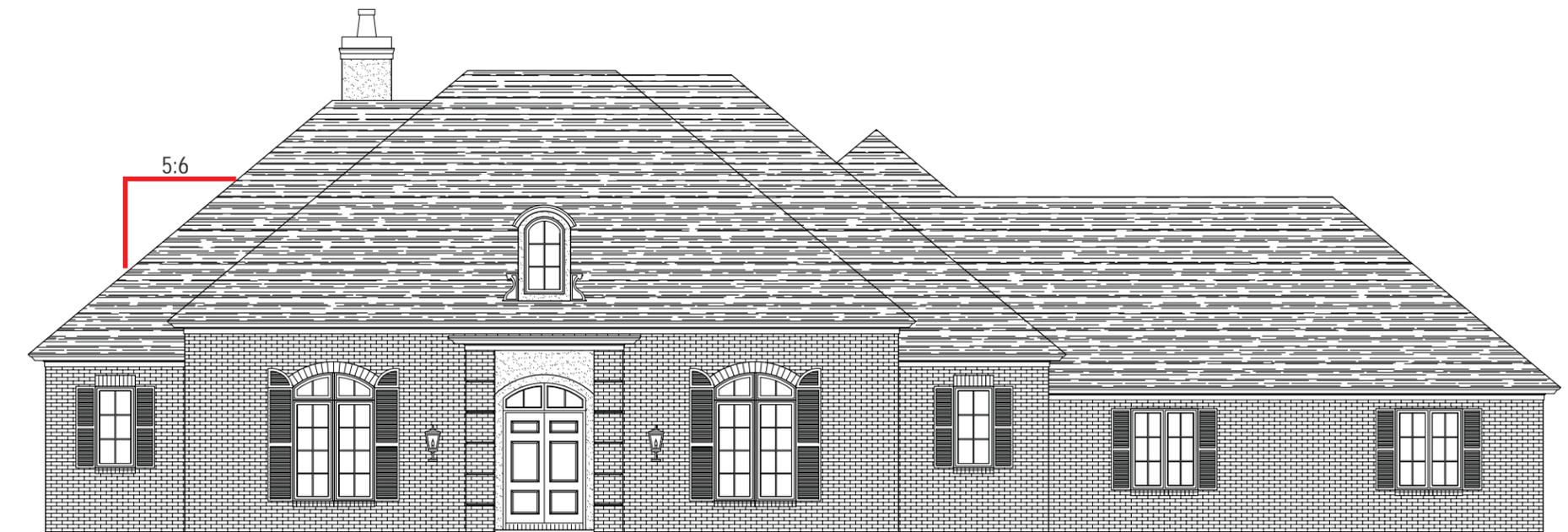
a. In addition to the general specifications shown in Section 4.2.5, specific standards shall be as follows:

b. The exterior finish material on all Facades shall be limited to brick, wood siding, and/or stucco. - Facade constructed with brick

c. Balconies and porches shall be made of painted wood. - Building meets standard

d. Buildings shall have sloped roofs. - Building meets standard

e. Fences, if provided, shall be at the Frontage Line as illustrated in Table 16D. Fences at Lot Lines may be of painted wood board or chain link. - Building meets standard



*elevation not to scale

Compliance with General Landscape Standards as set forth in Section 4.2.7

General Landscape Standards

a. A minimum of one tree to match the species of street trees on the Public Frontage shall be planted within the First Layer Private Frontage for each 30 feet of Frontage Line as illustrated in Tables 4, 7 and 16D.

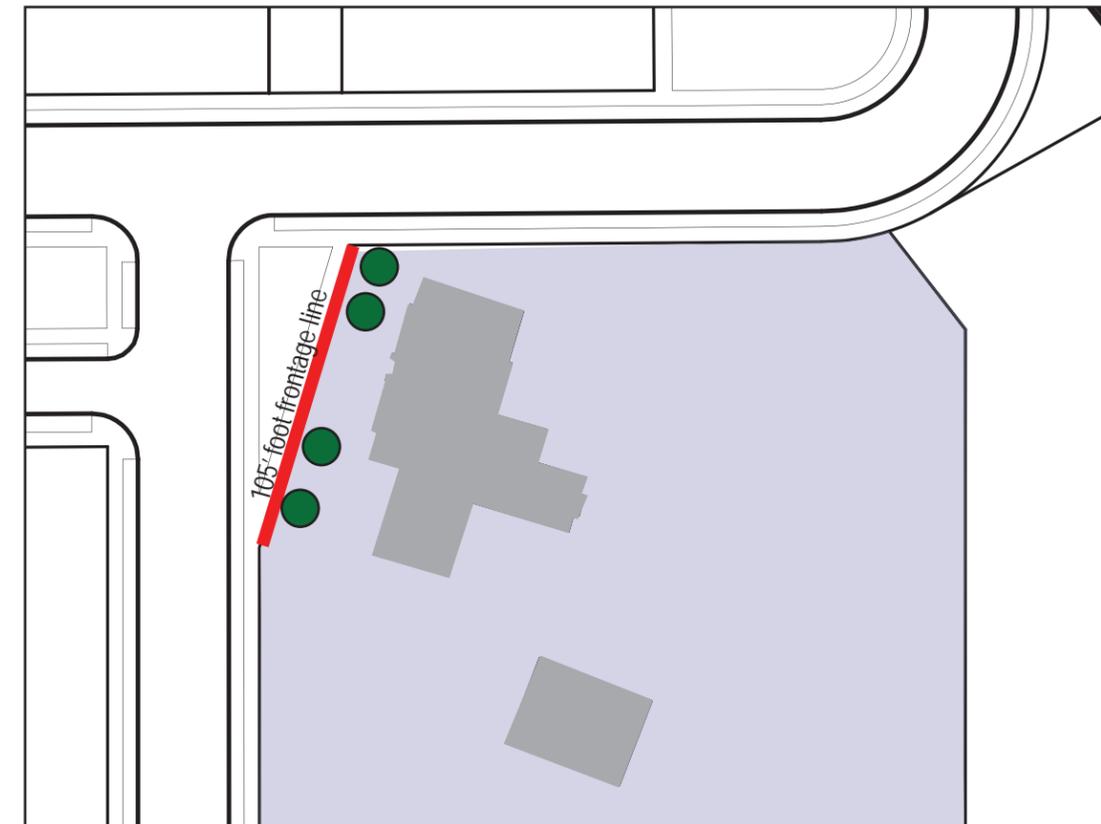
Watson Residence - Building meets standard (105ft frontage line - 4 trees planted)

Building 1 - N/A - Building frontage is entirely composed of hardscape as allowed in 4.6.7(a)

Building 2 - N/A - Building frontage is entirely composed of hardscape as allowed in 4.6.7(a)

b. Street trees shall be of a type illustrated in Table 6.

All street trees are compliant with Table 6 (see exhibits which follow)



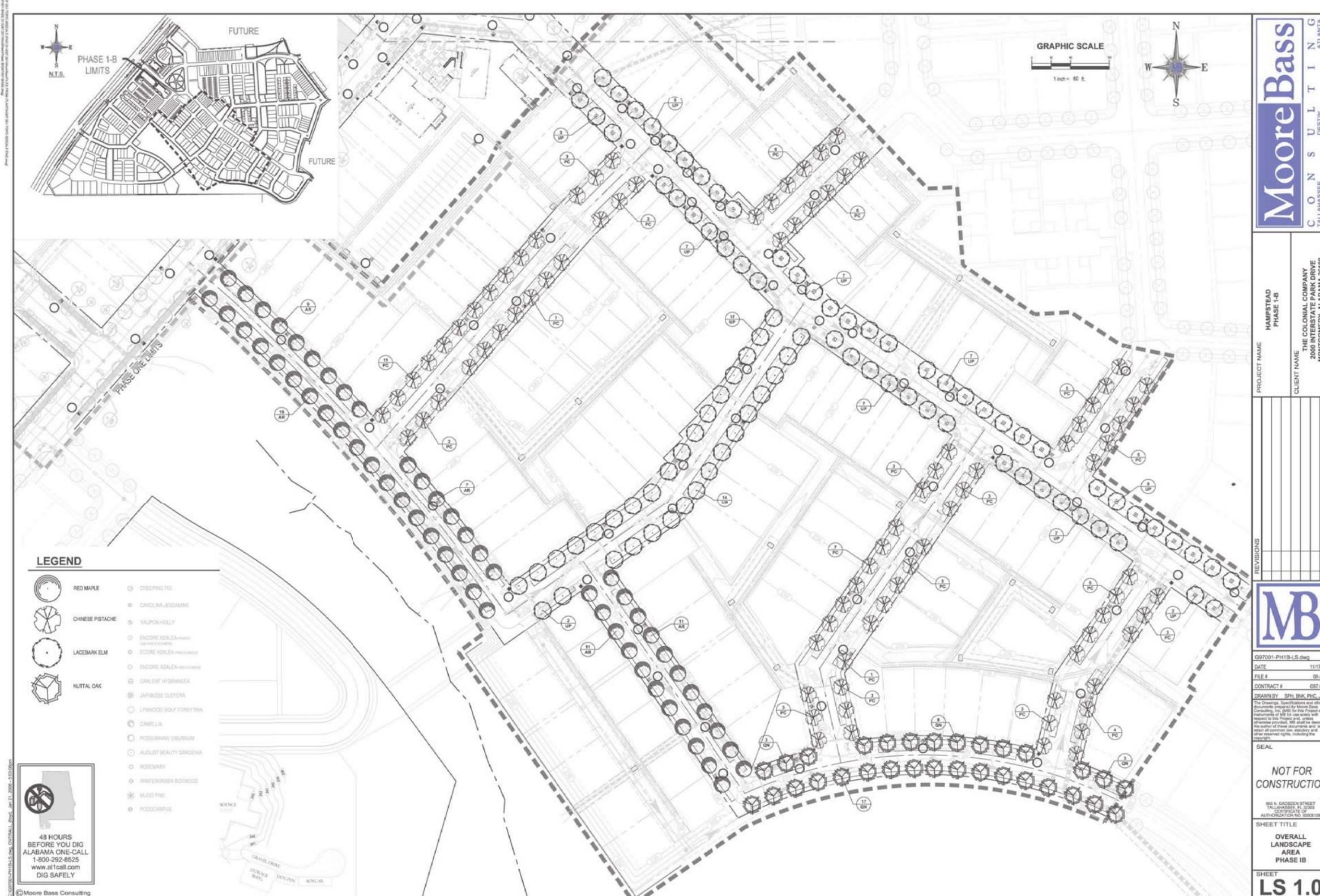
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HAMPSTEAD

MONTGOMERY, ALABAMA

HAMPSTEAD BUILDING PLAN SUBMITTAL

LANDSCAPE STANDARDS



- LEGEND**
- RED MAPLE
 - CHINESE PISTACHE
 - LACEBARK ELM
 - NUTTALL OAK
 - CREEPING FIG
 - CAROLINA JESSAMINE
 - YUCCA HOLLY
 - ENCORE AZALEA
 - OAKLEAF HYDRANGEA
 - JAPANESE CLEOME
 - LYNGBY GOLF TOREYTRIA
 - CAMELLIA
 - POSSIBILITY VIBURNUM
 - AUGUST BEAUTY GARDENIA
 - ROSEMARY
 - WINTERGREEN BOXWOOD
 - MUGO PINE
 - POTTED CARPALUS

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CONSULTING
TALLAHASSEE
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ATLANTA

PROJECT NAME
HAMPSTEAD
PHASE 1-B

CLIENT NAME
THE COLONIAL COMPANY
2000 INTERSTATE PARK DRIVE
MONTGOMERY, ALABAMA 36109



DATE 11/17/07
FILE # 06-204
CONTRACT # 067-001
DRAWN BY SPH, BJK, PJC, JRF

SEAL

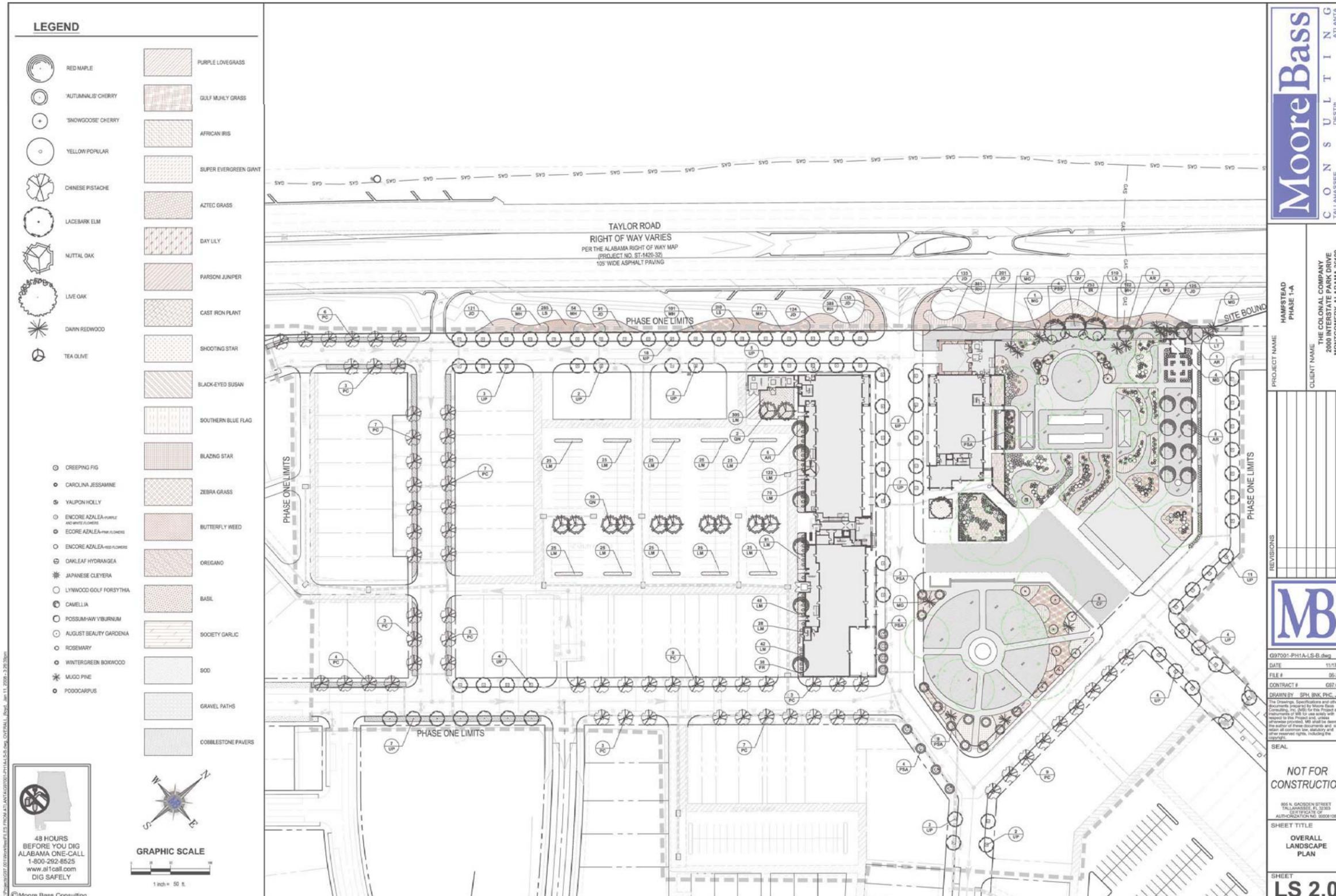
NOT FOR
CONSTRUCTION

804 N. GARDEN STREET
TALLAHASSEE, FL 32309
AUTHORIZATION NO. 0000108

SHEET TITLE
OVERALL
LANDSCAPE
AREA
PHASE 1B

SHEET
LS 1.0

*plan not to scale



*plan not to scale

Compliance with General Landscape Standards as set forth in Section 4.2.7

General Landscape Standards

a. A minimum of one tree to match the species of street trees on the Public Frontage shall be planted within the First Layer Private Frontage for each 30 feet of Frontage Line as illustrated in Tables 4, 7 and 16D.

Watson Residence - Building meets standard (105ft frontage line - 4 trees planted)

Building 1 - N/A - Building frontage is entirely composed of hardscape as allowed in 4.6.7(a)

Building 2 - N/A - Building frontage is entirely composed of hardscape as allowed in 4.6.7(a)

b. Street trees shall be of a type illustrated in Table 6.

All street trees are compliant with Table 6 (see exhibits which follow)

(T3) Landscape Standards

a. In addition to the general specifications in Section 4.2.7, the First Lot Layer as shown in Table 16D shall consist of trees of various species, naturalistically clustered, as well as low maintenance understory. Lawn shall be permitted by Warrant.

Watson Residence - Compliant with tree plantings. Seeking warrant for lawn to preserve current condition of the yard surrounding the home.

T5) Landscape Standards

a. In addition to the general specifications in Section 4.2.7, the First Layer as shown in Table 16D shall be landscaped or paved to match the Enfronting Public Frontage as shown in Table 4.

Building 1 - Building frontage is paved to match public frontage

Building 1 - Building frontage is paved to match public frontage

b. Trees shall be a species with shade canopies that, at maturity, remain clear of

Compliance with General Signage as set forth in Section 4.2.8

General Signage Standards

a. One address number no more than 6 inches vertically shall be attached to the building in proximity to the principal entrance or at a mailbox. - All buildings compliant

b. One blade sign for each business may be permanently installed perpendicular to the Facade. Such a sign shall not exceed a total of 4 square feet unless otherwise specified in Sections 4.4 and following. - All buildings compliant

c. Signage may be lit externally only with full-spectrum source, unless otherwise specified. - All buildings compliant

(T3) Signage Standards

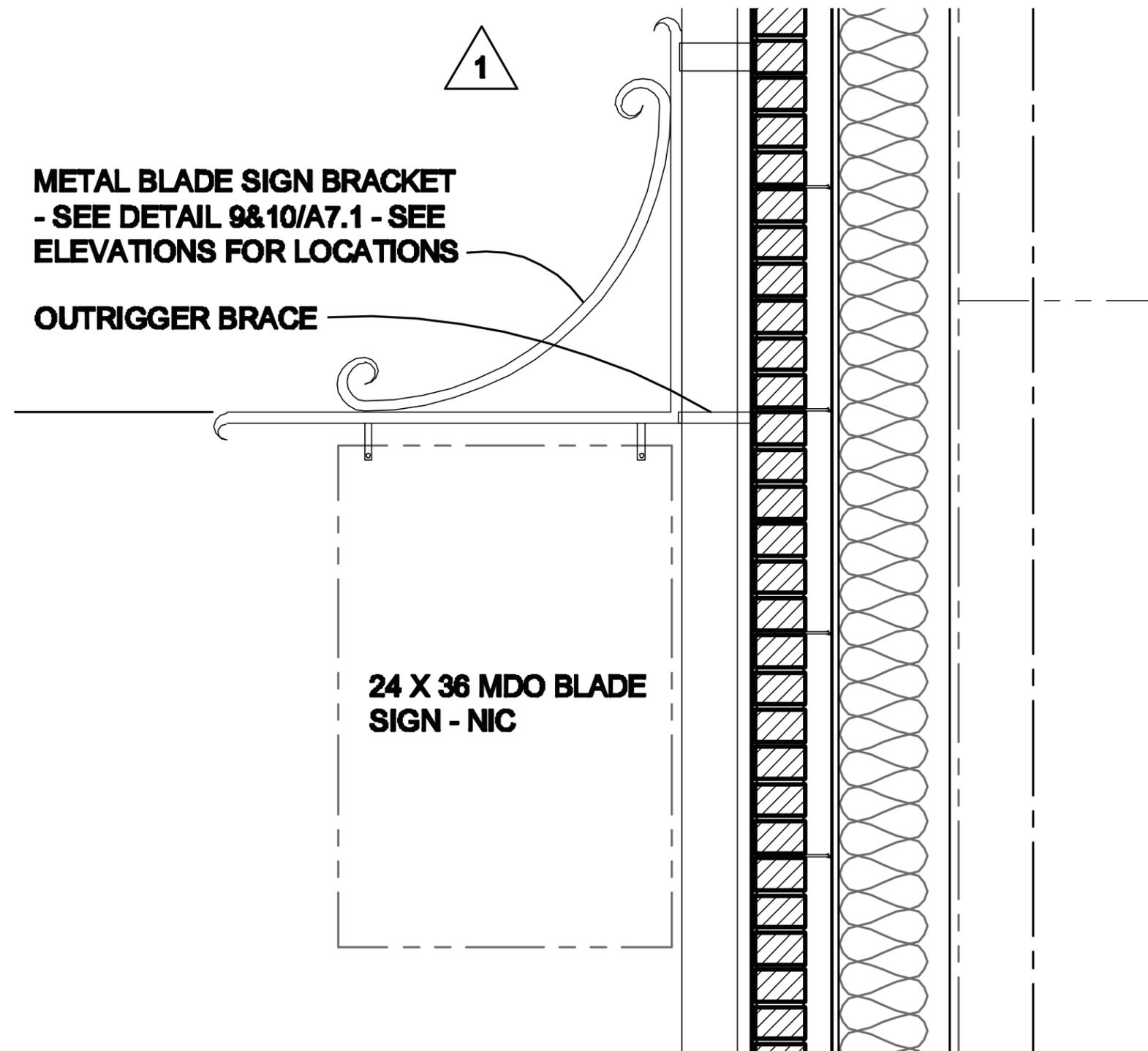
a. There shall be no signage permitted additional to that specified in Section 4.2.8. - Watson residence compliant

b. Signage may not be lit. - Watson Residence compliant

(T5) Signage Standards

a. In addition to the signage permitted in Section 4.2.8, a single external sign band may be applied to the Facade of each building, providing that such sign not exceed 3 feet in height by any length. - N/A blade signs to be utilized on Buildings 1&2

b. Blade signs, not to exceed 6 square ft. for each separate business entrance, may be attached perpendicular to the Facade. - Buildings 1&2 compliant (see exhibit)



*drawing not to scale

Compliance with Ambient Standards as set forth in Section 4.2.9

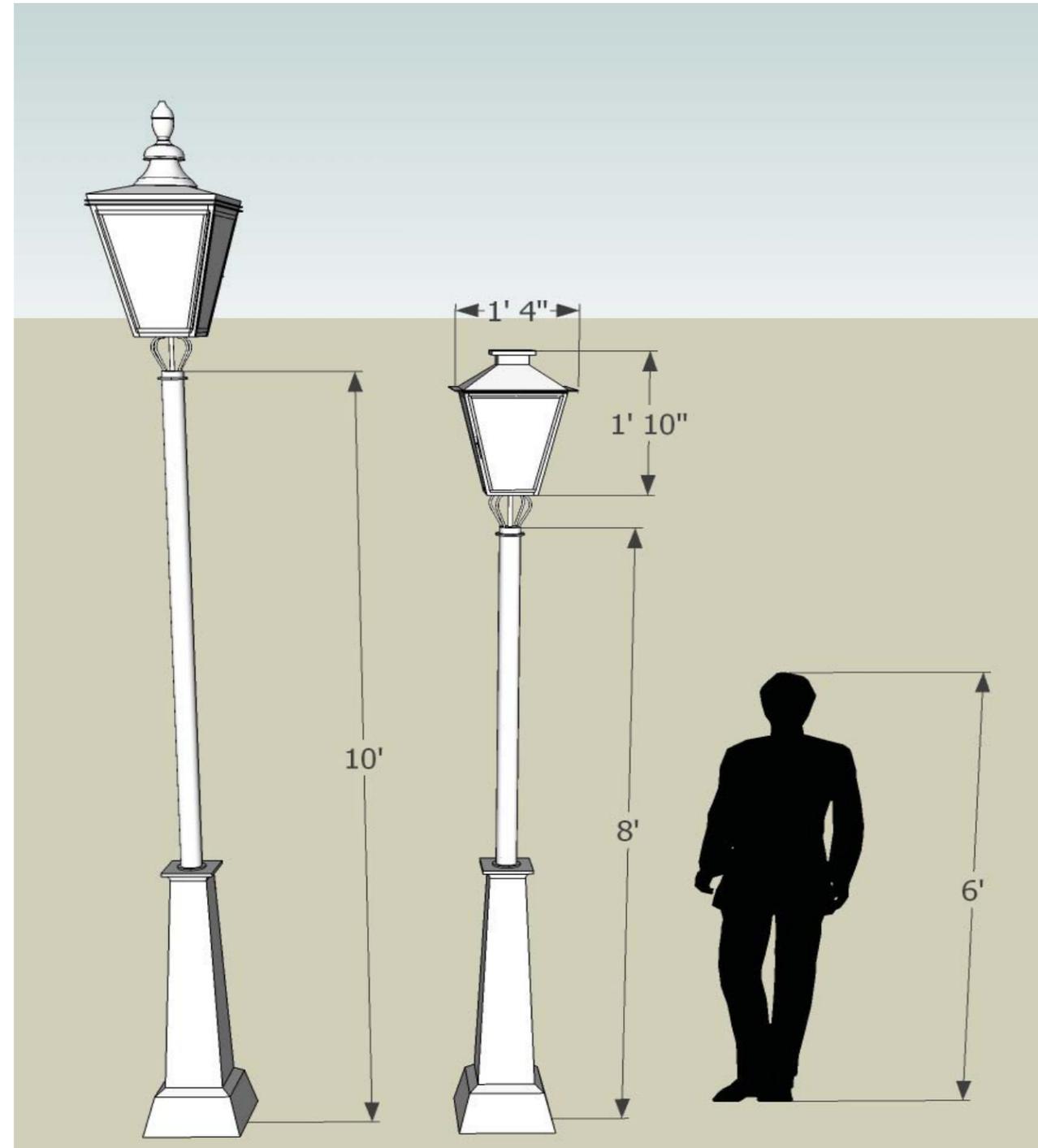
General Ambient Standards

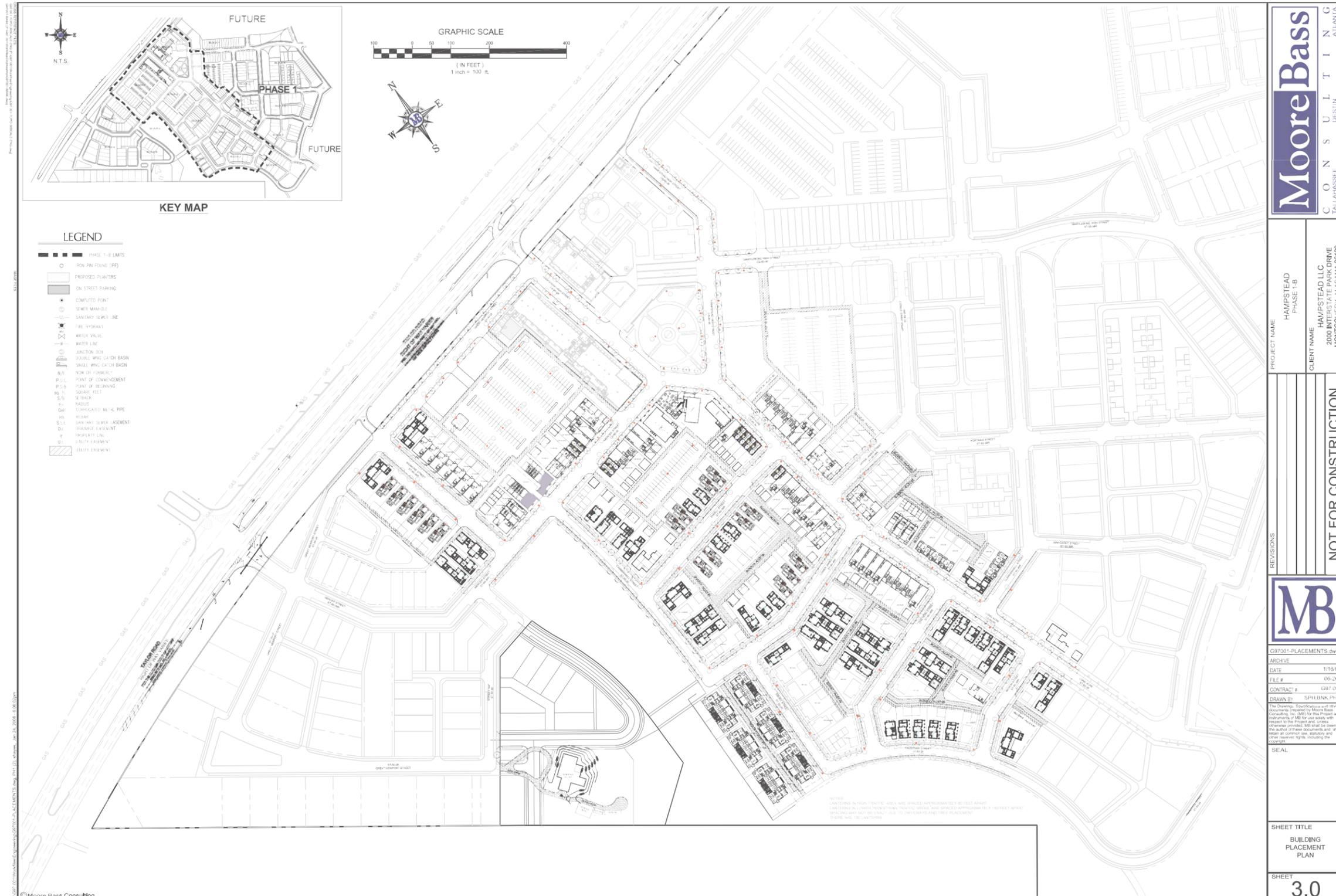
a. Sound levels shall not exceed: 65 decibels by day and 55 decibels after sunset in Zones T1 through T4, and 70 decibels until midnight in Zones T5 and T6. - All buildings compliant

b. Average lighting levels measured in foot-candles at the building frontage shall not exceed 1.0 fc at T1 through T3 Zones, 2.0 fc at the T4 Zones, 5.0 fc at T5 Zones and 20 fc at T6 Zones. - Plan is compliant (see exhibit)

c. Streetlights shall be of a general type illustrated in Table 5. - Streetlights compliant (see exhibit)

d. Outdoor storage shall be screened from view from any frontage by a Streetscreen in conformance with Section 4.2.5b.) - All buildings compliant





Moore Bass
CONSULTING
TALLAHASSEE
DESTIN
ATLANTA

PROJECT NAME
HAMPSTEAD
PHASE 1-B

CLIENT NAME
HAMPSTEAD LLC
3000 HUNTERS LANE
MONTGOMERY, ALABAMA 36109

REVISIONS

NOT FOR CONSTRUCTION



G97001-PLACEMENTS.dwg
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DATE 1/15/08
FILE # 06-264
CONTRACT # G97-031
DRAWN BY: SPIEMNK,PHK

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