



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: 4756 Murphy Road LLC.

Address: 4756 Murphy Road **Phone Number of Contact Person:** 608.333.1926

City, State, Zip Code: Oregon, WI 53575 **Email of Contact Person:** cgosch@populance.com

Project Address: 4756 Murphy Road **Lot:** _____ **Subdivision:** _____

Project Type: _____ **Multi-Family** **Commercial** _____ **Industrial** _____ **Other** _____

New _____ **Addition**

Impervious Surface Ratio (ISR): 51% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details, including grading plan.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

Landscaping:

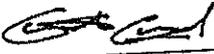


1. Location, species, size of existing trees, shrubs, and plantings.
2. Location, species, size of proposed plantings.
3. Location and size of all paved, seeded/sodded and gravelled areas.
4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

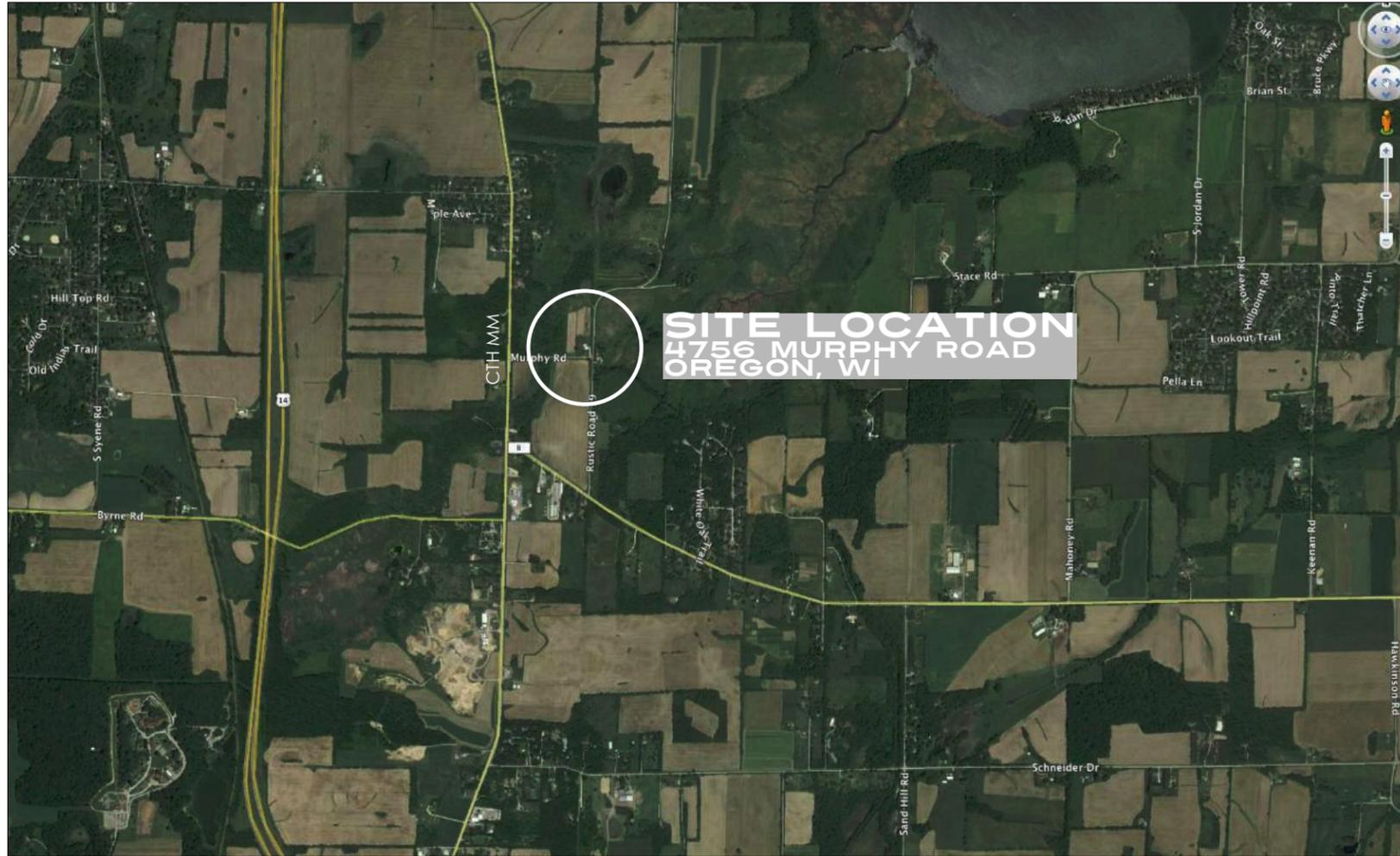
Signed:  Date: 10.23.18
Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: 10/23/18 Plan Commission Date: 11/20/18

Comments:



SITE LOCATION
 4756 MURPHY ROAD
 OREGON, WI

Existing Zoning:
 B-H Highway Business District

Proposed Use:
 Sec. 22-310. - Permitted uses.
 For the B-H Highway Business District,
 permitted uses are as follows:

(6) Car and truck sales and rental of
 vehicles

Sec. 22-312. - Dimensional standards.
 Dimensional standards for the B-H Highway Business District set forth below
 shall be applied on a permitted use basis. These intensity and dimensional
 standards may be reduced by the plan commission in the course of
 design review upon findings that reductions will provide adequate site
 area and layout to accommodate the uses contemplated on the site and
 that negative impacts upon neighboring properties will be avoided.
 Where deemed appropriate by the plan commission, property owners
 may be required to obtain permanent, binding consents from abutting
 property owners with such consents running with the land.
 (1) Minimum lot area: 8,000 square feet, one acre unsewered.
 (2) Minimum lot width: 60 feet.
 (3) Minimum front setback: 25 feet.
 (4) Minimum side setback: ten feet.
 (5) Side street setback: 20 feet.
 (6) Rear setback: 20 feet.
 (7) Maximum building height: The lesser of the 42 feet or three stories.
 (8) Minimum open space: 15 percent.



SITE LOCATION

SHEET INDEX

- ALTA SURVEY
- C1.0: SITE PLAN
- C2.0: GRADING AND EROSION CONTROL PLAN
- C2.1: DETAILED GRADING PLAN
- C3.0: UTILITY PLAN
- C4.0: DETAILS
- C4.1: DETAILS
- L1.0: LANDSCAPE PLAN
- L2.0: LANDSCAPE DETAILS
- SL1.0: SITE LIGHTING
- SL2.0: FIXTURE CUTSHEETS
- A1.0: ZONING SITE PLAN
- A1.1: OVERALL SITE PLAN
- A4.1: NEW BUILDING ELEVATIONS
- A4.2: BUILDING MATERIALS
- A4.3: RENDERINGS
- A4.4: RENDERINGS
- A4.5: RENDERINGS
- A4.6: RENDERINGS
- A4.7: RENDERINGS



SITE LOCATION
 4756 MURPHY ROAD
 OREGON, WI



EXISTING STRUCTURES

MURPHY ROAD

PLAN COMMISSION

ADR SUBMITTAL

4756 MURPHY ROAD LLC	WWW.POPULANCE.COM STUDIO@POPULANCE.COM 608.333.1926
	DATE 10.23.18
4756 Murphy Road Oregon, WI	COVER

ALTA / NSPS LAND TITLE SURVEY

PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

LEGEND

- | | | |
|---|--|--|
| <ul style="list-style-type: none"> ○ GOVERNMENT CORNER ● 3/4" x 24" REBAR SET (1.50 LBS/LF) ● 1" IRON PIPE FOUND ● 3/4" REBAR FOUND ● CONTROL POINT ● SEPTIC LID ● GAS REGULATOR/METER ● ELECTRIC TRANSFORMER ● POWER POLE W/GUY ● TELEPHONE PEDESTAL ● CABLE PEDESTAL | <ul style="list-style-type: none"> --- PLAT BOUNDARY --- CENTERLINE --- RIGHT-OF-WAY LINE --- SECTION LINE --- PLATTED LOT LINE --- EDGE OF PAVEMENT --- EDGE OF GRAVEL --- OVERHEAD ELECTRIC & TELEPHONE LINES --- OVERHEAD ELECTRIC LINE --- FIBER OPTIC | <ul style="list-style-type: none"> --- WALL LINE --- BITUMINOUS PAVEMENT --- CONCRETE PAVEMENT --- BUILDING --- EDGE OF BITUMINOUS --- PAVEMENT STRIPING () DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY |
|---|--|--|

NOTES

- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON AUGUST 29, 2018.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (DANE COUNTY). THE SOUTH LINE OF THE NORTHEAST QUARTER OF SECTION 24-06-09, BEARS N89°31'41"W.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A 1" PIPE MARKING THE EAST QUARTER CORNER OF SECTION 24, T66N, R09E, ELEVATION = 876.80'
- CONTOUR INTERVAL IS ONE FOOT.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS' HOTLINE TICKET No.'s 20183418247, 20183418261, 20183418272, 20183418312, 20183418434 AND 20183418748, WITH A CLEAR DATE OF AUGUST 29, 2018.
- UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE: MADISON GAS AND ELECTRIC COMPANY (M&E) (did not supply mapping) FRONTIER COMMUNICATIONS (did not supply mapping) AT&T DISTRIBUTION (supplied mapping and field locates) WINDSTREAM (supplied mapping and field locates)
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS SHOWN ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED BEFORE BEING UTILIZED.
- THIS PARCEL IS ZONED SUBURBAN INDUSTRIAL PER THE CITY OF FITCHBURG ZONING MAP DATED DECEMBER 2005.
- THE WELL WAS NOT LOCATED DURING THE FIELD SURVEY. NO PROPANE LINES WERE VISIBLE. THE SEPTIC SYSTEM PIPING WAS NOT VISIBLE.

NOTES CORRESPONDING TO TABLE A REQUIREMENTS:

- ITEM 9** THERE ARE NO PARKING SPACES ON SITE.
- ITEM 11** SOURCE INFORMATION FROM PLANS AND MARKING WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.
- ITEM 16** THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY.
- ITEM 18** ACCORDING TO THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES SURFACE WATER DATA VIEWER THERE ARE NO WETLANDS ON SITE.

NOTES CORRESPONDING TO SCHEDULE B-SECTION TWO EXCEPTIONS

(FIRST AMERICAN TITLE INSURANCE COMPANY, FILE No.: NCS-921955-MAD, COMMITMENT DATE: AUGUST 23, 2018, 8:00 A.M.)

- 10** PUBLIC OR PRIVATE RIGHTS IN SUCH PORTION OF THE SUBJECT PREMISES AS MAY BE PRESENTLY USED, LAID OUT OR DEDICATED IN ANY MANNER WHATSOEVER, FOR STREET, HIGHWAY, AND OR ALLEY PURPOSES.
- THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 11** REAL ESTATE MORTGAGE DATED JANUARY 3, 2005 AND RECORDED JANUARY 20, 2005 AS DOCUMENT No. 4013797, MADE BY STEVEN C. ANDERSON, TO MIDDLETON COMMUNITY BANK, TO SECURE AN INDEBTEDNESS IN THE AMOUNT OF \$55,000.00, AND THE TERMS AND CONDITIONS THEREOF.
- THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.

LEGAL DESCRIPTION (AS FURNISHED)

(FIRST AMERICAN TITLE INSURANCE COMPANY, FILE No.: NCS-921955-MAD, COMMITMENT DATE: AUGUST 23, 2018, 8:00 A.M.)

PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 24, TOWN 6 NORTH, RANGE 9 EAST, IN THE CITY OF FITCHBURG, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 24; THENCE NORTH, 351.0 FEET; THENCE WEST, 250.0 FEET; THENCE SOUTH, 351.0 FEET; THENCE EAST, 250.0 FEET TO THE POINT OF BEGINNING.

SUBJECT TO THE PUBLIC HIGHWAY OVER THE SOUTH 49.5 FEET THEREOF.

FOR INFORMATIONAL PURPOSES ONLY:

ADDRESS: 4756 MURPHY ROAD, FITCHBURG, WI
TAX KEY NUMBER: 225/0609-241-9850-3

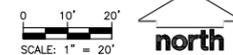
SURVEYOR'S CERTIFICATE

- TO:
- STEVEN C. & SUSAN J. ANDERSON, AS TRUSTEES OF THE ANDERSON JOINT REVOCABLE TRUST,
 - 4756 MURPHY ROAD, LLC
 - MIDDLETON COMMUNITY BANK,
 - FIRST AMERICAN TITLE INSURANCE COMPANY,

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 4, 5, 7(c), 8, 9, 11, 13, 16 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 29, 2018.

TODD J. BUHR, S-2614
PROFESSIONAL LAND SURVEYOR

DATE



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060



PROJECT:
MURPHY ROAD

PROJECT LOCATION:
**CITY OF FITCHBURG
DANE COUNTY, WISCONSIN**

PLAN MODIFICATIONS:

#	Date:	Description:
1	(10-10-18)	UPDATE/ADD FFE
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Design/Drawn: JK
Approved: TJB

SHEET TITLE:

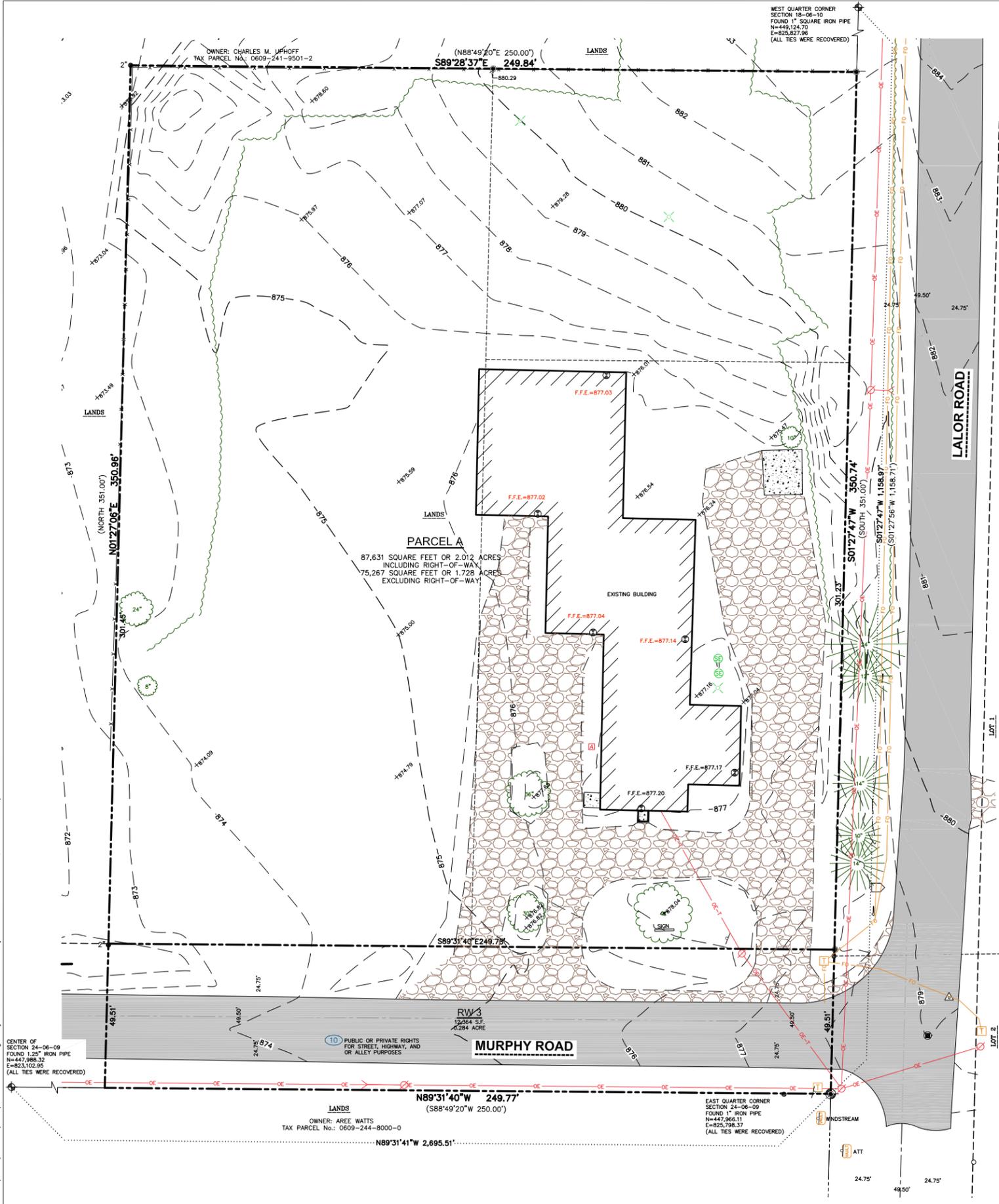
**ALTA/NSPS LAND
TITLE SURVEY**

SHEET NUMBER:

1 OF 1

JSD PROJECT No:

18-8773



OWNER: JOSEPH A. KUCIUK
TAX PARCEL No.: 0610-182-8735-0

OWNER: BRADLEY M. EISNER
TAX PARCEL No.: 0610-182-8735-0

OWNER: CHARLES M. UPHOFF
TAX PARCEL No.: 0609-241-9850-2

OWNER: AREE WATTS
TAX PARCEL No.: 0609-244-8000-0

WEST QUARTER CORNER SECTION 18-06-10 FOUND 1" SQUARE IRON PIPE N=449,024.70 E=825,827.96 (ALL TIES WERE RECOVERED)

EAST QUARTER CORNER SECTION 24-06-09 FOUND 1" IRON PIPE N=447,966.11 E=825,798.37 (ALL TIES WERE RECOVERED)

CENTER OF SECTION 24-06-09 FOUND 1.25" IRON PIPE N=447,988.32 E=823,102.96 (ALL TIES WERE RECOVERED)

PARCEL A
87,631 SQUARE FEET OR 2.012 ACRES INCLUDING RIGHT-OF-WAY
75,267 SQUARE FEET OR 1.728 ACRES EXCLUDING RIGHT-OF-WAY

MURPHY ROAD
RW3
12,064 S.F.
0.284 ACRE

LALOR ROAD

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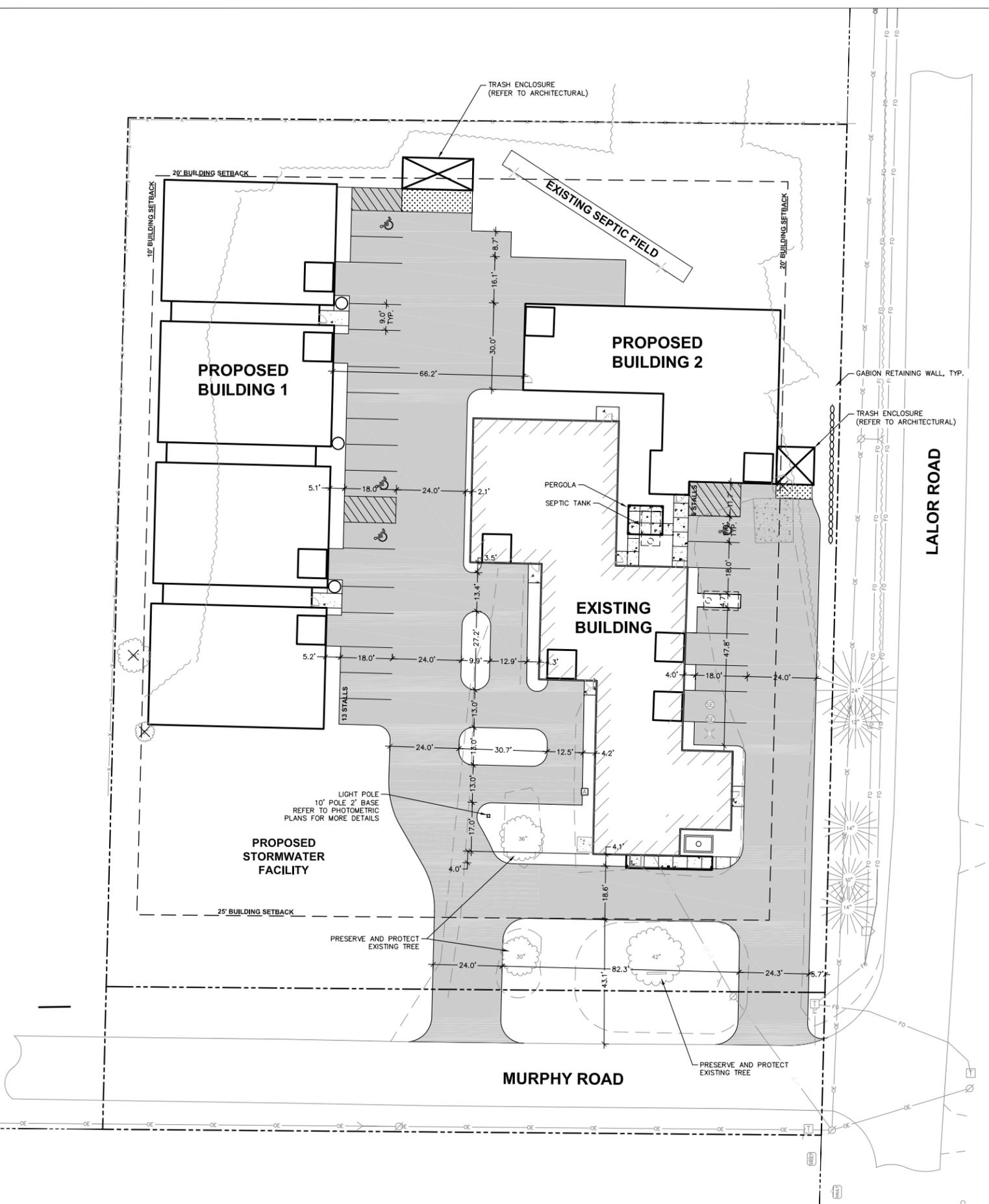
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LEGEND (SITE PLAN)

---	PROPERTY LINE
---	RIGHT-OF-WAY
---	EASEMENT LINE
---	BUILDING OUTLINE
---	EDGE OF PAVEMENT
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	HEAVY DUTY CONCRETE PAVEMENT
---	GABION RETAINING WALL
X	TREE REMOVAL
□	LIGHT POLE

- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
 - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE MUNICIPAL REQUIREMENTS.
 - EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

- SITE PLAN NOTES**
- ALL DIMENSIONS TO FACE OF CURB AND/OR EDGING OF PAVEMENT/CONCRETE UNLESS OTHERWISE NOTED.
 - ALL RADII TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH HIGH VISIBILITY WHITE LATEX PAINT PER SPECIFICATIONS.

SITE INFORMATION BLOCK

Site Acreage	2.012 ACRES
Use of property	Commercial
Existing Building Footprint	6,853 SF
Proposed Building Footprint 1	11,244 SF
Proposed Building Footprint 2	3,977 SF
Existing Impervious Surface Area	16,499 SF
Proposed Impervious Surface Area	44,838 SF
Proposed Impervious Surface Ratio	0.51



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
4756 MURPHY ROAD LLC

PROJECT:
MURPHY ROAD

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

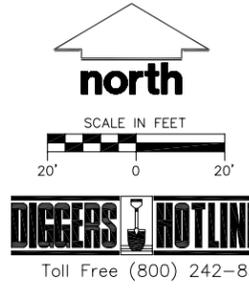
PLAN MODIFICATIONS:

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Design/Drawn: MSS
Approved:

SHEET TITLE:
SITE PLAN

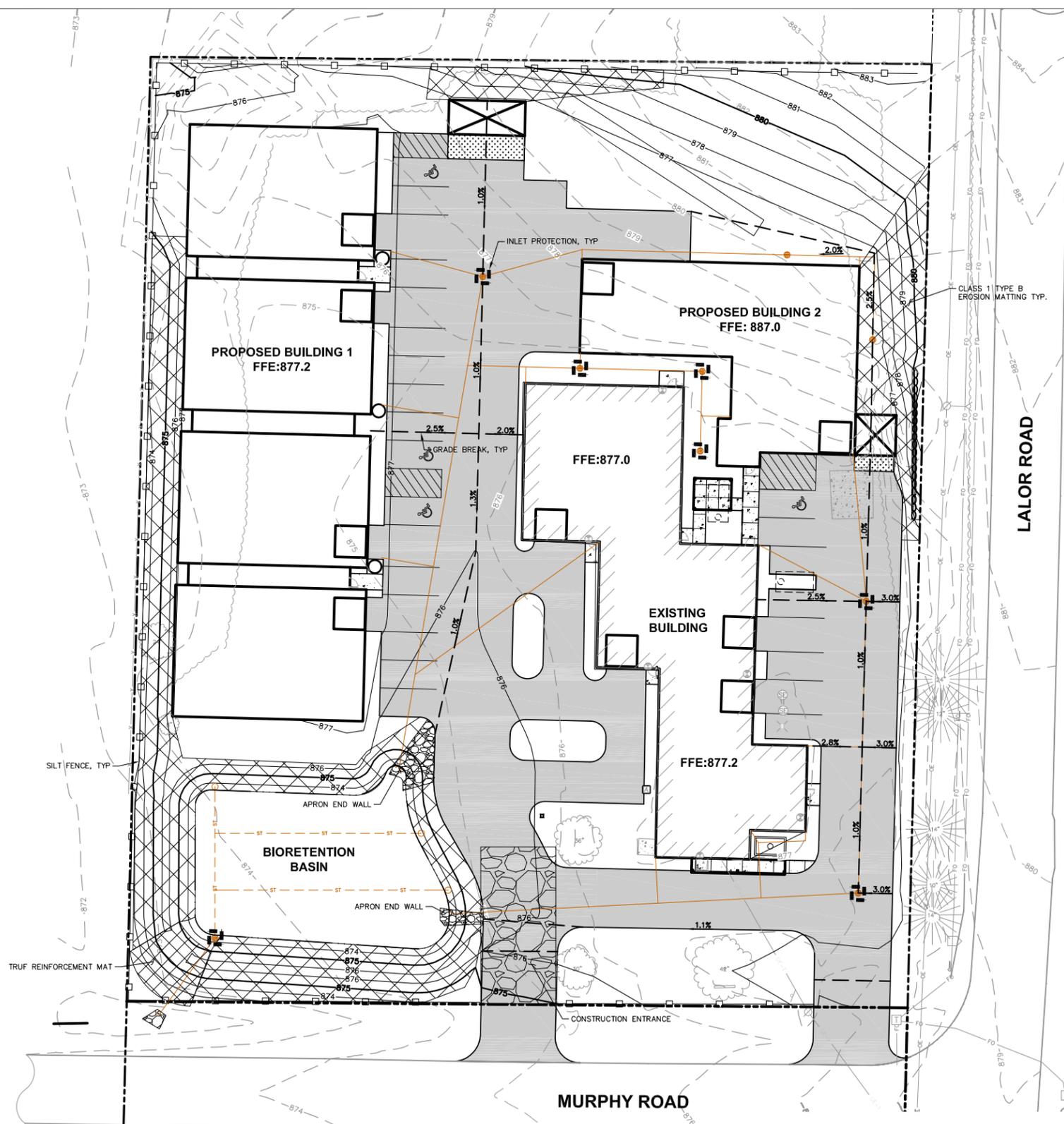
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JSD PROJECT NO: 18-8773

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

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LEGEND (GRADING & EROSION CONTROL PLAN)

- | | | | |
|---|------------------------------|---|--------------------------|
| — | PROPERTY LINE | — | SILT FENCE |
| — | BUILDING OUTLINE | — | CONSTRUCTION LIMITS |
| — | EDGE OF PAVEMENT | — | INLET PROTECTION, TYPE D |
| — | ASPHALT PAVEMENT | — | GRADE BREAK |
| — | HEAVY DUTY CONCRETE PAVEMENT | — | GABION RETAINING WALL |
| — | CONCRETE PAVEMENT | — | TREE REMOVAL |
| — | STORMWATER MANAGEMENT AREA | — | LIGHT POLE |
| — | PROPOSED 1 FOOT CONTOUR | — | EROSION MAT |
| — | PROPOSED 1 FOOT CONTOUR | | |
| — | DRAINAGE DIRECTION | | |
| — | STORM SEWER | | |

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS (CSECR) NOTES

- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: https://dnr.wis.gov/topic/stormwater/standards/const_standards.html
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OF THE COVER FOR THE UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
- INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
- CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
- CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
- IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
- ALL SLOPES 5:1 OR GREATER SHALL BE TEMPORARILY SEED, MULCHED, OR EROSION MATTED OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
- STABILIZE NEWLY GRADED SOILS.
- COMPLETE EXTERIOR BUILDING WORK AND DOWNSPOUTS.
- INSTALL BIORETENTION BASIN SOIL LAYERS.
- FINAL GRADING & SEEDING.

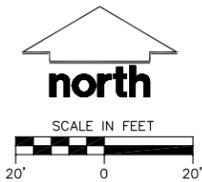
GRADING AND SEEDING NOTES

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- INSTALL BIORETENTION BASIN SOIL LAYERS.
- FINAL GRADING & SEEDING.

CONSTRUCTION SEQUENCING

- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- STRIP TOPSOIL.
- INSTALL ALL SWALES & SEDIMENT BASIN.
- EXCAVATE BUILDING FOUNDATIONS.
- COMPLETE ALL OTHER GRADING.
- INSTALL STORM SEWER & INLET PROTECTION MEASURES.
- INSTALL AGGREGATE BASE COURSE AND PAVING IN PARKING AREAS.
- STABILIZE NEWLY GRADED SOILS.
- COMPLETE EXTERIOR BUILDING WORK AND DOWNSPOUTS.
- INSTALL BIORETENTION BASIN SOIL LAYERS.
- FINAL GRADING & SEEDING.

SITE INFORMATION BLOCK	
Site Acreage	2.012 ACRES
Use of property	Commercial
Existing Building Footprint	6,853 SF
Proposed Building Footprint 1	11,244 SF
Proposed Building Footprint 2	3,977 SF
Existing Impervious Surface Area	16,499 SF
Proposed Impervious Surface Area	44,838 SF
Proposed Impervious Surface Ratio	0.51



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P. 608.848.5060

CLIENT:
4756 MURPHY ROAD LLC

PROJECT:
MURPHY ROAD

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

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1	10/23/2018	ADR SUBMITTAL
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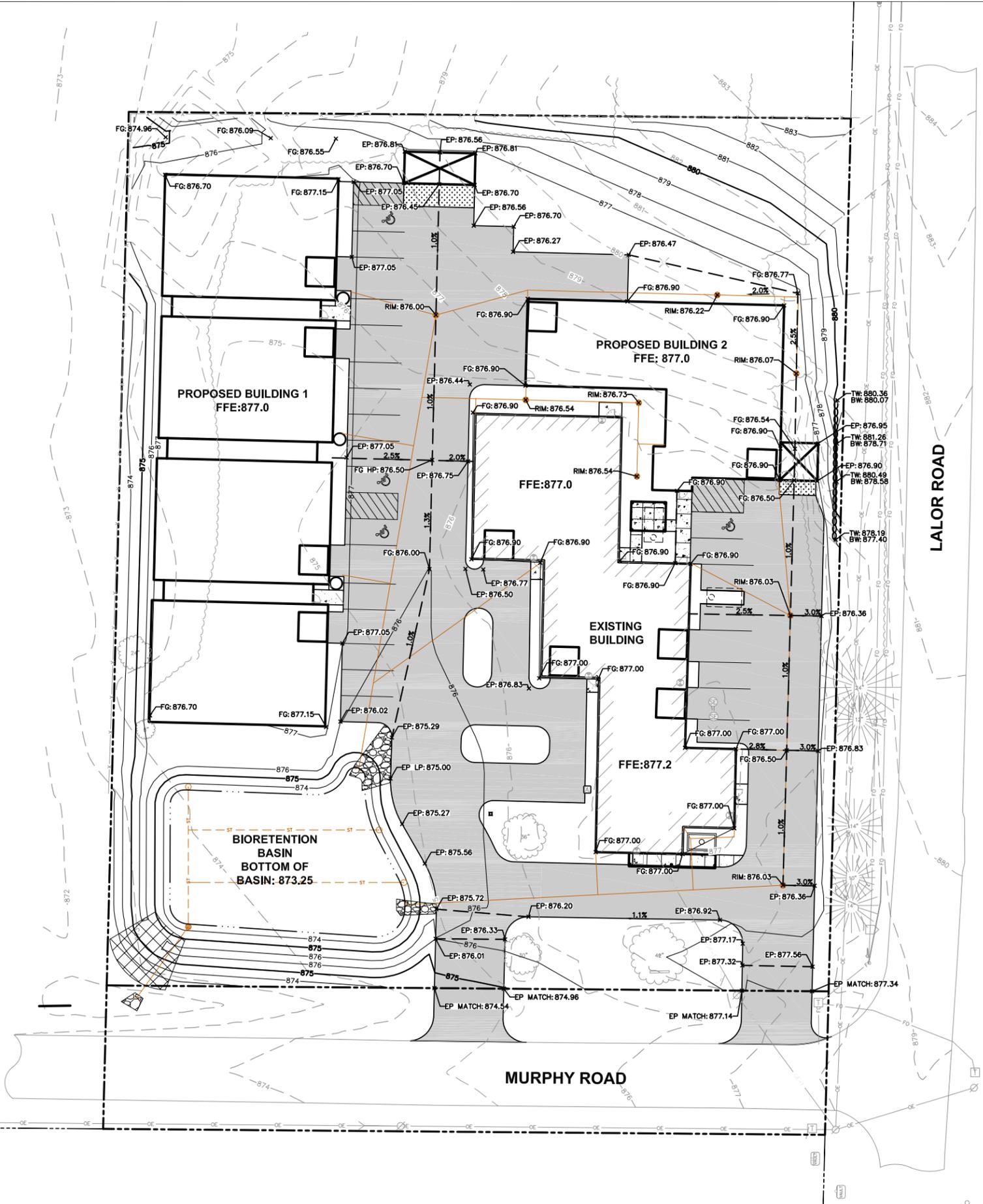
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GRADING AND EROSION CONTROL PLAN

SHEET NUMBER:
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LEGEND (DETAILED GRADING PLAN)

- PROPERTY LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- CONCRETE PAVEMENT
- STORMWATER MANAGEMENT AREA
- 934 PROPOSED 1 FOOT CONTOUR
- 935 PROPOSED 1 FOOT CONTOUR
- DRAINAGE DIRECTION
- ST STORM SEWER
- SILT FENCE
- CONSTRUCTION LIMITS
- INLET PROTECTION, TYPE D
- GRADE BREAK
- GABION RETAINING WALL
- TREE REMOVAL
- SPOT ELEVATION
- EP - ELEVATION OF PAVEMENT
- FG - FINISH GRADE
- EC - EDGE OF CONCRETE
- TS - TOP OF STEP
- BS - BOTTOM OF STEP
- RIM - RIM ELEVATION
- LIGHT POLE

SITE INFORMATION BLOCK	
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CLIENT:
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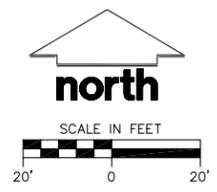
PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:		
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DETAILED GRADING PLAN

SHEET NUMBER:
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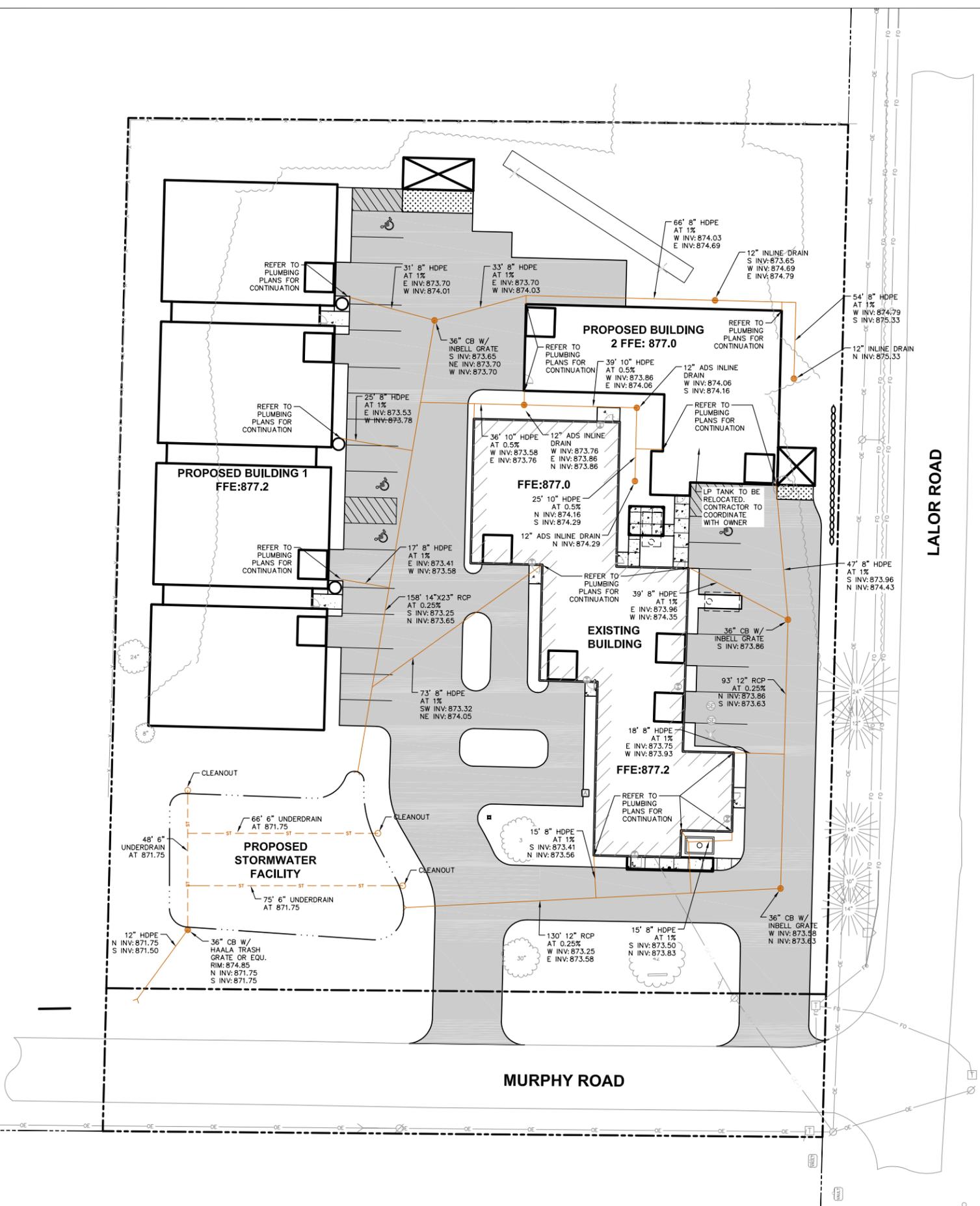


DIGGERS HOTLINE
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JSD PROJECT NO: 18-8773

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LEGEND (SITE PLAN)

- PROPERTY LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- CONCRETE PAVEMENT
- STORMWATER MANAGEMENT AREA
- STORM SEWER
- GABION RETAINING WALL
- LIGHT POLE

UTILITY NOTES

1. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
2. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WDSPS, AND WDNR.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
7. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
8. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
9. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
10. CONTRACTOR SHALL CONTACT THE MUNICIPALITY'S PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.
11. ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
12. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
13. ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
14. ALL PRIVATE STORM PIPE SHALL CONFORM TO SPS 382.40(8)(B)4.A.
15. ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8' OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6' OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
16. ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPARATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. INSULATION SHALL CREATE A "BOX" ENCLOSED THE TOP AND SIDES OF WATER MAIN.
17. ALL LOCATIONS WHERE SANITARY CROSSES ABOVE WATER MAIN, 18" VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN BOTTOM OF SANITARY PIPING AND TOP OF WATER MAIN PIPING.

SITE INFORMATION BLOCK	
Site Acreage	2.012 ACRES
Use of property	Commercial
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P. 608.848.5060

CLIENT:
4756 MURPHY ROAD LLC

PROJECT:
MURPHY ROAD

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:		
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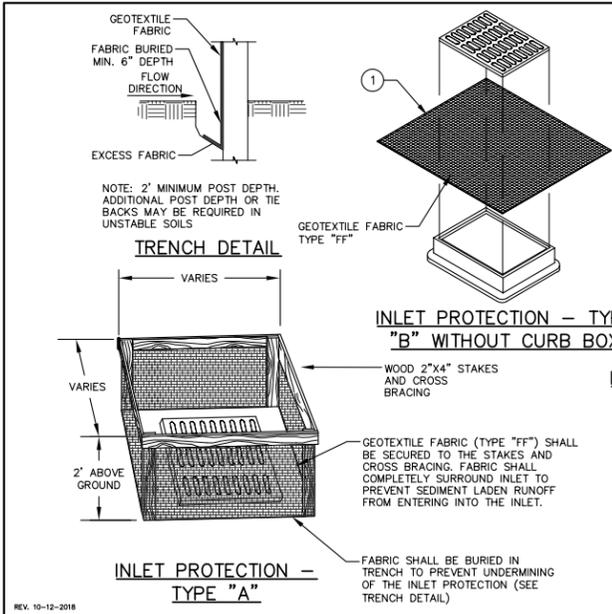
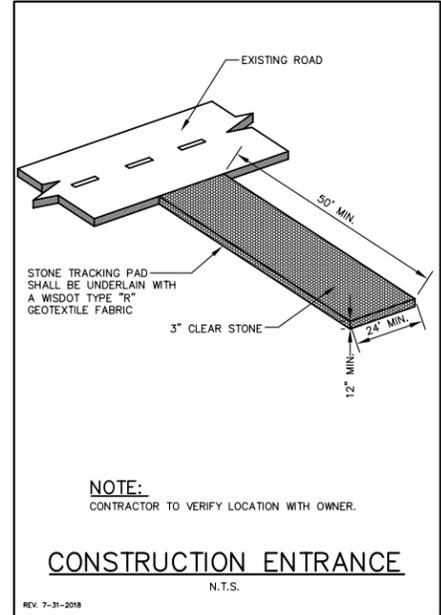
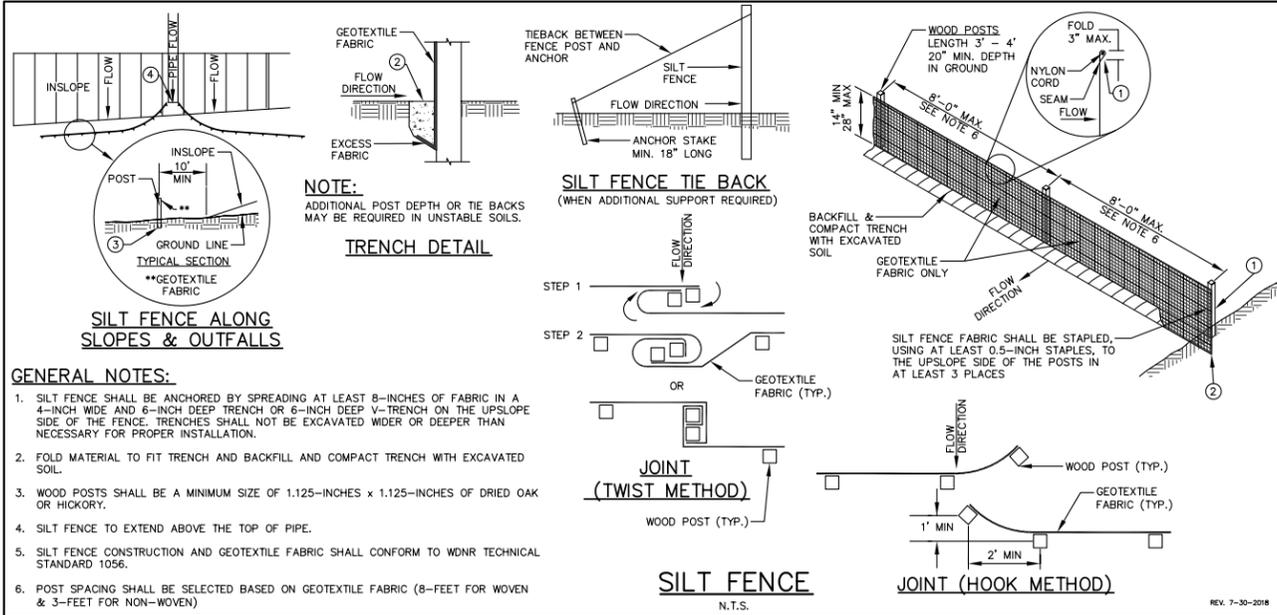
Design/Drawn: **MSS**
Approved:

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
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GENERAL NOTES:

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER OF FACILITATE MAINTENANCE OR REMOVAL.
- FOR INLET PROTECTION, TYPE "C" (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT A WOOD 2X4

INSTALLATION NOTES:

TYPE "B" & "C"

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHODS TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

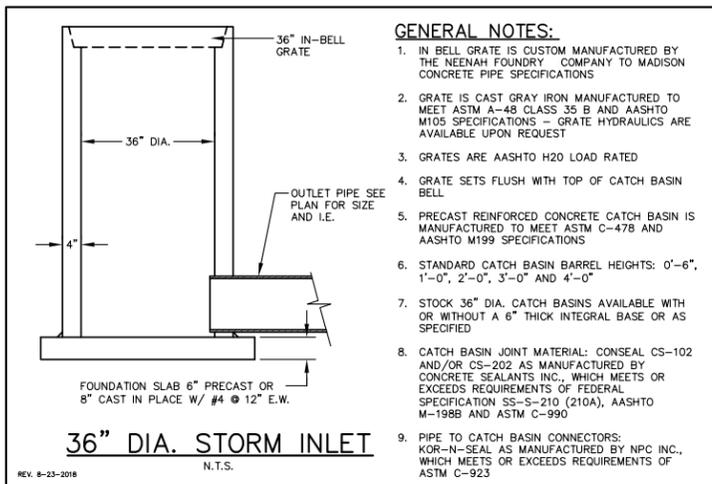
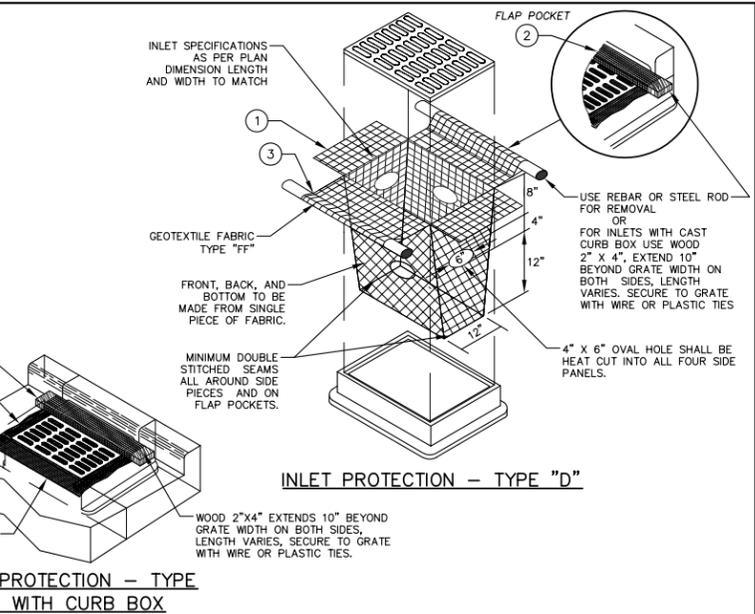
TYPE "D"

DO NOT INSTALL INLET PROTECTION TYPE "D" IN INLETS SHALLOWER THAN 30 INCHES, MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3 INCHES. WHERE NECESSARY THE CONTRACTOR SHALL ONCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3 INCHES CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4 INCHES FROM THE BOTTOM OF THE BAG.

INLET PROTECTION
N.T.S.



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CLIENT:
4756 MURPHY ROAD LLC

PROJECT:
MURPHY ROAD

PROJECT LOCATION:
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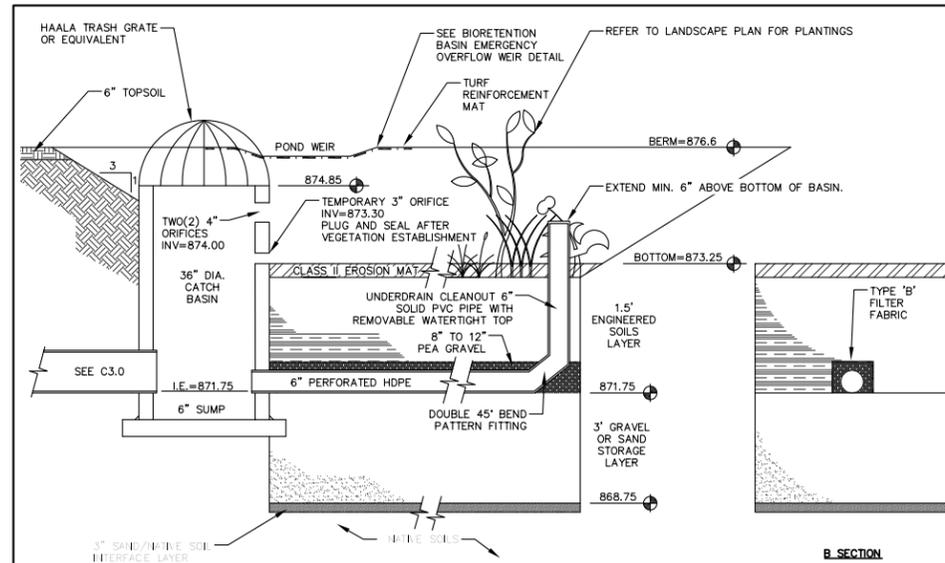
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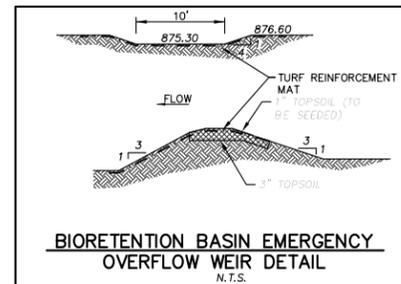
GENERAL NOTES:

- ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE WDNR TECHNICAL STANDARD 1004 - BIORETENTION FOR INFILTRATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE BIORETENTION DEVICE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
- CONTRACTOR SHALL INSTALL 24" OF ENGINEERED SOIL CONSISTING OF: 85% ASTM C33 SAND, 15% CERTIFIED COMPOST (SEE GENERAL NOTE 3).
- CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
- SAND/GRAVEL STORAGE LAYER SHALL CONSIST OF SAND OR GRAVEL MATERIAL MEETING THE SPECIFICATIONS IN SECTION V.B.7 OF WDNR TECHNICAL STANDARD 1004.
- SAND/NATIVE SOIL INFILTRATION LAYER SHALL BE FORMED BY A LAYER OF SAND 3 INCHES DEEP, WHICH IS VERTICALLY MIXED WITH THE NATIVE SOIL TO A DEPTH OF 2-4 INCHES.
- CONFIRM WITH GEOTECHNICAL ENGINEER THAT THE SILT LOAM SOIL PROFILE HAS BEEN REACHED PRIOR TO BACKFILLING THE BIORETENTION BASIN. DEEP TILL MINIMUM 2 FEET OF NATIVE SOIL TO PROMOTE INFILTRATION.
- IF ADDITIONAL EXCAVATION IS REQUIRED BELOW THE SAND SOIL PROFILE TO REACH THE LISTED NATIVE SOIL LAYER, THE BACKFILL USED TO RETURN THE BOTTOM OF THE BIORETENTION SYSTEM TO THE BOTTOM OF THE SAND LAYER ELEVATION MUST HAVE AN EQUAL OR HIGHER INFILTRATION RATE THAN THE LISTED NATIVE SOIL LAYER AS CONFIRMED BY A GEOTECHNICAL ENGINEER.
- FILTER FABRIC SHALL BE PLACED ABOVE AND ON THE SIDES OF THE PERFORATED PIPE, BETWEEN THE PEA GRAVEL AND THE ENGINEERED SOIL, A WIDTH OF 4 FEET CENTERED OVER THE FLOW LINE OF THE PIPE.
- ANNUAL RYE GRASS SHALL BE SEED AT 40 LB/ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING THE BASIN, ON SIDE SLOPES, AND OVER ANY LAND THAT DISCHARGES INTO THE BASIN FOR EROSION CONTROL WHEN BASIN IS BROUGHT ON-LINE. ROOTSTOP AND PLUGS ARE REQUIRED TO ESTABLISH VEGETATION AT THE INVERT OF THE BASIN.
- RUNOFF MUST INFILTRATE WITHIN 24-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
- ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
- SEE LANDSCAPING PLAN AND CONSULT WITH LANDSCAPE ARCHITECT OR ECOLOGICAL PLANTING AGENCY FOR APPROPRIATE SEED MIX, PLANTS AND PLANTING CONFIGURATIONS.

NOTE:
INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (e.g. RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

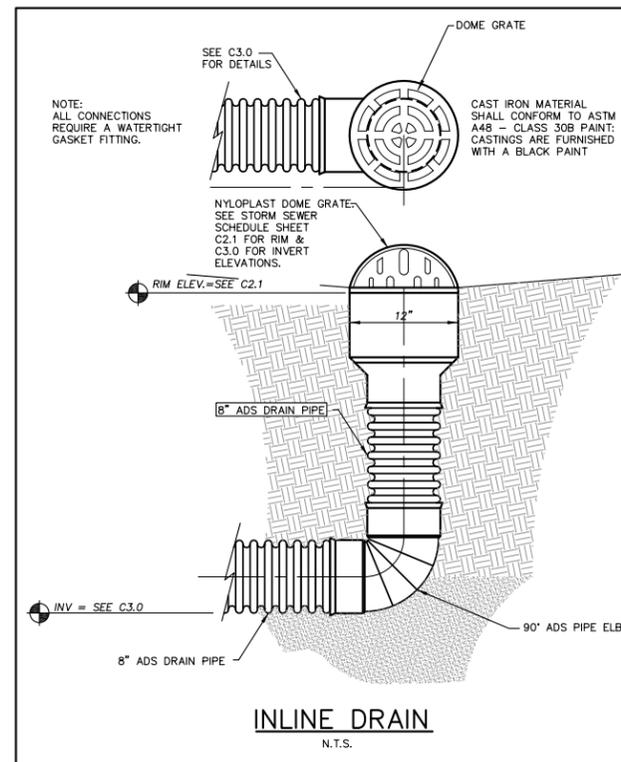
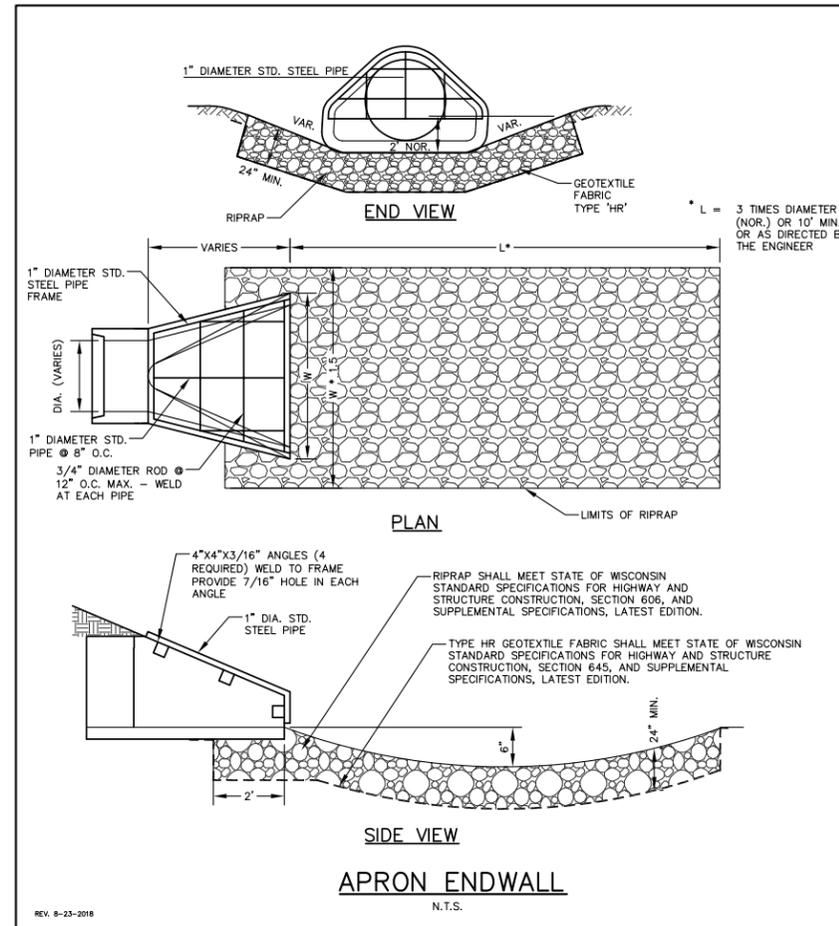
BIORETENTION BASIN
N.T.S.



THE STORMWATER MANAGEMENT FEATURES CONTAINED WITHIN THIS PLAN SET HAVE BEEN DESIGNED IN ACCORDANCE WITH APPLICABLE STANDARDS SET FORTH IN WISCONSIN DNR NR151 AND LOCAL ORDINANCES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER CONSTRUCTION PRACTICES HAVE BEEN UTILIZED AND THAT STORMWATER MANAGEMENT FEATURES HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH APPROVED DESIGN PLANS. JSD PROFESSIONAL SERVICES, INC. (JSD) SHALL NOT BE LIABLE FOR ANY CONSTRUCTION PRACTICES OR INSTALLATION WHICH DEVIATES FROM THE APPROVED PLAN SET. ONCE THE OWNER HAS PROVIDED FINAL APPROVAL TO THE WORK PERFORMED BY THE CONTRACTOR AND ENSURED COMPLIANCE WITH THE PLAN, IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN STORMWATER MANAGEMENT FEATURES IN ACCORDANCE WITH THE RECORDED MAINTENANCE AGREEMENT. PROPER OPERATION IS DEPENDENT ON A MULTITUDE OF VARIABLES INCLUDING WEATHER. THESE COMPONENTS REQUIRE ONGOING MAINTENANCE FOR WHICH THE OWNER IS RESPONSIBLE. JSD TAKES NO RESPONSIBILITY FOR PROPER OPERATION OF THE WATER QUALITY COMPONENTS.

SAND STORAGE LAYER: IF NATIVE SOIL INFILTRATION RATES ARE GREATER THAN OR EQUAL TO THE DESIGN SAND LAYER (3.6 IN/HR), NATIVE SOILS MAY BE USED. GEOTECHNICAL CONSULTANT SHALL PROVIDE THIS INFORMATION IN WRITTEN DOCUMENTATION FOR VERIFICATION PRIOR TO CONSTRUCTION.

AS-BUILT SURVEY AND CERTIFICATION: UPON CONSTRUCTION COMPLETION AND STABILIZATION, AN AS-BUILT SURVEY IS TO BE CONDUCTED FOR BASIN AND CERTIFIED BY THE ISSUING ENGINEER. SURVEYOR IS TO CONFIRM THE TEMPORARY 3" ORIFICE IN THE BIORETENTION BASIN OUTLET HAS BEEN PLUGGED AND SEALED. AS-BUILT PLANS ARE TO BE SUBMITTED TO MUNICIPALITY FOR FINAL APPROVAL.



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KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
4756 MURPHY ROAD LLC

PROJECT:
MURPHY ROAD

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date	Description
1	10.23.2018	ADR SUBMITTAL
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Design/Drawn: MSS
Approved:

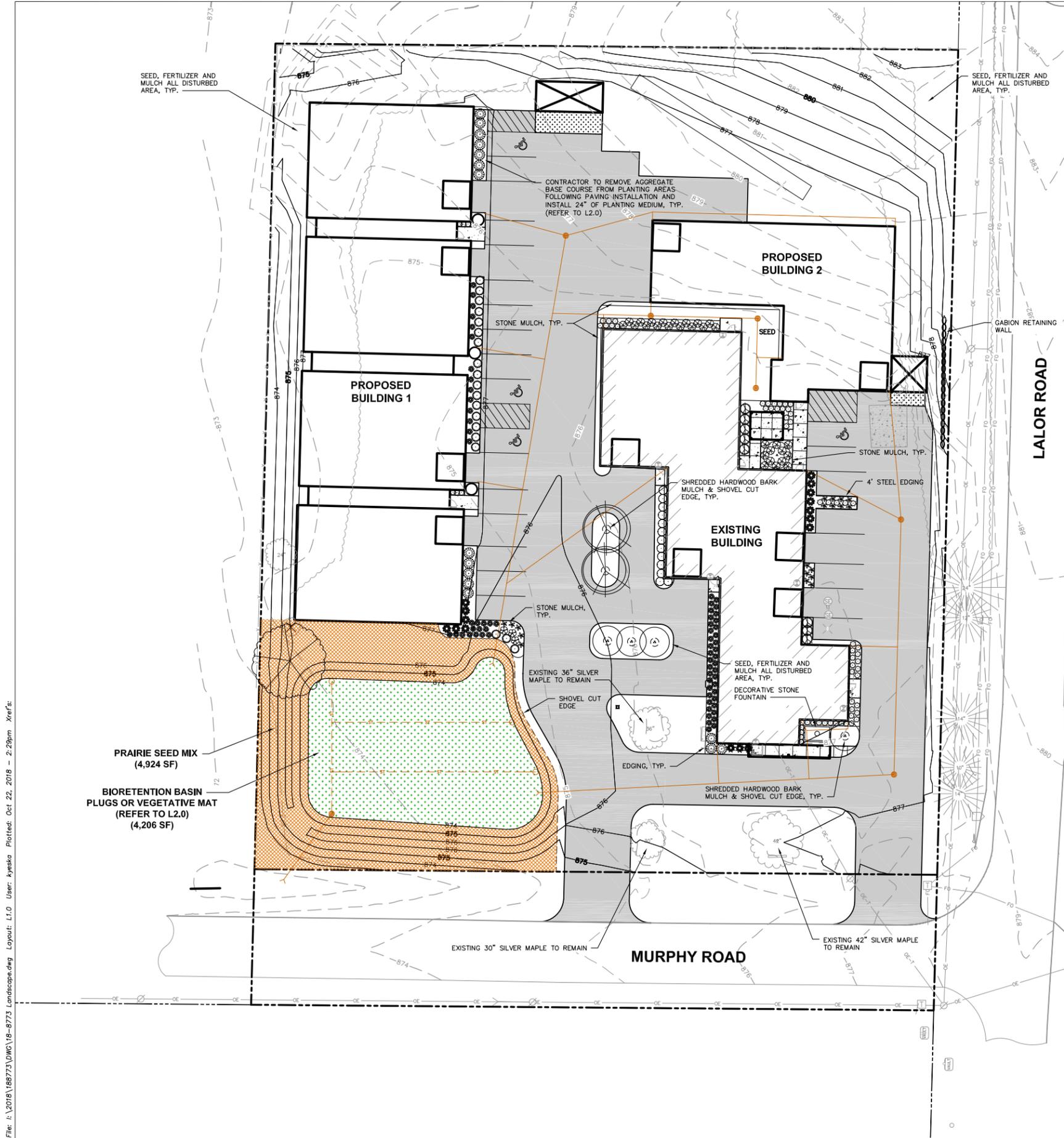
SHEET TITLE:
DETAILS

SHEET NUMBER:
C4.1



Toll Free (800) 242-8511

JSD PROJECT NO: 18-8773



- LEGEND (LANDSCAPE PLAN)**
- PROPERTY LINE
 - BUILDING OUTLINE
 - EDGE OF PAVEMENT
 - ASPHALT PAVEMENT
 - HEAVY DUTY CONCRETE PAVEMENT
 - CONCRETE PAVEMENT
 - STORMWATER MANAGEMENT AREA
 - PROPOSED 1 FOOT CONTOUR
 - 934 PROPOSED 1 FOOT CONTOUR
 - 935 PROPOSED 1 FOOT CONTOUR
 - ST STORM SEWER
 - GABION RETAINING WALL
 - BIORETENTION - PLUG PLANTINGS OR VEGETATIVE MAT
 - PRAIRIE SEED MIX
 - ALUMINUM EDGING
 - SHOVEL CUT EDGE

- GENERAL NOTES:**
1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
 5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
 6. REFER TO SHEET L2.0 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.

- PLANT LEGEND**
- SWAMP WHITE OAK
 - WHITE SPIRE BIRCH
 - SERVICEBERRY
 - DARK GREEN ARBORVITAE
 - COMMON WITCHHAZEL
 - SUMMER WINE NINEBARK
 - ANNABELLE HYDRANGEA
 - GRO-LOW FRAGRANT SUMAC
 - MINI-ARCADE JUNIPER
 - RUSSIAN SAGE
 - STELLA D'ORO DAYLILY
 - OSTRICH FERN
 - KOREAN FOERESTER REED GRASS
 - KARL FOERESTER FEATHER REED GRASS

LANDSCAPE PLANT LIST

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
TALL CANOPY DECIDUOUS TREES				
1	Swamp White Oak	QUERCUS bicolor	2" Cal.	B&B
MEDIUM DECIDUOUS TREES				
2	White Spire Birch	BETULA papyrifera (Single Stem)	1-1/2" Cal.	B&B
LOW DECIDUOUS TREES				
4	Autumn Brilliance Serviceberry	AMELANCHIER x grandifolia 'Autumn Brilliance'	1-1/2" Cal.	B&B
LOW EVERGREEN TREES				
13	Dark Green Arborvitae	THUJA occidentalis 'Smaragd'	4" Min. Ht.	B&B
TALL DECIDUOUS SHRUBS				
1	Common Witchhazel	HAMMELIS virginiana	1 1/2" Cal.	B&B
MEDIUM DECIDUOUS SHRUBS				
15	Summer Wine Ninebark	PHYSOCARPUS opulifolius 'Seward Summer Wine'	24" Min. Ht.	# 3 Cont.
8	Annabelle	ARONIA arbutifolia 'Erecta'	24" Min. Ht.	# 3 Cont.
LOW DECIDUOUS SHRUBS				
13	Gro-Low Fragrant Sumac	RHUS aromatica 'Gro-Low'	18" Min. Ht.	# 3 Cont.
LOW EVERGREEN SHRUBS				
3	Mini-Arcade Juniper	JUNIPERUS sabina 'Mini-Arcade'	18" Min. Ht.	# 3 Cont.
PERENNIALS AND FERNS				
21	Russian Sage	PEROVSKIA atriplicifolia	10 - 12" Ht.	# 1 Cont.
19	Stella D'Oro Daylily	HEMEROCALLIS 'Stella D'Oro'	10 - 12" Ht.	# 1 Cont.
29	Ostrich Fern	MATTEUCCIA struthiopteris	10 - 12" Ht.	# 1 Cont.
ORNAMENTAL GRASSES				
63	Korean Feather Reed Grass	CALAMAGROSTIS brachytricha	10 - 12" Ht.	# 1 Cont.
58	Karl Foerester Feather Reed Grass	CALAMAGROSTIS x acutiflora 'Karl Foerester'	10 - 12" Ht.	# 1 Cont.

Bio-Retention Basin #1 Plug Plant Mix 4,206 sq. ft.

Botanical Name	Common Name	Quantity	Spacing
Permanent Grasses:			
Carex grayi	Common Bur Sedge	236	1'-0" On Center
Carex stipata	Common Fox Sedge	236	1'-0" On Center
Panicum virgatum	Switch Grass	236	1'-0" On Center
Spartina pectinata	Prairie Cord Grass	236	1'-0" On Center
Forbs:			
Aster novae-angliae	New England Aster	233	1'-0" On Center
Asclepias incarnata	Swamp Milkweed	233	1'-0" On Center
Echinacea purpurea	Broad-Leaved Purple Coneflower	233	1'-0" On Center
Eryngium yuccifolium	Rattlesnake Master	233	1'-0" On Center
Eupatorium maculatum	Spotted Joe-Pye Weed	233	1'-0" On Center
Liatris spicata	Marsh Blazing Star	233	1'-0" On Center
Lobelia cardinalis	Cardinal Flower	233	1'-0" On Center
Mnarda fistulosa	Wild Bergamot	233	1'-0" On Center
Penstemon digitalis	Foxglove Beardtongue	233	1'-0" On Center
Pycnanthemum virginianum	Common Mountain Mint	233	1'-0" On Center
Ratibida pinnata	Yellow Coneflower	233	1'-0" On Center
Rudbeckia hirta	Black-Eyed Susan	233	1'-0" On Center
Veronicastrum virginianum	Culver's Root	233	1'-0" On Center
Zizia aurea	Golden Alexanders	233	1'-0" On Center
	TOTAL	4206	





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Approved: _____

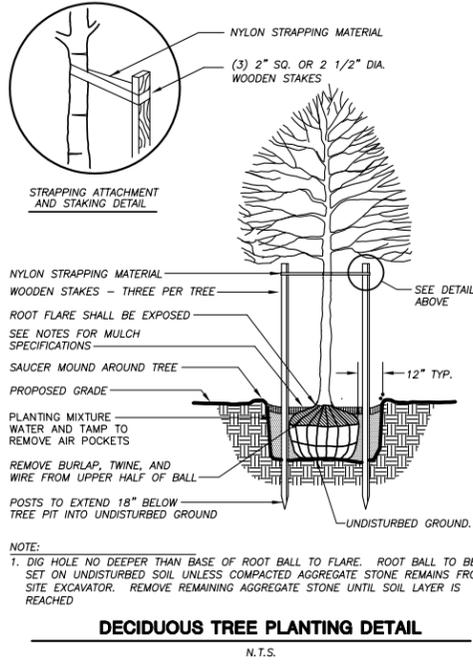
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LANDSCAPE PLAN

SHEET NUMBER:
L1.0

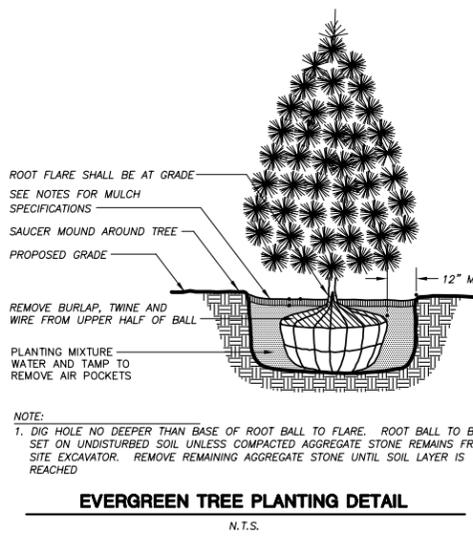
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File: I:\2018\88773\DWG\18-8773 Landscape.dwg Layout: L1.0 User: kyaska Plotted: Oct. 22, 2018 - 2:29pm Xref's:

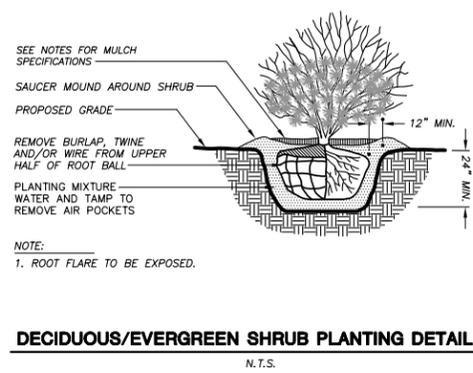
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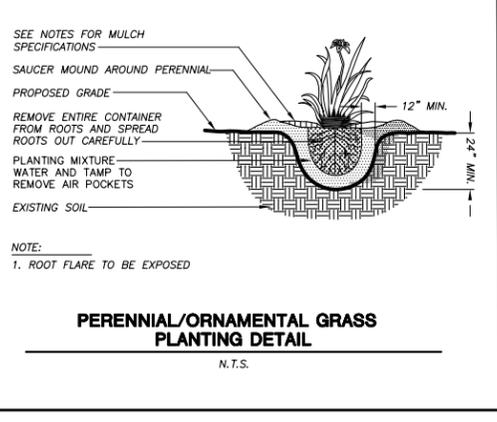
DECIDUOUS TREE PLANTING DETAIL
N.T.S.



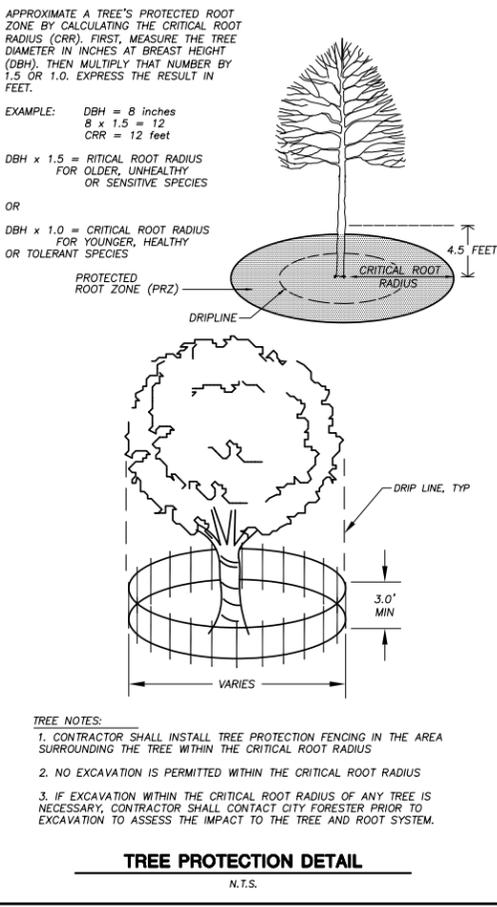
EVERGREEN TREE PLANTING DETAIL
N.T.S.



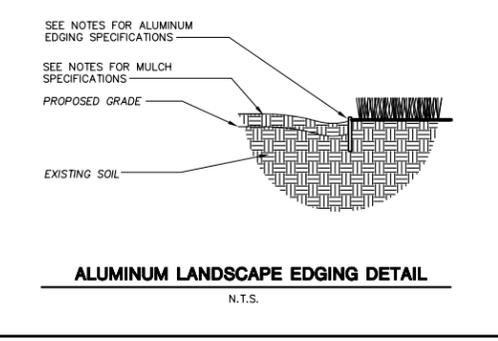
DECIDUOUS/EVERGREEN SHRUB PLANTING DETAIL
N.T.S.



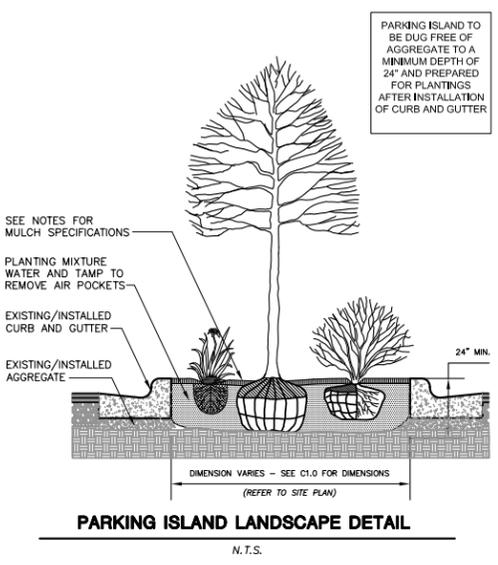
PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL
N.T.S.



TREE PROTECTION DETAIL
N.T.S.



ALUMINUM LANDSCAPE EDGING DETAIL
N.T.S.



PARKING ISLAND LANDSCAPE DETAIL
N.T.S.

GENERAL NOTES

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, STORE THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES. BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXICAL OR OTHER HARMFUL MATERIALS. TOPSOIL SHALL BE LAYERED BETWEEN 6 AND 7". TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDING LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS - ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

SEEDING, SODDING, & POND VEGETATION NOTES

- MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPET'S "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- MATERIALS - SOD: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH. AT TIME OF CUTTING, MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH. THE PLANT MATERIALS SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.
- MATERIALS - PRAIRIE SEED MIX: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE BROADCAST SEEDING WITH "DIVERSE PRAIRIE FOR MEDIUM SOILS" SEED MIX, AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53964, TEL. 608-296-3679 (OR APPROVED EQUIVALENT). INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.
- MATERIALS - BIORETENTION BASIN PLUG PLANTINGS: PLUG PLANTINGS TO BE INSTALLED 1'-0" ON CENTER, MIXING SPECIES INTEGRALLY IN FLATS OF 20 AT A TIME. REFER TO WDRN PLUG PLANTING TECHNICAL STANDARDS FOR ROOTSTOCK AND INSTALLATION SPECIFICATIONS.

OR

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDING AREAS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
4756 MURPHY ROAD LLC

PROJECT:
MURPHY ROAD

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

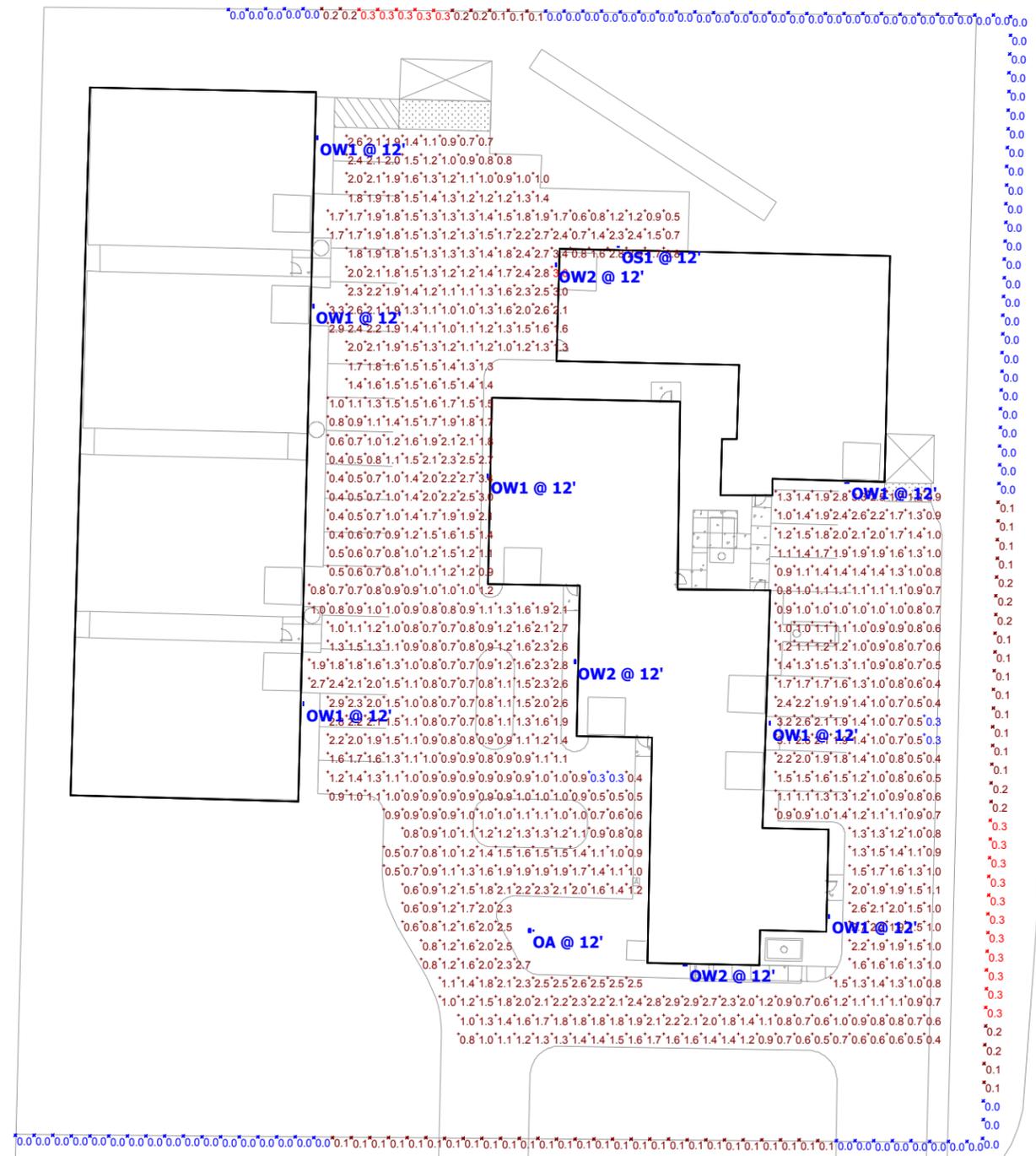
#	Date	Description
1	10.23.2018	ADR SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: KLY
Approved:

SHEET TITLE:
**LANDSCAPE DETAILS,
NOTES & SPECIFICATIONS**

SHEET NUMBER:
L2.0



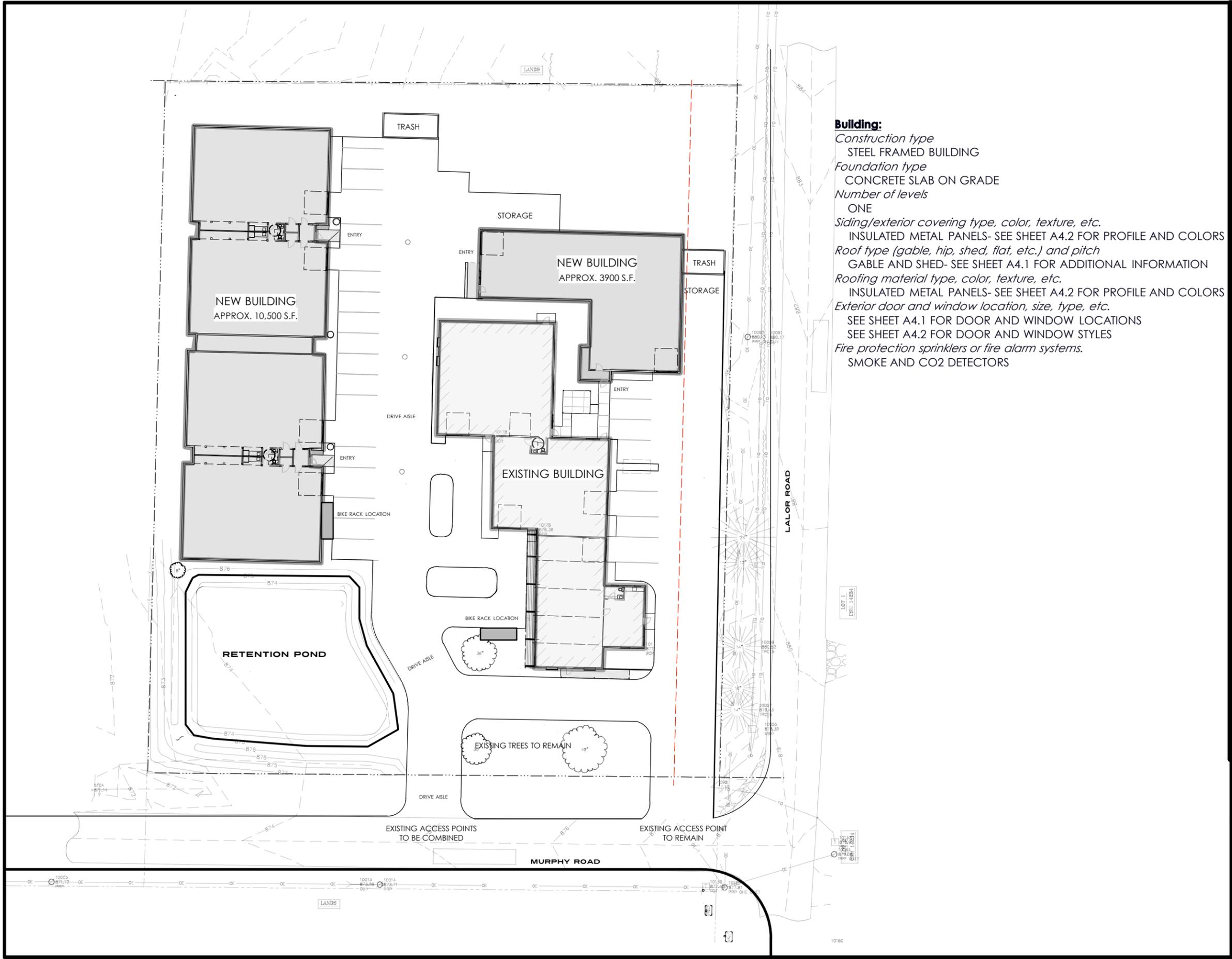


Plan View
Scale - 1" = 20ft

Schedule			
Symbol	Label	Quantity	Catalog Number
	OW1	7	DSXW LED
	OW2	3	DSXW LED
	OS1	1	OLWX LED
	OA	1	DSX LED

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT	+	1.4 fc	3.6 fc	0.3 fc	12.0:1	4.7:1
PROPERTY LINE	X	0.1 fc	0.3 fc	0.0 fc	N/A	N/A

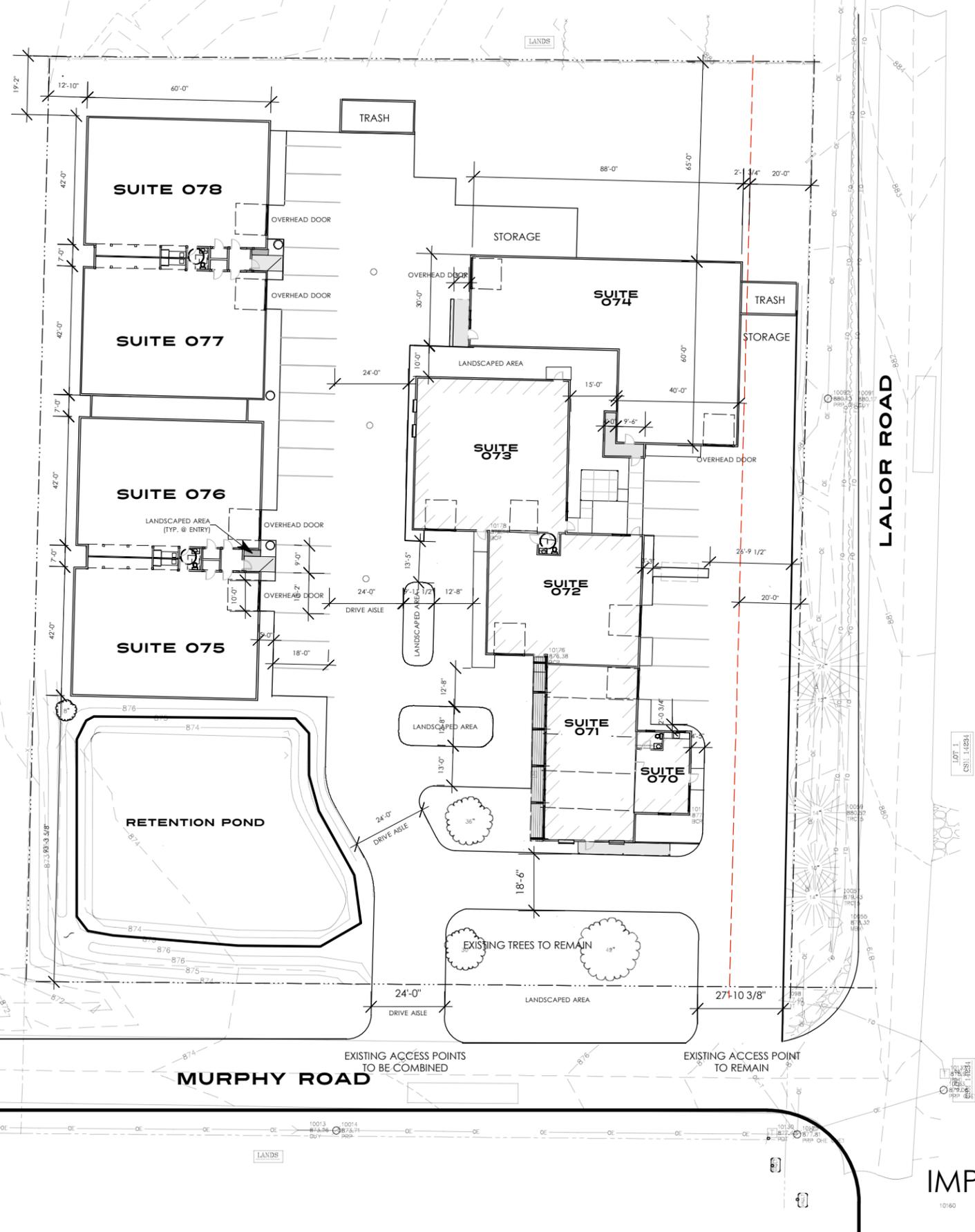
Designer
Date
10/22/2018
Scale
Not to Scale
Drawing No.
Summary



Building:
Construction type
 STEEL FRAMED BUILDING
Foundation type
 CONCRETE SLAB ON GRADE
Number of levels
 ONE
Siding/exterior covering type, color, texture, etc.
 INSULATED METAL PANELS- SEE SHEET A4.2 FOR PROFILE AND COLORS
Roof type (gable, hip, shed, flat, etc.) and pitch
 GABLE AND SHED- SEE SHEET A4.1 FOR ADDITIONAL INFORMATION
Roofing material type, color, texture, etc.
 INSULATED METAL PANELS- SEE SHEET A4.2 FOR PROFILE AND COLORS
Exterior door and window location, size, type, etc.
 SEE SHEET A4.1 FOR DOOR AND WINDOW LOCATIONS
 SEE SHEET A4.2 FOR DOOR AND WINDOW STYLES
Fire protection sprinklers or fire alarm systems.
 SMOKE AND CO2 DETECTORS

**PLAN COMMISSION
 ADR SUBMITTAL**

4756 MURPHY ROAD LLC		<small>WWW.POPULANCE.COM</small> <small>STUDIOSPOPULANCE.COM</small> <small>608.333.1926</small> <small>DATE</small> 10.23.18
4756 Murphy Road Oregon, WI		A1.O
ZONING SITE PLAN		



IMPERVIOUS SURFACE RATIO = 0.51

PLAN COMMISSION

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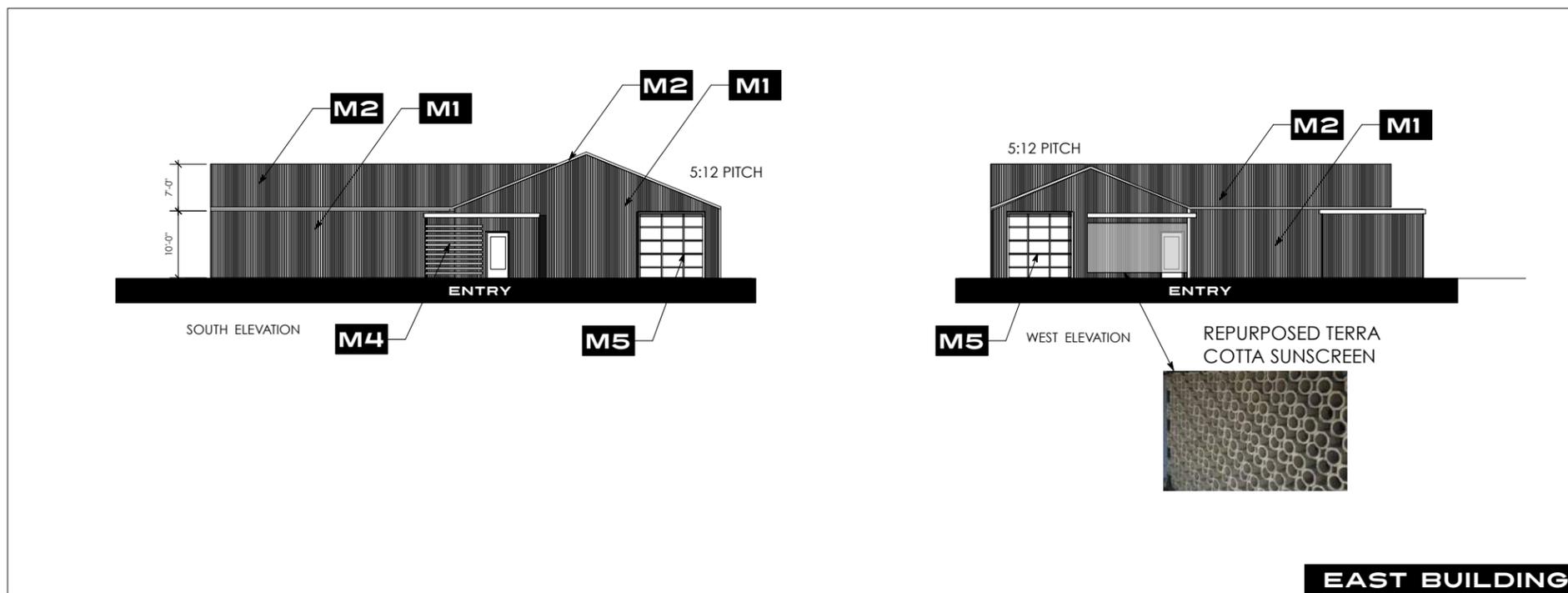
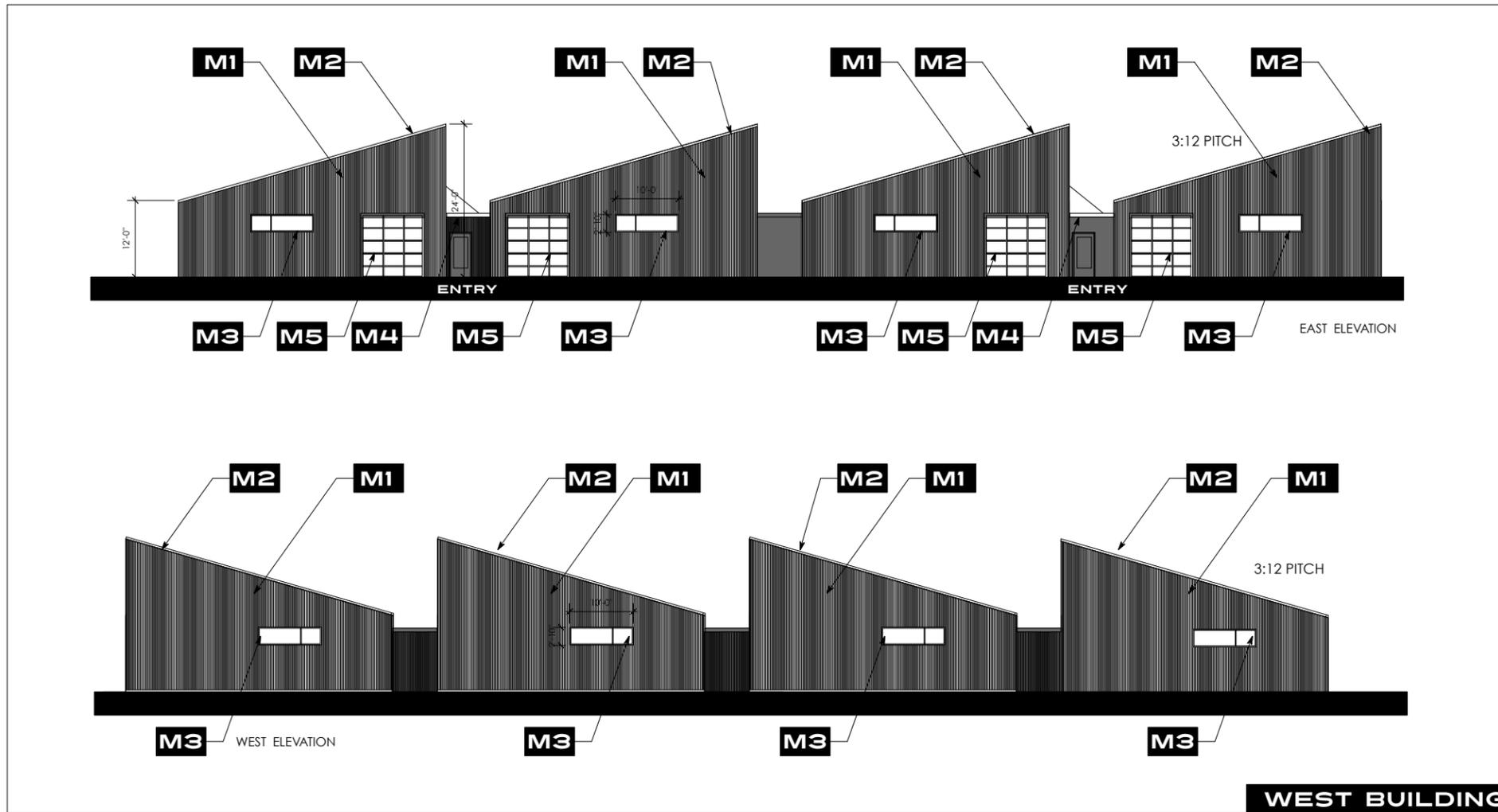
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DATE
10.23.18

4756 Murphy Road
Oregon, WI

OVERALL SITE PLAN

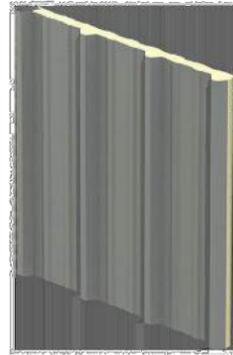
A1.1



PLAN COMMISSION	
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4756 Murphy Road Oregon, WI	A4.1

METAL SIDING

M1



MANUFACTURER:
METL-SPAN
FINISH:
INSULATED METAL PANEL
COLOR:
SILVER AT WEST BUILDING
SW 7025 Backdrop AT EAST BUILDING
SIZE:
VARIES
LOCATIONS:
EXTERIOR; RE: ELEVATIONS

CLADDING

M4



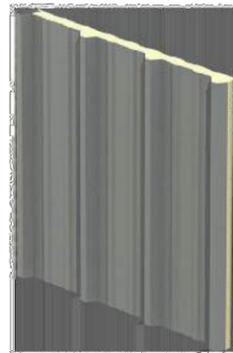
MATERIAL:
WALNUT
W/STAINLESS STEEL
EXPOSED FASTENERS

FINISH:
STAINED

LOCATIONS:
ACCENT LOCATIONS

METAL ROOF

M2



MANUFACTURER:
METL-SPAN
FINISH:
INSULATED METAL PANEL
COLOR:
SILVER AT WEST BUILDING
SW 7025 Backdrop AT EAST BUILDING
SIZE:
VARIES
LOCATIONS:
EXTERIOR; RE: ELEVATIONS

OVERHEAD DOOR

M5



MANUFACTURER:
CLOPAY

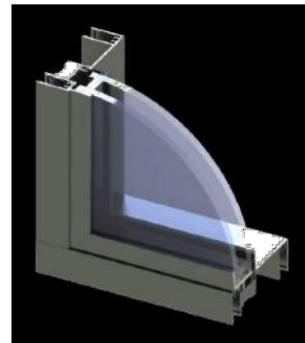
FINISH:
PREFINISHED
ALUMINUM FRAME
OBSCURE GLASS

SIZE:
VARIES

LOCATIONS:
AT GARAGE ENTRIES

WINDOWS

M3



MANUFACTURER:
FIBREFRAME
FINISH:
PREFINISHED ALUMINUM TO
MATCH ADJACENT
METAL PANEL
SIZE:
VARIES
LOCATIONS:
EXTERIOR; RE: ELEVATIONS

PLAN COMMISSION

ADR SUBMITTAL

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DATE
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MATERIALS

A4.2



NOTE: REFER TO LANDSCAPE PLANS FOR COMPLETE LANDSCAPING DESIGN
 NOT ALL LANDSCAPING SHOWN HERE FOR CLARITY

PLAN COMMISSION

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	DATE 10.23.18

4756 Murphy Road Oregon, WI	A4.3
RENDERINGS	



NEW BUILDING

ENTRY CANOPY

ENTRY CANOPY

ENTRY

ENTRY

PLAN COMMISSION

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RENDERINGS

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A4.4



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RENDERINGS

A4.5



PLAN COMMISSION

ADR SUBMITTAL

4756 MURPHY ROAD LLC

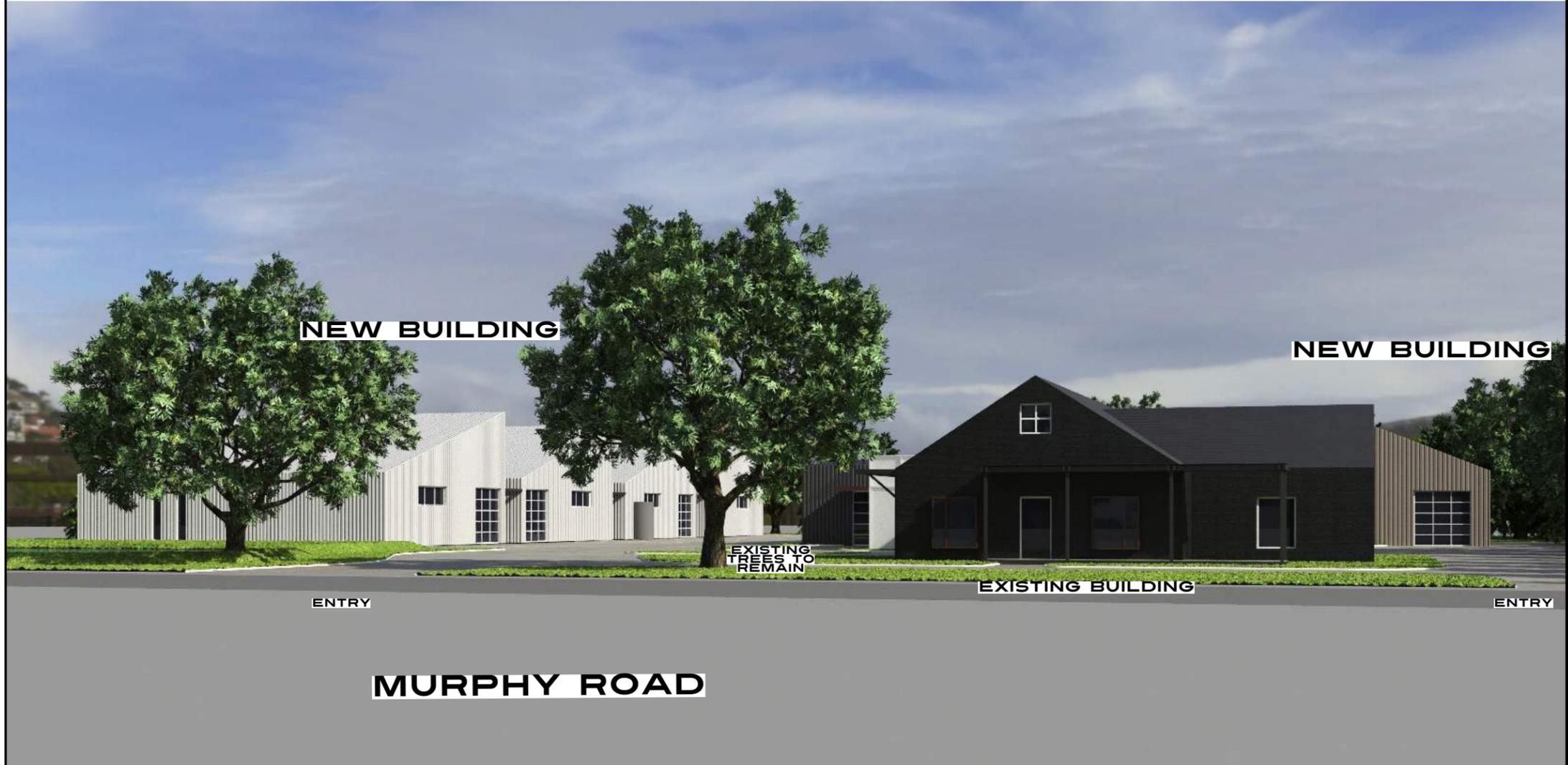
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RENDERINGS

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DATE
10.23.18

A4.6



PLAN COMMISSION

ADR SUBMITTAL

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Oregon, WI

RENDERINGS

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DATE
10.23.18

A4.7