



City of Fitchburg  
 Planning/Zoning Department  
 5520 Lacy Road  
 Fitchburg, WI 53711  
 (608-270-4200)

# REZONING APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the PDD-SIP district to the PDD-SIP district the following described property:

1. **Location of Property/Street Address:** Lot 3 Development / Index Road

**Legal Description** - (Metes & Bounds, or Lot No. And Plat):

Lot 3, CSM #12135, recorded in Vol. 75 of Certified Survey Maps, on pages 11-18, as Doc. No. 4304437, Dane County Registry, City of Fitchburg, Dane County, Wisconsin.

\*\*\*Also submit in electronic format (MS WORD or plain text) by email to: [planning@fitchburgwi.gov](mailto:planning@fitchburgwi.gov)

2. **Proposed Use of Property - Explanation of Request:**

Construction of a new multi-family building with four stories of residential over one level of parking. The residential levels include approximately 173 units with amenities and the parking level is approximately 68,000 g.s.f.

3. **Proposed Development Schedule:** Construction starts in March 2023 with completion summer of 2024.

\*\*\*Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

\*\*\*Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to [planning@fitchburgwi.gov](mailto:planning@fitchburgwi.gov). Additional information may be requested.

**Type of Residential Development** (If Applicable): Multi-Family

**Total Dwelling Units Proposed:** 173 **No. Of Parking Stalls:** 197 interior & 42 exterior

**Type of Non-residential Development** (If Applicable): Not Applicable

**Proposed Hours of Operation:** TBD **No. Of Employees:** TBD

**Floor Area:** 62,861 nsf (interior parking area) **No. Of Parking Stalls:** 197

**Sewer:** Municipal  Private  **Water:** Municipal  Private

**Current Owner of Property:** Homeville Fitchburg LLC

**Address:** N5085 Hemlock Street Poynette, Wisconsin 53955 **Phone No:** (608) 575-8642

**Contact Person:** William Clemens

**Email:** bcbeinc@yahoo.com

**Address:** N5085 Hemlock Street Poynette, Wisconsin 53955 **Phone No:** (608) 575-8642

**Respectfully Submitted By:** *William Clemens* William Clemens  
 Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

**For City Use Only:** **Date Received:** \_\_\_\_\_ **Publish:** \_\_\_\_\_ and \_\_\_\_\_

**Ordinance Section No.** \_\_\_\_\_ **Fee Paid:** \_\_\_\_\_

**Permit Request No.** \_\_\_\_\_



City of Fitchburg  
 Planning/Zoning Department  
 5520 Lacy Road  
 Fitchburg, WI 53711  
 (608-270-4200)

## ARCHITECTURAL & DESIGN REVIEW APPLICATION

**Applicant/Contact Person:** Avalon Lot 3 Development (Avalon Apartments) / Michael Thorson

**Address:** 2820 Walton Commons Lane - Suite 125      **Phone Number of Contact Person:** (608) 698-8336

**City, State, Zip Code:** Madison, Wisconsin      **Email of Contact Person:** michael.thorson@inventure-capi

**Project Address:** Index Road, Fitchburg, WI      **Lot:** Lot 3      **Subdivision:** Maple Lawn Heights

**Project Type:**    **Multi-Family**       **Commercial**       **Industrial**       **Other**  
                           **New**       **Addition**

**Impervious Surface Ratio (ISR):** 75% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

**Site Data:**

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details, including grading plan.
- 10. Lighting plan in footcandles and light fixture cut sheets.

**Building:**

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

**Ingress, Egress, Parking:**

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

**Landscaping:**

- 1. Location, species, size of existing trees, shrubs, and plantings.
- 2. Location, species, size of proposed plantings.
- 3. Location and size of all paved, seeded/sodded and gravelled areas.
- 4. Location of all retaining walls, fences, berms and other landscape features.

**\*It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed: *William Chaves* Date: Oct/16/2022  
Applicant or Authorized Agent

**\*\*\* Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to [planning@fitchburgwi.gov](mailto:planning@fitchburgwi.gov). Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

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**FOR CITY USE ONLY**

Date Received: \_\_\_\_\_ Plan Commission Date: \_\_\_\_\_

**Comments:**

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16,005988 10/19/22

\$ 875.00 RB

Ruth Becker

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**From:** Deanna Schmidt  
**Sent:** Wednesday, October 19, 2022 10:38 AM  
**To:** Ruth Becker; Zack Jones; Matt Long; Joseph Lee  
**Cc:** Karla Tooley; Becky Neefe  
**Subject:** Re: 22-0421 Avalon Apartments: Check for SIP Fee

Hi Ruth;  
I just assigned the number:

RZ-2481-22 - Avalon SIP

Thanks,  
d

**Deanna Schmidt, AICP**  
City Planner & Zoning Administrator  
City of Fitchburg  
5520 Lacy Road  
Fitchburg, WI 53711  
deanna.schmidt@fitchburgwi.gov  
608-270-4255

---

**From:** Ruth Becker <Ruth.Becker@fitchburgwi.gov>  
**Sent:** Wednesday, October 19, 2022 10:21 AM  
**To:** Zack Jones <Zack.Jones@fitchburgwi.gov>; Matt Long <mlong@jla-ap.com>; Joseph Lee <jlee@jla-ap.com>  
**Cc:** Deanna Schmidt <Deanna.Schmidt@fitchburgwi.gov>; Karla Tooley <Karla.Tooley@fitchburgwi.gov>; Becky Neefe <Becky.Neefe@fitchburgwi.gov>  
**Subject:** RE: 22-0421 Avalon Apartments: Check for SIP Fee

Hi Zack,  
Can you please provide the Planning and Zoning Department reference number or permit number for this project to the applicant? When the applicant either calls in with their payment information OR pays online (please see below), this number must be provided to Clerks Staff or noted during the online payment process in order for the Clerks Department to enter a receipt that references the code or permit number you have assigned to the project.

Here are online instructions that Public Works sends to permit applicants:

"Payments can be made over the phone or on the PSN website <https://www.paymentservicenetwork.com/PaymentPage.aspx>  
There is a Convenience fee for PSN charges. If applicant doesn't want to register with PSN, they will need to use the Quick pay link and do a search: Business Name: **City of Fitchburg** Business City: **Fitchburg** Business State: **WI** and choose **Misc. Payments** (3rd option under City of Fitchburg) For Name as it appears on your bill/invoice please use the permit number.

Or

To pay over the phone, please call 608-270-4200 and pay over the phone using a debit/credit card (2.99% fee)."



**JLA**  
ARCHITECTS



Madison | Milwaukee | Denver

general 608.241.9500  
direct 608.442-3823

learn more [www.jla-ap.com](http://www.jla-ap.com)  
follow us [Facebook](#) | [LinkedIn](#)

MILWAUKEE BUSINESS JOURNAL



2020 BEST PLACES TO WORK



Receipt No: 16.005988

Oct 19, 2022

AVALON APARTMENTS

LICENSES & PERMITS

RZ-2481-22 875.00

Total: 875.00

CREDIT CARD - COUNTER 875.00

Payor:

JOSEPH LEE FOR JLA ARCHITECTS

Total Applied: 875.00

Change Tendered: .00

10/20/2022 07:49AM

CITY OF FITCHBURG

5520 LACY RD

FITCHBURG WI 53711

608-270-4200

# Avalon Lot 3 Development High Density Residential Development

FITCHBURG, WISCONSIN



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- APPENDIX 'D' SIP PRELIMINARY FLOOR PLANS
- APPENDIX 'E' SIP PRELIMINARY EXTERIOR ELEVATIONS & PERSPECTIVES
- APPENDIX 'F' SIP PRELIMINARY EXTERIOR LIGHTING AND PHOTOMETRIC PLANS

**PROJECT TEAM:**



INVENTURE CAPITAL, LLC  
 2820 Walton Commons Lane, Suite 125  
 Madison, Wisconsin 53718  
 Contact: Michael Thorson  
 608.698.8336



JLA ARCHITECTS + PLANNERS  
 800 West Broadway, Suite 200  
 Monona, Wisconsin 53713  
 Contact: Joe Lee  
 608.442.3858



MCGRATH PROPERTY GROUP  
 30 Williamson St. Suite 150  
 Madison, WI 53703  
 Contact: Mike Metzger  
 608.515.5046



VIERBICHER  
 999 Fourier Drive, Suite 201  
 Madison, WI 53713  
 Contact: Matt Schreiner  
 608.826.0532

## PROJECT LOCATION & GENERAL DESCRIPTION

The Avalon Lot 3 Development will be a distinctive, market rate, high density residential multi-family development serving the increased demand for quality, higher density housing in the Fitchburg area over the next five years and beyond. It will be located on the approximately 2.82-acre vacant parcel on Index Road just north of the Ochalla Drive extension.

### Surrounding Context

The project site is in an urban neighborhood surrounded by existing businesses, a public golf course, elementary schools, several parks and recreation areas, with a mix of residential apartments and homes. The properties to the north and east are predominantly commercial, the properties to the south are predominantly residential, and the properties to the west are predominantly commercial with some aged care.

### Existing Topography

The project site slopes down to the north along with Index Road to the east, and is currently vacant with scrub vegetation covering virtually the whole site. There are no wetlands within the boundary of the parcel.

### Existing Site Conditions

The site had a GIP approval from 2007 for up to 120 senior care or independent living apartments. A GIP approval was issued and recorded in September 2022 for this project, and this SIP application is substantially in accordance with that GIP approval.

## LEGAL DESCRIPTION

Lot 3, CSM #12135, recorded in Vol. 75 of Certified Survey Maps, on pages 11-18, as Doc. No. 4304437, Dane County Registry, City of Fitchburg, Dane County, Wisconsin.

### PROJECT SITE



## CERTIFIED SURVEY MAP

A new CSM is being submitted for review and approval simultaneously with the SIP submittal.

## RATIONALE FOR A PLANNED DEVELOPMENT DISTRICT

We believe there is a need to use Planned Development District Zoning for the Avalon Lot 3 Development in order to accomplish the goals of providing a quality infill development and maintaining the more urban feel desired.

To accomplish these goals, we reference the City's Ordinance with the following reasons:

- Section 22-144 – Permitted Uses (3): Only permits up to 8 units per building. While we realize dwelling structures having greater than eight dwelling units are allowed as a Conditional Use (per 22-145 (6)), we desire the long-term stability afforded under a permanent zoning classification.
- Section 22-146 – Dimensional Standards (2) b: Requires a minimum of 2,000 square feet of lot area per each Efficiency unit, 2,200 square feet of lot area per each 1 bedroom unit, 2,400 square feet per each 2 bedroom unit, and 2,700 square feet per each 3 bedroom unit, with the provision that each structured parking space reduces the minimum lot area by 500 square feet. With our proposed unit mix and total unit count of 173 units, this standard would require a parcel substantially larger than our existing parcel size.
- Section 22-146 – Dimensional Standards (4): Sets the minimum front setback (Index Road) at 30 feet. In order to fulfill our desire to provide a more urban feel, we propose a minimum setback of 10 feet.

- Section 22-146 – Dimensional Standards (5): Sets the minimum side setback at 10 feet. In order to fulfill our desire to provide a more urban feel, we propose a minimum setback of 5-10 feet depending on location.
- Section 22-146 – Dimensional Standards (8): Restricts the maximum building height to 45 feet or 3 stories, whichever is less. We are planning 4-stories of residential on top of 1 level of a covered parking structure that is partially exposed due to grading on site. While we realize dwelling structures having greater than 3 stories is allowed as a Conditional Use (per 22-146 (8)), we desire the long-term stability afforded under a permanent zoning classification.

The City of Fitchburg agreed with these rationales and approved a GIP rezoning application for the site in September 2022. This SIP application is substantially in accordance with that approval.

## **ECONOMIC & SOCIAL IMPACTS**

We believe that this project will have positive economic & social impacts on the area.

### Property Values and Tax Revenue

This project represents an expected total investment of over \$30,000,000. It is estimated that this project would have a total assessed value, upon full assessment, of over \$25,000,000. If this valuation is achieved, we believe that the project will generate significant additional property tax revenue for the City.

In addition to the value of this specific project, the surrounding properties could realize an increase in values because of this project - thus creating additional tax revenues.

### Impact Fees

This project should generate Impact Fees to the City in an amount approaching \$1,000,000 as part of its development.

### Social Impacts

Although social impacts cannot be predicted or quantified, we believe that this project will also have a positive social impact on the area.

- The addition of this quality residential community should improve the perceived image of the immediate area.
- The addition of this quality residential community will help to keep existing residents in Fitchburg and bring new residents into Fitchburg.
- The addition of this quality residential community could serve as a catalyst for other uses - such as retail & commercial - to locate in the immediate area.
- The addition of this quality residential community could serve as an example for future development - creating higher standards in design & living amenities.

- This development will help to further the city's desire to create a vibrant urban feel to the North Fish Hatchery Road corridor and make productive use of a site which has been underutilized for a long time.

## **ENVIRONMENTAL BENEFITS OF PLANNED DEVELOPMENT ZONING**

The Environmental Benefits of using Planned Development District Zoning for this project come from the greater flexibility in both density & zoning standards that is allowed under PDD Zoning than would be allowed under the City's High Density Residential Zoning.

### Reduction of Sprawl

Because of PDD Zoning, more units can be developed on this site. Therefore, this development can help meet the increasing need for residential units on less land area than would otherwise be required under the City's High Density Residential Zoning.

### Utilizing Existing Stormwater Facilities

As the site is already provisioned for stormwater in a shared pond facility via its existing GIP approval, development of this project allows that existing infrastructure to be fully utilized. This allows population growth in the city to be accommodated with less clearing and development than other greenfield locations.

### Enhanced Public Realm

With PDD Zoning, the site can be designed to enhance the character and visual aesthetics of the public realm. Under PDD Zoning, the building setbacks can be reduced to allow the buildings to be located & orientated to address the street edge and to help define the public realm.

**CONSISTENCY WITH COMPREHENSIVE PLAN**

We believe that this project complies with the City of Fitchburg's Comprehensive Plan. It provides a high quality, well managed project that is an efficient use of existing resources. Specifically:

**Housing Policy Framework Goal 1:**

Provide balanced growth with a variety of housing types, to promote decent housing and a suitable living environment for all residents.

Objective 1.1: This project promotes the development of housing to meet the current and future needs of residents within the City as outlined in the Growing Fitchburg 2030 plan.

Policy 1.1.1: This project is being built with in short walking distance of existing mass transit routes on Fish Hatchery Road. In addition, it will have quick, easy access to main arterials servicing the larger metropolitan area.

Objective 1.3: This infill project will add value to the neighborhood by complimenting the existing housing developments on Index Road. In addition, it will add potential labor resources for the adjacent business district.

Policy 1.3.2: This project is focused on developing an under used parcel of land with a development that contributes to the existing neighborhood, meets goals of the North Fish Hatchery Road Vision plan, and provides affordable, market rate housing.

**Housing Policy Framework Goal 2:**

Promote the efficient use of land for housing.

Objective 2.1: This infill project provides a more efficient, compact use of the land with higher densities, quality amenities for the residents.

Policy 2.1.3 By utilizing a under used parcel located in an existing urban setting, this project will help to protect existing natural resources, environmental corridors, and open spaces.

Objective 2.2: This infill project provides the growth desired in Fitchburg without adding to sprawl at the periphery of the existing urban area.

Policy 2.2.1 This infill development will be fully served by existing urban services, including sanitary sewer and public water, and will provide convenient access to community facilities, areas of employment, and arterial highways.

**Jobs and Education Policy Framework Goal 1:**

Encourage economic development opportunities appropriate to the Resources, character, and service levels of the city.

Objective 1.1: This project will provide a compact residential development with onsite tenant amenities to serve both new and current area residents.

Policy 1.1.1: This project delivers a taller building with higher floor area ratios, as well as covered parking for the residents.

Policy 1.1.3 This development is located 1 block from Post Road, and 1 block from a controlled intersection with Fish Hatchery Road. Sidewalks included in this development will provide pedestrian access to existing mass transit lines on Fish Hatchery Road.

## CONSISTENCY WITH NORTH FISH HATCHERY VISIONING

We believe that this project is consistent with the City of Fitchburg's Visioning for the North Fish Hatchery Redevelopment Area. We believe that this development will address the vision goals in the following ways.

**Goal 1:** Promote economic and tax base growth and stability.

- This project will add to the tax base as outlined earlier in this proposal.
- This development provides stability to the neighborhood as it will be owned and operated by the developers, who live and operate their business in the City of Fitchburg.

**Goal 2:** Transition corridor to an urban form.

- This infill development will transform an isolated undeveloped parcel into an urban environment.

**Goal 3:** Continue stabilization of existing residential development.

- This project will continue the development of the surrounding area as an urban residential center.
- This project will be maintained by the owners and utilize a local professional property management company, with onsite managers.

**Goal 4:** Position Post Road/Fish Hatchery Road as the primary community gateway.

- Additional residents will potentially provide more customers for existing business in this area, and an expanded labor pool for employers in the immediate area.

**LAND USE**

When complete, this project will contain multi-family residential use. This 2.82acre parcel will be consistent with the City's Comprehensive Plan with a High Density Multi-Family Residential Use. It will have 173 market rate housing units along with their associated common amenity spaces. At the time of this Specific Implementation Plan, the mix of residential units is as follows:

- Studio Units: 05 %
- 1 Bedroom: 66 %
- 2 Bedroom: 24 %
- 3 Bedroom: 05 %

Within each unit type there will be a variety of unit sizes - with an average unit size of approximately 800 square feet. This mix of unit types & sizes will serve a variety of potential residents.

In addition to the residential units themselves, the project will contain various common space amenities integrated within the building or around the site. At the time of this General Implementation Plan, the anticipated common amenities are:

- On-site Management/ Leasing Office
- Community Room with Common Space Access
- Green Roof Common Space with the Following Amenities:
  - Extensive Landscaping
  - Fire Pit
  - Grilling Area for Tenant Use
- Fitness Center
- Other Green and/or Open Space for passive and active activities

**ESTIMATED DAILY WATER USAGE**

ESTIMATED DAILY WATER USAGE CALCULATIONS					
UNIT TYPE	TENANTS/UNIT	NUMBER OF UNITS	TOTAL TENANTS	GALLONS/DAY/TENANT	TOTAL GALLONS/DAY
STUDIOS	1.5	8	12	54	648
1 BEDROOM	1.5	115	172.5	54	9,315
2 BEDROOM	2.5	42	105	54	5,670
3 BEDROOM	2.5	8	20	54	1,080
TOTAL WATER USAGE PER DAY					16,713
TOTAL HOT WATER USAGE PER DAY					5,682
TOTAL COLD WATER USAGE PER DAY					11,031

## SITE DESIGN & GENERAL INFORMATION

The Masterplan for the Avalon Lot 3 Development has been thoughtfully designed to address numerous site challenges including the existing topography and project identity.

### Masterplan Design Highlights:

- The building is located & orientated to address the street edge and to help define the public realm.
- The access driveway has been selected to tie in with the prior GIP approval and with the existing Avalon developments to the west.
- Four levels of residential development above the covered parking will provide a prominent development which will tie into the significant development recently approved to the south and currently under construction.
- Residential parking is designed to be primarily supported by covered parking, though additional parking for tenants and visitors will be provided along the access drive on the north side of the property.
- The site has and maintains pedestrian and vehicular access between Index Road and the Fish Hatchery Road corridor.
- The site contains an elevated green roof that creates a private courtyard for resident use.

### Off Street Parking:

The City's typical parking requirements require 2.0 parking stalls per residential dwelling unit. Our experience with multi-family developments with this type of unit mix indicates that this requirement is unnecessary. We are proposing a minimum of 1.3 parking stalls per dwelling unit, and this final design provides closer to 1.38.

Our confirmed experience with existing properties in our portfolio indicates that this level of parking is appropriate for this project, with the added benefit that it minimizes the visual impact of surface parking lots on the site and the surrounding areas.

### Bicycle Parking:

In addition to off-street vehicular parking, we are proposing dedicated bike storage areas that will provide 105 wall hung and 70 floor racks for the storage of 175 bicycles in the covered parking area. In addition, there will be approximately 11 bike parking areas at the exterior of the building for use by visitors.

Site Density is currently conceived as roughly 61 units per acre, which is consistent with other recent project approvals and proposals in the corridor and may decline with further refinement. Because the site uses Outlot 1 for a portion of its stormwater treatment, the site density excluding Outlot 1 overstates the comparable density of the project.

### Storm Water Management Overview:

The existing stormwater pond in Outlot 1 was designed to treat a portion of the stormwater from this Lot 3. However, intervening regulatory changes mean that the site will require infiltration and additional peak flow and sediment control measures within lot 3. Storm water management for this site will primarily be satisfied with the construction of 1 bioretention basin and 4 infiltration basins on the site. All City of Fitchburg ordinance requirements will be met.

Maintenance of all storm sewer structures and pipes within the development parcel will be the responsibility of the property Owner.

CONCEPT DATA															
FLOOR	BUILDING USE	AREA (G.S.F.)	RESIDENTIAL UNITS							PARKING			RATIO PER UNIT		
			ST.	1 BR	1BR +	2 BR	2BR +	3 BR	TOT	BEDS	COVERED	SURFACE APTS.		TOTAL	
5	APARTMENTS/CIRCULATION	40,113	2	21	8	9	2	2	44	59					
4	APARTMENTS/CIRCULATION	40,113	2	21	8	9	2	2	44	59					
3	APARTMENTS/CIRCULATION	40,113	2	21	8	9	2	2	44	59					
2	APARTMENTS/CIRCULATION	37,217	2	20	8	7	2	2	41	54					
	FITNESS/CLUBROOM	2,896							0	0					
1	PARKING/CIRCULATION	66,690													
	LOBBY	1,639													
T	NEW TOTAL LIVABLE/LEASABLE	228,781	8	83	32	34	8	8	173	231	197	0	42	239	1.38
	LOT AREA	122,839	2.82												
	BUILDING FOOTPRINT	69,431													

Landscape Design:

The new landscape design for this project will meet all City of Fitchburg landscape design requirements.

Refuse & Recycling Storage & Removal:

This building will have a refuse & recycling room in the Lower Level with room for a minimum of (9) – 2 yard containers for refuse and recycling. A private waste management company will be contracted to provide recycling & refuse services as appropriate for the development.

Specific Implementation Plan Data

At the time of this Specific Implementation Plan, the Masterplan Data is as follows. This final Masterplan Data will meet the “Planned Development Zoning Standards” listed below.

DEVELOPMENT VALUES						
ZONING REQUIREMENT	CURRENT DESIGN VALUE	CALCULATIONS				
SITE DENSITY	62.00 Units/Acre	173 Units	/	2.82 AC.	=	62.00
BUILDING COVERAGE	56.52 % of Parcel	69,431 S.F.	/	122,839 S.F.	=	56.52%
LANDSCAPE AREA	25.04 % of Parcel	30,754 S.F.	/	122,839 S.F.	=	25.04%
IMPERVIOUS SURFACE	74.96 % of Parcel	92,085 S.F.	/	122,839 S.F.	=	74.96%
FLOOR AREA RATIO	1.86 of Parcel	228,781 S.F.	/	122,839 S.F.	=	1.86

**Proposed Planned Development Zoning Standards**

Under the proposed Planned Development Zoning, the project shall meet the following Zoning Standards:

- Residential Density: 62 units per acre (maximum)
- Building Height: Maximum of 5 Stories and Maximum 60 feet
- Front Street Setback: 10' (minimum)  
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Side Yard Setback: 25' (minimum)  
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Rear Yard Setback: 10' (minimum)  
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Building Coverage: 60% of Parcel Area (maximum)
- Floor Area Ratio: 1.86 (maximum)
- Impervious Surface Ratio: 80% of Parcel Area (maximum)
- Off-Street Parking: 1.3 Auto Spaces per Dwelling Unit (minimum)
- Bicycle Parking: Short Term - .05 per bed (minimum)  
Long Term - .5 per bed (minimum)
- Permitted Uses: Multi-family residential

BICYCLE PARKING						
BUILDING		BICYCLE PARKING				
NAME	BEDS	COVERED	SURFACE	TOTAL	REQUIRED	
RESIDENTIAL	231	175	11	186	Short Term (.05 Bed)	Long Term (0.5 Bed)
					12	116

## ORGANIZATIONAL STRUCTURE – INVENTURE CAPITAL

Inventure Capital is an investment group whose broad range of assets include Multi-Family and Mixed-Use development. Their team has experience developing properties in both the United States and Australia, with its most recent projects being:

Ochalla in Fitchburg – Located at Ochalla and Index Road, this was an infill project that replaced an existing vacant locate with a mixed use development that included on site amenities similar to those proposed with this project.

Terrace Point in Fitchburg – Located at 3101 South Fish Hatchery Road, this was also an infill project that replaced an outdated manufacturing facility with a mixed use development that included on site amenities similar to those proposed with this project.

## PROPERTY MANAGEMENT- MCGRATH PROPERTY GROUP

At McGrath Property Group, we manage our clients' properties from an owner's perspective with expertise that has developed during an extended period of property ownership by the company's principals. We apply the same thoughtful, aggressive, goal-oriented approach to the management of our clients' properties as we do in successfully managing our own. We understand the importance of protecting their assets, providing customer service to their tenants and being cost efficient. Our residential management group manages residential apartment homes throughout the Madison area with extensive experience in market rate and mixed use developments.

McGrath is a Madison-based company; our management group and owners reside locally and are long time area residents. We *know* the market, we *know* the vendors, and most importantly we *know* how to manage real estate at the highest level.

### Property Management Team

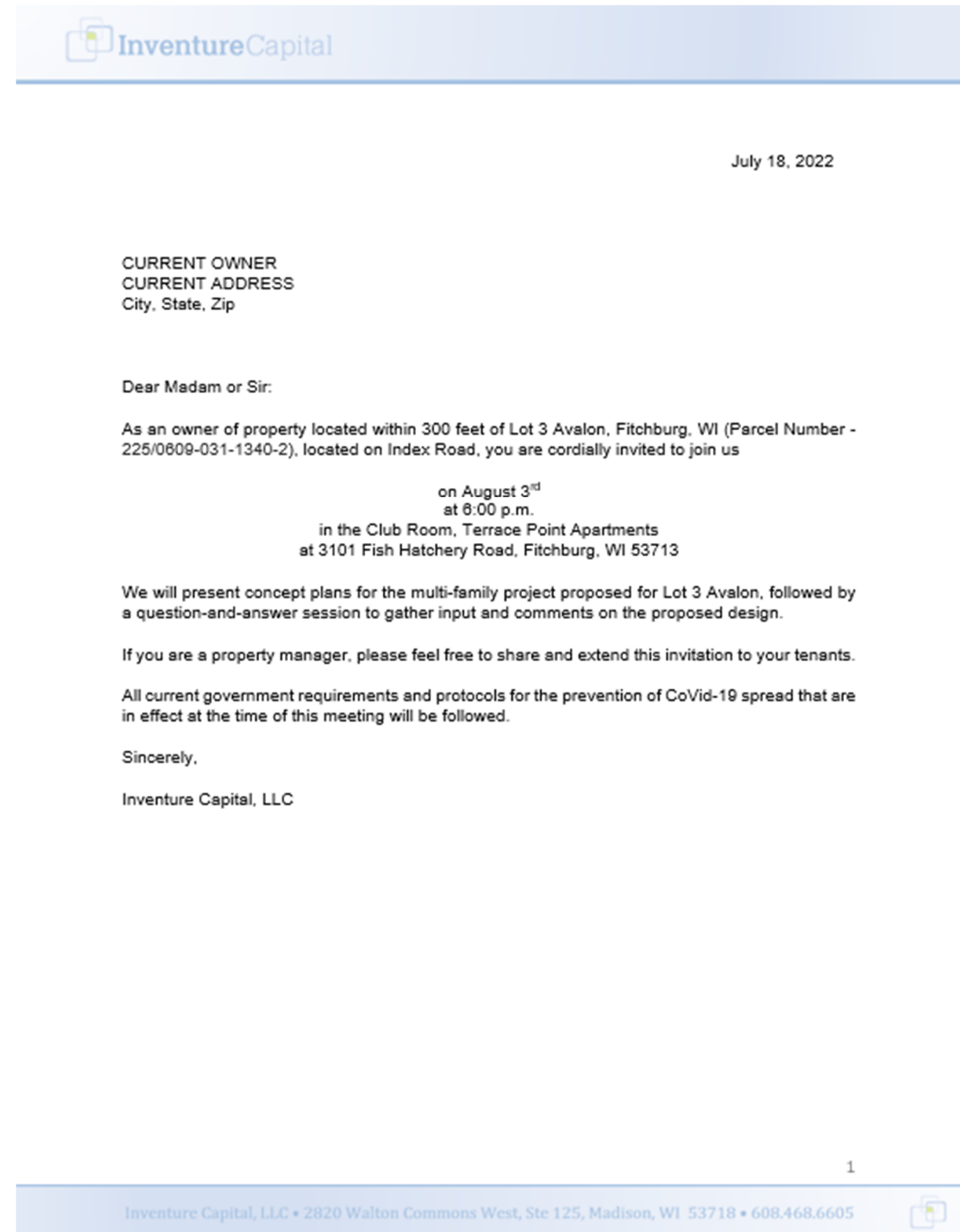
McGrath Property Group continuously recruits individuals that have a passion for real estate, an unwavering commitment to continuous improvement, and an understanding that integrity and excellence are the cornerstones of success. We believe that our associates are our most valuable resource, enabling us to maintain a distinct advantage within our industry.

### PROJECT IMPLEMENTATION

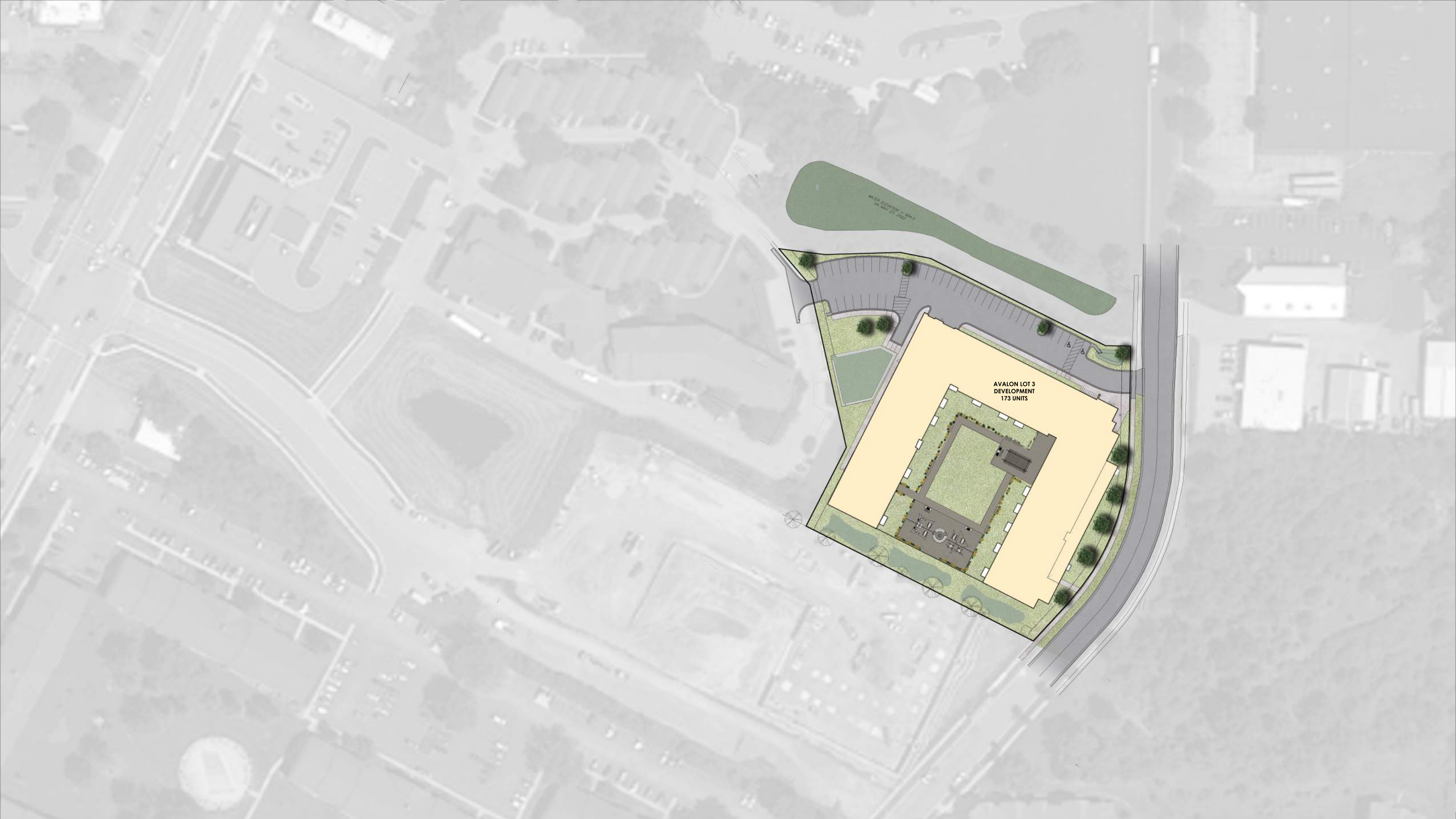
The construction of the project located on Index Drive is anticipated to maintain a schedule that allows for all improvements to be done in one single phase with completion in summer of 2024.

### NEIGHBORHOOD INPUT

We have worked with our immediate neighbors to incorporate their feedback on this design. Inventure held a scheduled neighborhood meeting on August 3, 2022, to provide a public forum for further feedback prior to the scheduled plan commission hearing. Adjacent on this page, is a sample of the invitation sent out on July 18, 2022, to all property owners within a 300' radius of the project for the meeting. There were no attendees at the meeting.



APPENDIX “A”  
SPECIFIC IMPLEMENTATION PLAN  
CONCEPTUAL MASTER PLAN



AVALON LOT 3  
DEVELOPMENT  
173 UNITS



**JLA**  
ARCHITECTS

AVALON LOT 3 DEVELOPMENT  
CONCEPTUAL MASTERPLAN

OCTOBER 18, 2022  
1"=100' @ 11x17



APPENDIX 'B'  
SPECIFIC IMPLEMENTATION PLAN  
PRELIMINARY CIVIL, SITE DEMOLITION, NEW SITE, GRADING, AND UTILITY PLANS

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# AVALON RESIDENTIAL

## CITY OF FITCHBURG

### DANE COUNTY, WISCONSIN



**AGENCIES:**

EMERGENCY – FIRE, RESCUE, AMBULANCE, POLICE  
DIAL 911

UNITED STATES POSTAL OFFICE  
3000 CAHILL MAIN  
FITCHBURG, WI 53711  
608-273-3565

FITCHBURG POLICE DEPARTMENT  
5520 LACY ROAD  
FITCHBURG, WI 53711  
608-270-4300 (NON EMERGENCY)

FITCHBURG FIRE DEPARTMENT  
5791 LACY ROAD  
FITCHBURG, WI 53711  
608-278-2980 (NON EMERGENCY)

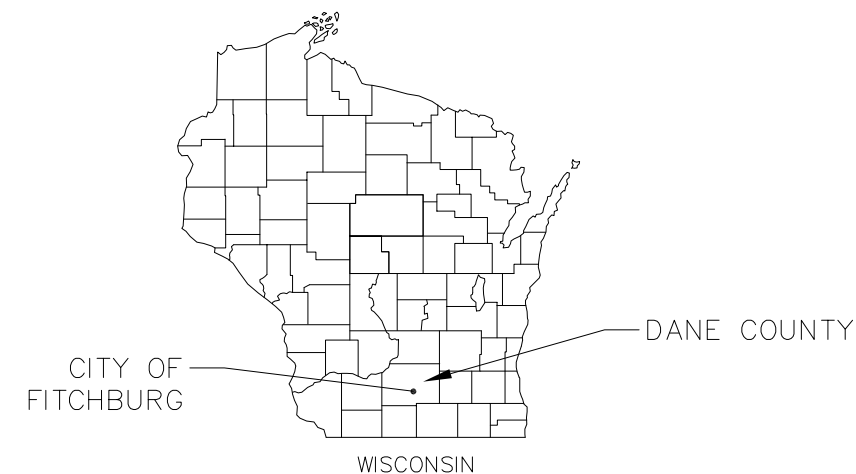
ENGINEER – VIERBICHER ASSOCIATES INC.  
ATTN: JOHNATHAN LILLEY  
999 FOURIER DRIVE, SUITE 201  
MADISON, WI 53717  
OFFICE: 608-826-0530

CITY OF FITCHBURG – PUBLIC WORKS  
BILL BALKE – DIRECTOR OF PUBLIC WORKS/CITY ENGINEER  
5520 LACY ROAD  
FITCHBURG, WI 53711  
608-270-4264


AT&T  
LISA GUNDLACH  
608-252-2006 (WORK)  
608-609-1961 (CELL)  
LG6852@att.com


MADISON GAS & ELECTRIC  
623 RAILROAD STREET  
MADISON, WI 53703  
ELECTRIC CONTACT  
BRIAN BIGGE  
DIRECT: 608-252-7338  
GAS CONTACT  
TOM PAYNE  
DIRECT: 608-252-7267

CHARTER COMMUNICATIONS  
BRANDON STORM  
608-274-3822



**SITE BENCHMARKS**

 BENCHMARK #1  
HYDRANT TOP NUT  
ELEV=901.06

 BENCHMARK #2  
HYDRANT TOP NUT  
ELEV=916.82



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE  
1-800-242-8511

SHEET NO.	DESCRIPTION
0	TITLE SHEET
1	NOTES & LEGENDS
2	EXISTING CONDITIONS PLAN
3	DEMOLITION PLAN
4	SITE PLAN
5	GRADING & EROSION CONTROL PLAN
5.1	GRADING DETAIL PLAN
6	UTILITY PLAN
7-7.5	CONSTRUCTION DETAILS
L1-L1.1	LANDSCAPE PLANS

**TITLE SHEET**  
 AVALON RESIDENTIAL  
 CITY OF FITCHBURG  
 DANE COUNTY, WI

REVISIONS		REVISIONS	REMARKS
NO.	DATE	NO.	REMARKS

DATE: 10/18/22  
DRAFTER: BHAN  
CHECKED: JIL  
PROJECT NO.: 220140

**NOT FOR CONSTRUCTION**

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING POST
EXISTING SIGN (TYPE NOTED)
EXISTING CURB INLET
EXISTING ENDWALL
EXISTING FIELD INLET RECTANGULAR
EXISTING FIELD INLET
EXISTING SANITARY MANHOLE
EXISTING FIRE HYDRANT
EXISTING WATER MAIN VALVE
EXISTING GAS VALVE
EXISTING GAS METER
EXISTING AIR CONDITIONING PEDESTAL
EXISTING ELECTRIC MANHOLE
EXISTING TRANSFORMER
EXISTING ELECTRIC METER
EXISTING LIGHT POLE
EXISTING TV PEDESTAL
EXISTING TELEPHONE MANHOLE
EXISTING TELEPHONE PEDESTAL
EXISTING SHRUB
EXISTING CONIFEROUS TREE
EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINework LEGEND

- EXISTING UNDERGROUND CABLE TV
EXISTING FIBER OPTIC LINE
EXISTING UNDERGROUND TELEPHONE
EXISTING RETAINING WALL
EXISTING WOOD FENCE
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC LINE
EXISTING SANITARY SEWER LINE (SIZE NOTED)
EXISTING STORM SEWER LINE (SIZE NOTED)
EXISTING EDGE OF TREES
EXISTING WATER MAIN (SIZE NOTED)
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EXISTING EDGE OF PAVEMENT
EXISTING EDGE OF GRAVEL

- EXISTING CONCRETE SURFACE
EXISTING ASPHALT SURFACE
EXISTING GRAVEL SURFACE
EXISTING RIPRAP

DEMOLITION PLAN LEGEND

- CURB AND GUTTER REMOVAL
ASPHALT REMOVAL
CONCRETE REMOVAL
BUILDING REMOVAL
TREE REMOVAL
SAWCUT
UTILITY STRUCTURE REMOVAL
UTILITY LINE REMOVAL

SITE PLAN LEGEND

- PROPERTY BOUNDARY
CURB AND GUTTER (REVERSE CURB HATCHED)
PROPOSED CHAIN LINK FENCE
PROPOSED WOOD FENCE
PROPOSED CONCRETE
PROPOSED LIGHT-DUTY ASPHALT
PROPOSED HEAVY-DUTY ASPHALT
PROPOSED SIGN
PROPOSED LIGHT POLE
PROPOSED BOLLARD
PROPOSED ADA DETECTABLE WARNING FIELD
PROPOSED HANDICAP PARKING

ABBREVIATIONS table with symbols for TC, FF, FL, SW, TW, BW.

GRADING LEGEND

- EXISTING MAJOR CONTOURS
EXISTING MINOR CONTOURS
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
DITCH CENTERLINE
SILT FENCE
DISTURBED LIMITS
BERM
DRAINAGE DIRECTION
PROPOSED SLOPE ARROWS
EXISTING SPOT ELEVATIONS
PROPOSED SPOT ELEVATIONS
STONE WEEPER
VELOCITY CHECK
INLET PROTECTION
EROSION MAT CLASS I, TYPE A
EROSION MAT CLASS II, TYPE B
EROSION MAT CLASS III, TYPE C
EROSION MAT CLASS II, TYPE A
TRACKING PAD
RIP RAP

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
STORM SEWER MANHOLE
STORM SEWER ENDWALL
STORM SEWER CURB INLET
STORM SEWER CURB INLET W/MANHOLE
STORM SEWER FIELD INLET
ROOF DRAIN CLEANOUT
SANITARY SEWER PIPE (GRAVITY)
SANITARY SEWER PIPE (FORCE MAIN)
SANITARY SEWER LATERAL PIPE
SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT
WATER MAIN
WATER SERVICE LATERAL PIPE
FIRE HYDRANT
WATER VALVE
CURB STOP
WATER VALVE MANHOLE
PROPOSED PIPE INSULATION
GAS MAIN
ELECTRIC SERVICE

ABBREVIATIONS table with symbols for STMH, FI, CI, CB, EW, SMH.

GENERAL NOTES:

- 1. THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY...
2. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY...
3. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER PRIOR TO INSTALLATION OF SUCH ITEM.
4. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION...
5. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED.
6. RETAINING WALLS TO BE DESIGNED BY OTHERS

DEMOLITION NOTES:

- 1. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION...
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS...
5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY...
6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS.
7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY...
8. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS...
9. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
10. ANY DAMAGE TO THE PUBLIC STREETS, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY PATCHING CRITERIA.

SITE PLAN NOTES:

- 1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED BASE COURSE UNLESS OTHERWISE NOTED.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE COURSE OF 5" COMPACTED SAND OR CRUSHED STONE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS TO BE RESTORED WITH TOPSOIL AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
6. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE...
7. SEE ARCHITECTS PLANS FOR THE BUILDING DIMENSIONS. ALL BUILDING DIMENSIONS SHALL BE COORDINATED AND VERIFIED WITH THE ARCHITECTS PLANS.

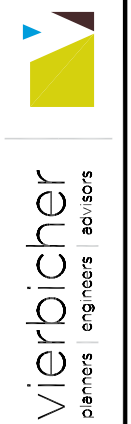
GRADING NOTES:

- 1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
3. CROSS SLOPE OF SIDEWALKS SHALL BE 2.0% UNLESS OTHERWISE NOTED.
4. LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL NOT EXCEED 2.0% MAX SLOPE IN ANY DIRECTION. RAMP SHALL BE 8.33% MAX SLOPE.
7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.

UTILITY NOTES:

- 1. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
2. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
3. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
5. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
6. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
8. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(C).
10. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
11. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(D).
12. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(C).
13. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(H) AND SPS 382.40(B)(K).
14. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(B).
15. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
16. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE LOCAL MUNICIPALITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
18. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES. CONTRACTOR SHALL PROVIDE SAFE SAMPLE RESULTS TO FITCHBURG UTILITY PRIOR TO PRESSURE TESTING PRIVATE WATER MAINS.
19. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
20. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
21. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
22. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
23. INSTALL 1 SHEET OF 4'X8'X4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
24. CONTRACTOR TO INSTALL BENDS AND CLEANOUTS AS NECESSARY ON WATER AND SEWER LATERALS.

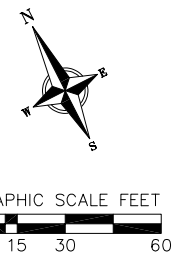
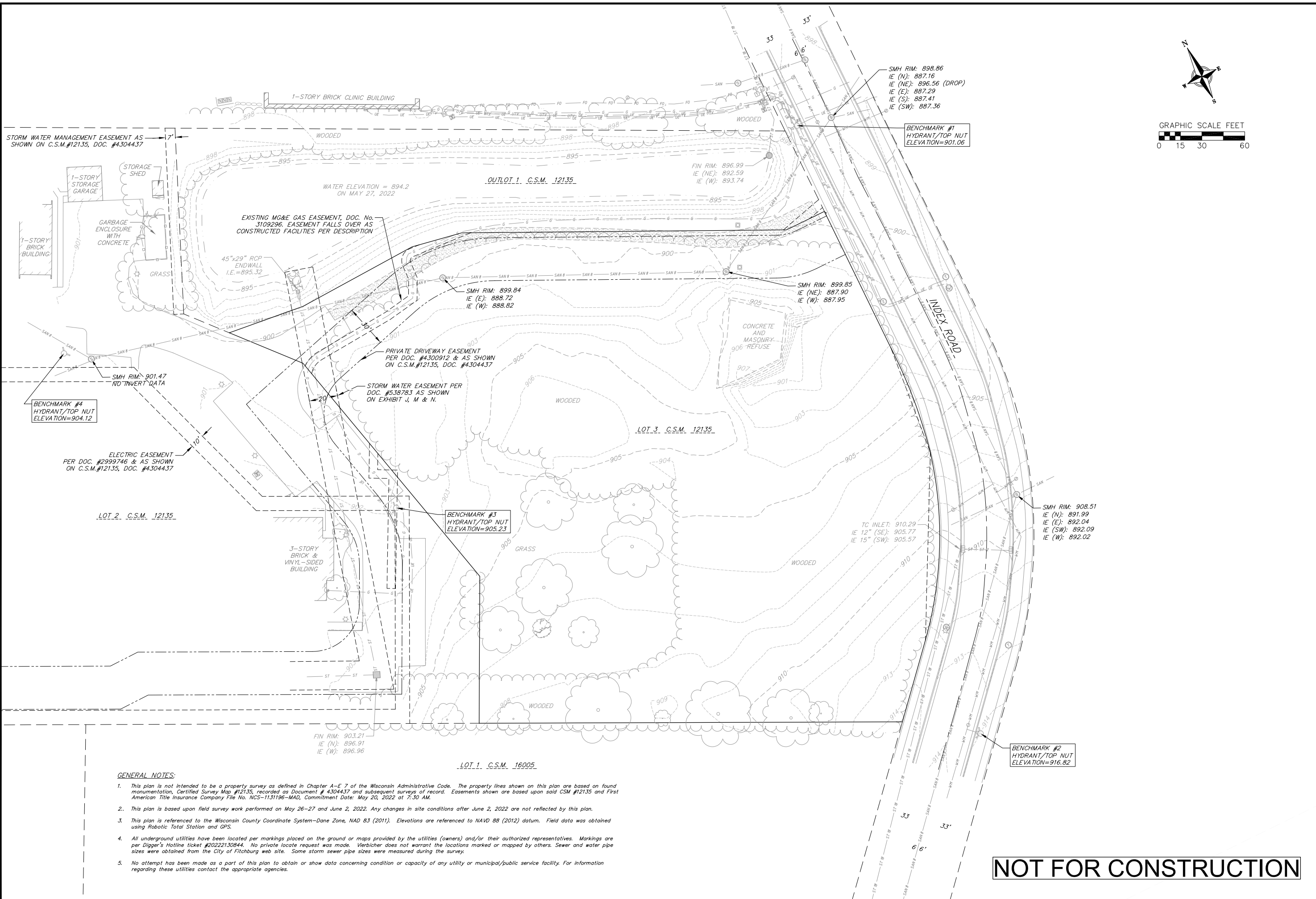
NOT FOR CONSTRUCTION



NOTES & LEGENDS
AVALON RESIDENTIAL
CITY OF FITCHBURG
DANE COUNTY, WI

Table with columns for REVISIONS, NO., DATE, REMARKS, and DRAFT/checked status.

C1



**GENERAL NOTES:**

1. This plan is not intended to be a property survey as defined in Chapter A-E 7 of the Wisconsin Administrative Code. The property lines shown on this plan are based on found monumentation, Certified Survey Map #12135, recorded as Document # 4304437 and subsequent surveys of record. Easements shown are based upon said CSM #12135 and First American Title Insurance Company File No. NCS-1131196-MAD, Commitment Date: May 20, 2022 at 7:30 AM.
2. This plan is based upon field survey work performed on May 26-27 and June 2, 2022. Any changes in site conditions after June 2, 2022 are not reflected by this plan.
3. This plan is referenced to the Wisconsin County Coordinate System-Dane Zone, NAD 83 (2011). Elevations are referenced to NAVD 88 (2012) datum. Field data was obtained using Robotic Total Station and GPS.
4. All underground utilities have been located per markings placed on the ground or maps provided by the utilities (owners) and/or their authorized representatives. Markings are per Digger's Hotline ticket #20222130844. No private locate request was made. Vierbicher does not warrant the locations marked or mapped by others. Sewer and water pipe sizes were obtained from the City of Fitchburg web site. Some storm sewer pipe sizes were measured during the survey.
5. No attempt has been made as a part of this plan to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.

**NOT FOR CONSTRUCTION**

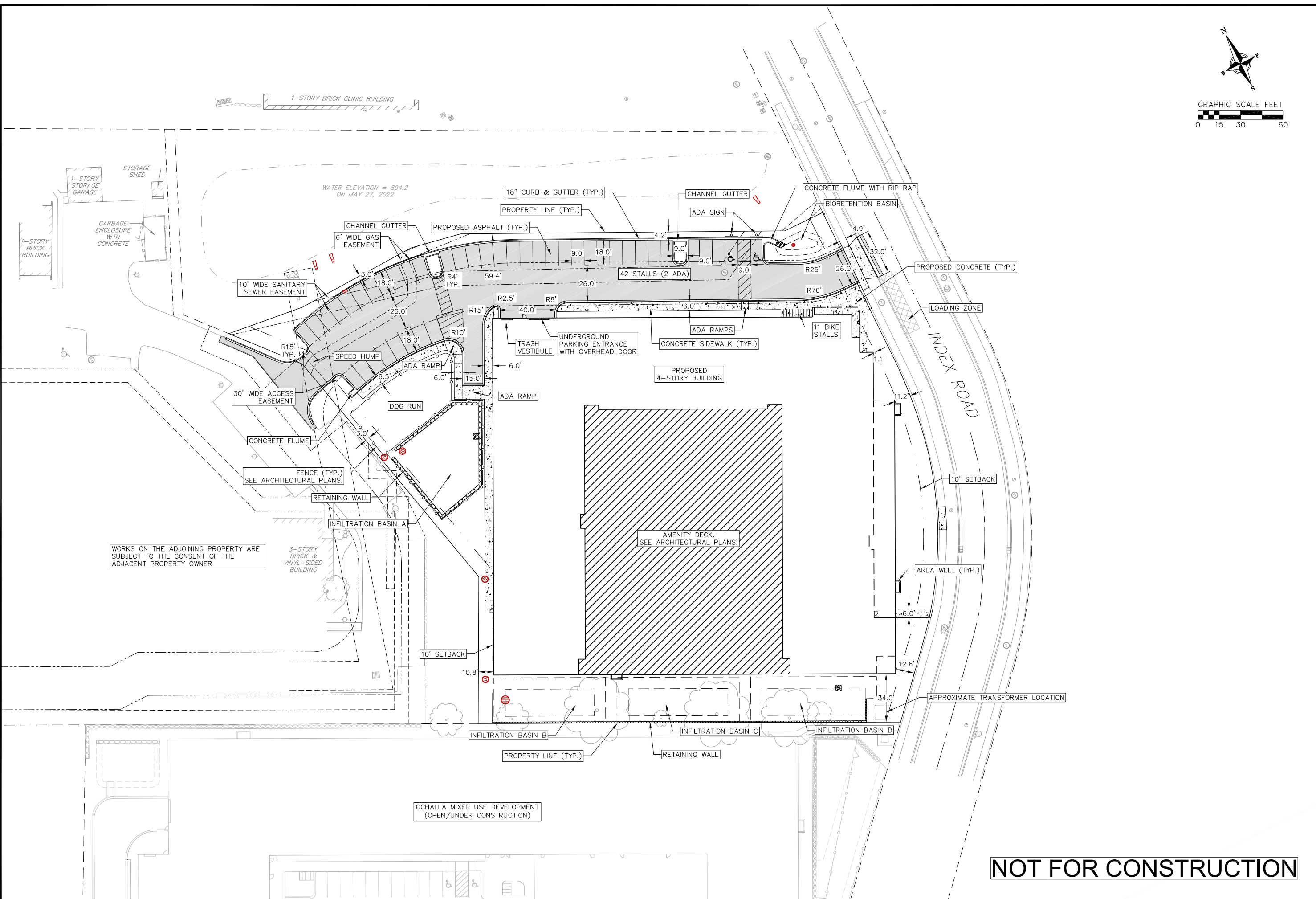
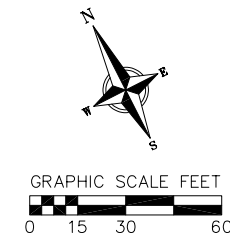
**EXISTING CONDITIONS PLAN**

**AVALON RESIDENTIAL  
CITY OF FITCHBURG  
DANE COUNTY, WI**

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 10/18/22  
 DRAFTER: BHAN  
 CHECKED: JLIL  
 PROJECT NO.: 220140





WORKS ON THE ADJOINING PROPERTY ARE SUBJECT TO THE CONSENT OF THE ADJACENT PROPERTY OWNER

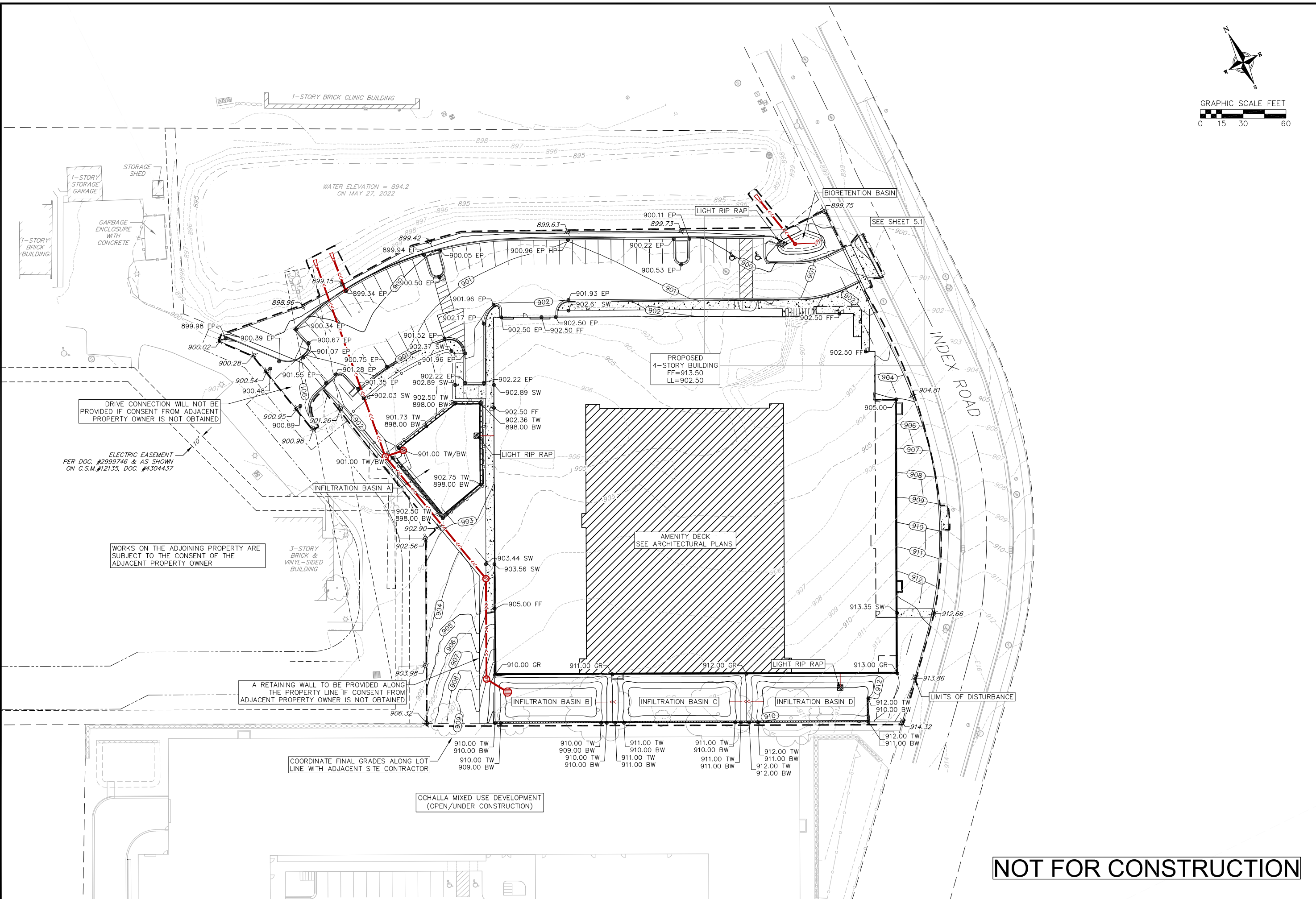
OCHALLA MIXED USE DEVELOPMENT (OPEN/UNDER CONSTRUCTION)

**NOT FOR CONSTRUCTION**

**SITE PLAN**  
AVALON RESIDENTIAL  
CITY OF FITCHBURG  
DANE COUNTY, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 10/18/22  
 DRAFTER: BHAN  
 CHECKED: JIL  
 PROJECT NO.: 220140

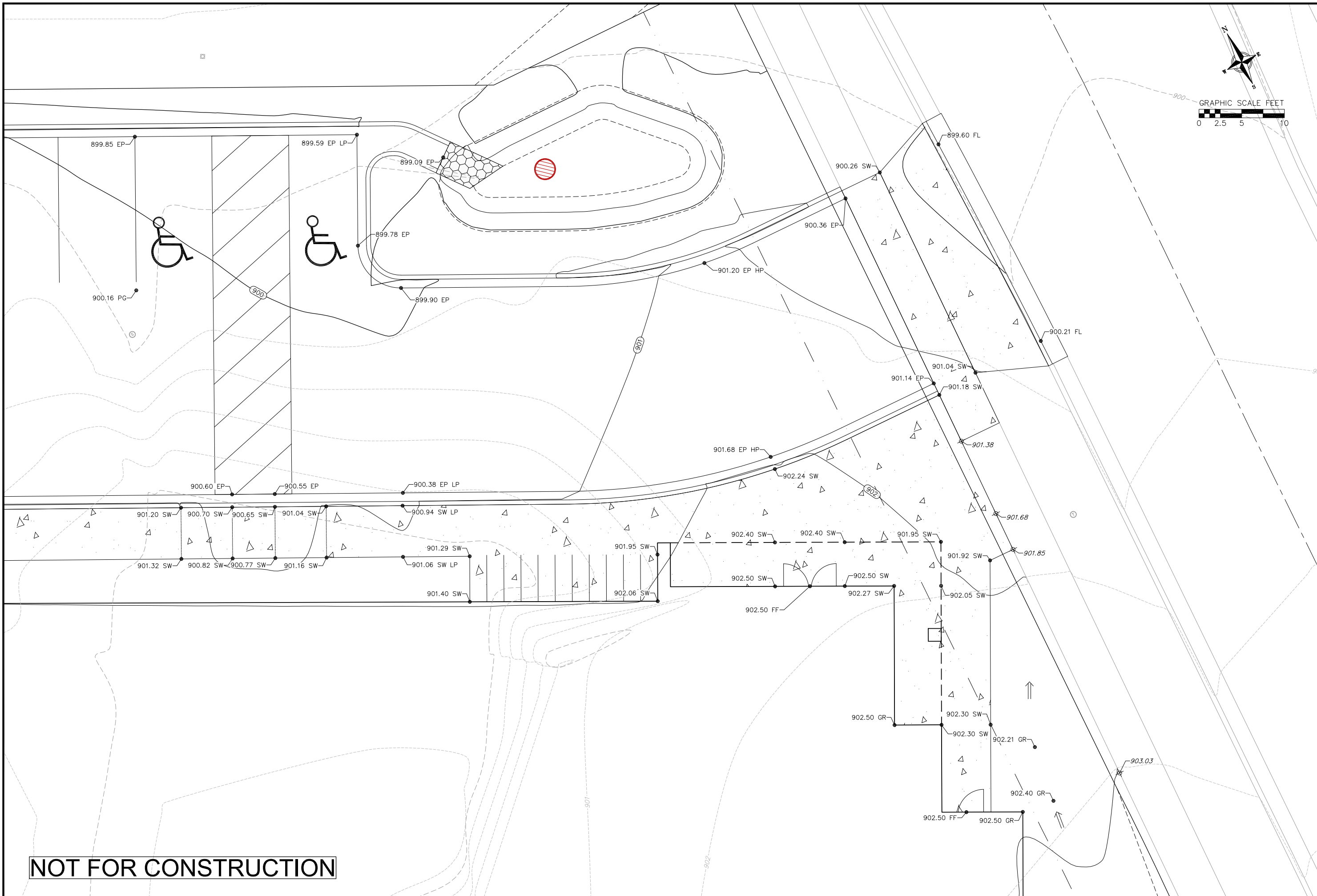


**NOT FOR CONSTRUCTION**

**GRADING PLAN**  
**AVALON RESIDENTIAL**  
**CITY OF FITCHBURG**  
**DANE COUNTY, WI**

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE	10/18/22
DRAFTER	BBAR/BHAN
CHECKED	JLIL
PROJECT NO.	220140
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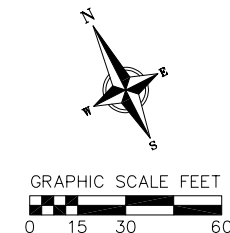
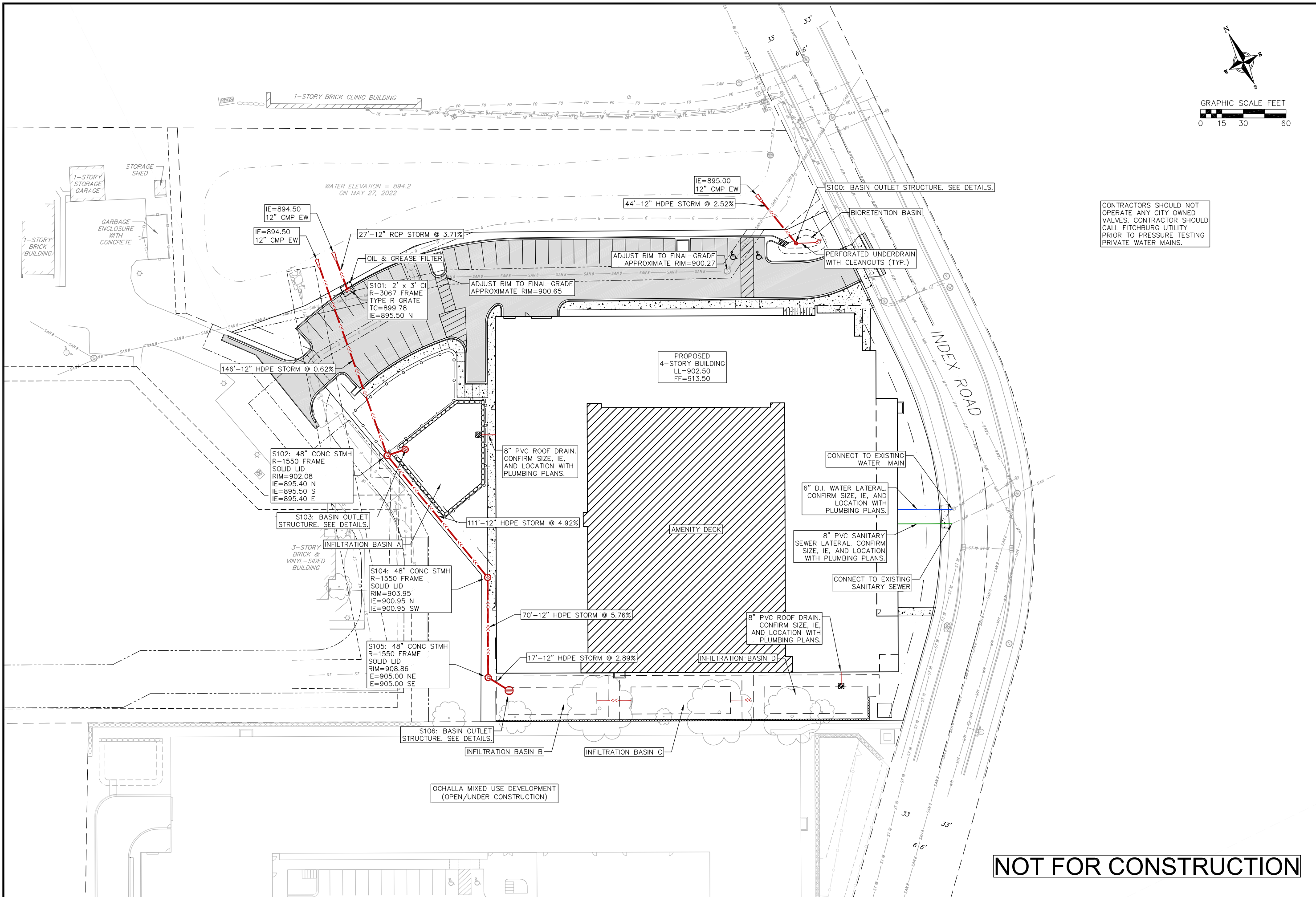


**NOT FOR CONSTRUCTION**

**GRADING DETAIL PLAN**  
**AVALON RESIDENTIAL**  
**CITY OF FITCHBURG**  
**DANE COUNTY, WI**

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 10/18/22  
 DRAFTER: BHAN  
 CHECKED: JLIL  
 PROJECT NO.: 220140



CONTRACTORS SHOULD NOT OPERATE ANY CITY OWNED VALVES. CONTRACTOR SHOULD CALL FITCHBURG UTILITY PRIOR TO PRESSURE TESTING PRIVATE WATER MAINS.

**NOT FOR CONSTRUCTION**

**UTILITY PLAN**  
AVALON RESIDENTIAL  
CITY OF FITCHBURG  
DANE COUNTY, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 10/18/22  
 DRAFTER: BBAR/BHAN  
 CHECKED: JLIL  
 PROJECT NO.: 220140

17 Oct 2022 - 10:28a M:\Inventure Capital\220140\_Avalon\CADD\220140\_Base.dwg by: cln

# EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE SHALL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL 70% ESTABLISHMENT, AS DETERMINED BY THE CITY. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. THE FILTERS SHALL BE MAINTAINED UNTIL THE DISTURBED AREAS ARE BOTH 70% RESTORED AND PAVED.
- TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND URBAN CLASS I TYPE A EROSION MAT. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- SEED, FERTILIZER AND MULCH/E-MAT SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE AND AS DIRECTED BY ENGINEER/CITY/OWNER.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TWO TYPE III TEMPORARY ROAD CLOSED BARRICADES WITH SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY AND DNR.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
- THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.

**SEEDING RATES:**

**TEMPORARY:**

- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
- USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

**PERMANENT (TERRACE):**

- USE WISCONSIN D.O.T. SEED MIX #30 AT 5 LB./1,000 S.F.

**PERMANENT (OTHER):**

- USE WISCONSIN D.O.T. SEED MIX #40 AT 5 LB./1,000 S.F.

**FERTILIZING RATES:**

**TEMPORARY AND PERMANENT:**

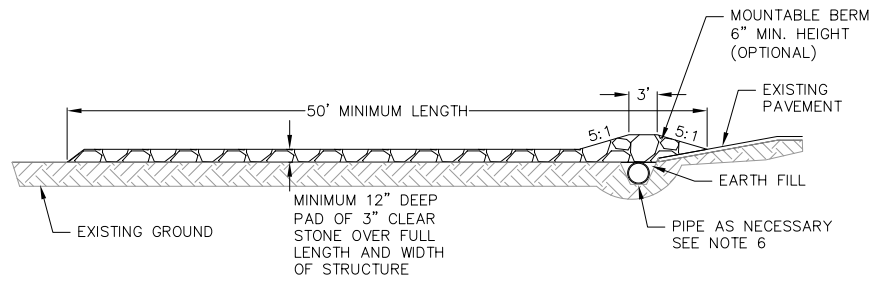
USE WISCONSIN D.O.T. TYPE B AT 7 LB./1,000 S.F.

**MULCHING RATES:**

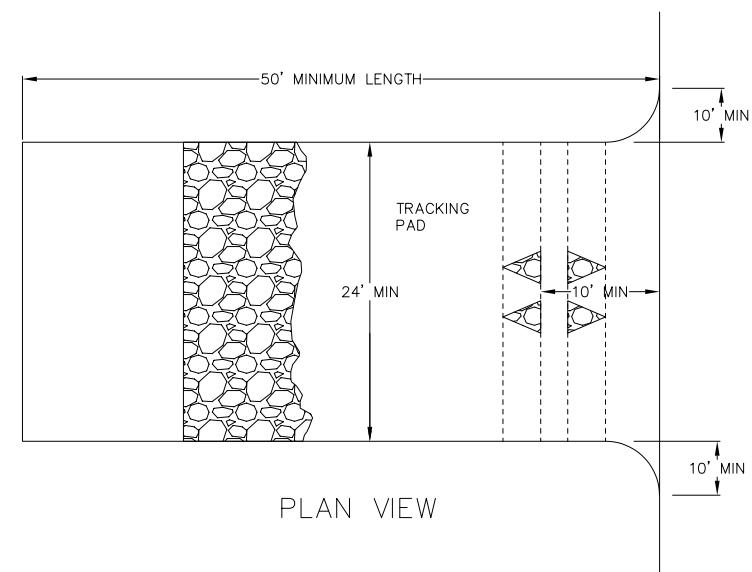
**TEMPORARY AND PERMANENT:**

USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

- CONSTRUCTION SEQUENCE:**
- INSTALL EROSION CONTROL MEASURES
  - CONDUCT DEMOLITION
  - STRIP TOPSOIL (UNWORKED AREAS MAY REMAIN NON-STABILIZED FOR A MAXIMUM OF 14 DAYS)
  - ROUGH GRADE SITE
  - CONSTRUCT UNDERGROUND UTILITIES
  - INSTALL INLET PROTECTION IN NEW INLETS
  - CONSTRUCT BUILDING
  - FINAL GRADE AND RESTORE DISTURBED AREA
  - CONSTRUCT PAVEMENT
  - REMOVE EROSION CONTROL MEASURES AFTER DISTURBED AREAS ARE 70% RESTORED OR PAVED

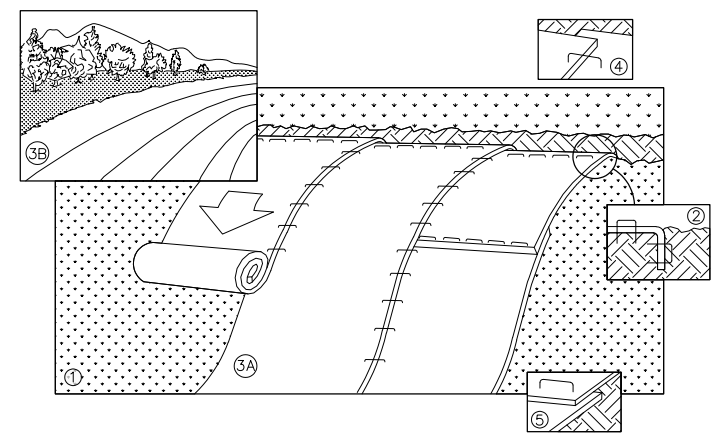


PROFILE VIEW



PLAN VIEW

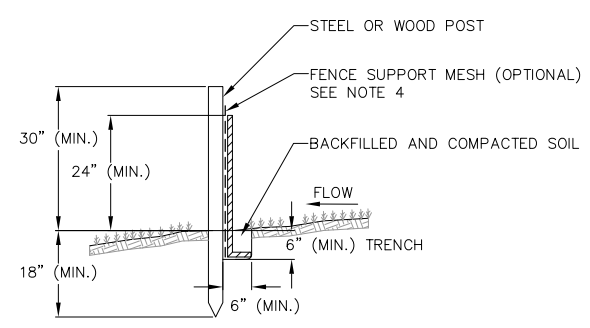
- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'
- WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ROLL THE BLANKETS <A.> DOWN, OR <B.> HORIZONTALLY ACROSS THE SLOPE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
- ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING BIODEGRADABLE STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

1 BIODEGRADABLE EROSION MAT NOT TO SCALE



**NOTES:**

- INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
- CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
- POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)  
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
- SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

1 SILT FENCE NOT TO SCALE

1 TRACKING PAD NOT TO SCALE

**NOT FOR CONSTRUCTION**



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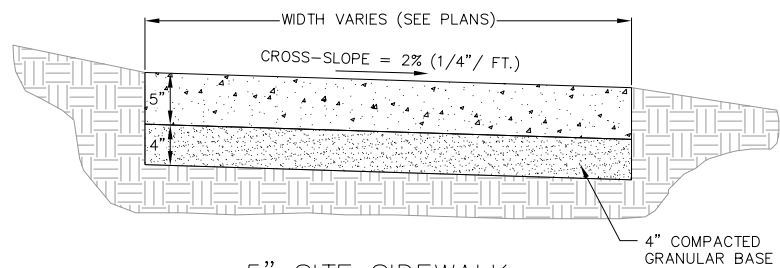
**CONSTRUCTION DETAILS - 1**

AVALON RESIDENTIAL  
CITY OF FITCHBURG  
DANE COUNTY, WI

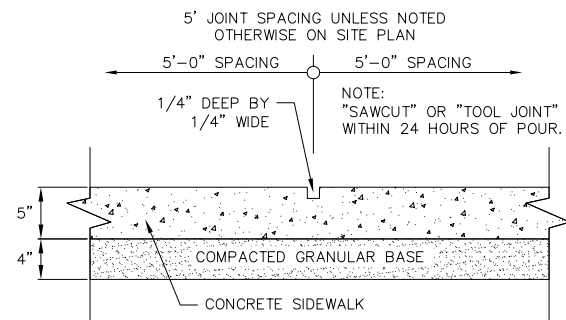
NO.	DATE	REVISIONS	
		REMARKS	NO.

DATE	10/18/22
DRAFTER	CLAN
CHECKED	JLIL
PROJECT NO.	220140

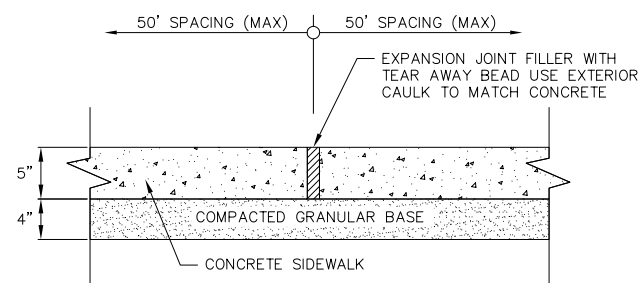
**C7**



5" SITE SIDEWALK

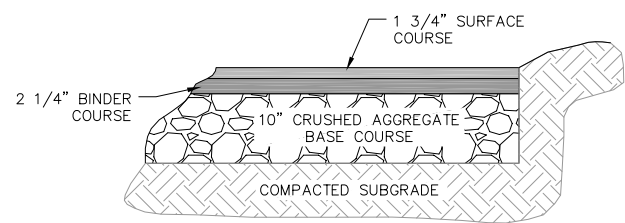


SIDEWALK CONTROL JOINT



SIDEWALK EXPANSION JOINT

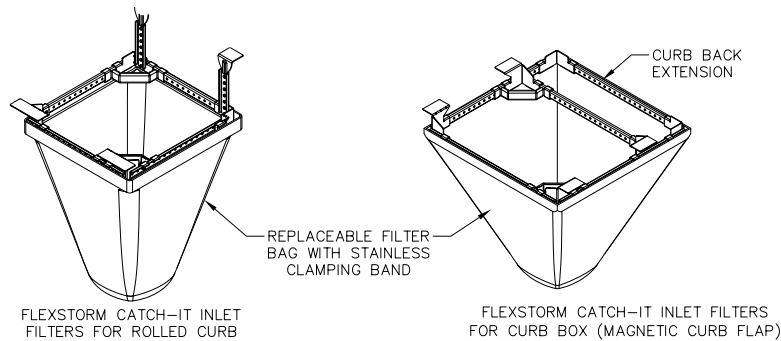
1 5" SIDEWALK  
1 NOT TO SCALE



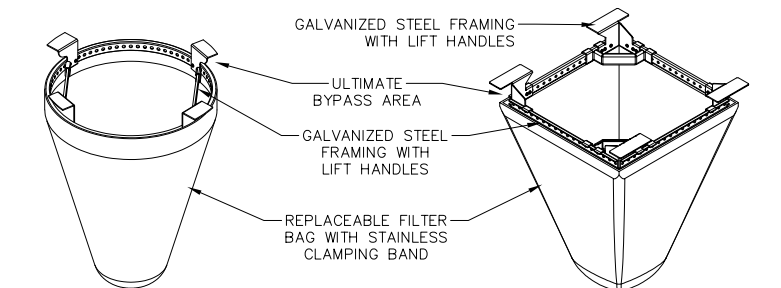
BITUMINOUS PAVEMENT DRIVES

1 ASPHALT PAVEMENT  
1 NOT TO SCALE

**NOT FOR CONSTRUCTION**



FLEXSTORM CATCH-IT INLET FILTERS FOR ROLLED CURB  
FLEXSTORM CATCH-IT INLET FILTERS FOR CURB BOX (MAGNETIC CURB FLAP)

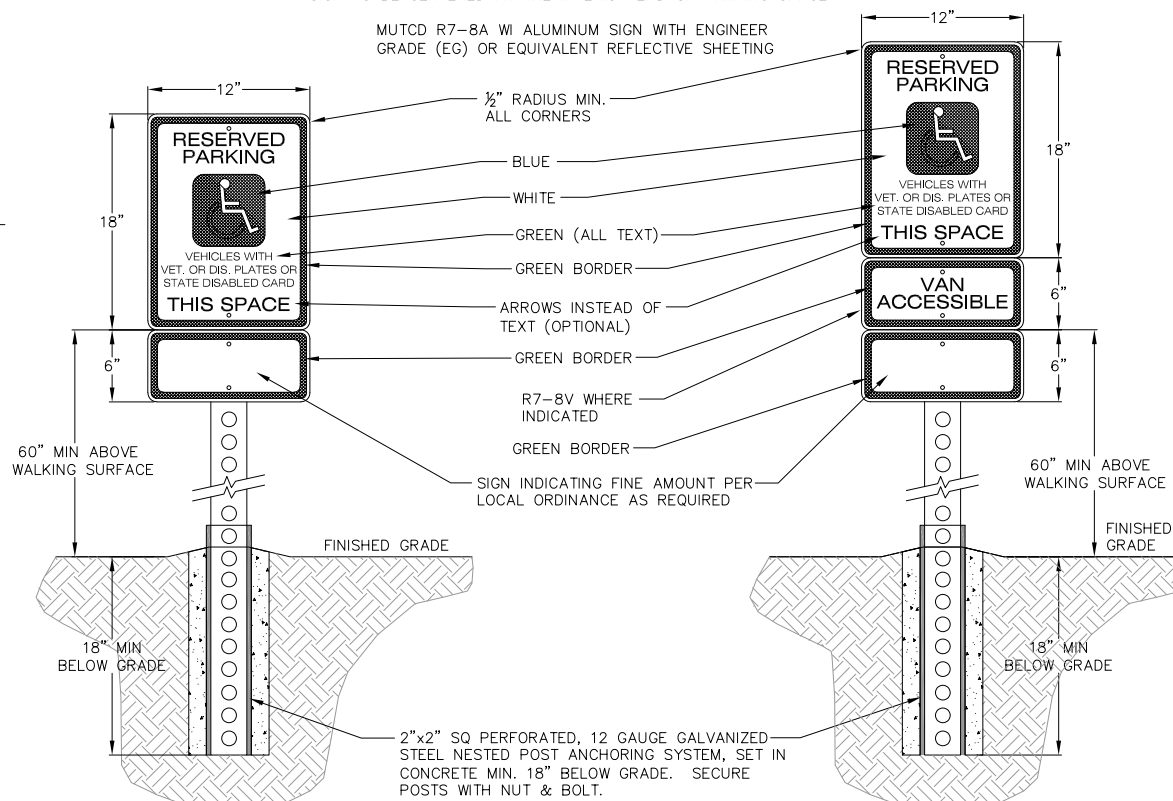


FLEXSTORM CATCH-IT INLET FILTERS FOR ROUND OPENINGS  
FLEXSTORM CATCH-IT INLET FILTERS FOR SQUARE/RECTANGULAR OPENINGS

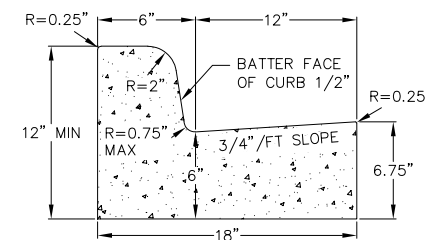
- NOTES:
1. INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
  2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, ANY TRAPPED MATERIAL THAT FALLS INTO THE INLET SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.

1 FRAMED INLET PROTECTION  
1 NOT TO SCALE

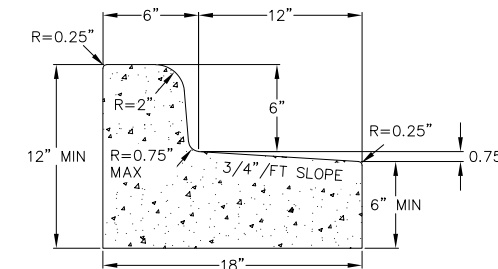
- NOTE:
- SIGN TO BE CENTERED AT THE INTERIOR END OF PARKING SPACE



1 HANDICAP SIGN DETAIL  
1 NOT TO SCALE

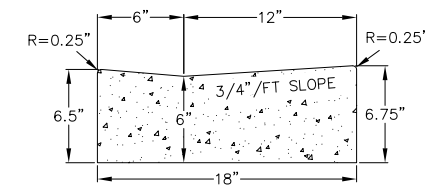


CURB AND GUTTER CROSS SECTION

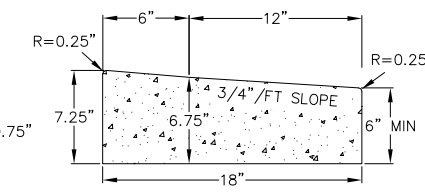


CURB AND GUTTER REJECT SECTION

1 18" CONCRETE CURB AND GUTTER  
1 NOT TO SCALE

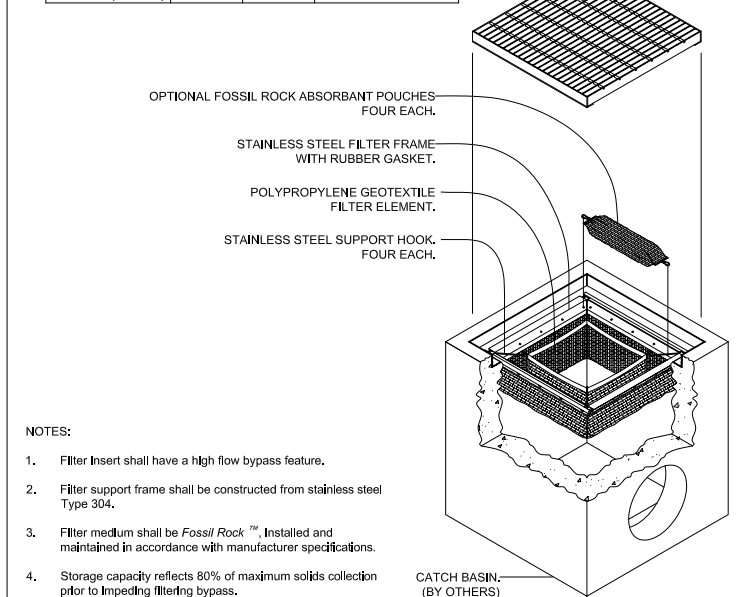


HANDICAP RAMP GUTTER CROSS SECTION

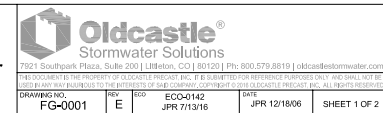


HANDICAP RAMP GUTTER REJECT SECTION

SPECIFIER CHART			
MODEL	INLET ID	GRATE OD	COMMENTS
FF-12D	12" X 12"	15" X 15"	GRATED INLET
FF-16D	16" X 16"	18" X 18"	GRATED INLET
FF-18D	18" X 18"	20" X 20"	GRATED INLET
FF-1836SD	18" X 36"	18" X 40"	GRATED INLET
FF-1836DGO	18" X 36"	18" X 40"	COMBINATION INLET
FF-24D	24" X 24"	26" X 26"	GRATED INLET
FF-2436SD	24" X 36"	24" X 40"	GRATED INLET
FF-24DGO	24" X 24"	18" X 26"	COMBINATION INLET
FF-2436DGO	24" X 36"	24" X 40"	COMBINATION INLET
FF-36D (2 PIECE)	36" X 36"	36" X 40"	GRATED INLET
FF-3648D (2 PIECE)	36" X 48"	40" X 48"	GRATED INLET



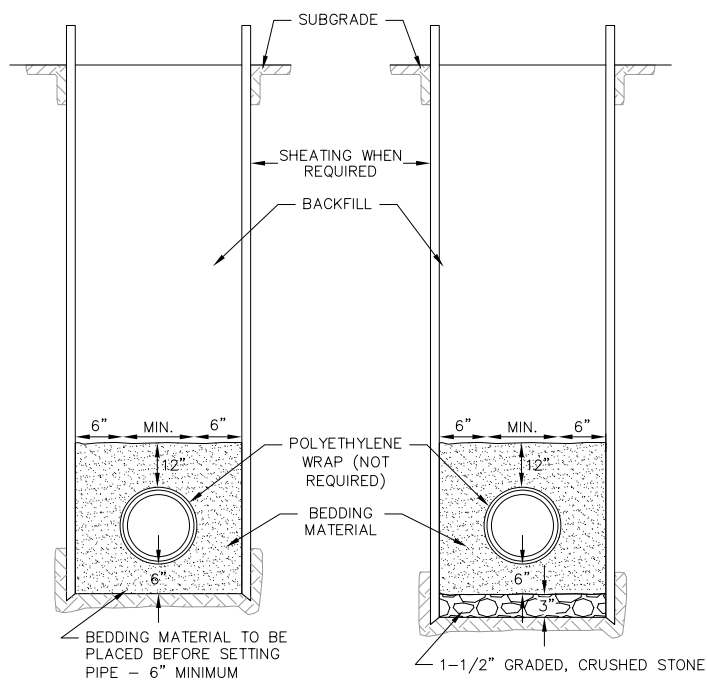
- NOTES:
1. Filter insert shall have a high flow bypass feature.
  2. Filter support frame shall be constructed from stainless steel Type 304.
  3. Filter medium shall be Fossil Rock™. Installed and maintained in accordance with manufacturer specifications.
  4. Storage capacity reflects 80% of maximum solids collection prior to impeding filtering bypass.



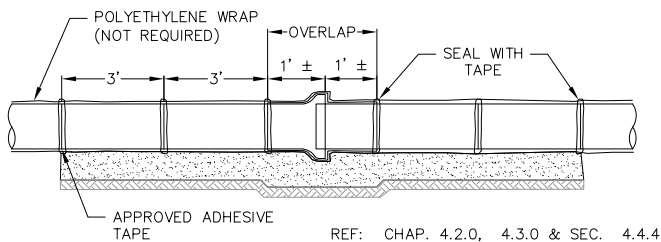
1 OIL & GREASE INLET FILTER  
1 NOT TO SCALE

REVISIONS	NO.	DATE	REMARKS

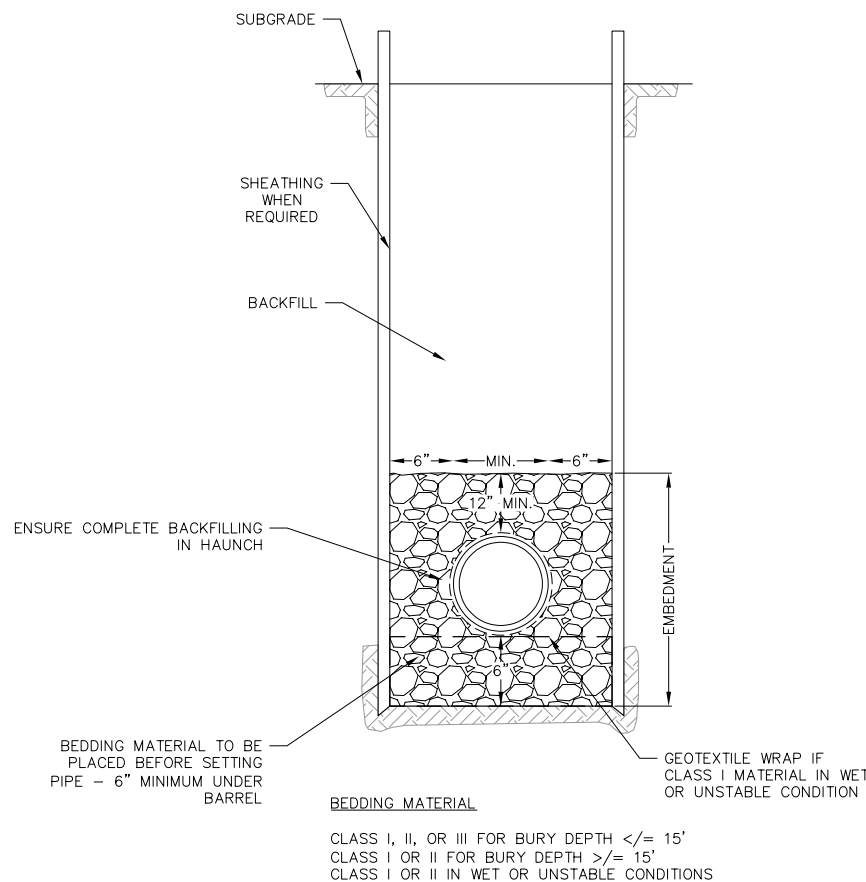
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CHECKED	JLIL
PROJECT NO.	220140



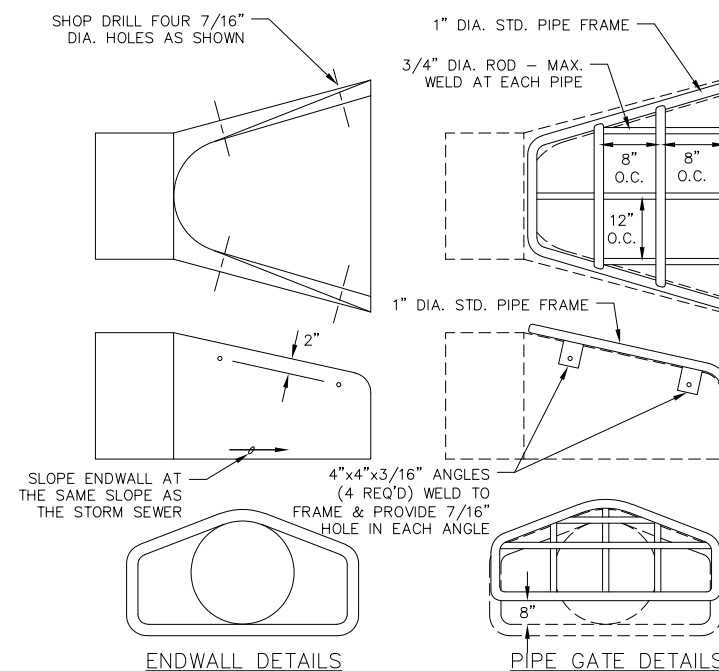
DRY TRENCH CONDITION WET OR UNSTABLE CONDITION



1 STANDARD WATER MAIN TRENCH SECTION NOT TO SCALE



1 STANDARD SANITARY TRENCH SECTION NOT TO SCALE



NOTES:

- THE CONTRACTOR SHALL BOLT THE PIPE GATE TO THE CONCRETE ENDWALL WITH FOUR 3/8"x6" MACHINE BOLTS WITH NUTS ON INSIDE WALL.

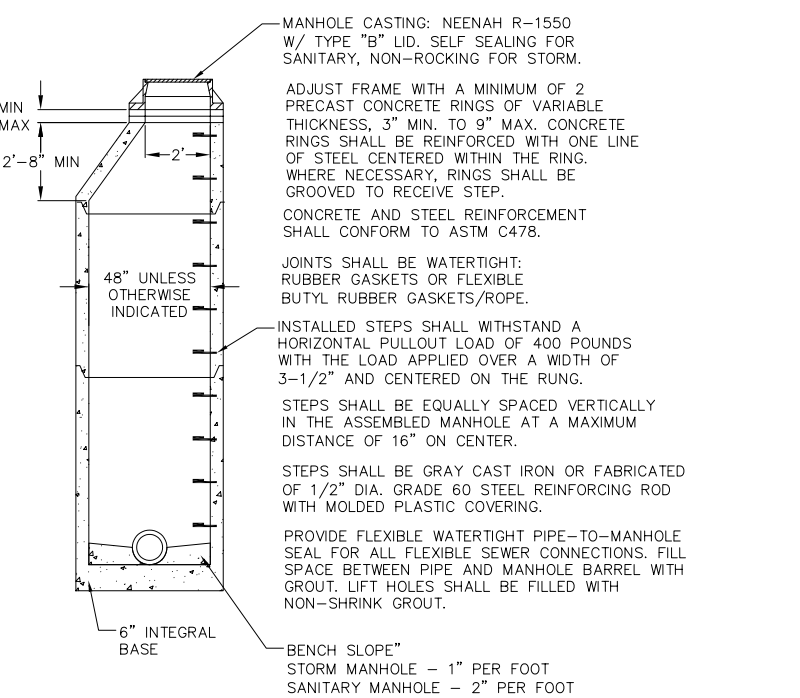
PAINTING SPECIFICATIONS:

- THE PIPE GATE SHALL RECEIVE THE FOLLOWING PREPARATION & PAINTING. THE FIRST COAT SHALL BE RUS-OLEUM X-60 RED BARE METAL PRIMER OR APPROVED EQUAL. THE SECOND COAT SHALL BE RUS-OLEUM 960 ZINC CHROMATE PRIMER OR APPROVED EQUAL. THE THIRD COAT SHALL BE RUS-OLEUM 1282 HIGH GLOSS METAL FINISH OR APPROVED EQUAL.

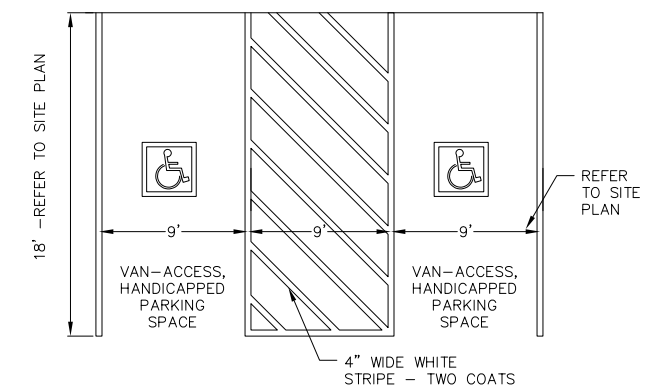
PREPARATION STEPS:

1. BARE METAL SURFACES - TREAT WITH THE THREE-COAT PAINTING SYSTEM LISTED AFTER A THOROUGH SCRAPING, WIRE BRUSHING & CLEANING.
2. EACH COAT OF PAINT SHALL BE APPLIED OVER THE ENTIRE GATE SURFACE.
3. ALLOW 24-48 HOURS DRYING TIME AT 60° OR ABOVE BETWEEN COATS.

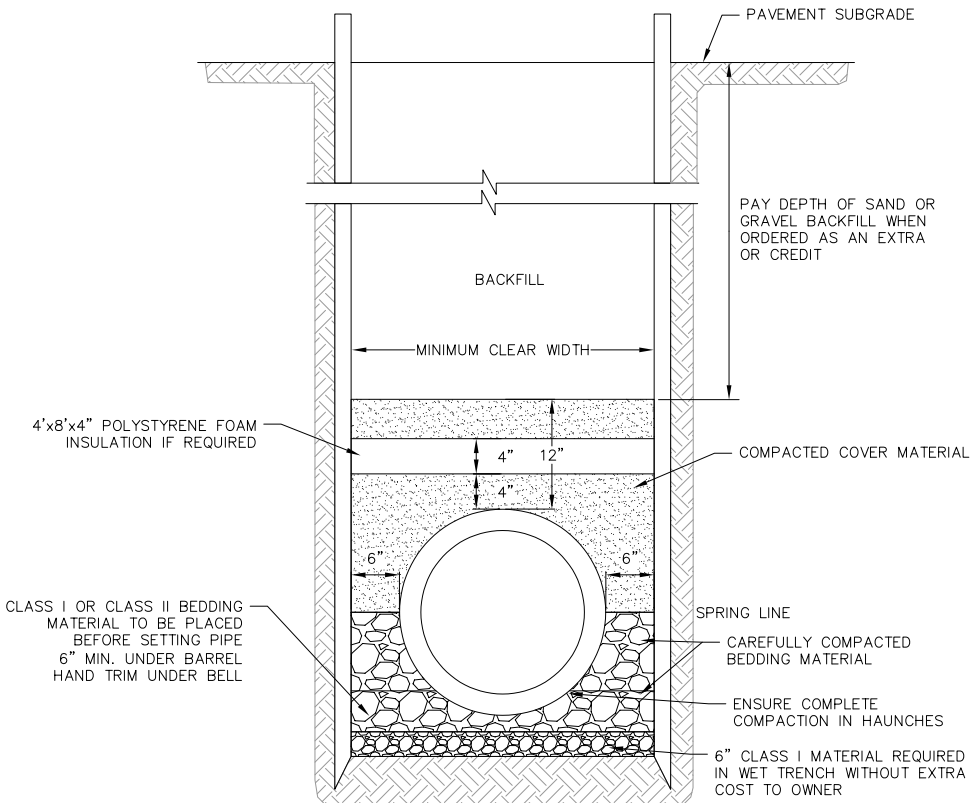
1 STANDARD ENDWALL NOT TO SCALE



1 PRECAST CONCRETE MANHOLE NOT TO SCALE



1 ADA STRIPING NOT TO SCALE



1 STORM PIPE TRENCH SECTION NOT TO SCALE

NOT FOR CONSTRUCTION

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**CONSTRUCTION DETAILS - 3**

AVALON RESIDENTIAL  
CITY OF FITCHBURG  
DANE COUNTY, WI

REVISIONS	NO.	DATE	REMARKS

DATE: 10/18/22  
DRAFTER: CLAN  
CHECKED: JUL  
PROJECT NO.: 220140

**C7.2**

INFILTRATION AREA RESTORATION SPECIFICATIONS:

NOTE: INFILTRATION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.

INFILTRATION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1003 (INFILTRATION BASIN)

PLANTING, MULCH, AND MAINTENANCE NOTES:

NATIVE (PRAIRIE) SEEDING SHALL BE COMPLETED IN THE FALL (AS DORMANT SEEDING PRIOR TO FIRST SNOWFALL) OR IN THE SPRING (BETWEEN MAY 1 AND JUNE 20), OR PLUGS SHALL BE USED.

MULCH SHALL CONFORM TO THE CRITERIA LOCATED IN WDNR CONSERVATION PRACTICE STANDARD MULCHING FOR CONSTRUCTION SITES (1058).

HEAVILY WATER AREA AT THE TIME OF SEEDING, AND EVERY OTHER DAY FOR A TOTAL OF 4 WATERINGS. A RAIN EVENT GREATER THAN 0.5 INCHES CONSTITUTES A WATERING.

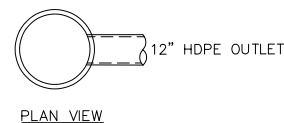
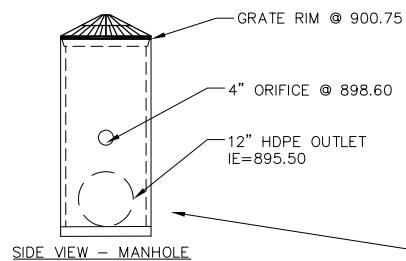
MAINTENANCE OF NATIVE VEGETATION (MOWING, CUTTING OR BURNING SHALL BE USED TO MAINTAIN VEGETATION:

1. ESTABLISHMENT- THE FIRST MOWING OF NEWLY PLANTED SEED SHALL OCCUR ONCE IT REACHES A HEIGHT OF 10 TO 12 INCHES.
2. MOWING-MOWING SHALL REDUCE THE HEIGHT OF PLANTS TO 5 TO 6 INCHES. IF AFTER ESTABLISHMENT, IF BURNING CANNOT BE ACCOMMODATED, MOWING SHALL OCCUR ONCE IN THE FALL AFTER NOVEMBER 1). THE AREA SHALL BE MOWED TO A HEIGHT OF 5 TO 6 INCHES.
3. BURNING
  - A. ROUTINE MAINTENANCE - BEGINNING THE SECOND YEAR, BURNING SHALL OCCUR IN THE EARLY SPRING (PRIOR TO MAY 1ST) OR IN THE LATE FALL (AFTER NOVEMBER 1ST)
  - B. BURNING SHALL BE DONE TWO CONSECUTIVE YEARS AND THEN UP TO THREE YEARS CAN PASS BEFORE THE NEXT BURNING.
  - C. UNDER NO CIRCUMSTANCES SHALL BURNING OCCUR EVERY OTHER YEAR

RESTORATION OF THE INFILTRATION AREA (NOT INCLUDING SIDE SLOPES):

1. OVER-EXCAVATE THE AREA TO INFILTRATIVE LAYER TO BE DETERMINED IN THE FIELD, DURING EXCAVATION, BY DESIGN ENGINEER.
2. CHISEL PLOW, OR ROTO-TILL THE BASE OF THE AREA TO BREAK UP ANY HARDPAN IN THE NATIVE SOIL LAYER.
3. SEED, MULCH, WATER, AND MAINTAIN AS DIRECTED ABOVE.

S102: INFILTRATION BASIN OUTLET STRUCTURE DETAIL  
NOT TO SCALE



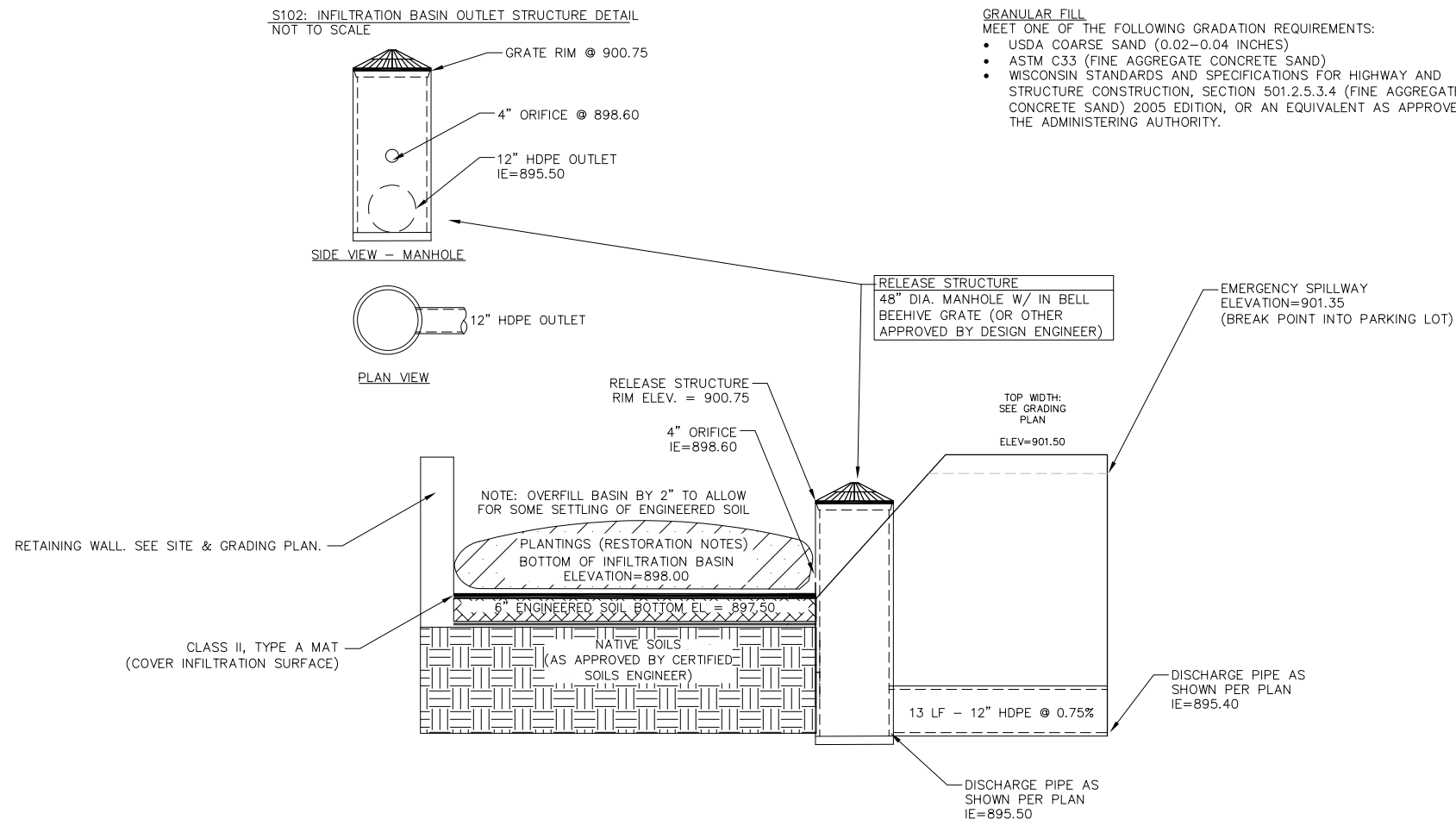
GRANULAR FILL

MEET ONE OF THE FOLLOWING GRADATION REQUIREMENTS:

- USDA COARSE SAND (0.02-0.04 INCHES)
- ASTM C33 (FINE AGGREGATE CONCRETE SAND)
- WISCONSIN STANDARDS AND SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 501.2.5.3.4 (FINE AGGREGATE CONCRETE SAND) 2005 EDITION, OR AN EQUIVALENT AS APPROVED BY THE ADMINISTERING AUTHORITY.

ENGINEERED SOIL MIXTURE

70%-85% WASHED SAND  
15%-30% COMPOST (MUST MEET WDNR S100 SPECIFICATION)



1 INFILTRATION BASIN A  
1 NOT TO SCALE

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE	10/18/22
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CHECKED	JLIL
PROJECT NO.	220140

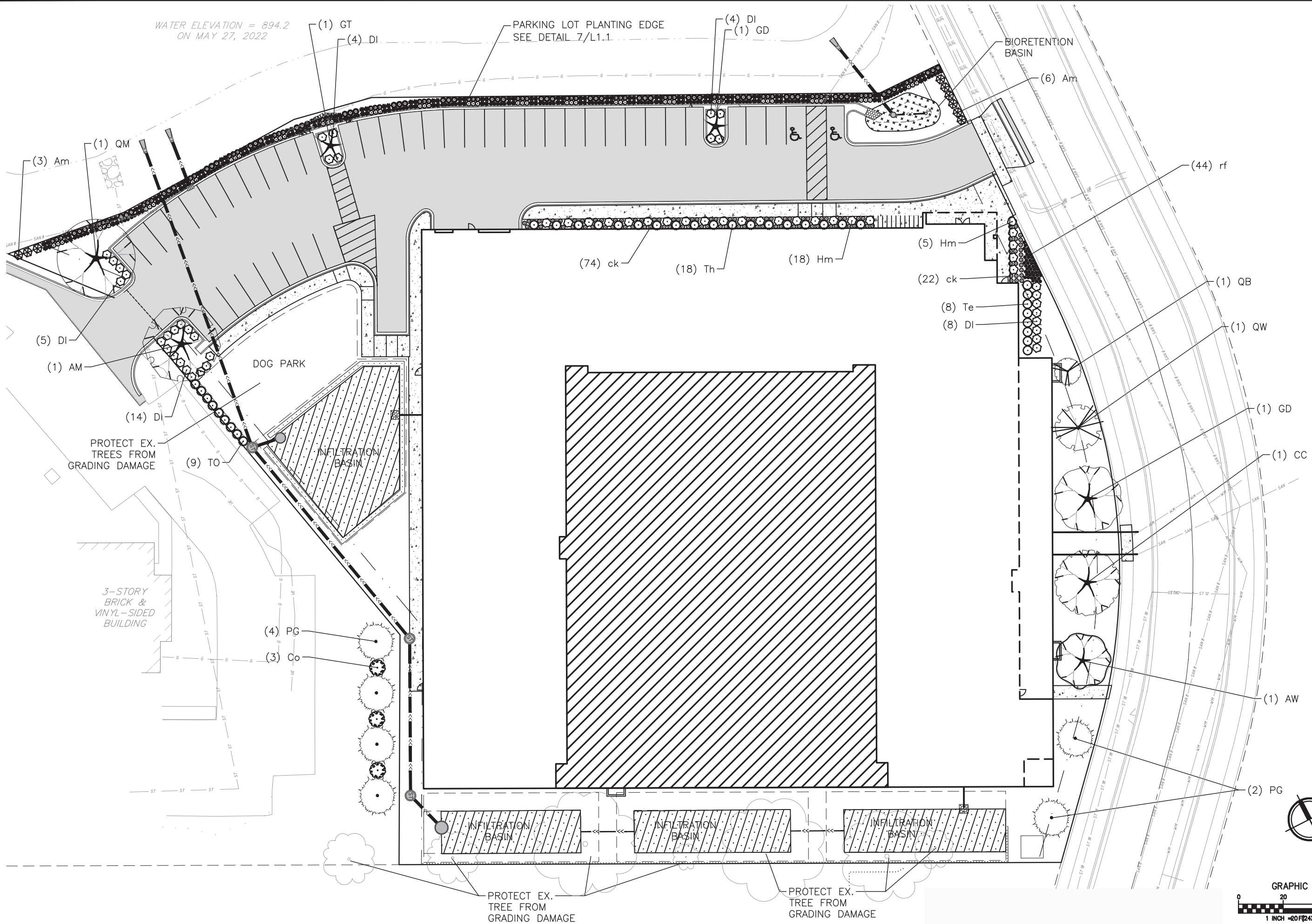
**NOT FOR CONSTRUCTION**





APPENDIX 'C'  
SPECIFIC IMPLEMENTATION PLAN  
PRELIMINARY LANDSCAPING PLAN

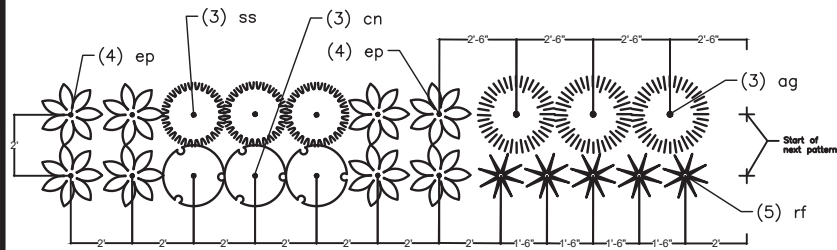
WATER ELEVATION = 894.2  
ON MAY 27, 2022



**LANDSCAPE PLAN**  
AVALON RESIDENTIAL  
CITY OF FITCHBURG  
DANE COUNTY, WI

REVISIONS	NO.	DATE	REMARKS

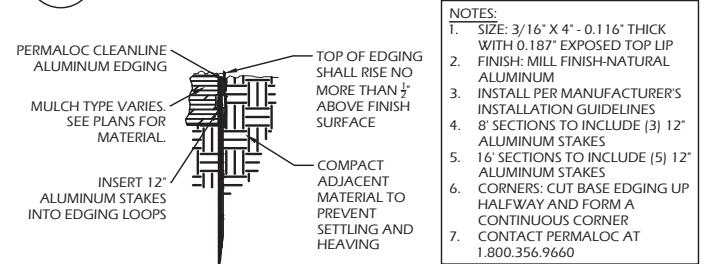
DATE	10/17/2022
DRAFTER	JR
CHECKED	BAT
PROJECT NO.	220140



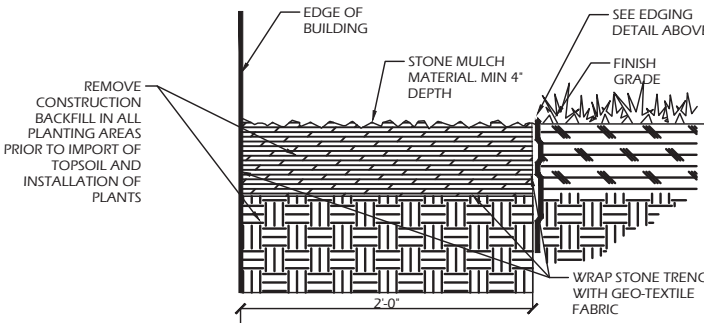
**GENERAL NOTE:**  
REPEAT THIS PATTERN ALONG NORTH EDGE OF PARKING LOT FOR LENGTH OF LOT

**7 PARKING LOT BORDER PLANTING PATTERN**

L1.1 SCALE: NTS

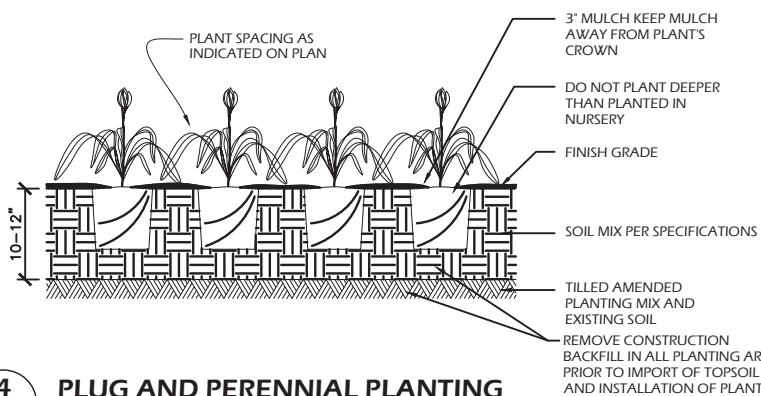


**NOTES:**  
1. SIZE: 3/16" X 4" - 0.116" THICK WITH 0.187" EXPOSED TOP LIP  
2. FINISH: MILL FINISH-NATURAL ALUMINUM  
3. INSTALL PER MANUFACTURER'S INSTALLATION GUIDELINES  
4. 8' SECTIONS TO INCLUDE (3) 12" ALUMINUM STAKES  
5. 16' SECTIONS TO INCLUDE (5) 12" ALUMINUM STAKES  
6. CORNERS: CUT BASE EDGING UP HALFWAY AND FORM A CONTINUOUS CORNER  
7. CONTACT PERMALOC AT 1.800.356.9660



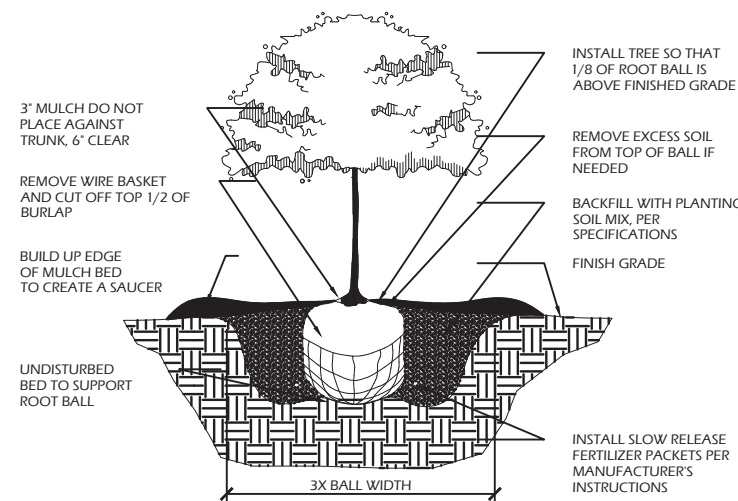
**6 STONE MULCH BAND**

L1.1 SCALE: NTS



**4 PLUG AND PERENNIAL PLANTING**

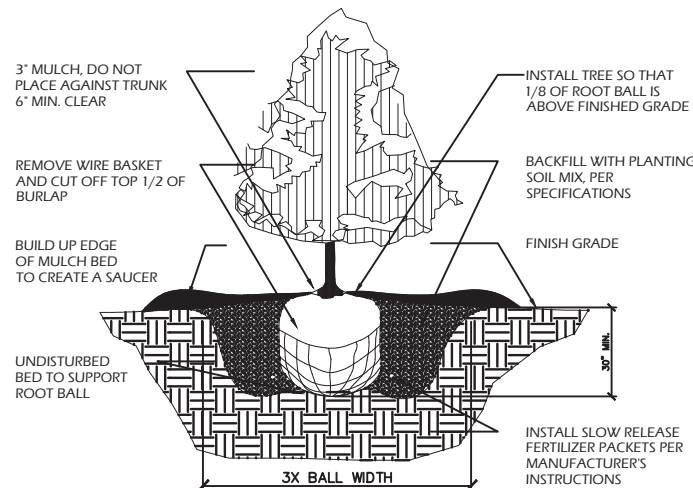
L1.1 SCALE: NTS



**GENERAL NOTE:**  
1. WRAP TRUNK OF SHADE TREES IN PARKING LOT AREAS.  
2. BREAK DOWN SIDES OF HOLE WHEN BACKFILLING.

**3 B&B TREE PLANTING**

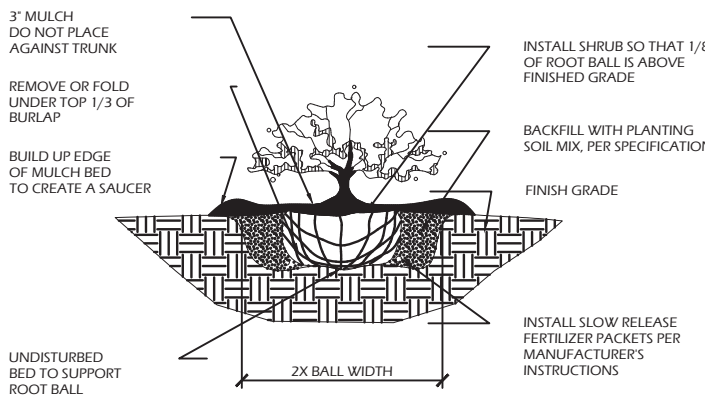
L1.1 SCALE: NTS



**GENERAL NOTE:**  
REMOVE EXCESS SOIL FROM TOP OF BALL IF NEEDED. BREAK DOWN SIDES OF HOLE WHEN BACKFILLING

**2 B&B EVERGREEN PLANTING**

L1.1 SCALE: NTS



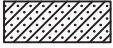

**1 B&B SHRUB PLANTING**

L1.1 SCALE: NTS

**PLANT SCHEDULE**

EVERGREEN TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
PG	Picea glauca / White Spruce	B & B	6' ht.		6
DECIDUOUS TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
AM	Acer miyabei 'Morton' TM / State Street Miyabe Maple	B & B	2.5"Cal		1
AW	Acer 'Warrenred' / PACIFIC SUNSET Maple	B & B	2.5"Cal		1
CC	Corylus colurna / Turkish Firbert	B & B	2.5"Cal		1
GT	Gleditsia triacanthos var. inermis 'Skycole' / Skyline Thornless Honeylocust	B & B	2.5"Cal		1
GD	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	B & B	2.5"Cal		2
QB	Quercus bicolor 'Bonnie and Mike' / BEACON Swamp White Oak	B & B	2.5"Cal		1
QM	Quercus muehlenbergi / Chinkapin Oak	B & B	2.5"Cal		1
QW	Quercus x warei 'Long' / Regal Prince Oak	B & B	2.5"Cal		1
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
Am	Aronia melanocarpa 'Morton' / IROQUOIS BEAUTY Black Chokeberry	Cont.	5 Gal.		9
Co	Cephalanthus occidentalis / Buttonbush	Cont.	5 Gal.		3
DI	Diervilla lonicera 'Kodiak Orange' / Kodiak Orange Dwarf Bush Honeysuckle	Cont.	3 Gal.		35
Hm	Hydrangea macrophylla 'PiHm-i' / ENDLESS SUMMER TWIST-N-SHOUT Hydrangea	Cont.	5 Gal.		23
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
Te	Taxus x media 'Everlow' / Meyer's Yew	B & B	5' ht.		8
Th	Taxus x media 'Hicksii' / Hicks Yew	B & B	5' ht.		18
To	Thuja occidentalis 'Smaragd' / Emerald Arborvitae	Cont.	5 Gal.		9
PERENNIALS & GRASS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
ag	Andropogon gerardii / Big Bluestem	Cont.	1 Gal.		57
ck	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	Cont.	4 In		96
cn	Calamintha nepeta 'Montrose White' / Montrose White Calamint	Cont.	1 Gal.		57
ep	Echinacea purpurea / Purple coneflower	Cont.	1 Gal.		152
rf	Rudbeckia fulgida var. sullivantii 'Little Goldstar' / Little Goldstar Black-Eyed Susan	Cont.	1 Gal.		139
ss	Schizachyrium scoparium / Little Bluestem	Cont.	1 Gal.		57

**BASIN PLANTING SCHEDULE**

	<b>BIORETENTION Plug MIX</b>	755 sf
	Prairie Nursery 'Detention Basin - Bioswale' or equivalent plant mixture. Provide plants as plugs 12" O.C.	
	<b>NATIVE INFILTRATION SEEDING</b>	10,885 sf
	Agrecol 'Infiltration Swale Mix' or equivalent. Seed at 9lbs / acre	

**PLANT MATERIAL NOTES:**

- ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
- CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.

**LANDSCAPE MATERIAL NOTES:**

- CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEED/SODDED.
- REMOVE CONSTRUCTION BACKFILL IN ALL PLANTING AREA PRIOR TO IMPORT OF TOPSOIL AND INSTALLATION OF PLANTS.
- LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. AND EDGED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 1/2"x4" OR EQUAL, COLOR BLACK ANODIZED.
- ALL TREES AND/OR SHRUBS PLANTED IN LAWN AREAS TO BE INSTALLED WITH A 5' DIAMETER MULCH RING AND SHOVEL CUT EDGE. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH AS WELL AS TOPICALLY APPLIED TO TREE RING.

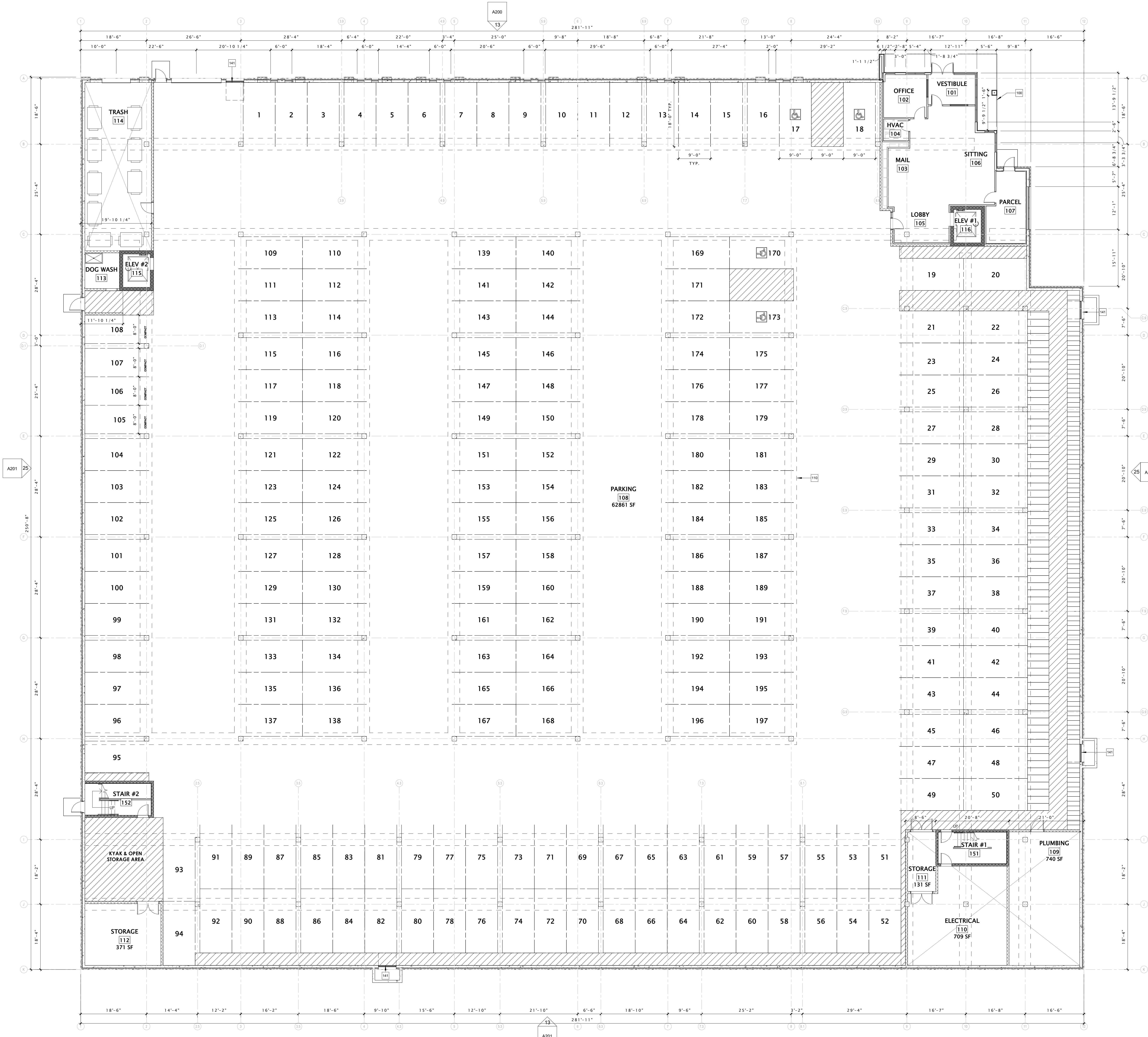
**SEEDING AND PLUG PLANTING NOTES:**

- ALL PARKING LOT ISLANDS AND ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE SEEDDED WITH 'MADISON PARKS' MIX BY 'LACROSSE SEED COMPANY' OR EQUIVALENT, PER MANUFACTURER'S SPECIFIED APPLICATION RATES. ALL SEEDD AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 1/2" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE.
- INSTALL BIORETENTION PLUG PLANTINGS AS 2" X 2" X 4" DEEP PLUGS, 12" ON CENTER IN A TRIANGULAR GRID PATTERN. PLANT SPECIES IN ODD NUMBERED GROUPS OF 5-9 PLANTS, DISTRIBUTING EACH SPECIES RANDOMLY ACROSS PLANTING AREA FOR NATURAL APPEARANCE.

NO.	DATE	REVISIONS	REMARKS

DATE	10/17/2022
DRAFTER	JR
CHECKED	BAT
PROJECT NO.	220140

APPENDIX 'D'  
SPECIFIC IMPLEMENTATION PLAN  
PRELIMINARY FLOOR PLANS



- ### GENERAL NOTES - PARKING LEVEL
- EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
  - INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS UNLESS OTHERWISE NOTED.
  - EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO ROUGH OPENING ENDS OF WINDOW/DOOR UNLESS OTHERWISE NOTED.
  - ALL CONCRETE MASONRY UNIT (CMU) WALLS SHALL BE TYPE M802X UNLESS NOTED OTHERWISE.
  - ALL METAL STUD WALLS SHALL BE AS TAGGED AND/OR INDICATED ON THE INTERIOR WALL ASSEMBLY SHEET, UNLESS NOTED OTHERWISE.
  - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
  - ANY EXPOSED STEEL THAT SUPPORTS LOAD-BEARING WALLS OR FLOORS SHALL BE PROTECTED BY MEANS OF SPRAY-FIREPROOFING. GENERAL CONTRACTOR TO COORDINATE WITH FINAL DESIGN AND INSTALLATION OF PRECAST CONCRETE STRUCTURAL MEMBERS.
  - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.
  - DESIGN-BUILD MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS SHALL MAINTAIN A CLEAR HEIGHT OF 7'-0" MINIMUM IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS PER 2015 IBC 406.
  - VERIFY QUANTITY AND LOCATION OF INTERIOR AND EXTERIOR HOSE BIBBS WITH OWNER.
  - VERIFY QUANTITY, LOCATION, AND TYPE OF ELECTRICAL OUTLETS IN PARKING AREA WITH OWNER.
  - PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR TO VERIFY REQUIREMENTS OF ALL TRADES INCLUDING: PRECAST, PLUMBING, SPRINKLERS, HVAC, ELEVATOR & ELECTRICAL.
  - GENERAL CONTRACTOR DOOR COORDINATE ALL PENETRATION AND OPENINGS THROUGH PRECAST PLANK WITH PRECAST PLANK PROVIDER, MEP CONTRACTORS, AND ARCHITECT.
  - COORDINATE LOCATION OF PRECAST PLANK DEPTHS W/ PRECAST SHOP DRAWINGS PRIOR TO POURING WALLS.
  - CONTRACTOR TO VERIFY LOCATIONS OF GAS METER, ELECTRICAL METERS, AND THEIR SPACE REQUIREMENTS PRIOR TO CONSTRUCTION.

KEYNOTES	
NUMBER	NOTE
100	CANOPY BELOW / ABOVE (DASHED)
110	STRUCTURAL PRECAST TS - SHOWN ABOVE @ FIRST FLOOR AND BELOW @ SECOND FLOOR/LIBRARY ROOF - SEE STRUCTURAL PLAN SET.
141	INTAKE / EXHAUST AREA WELL AND LOUVER - COORDINATE WITH HVAC DRAWINGS



JLA PROJECT NUMBER: W22-0421

## AVALON APARTMENTS

SIP SUBMITTAL

### PROGRESS DOCUMENTS

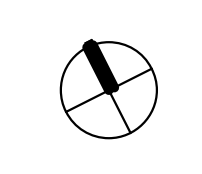
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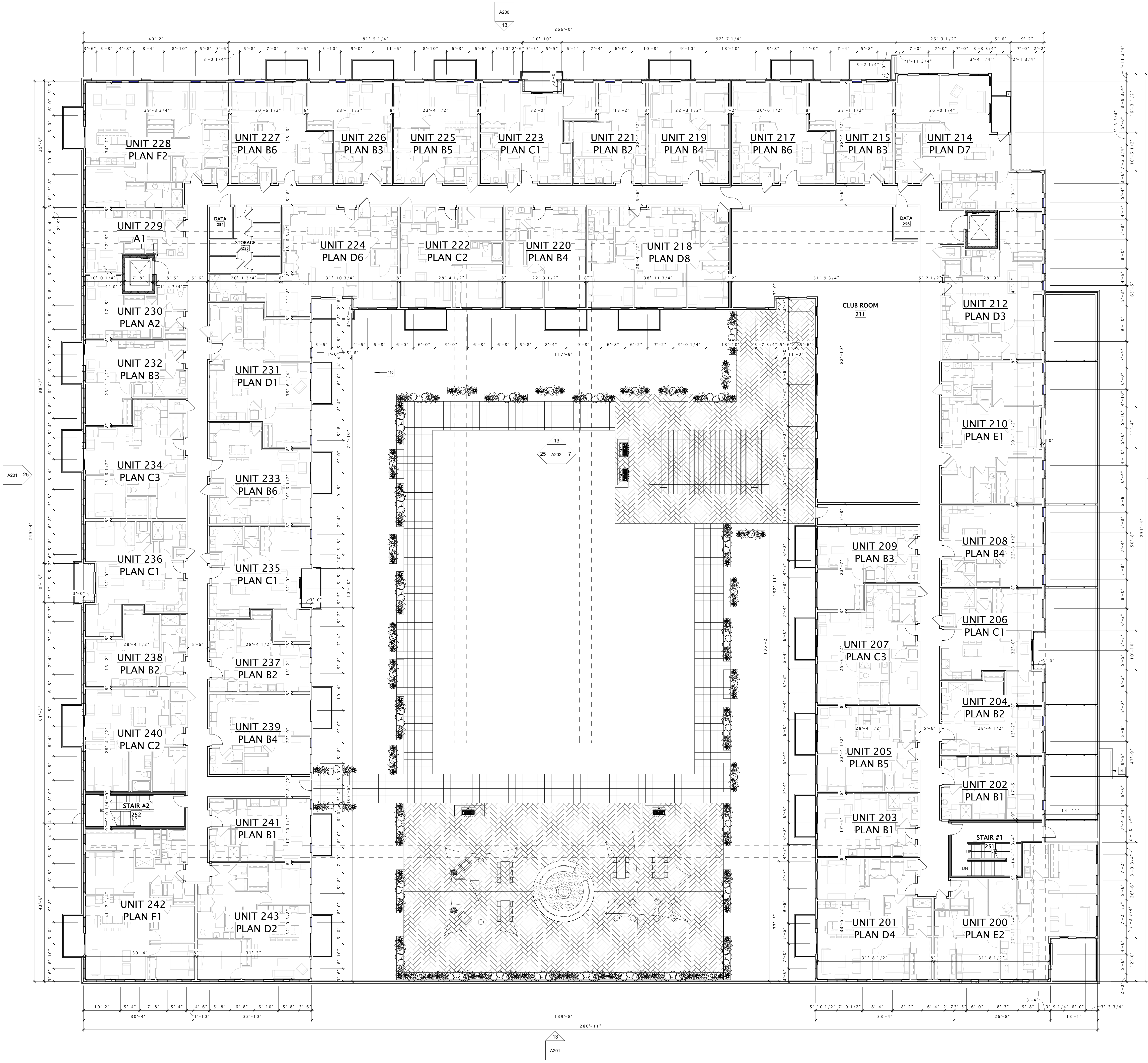
DATE OF ISSUANCE: OCTOBER 18, 2022

REVISION SCHEDULE		
Mark	Description	Date

## FIRST FLOOR PLAN

SHEET NUMBER: A101





- GENERAL PLAN NOTES**
- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
  - WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
  - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
  - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
  - VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
  - PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
  - PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
  - PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
  - FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
  - CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPLASHES & SIDESPLASHES.
  - INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE WITH MANUFACTURER.
  - ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

**KEYNOTES**

NUMBER	NOTE
110	STRUCTURAL PRECAST TS - SHOWN ABOVE @ FIRST FLOOR AND BELOW @ SECOND FLOOR LIBRARY ROOF - SEE STRUCTURAL PLAN SET.
141	INTAKE / EXHAUST AREA WELL AND LOUVER - COORDINATE WITH HVAC DRAWINGS



JLA PROJECT NUMBER: W22-0421

**AVALON APARTMENTS**

SIP SUBMITTAL

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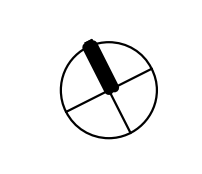
DATE OF ISSUANCE: OCTOBER 18, 2022

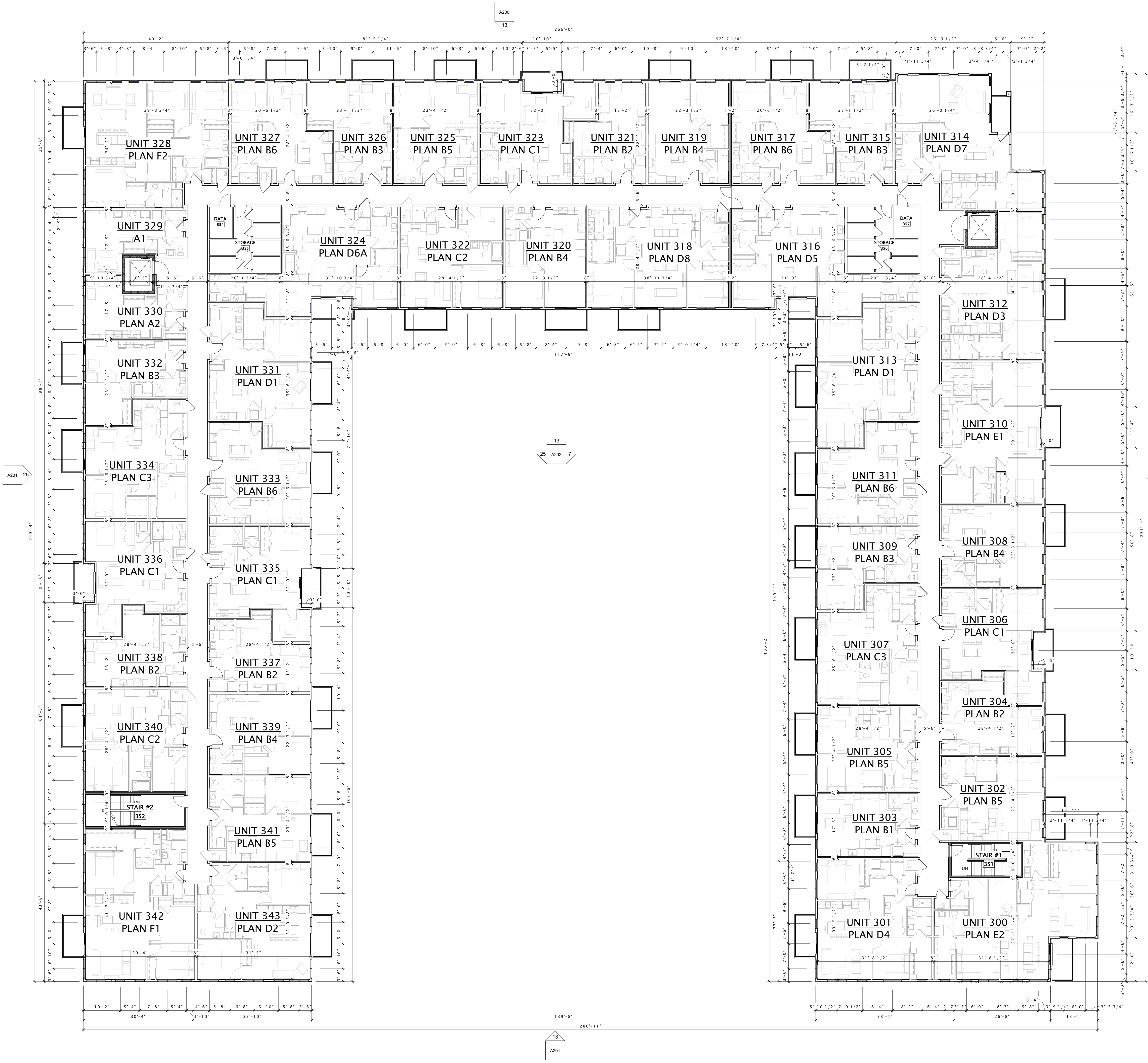
**REVISION SCHEDULE**

Mark	Description	Date

SHEET TITLE  
**SECOND FLOOR PLAN**

SHEET NUMBER  
**A102**





- GENERAL PLAN NOTES**
- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
  - WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
  - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
  - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
  - VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
  - PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
  - PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
  - PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
  - FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
  - CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SIDESPASHES.
  - INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
  - ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

**KEYNOTES**

NUMBER	NOTE



JLA PROJECT NUMBER: W22-0421

**AVALON APARTMENTS**

SIP SUBMITTAL

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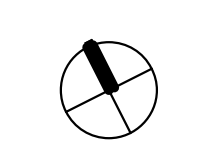
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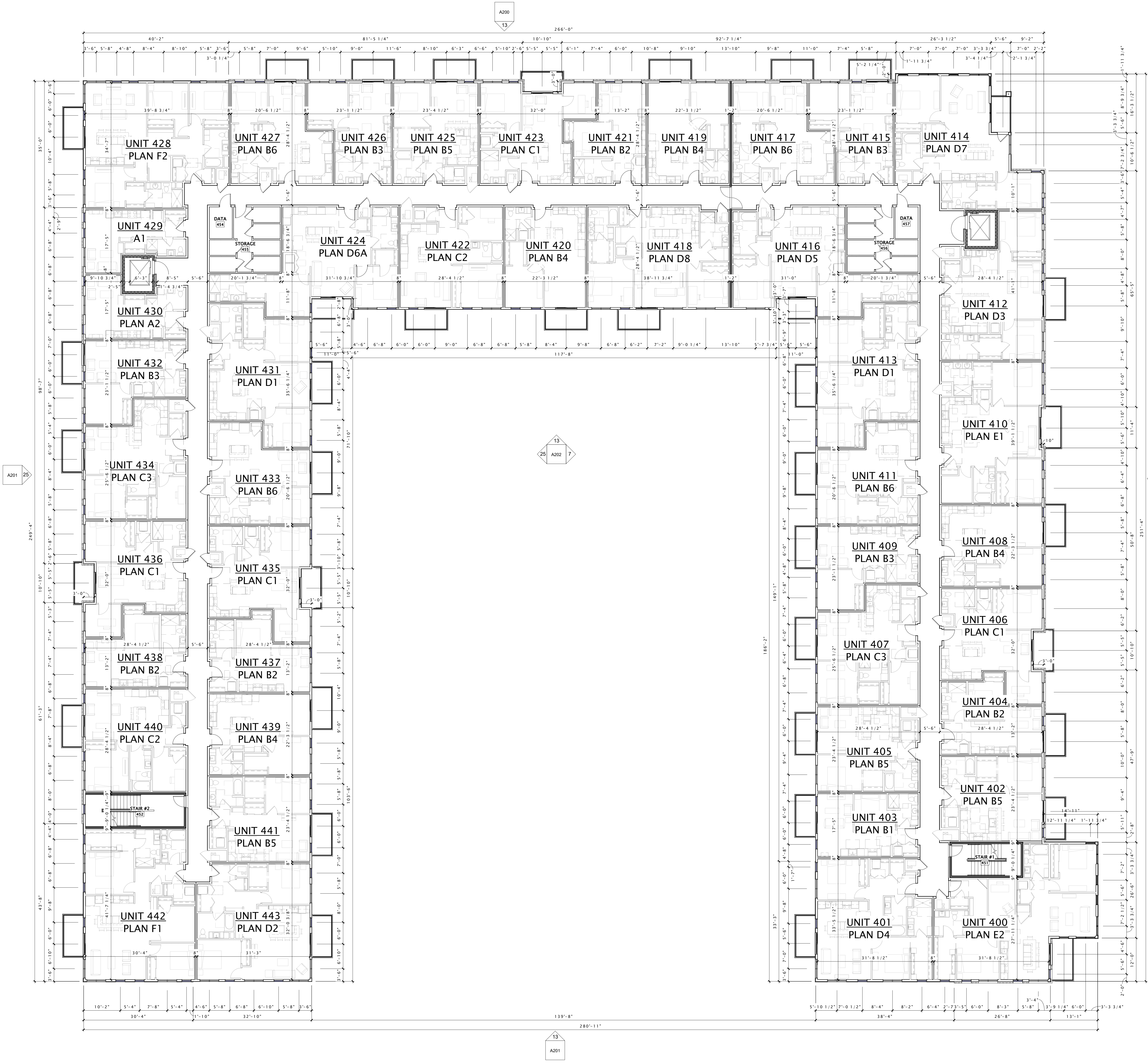
**REVISION SCHEDULE**

Mark	Description	Date

**THIRD FLOOR PLAN**

SHEET NUMBER: **A103**





- GENERAL PLAN NOTES**
- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
  - WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
  - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
  - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
  - VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
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  - INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
  - ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

**KEYNOTES**

NUMBER	NOTE



JLA PROJECT NUMBER: W22-0421

**AVALON APARTMENTS**

SIP SUBMITTAL

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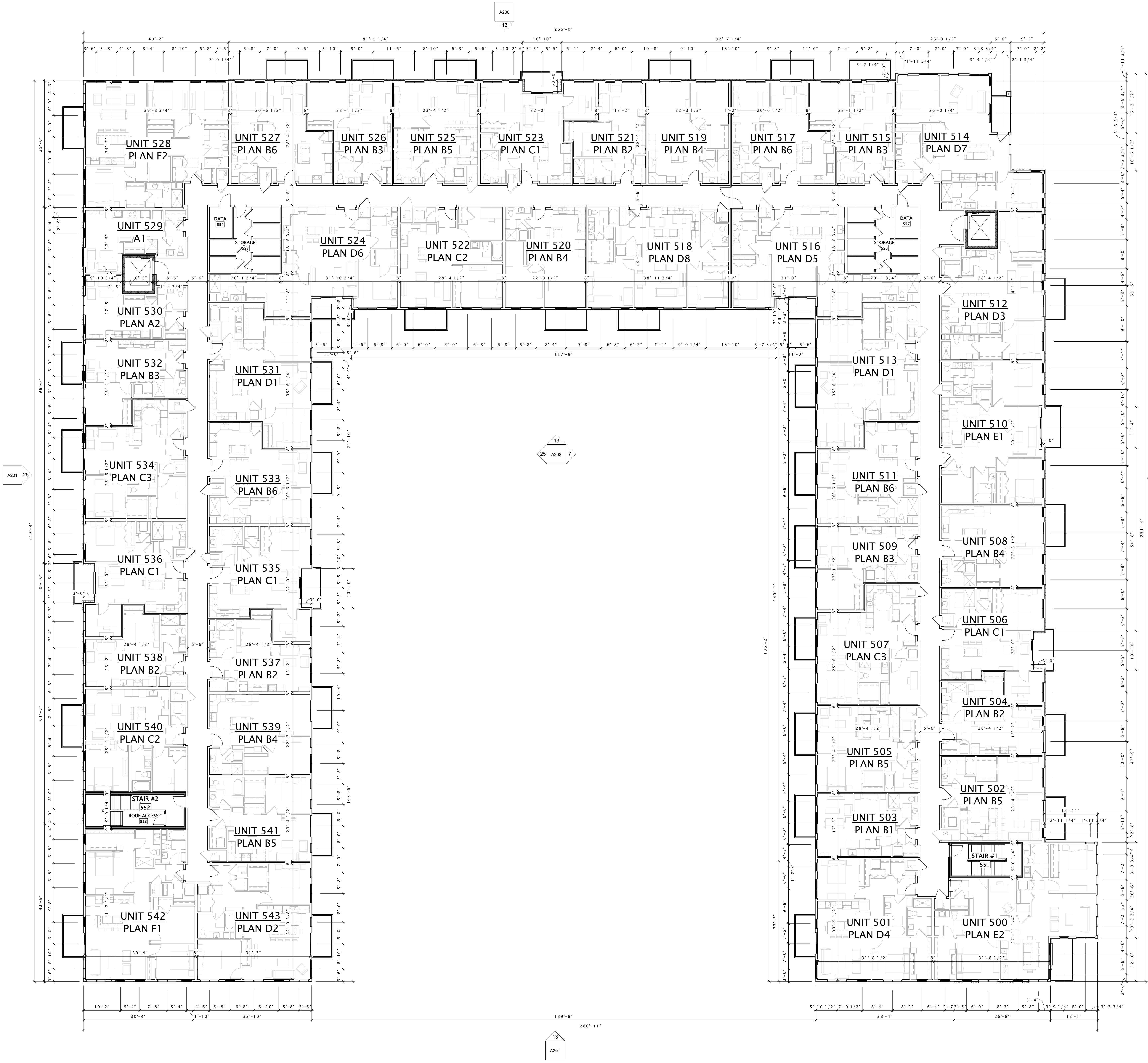
DATE OF ISSUANCE: OCTOBER 18, 2022

**REVISION SCHEDULE**

Mark	Description	Date

SHEET TITLE  
**FOURTH FLOOR PLAN**

SHEET NUMBER  
**A104**



- GENERAL PLAN NOTES**
- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
  - WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
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  - INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
  - ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

**KEYNOTES**

NUMBER	NOTE



JLA PROJECT NUMBER: W22-0421

**AVALON APARTMENTS**

SIP SUBMITTAL

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DATE OF ISSUANCE: OCTOBER 18, 2022

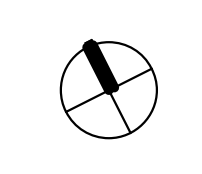
**REVISION SCHEDULE**

Mark	Description	Date

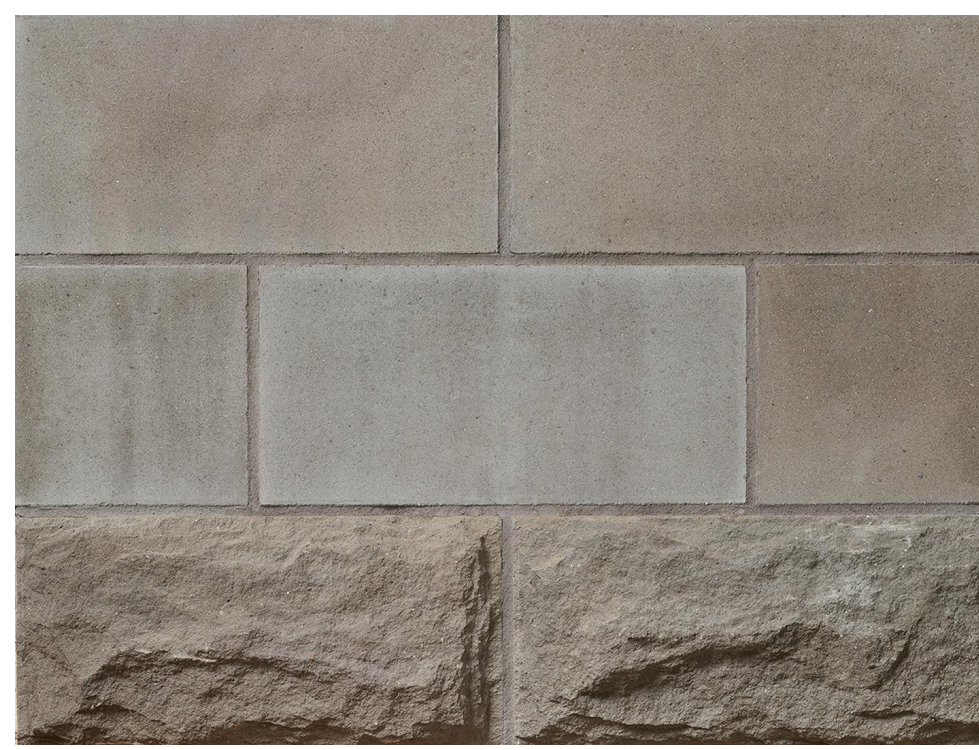
**FIFTH FLOOR PLAN**

SHEET NUMBER

**A105**



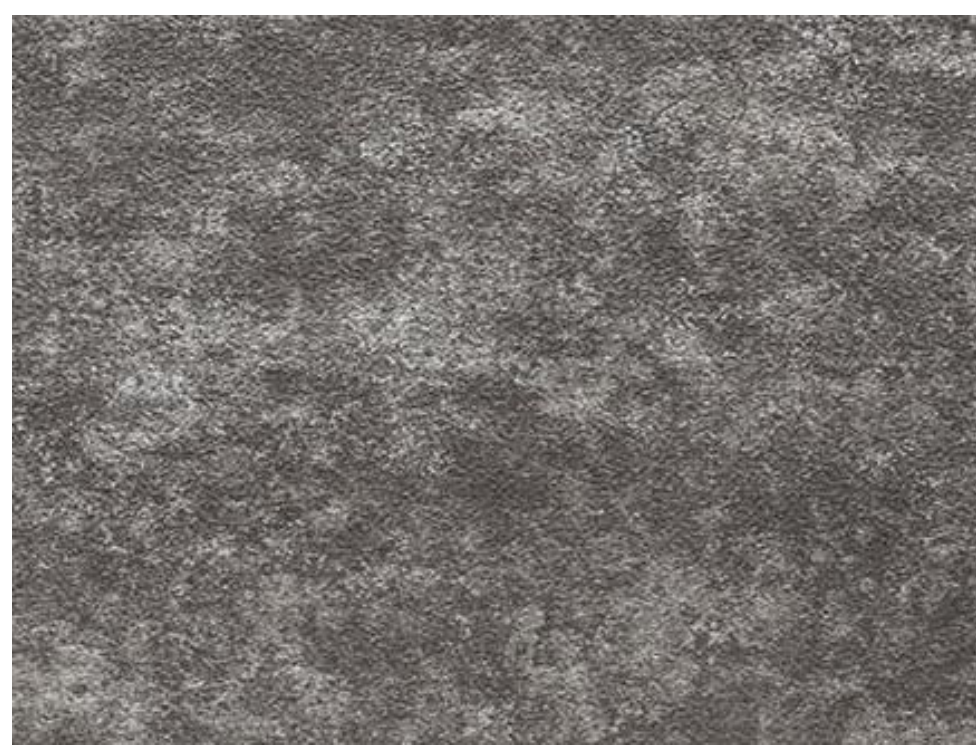
APPENDIX 'E'  
SPECIFIC IMPLEMENTATION PLAN  
PRELIMINARY EXTERIOR ELEVATIONS & PERSPECTIVES



3. MANUFACTURED STONE VENEER



4. MANUFACTURED BRICK VENEER



7. METAL PANEL TYPE - 1



8. METAL PANEL TYPE - 2



14. COMPOSITE LAP SIDING

EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	METAL WALL CAP	PAC-CLAD	PREFABRICATED METAL CORING	SEE PLANS	BRONZE	
2	METAL WALL CAP	PAC-CLAD	PREFABRICATED METAL CORING	SEE PLANS	MATCH ADJACENT MATERIAL	
3	MANUFACTURED STONE VENEER	ARRISCRAFT BUILDING STONE	RENAISSANCE ROCK FACE	8" X 24"	BARNBOARD	
4	MANUFACTURED BRICK VENEER	HERITAGE COLLECTION	DESIGNER SPLIFFACE	4" X 12"	WHITE	
5	CONCRETE PRECAST BAND	TBD	TBD	SEE PLANS	-	
6	1" LOW-E INSULATED CLEAR GLAZING	KAWNEER OR EQUAL	-	SEE PLANS	BRONZE	PROVIDE THERMALLY BROKEN FRAMES
7	CERACLAD METAL PANEL TYPE-1	TBD	ELEMENTS BLACKEN STEEL	SEE PLANS	ELEMENTS BLACKEN STEEL	PROVIDE REVEALS AS SHOWN
8	CERACLAD METAL PANEL TYPE-2	TBD	ELEMENTS CORETEN STEEL	SEE PLANS	ELEMENTS CORETEN STEEL	PROVIDE REVEALS AS SHOWN
9	METAL PANEL SYSTEM	PAC-CLAD	-	-	BRONZE	
10	VINYL WINDOWS	MARVIN WINDOWS	-	-	BRONZE- PER WINDOW SCHEDULE	
11	VINYL DOORS AND TRANSOMS	MARVIN WINDOWS	-	-	-	
12	HIGH SPEED OVERHEAD GARAGE DOOR	TBD	TBD	-	-	INSULATED
13	ALUMINUM GUARDRAIL AND BALLUSTERS	TBD	TBD	-	BRONZE	42" AT ALL BALCONIES, WEST AND NORTH PATIO AREAS / 32" & 72" AT EAST COURTYARD
14	COMPOSITE LAP SIDING	JAMES HARDIE	TBD	6"	MATCH BRICK VENEER	
15	PREFINISHED ALUMINUM DECK EDGE	PAC-CLAD	PREFABRICATED TIERED METAL	SEE PLANS	BRONZE	
17	PATIO AREA UNIT DIVIDER WALLS	TBD	PREFINISHED ALUMINUM	TBD	MATCH BRONZE	
19	PAINTED STEEL DOOR	TBD	TBD	TBD	PAINTED TO MATCH ADJACENT MATERIAL	



13 NORTH ELEVATION  
3/32" = 1'-0"



25 EAST ELEVATION  
3/32" = 1'-0"



**JLA**  
ARCHITECTS  
MADISON | MILWAUKEE | DENVER  
JLA-AP.COM

JLA PROJECT NUMBER: W22-0421

**AVALON APARTMENTS**

SIP SUBMITTAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: OCTOBER 18, 2022

REVISION SCHEDULE

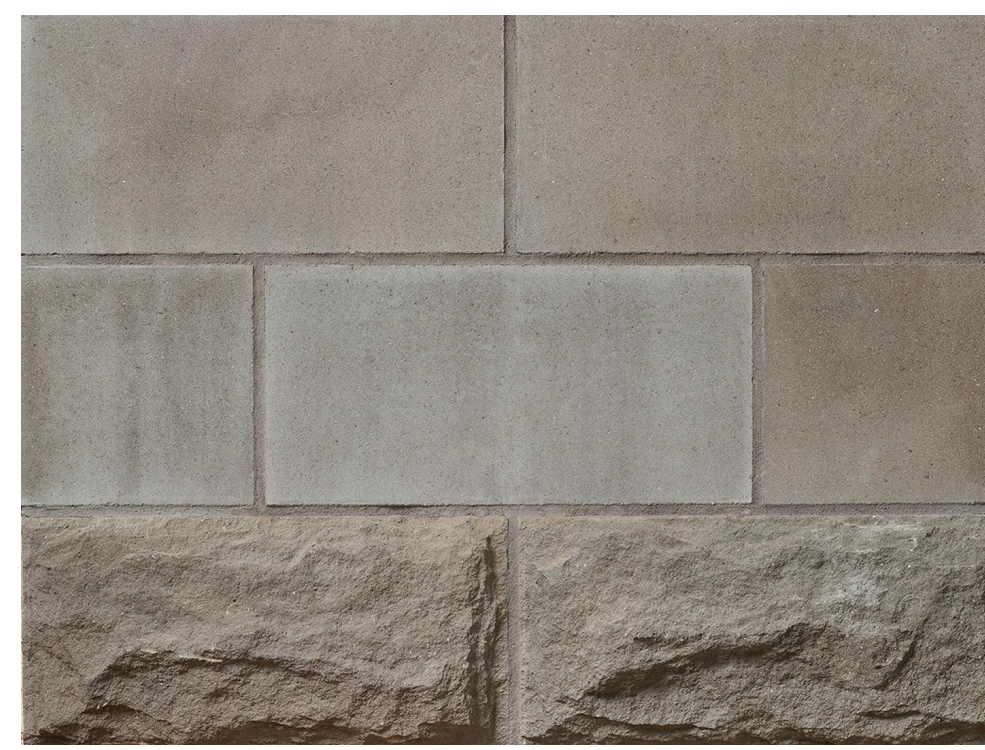
Mark	Description	Date

SHEET TITLE

**EXTERIOR ELEVATIONS**

SHEET NUMBER

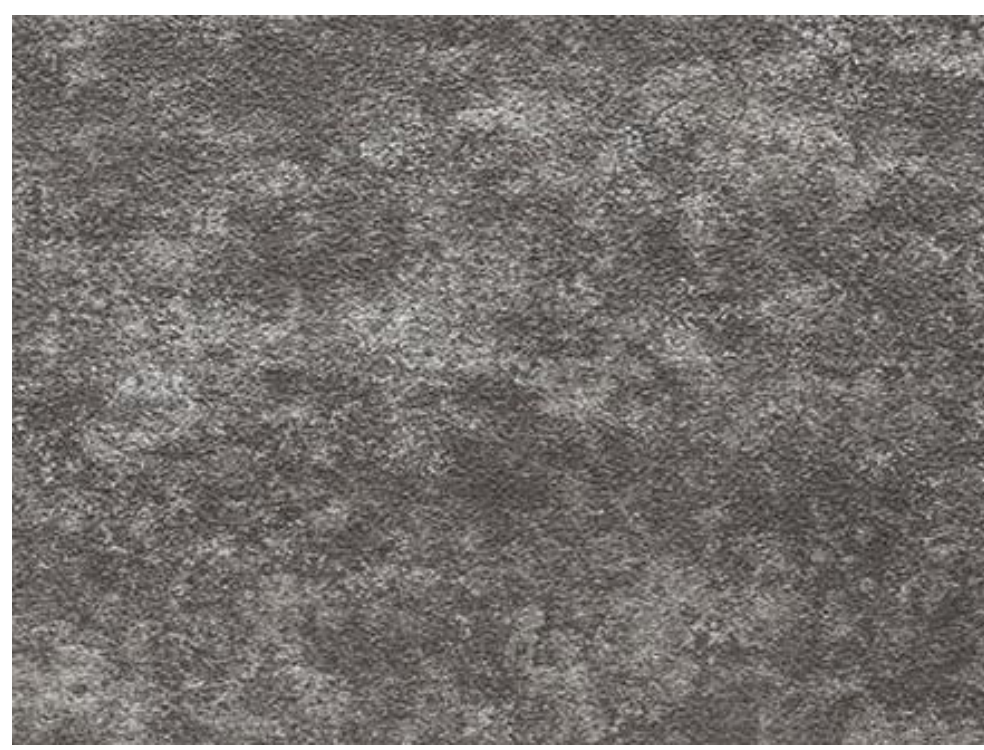
**A200**



3. MANUFACTURED STONE VENEER



4. MANUFACTURED BRICK VENEER



7. METAL PANEL TYPE - 1



8. METAL PANEL TYPE - 2



14. COMPOSITE LAP SIDING

EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	METAL WALL CAP	PAC-CLAD	PREFABRICATED METAL COPING	SEE PLANS	BRONZE	
2	METAL WALL CAP	PAC-CLAD	PREFABRICATED METAL COPING	SEE PLANS	MATCH ADJACENT MATERIAL	
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5	CONCRETE PRECAST BAND	TBD	-	SEE PLANS	-	
6	1" LOW-E INSULATED CLEAR GLAZING	KAWNEER OR EQUAL	-	SEE PLANS	BRONZE	PROVIDE THERMALLY BROKEN FRAMES
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9	METAL PANEL SYSTEM	PAC-CLAD	-	-	BRONZE	
10	VINYL WINDOWS	MARVIN WINDOWS	-	-	BRONZE- PER WINDOW SCHEDULE	
11	VINYL DOORS AND TRANSOMS	MARVIN WINDOWS	-	-	-	
12	HIGH SPEED OVERHEAD GARAGE DOOR	TBD	-	-	-	INSULATED
13	ALUMINUM GUARDRAIL AND BALLUSTERS	TBD	-	-	BRONZE	42" AT ALL BALCONIES, WEST AND NORTH PATIO AREAS / 32" & 72" AT EAST COURTYARD
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15	PREFINISHED ALUMINUM DECK EDGE	PAC-CLAD	PREFABRICATED TIERED METAL	SEE PLANS	BRONZE	
17	PATIO AREA UNIT DIVIDER WALLS	TBD	PREFINISHED ALUMINUM	TBD	MATCH BRONZE	
19	PAINTED STEEL DOOR	TBD	-	-	PAINTED TO MATCH ADJACENT MATERIAL	



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Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

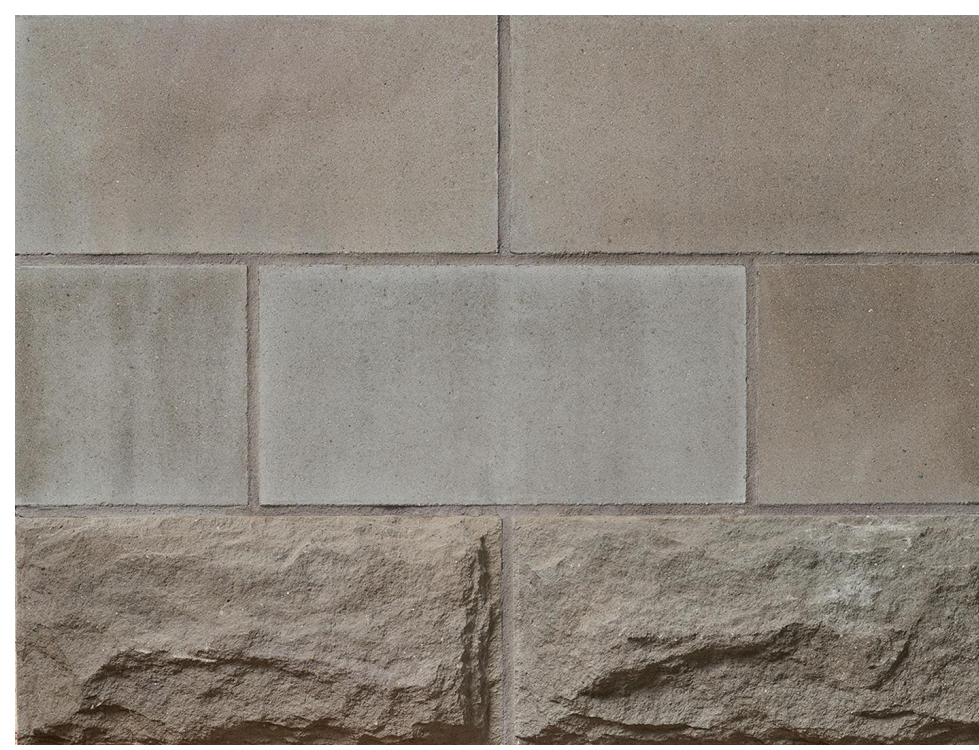
A201



13 SOUTH ELEVATION  
3/32" = 1'-0"



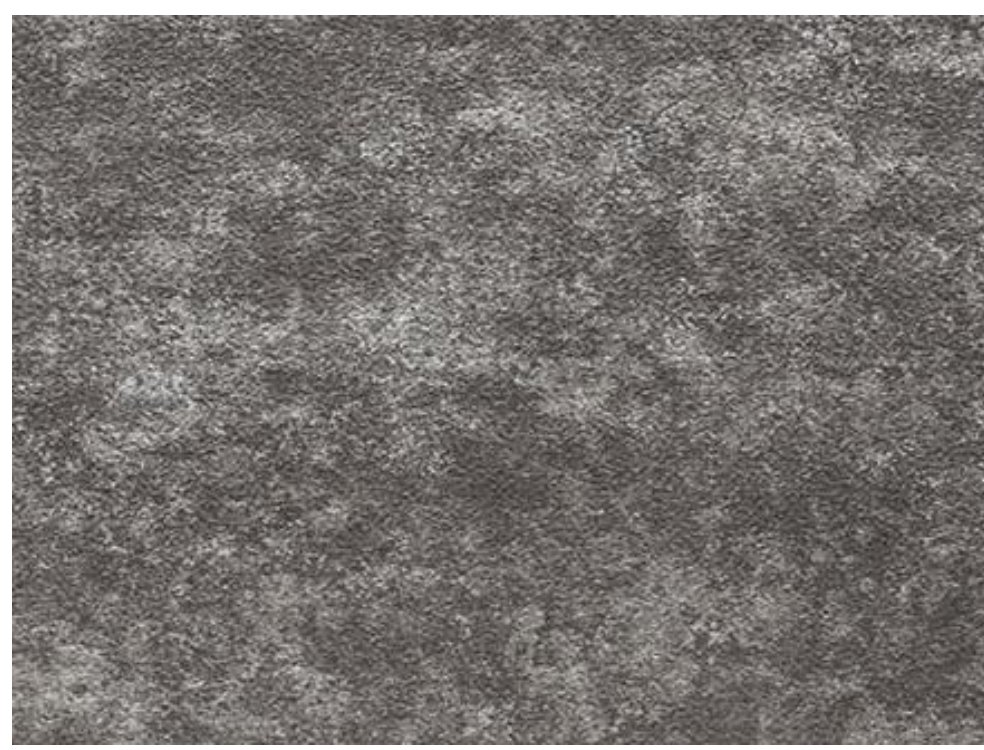
25 WEST ELEVATION  
3/32" = 1'-0"



3. MANUFACTURED STONE VENEER



4. MANUFACTURED BRICK VENEER



7. METAL PANEL TYPE - 1



8. METAL PANEL TYPE - 2



14. COMPOSITE LAP SIDING

EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
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5	CONCRETE PRECAST BAND	TBD	-	SEE PLANS	-	
6	1" LOW-E INSULATED CLEAR GLAZING	KAWNEER OR EQUAL	-	SEE PLANS	BRONZE	PROVIDE THERMALLY BROKEN FRAMES
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9	METAL PANEL SYSTEM	PAC-CLAD	-	-	BRONZE	
10	VINYL WINDOWS	MARVIN WINDOWS	-	-	BRONZE- PER WINDOW SCHEDULE	
11	VINYL DOORS AND TRANSOMS	MARVIN WINDOWS	-	-	-	
12	HIGH SPEED OVERHEAD GARAGE DOOR	TBD	-	-	-	INSULATED
13	ALUMINUM GUARDRAIL AND BALLUSTERS	TBD	-	-	BRONZE	42" AT ALL BALCONIES, WEST AND NORTH PATIO AREAS / 32" & 72" AT EAST COURTYARD
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15	PREFINISHED ALUMINUM DECK EDGE	PAC-CLAD	PREFABRICATED TIERED METAL	SEE PLANS	BRONZE	
17	PATIO AREA UNIT DIVIDER WALLS	TBD	PREFINISHED ALUMINUM	TBD	MATCH BRONZE	
19	PAINTED STEEL DOOR	-	-	-	PAINTED TO MATCH ADJACENT MATERIAL	



7. COURTYARD - EAST ELEVATION  
3/32" = 1'-0"



13. COURTYARD - SOUTH ELEVATION  
3/32" = 1'-0"



25. COURTYARD - WEST ELEVATION  
3/32" = 1'-0"



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JLA-AP.COM

JLA PROJECT NUMBER: W22-0421

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SIP SUBMITTAL

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: OCTOBER 18, 2022

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A202



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ARCHITECTS



JLA  
ARCHITECTS

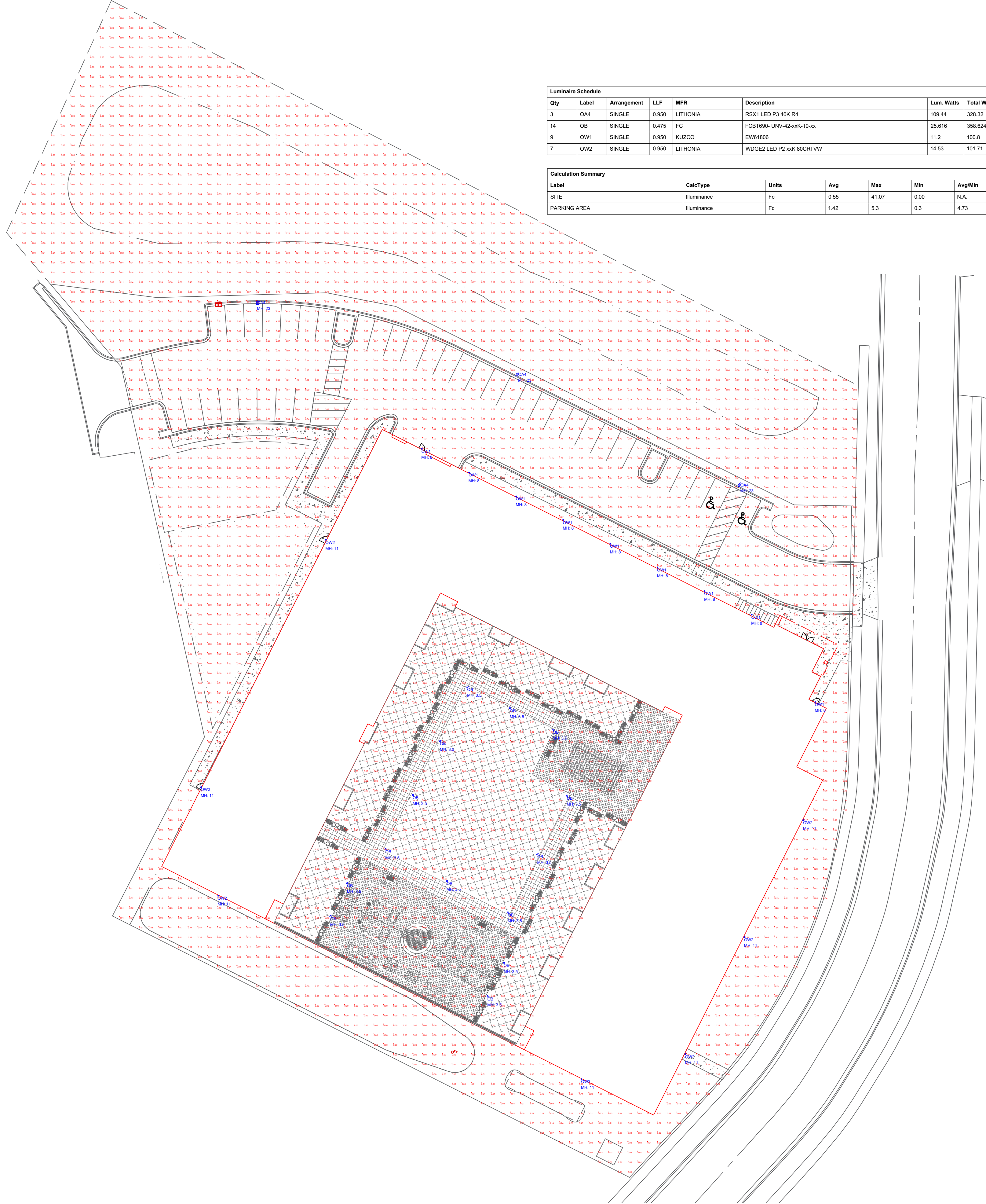




JLA  
ARCHITECTS



APPENDIX 'F'  
SPECIFIC IMPLEMENTATION PLAN  
EXTERIOR LIGHTING AND PHOTOMETRIC PLANS



Luminaire Schedule							Lum. Watts	Total Watts	Lum. Lumens
Qty	Label	Arrangement	LLF	MFR	Description				
3	OA4	SINGLE	0.950	LITHONIA	RSX1 LED P3 40X R4	109.44	328.32	14206	
14	OB	SINGLE	0.475	FC	FCBT690-UNV-42-xxx-10-xxx	25.616	358.624	1915	
9	OW1	SINGLE	0.950	KUZZO	EW11806	11.2	100.8	747	
7	OW2	SINGLE	0.950	LITHONIA	WDGE2 LED P2 xxx 80CRI VW	14.53	101.71	2076	

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.55	41.07	0.00	N.A.	N.A.
PARKING AREA	Illuminance	Fc	1.42	5.3	0.3	4.73	17.67



#	DATE	COMMENTS
REVISIONS		

DRAWN BY : AD  
 DATE : OCT 10, 2022  
 SCALE : 1' = 30'-0"

AVALON APARTMENTS  
 FITCHBURG, WISCONSIN  
 SITE LAYOUT



**Enterprise Lighting Ltd**  
*Manufacturers' Representative*

**Date: Oct 11, 2022**

Enterprise Lighting, LTD.  
2007 Pewaukee Rd.  
Waukesha WI 53188  
Phone: (262) 953-2700  
Fax: (262) 953-2710

Job Name  
**Avalon Apartments - Site Lighting**  
ELL22-116791  
Fitchburg WI

Bid Date  
Oct 10, 2022

Submittal Date  
Oct 11, 2022



Enterprise Lighting Ltd  
Manufacturers' Representative

# Transmittal

Enterprise Lighting, LTD.  
2007 Pewaukee Rd.  
Waukesha WI 53188  
Phone: (262) 953-2700  
From: **Bonnie Bartlein**

**Project** Avalon Apartments - Site Lighting  
**Quote#** ELL22-116791  
**Location** Fitchburg WI  
Contact:

ATTACHED WE ARE SENDING YOU 1 COPY OF THE FOLLOWING ITEM:

- |  |   |        |
|--|---|--------|
| <input checked="" type="checkbox"/> Drawings | <input type="checkbox"/> Specifications | Other: |
| <input type="checkbox"/> Prints              | <input type="checkbox"/> Information    |        |
| <input type="checkbox"/> Plans               | <input type="checkbox"/> Submittals     |        |

THESE ARE TRANSMITTED FOR:

- |  |   |                                 |
|--|---|---------------------------------|
| <input type="checkbox"/> Prior Approval        | <input type="checkbox"/> Resubmittal for Approval | <input type="checkbox"/> Record |
| <input checked="" type="checkbox"/> Approval   | <input type="checkbox"/> Corrections              | Bids due on:                    |
| <input type="checkbox"/> Approval as Submitted | <input type="checkbox"/> Your Use                 | Other:                          |
| <input type="checkbox"/> Approval as Noted     | <input type="checkbox"/> Review and Comment       |                                 |

Type	MFG	Part
OA4	Lithonia Exterior	RSX1 LED P3 XXK R4 MVOLT SPA STANDARD FINISH
	<b>Item Note:</b> Confirm finish	
OA4	Lithonia Exterior	SSS 20 4C DM19AS STANDARD FINISH
	<b>Item Note:</b> Confirm finish	
OB	FC Lighting	FCBT690-UNV-42-XXK-10L- STANDARD FINISH
	<b>Item Note:</b> Confirm finish	
OW1	Kuzco Lighting	EW61806
OW2	Lithonia Exterior	WDGE2 ED P2 XXK 80CRI VW MVOLT SRM STANDARD FINISH
	<b>Item Note:</b> Confirm finish	



# RSX1 LED Area Luminaire



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

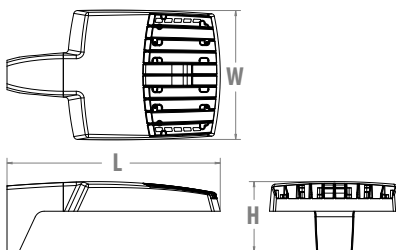
## Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

## Specifications

<b>EPA (ft<sup>2</sup>@0°):</b>	0.57 ft <sup>2</sup> (0.05 m <sup>2</sup> )
<b>Length:</b>	21.8" (55.4 cm) (SPA mount)
<b>Width:</b>	13.3" (33.8 cm)
<b>Height:</b>	3.0" (7.6 cm) Main Body 7.2" (18.4 cm) Arm
<b>Weight (SPA mount):</b>	22.0 lbs (10.0 kg)



## Ordering Information

## EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DDBXD

RSX1 LED	XXK = Specify		MVOLT = Specify					
Series	Performance Package	Color Temperature	Distribution		Voltage	Mounting		
RSX1 LED	P1	30K 3000K	R2	Type 2 Wide	MVOLT (120V-277V) <sup>3</sup>	SPA Square pole mounting (3.0" min. SQ pole for 1 at 90°, 3.5" min. SQ pole for 2, 3, 4 at 90°)		
	P2	40K 4000K	R3	Type 3 Wide	HVOLT (347V-480V) <sup>3</sup>	RPA Round pole mounting (3.2" min. dia. RNU pole for 2, 3, 4 at 90°, 3.0" min. dia. RNU pole for 1 at 90°, 2 at 180°, 3 at 120°)		
	P3	50K 5000K	R3S	Type 3 Short	XVOLT (277V-480V) <sup>4</sup>	MA Mast arm adaptor (fits 2-3/8" OD horizontal tenon)		
	P4			R4	Type 4 Wide	(use specific voltage for options as noted)	IS Adjustable slipfitter (fits 2-3/8" OD tenon) <sup>6</sup>	
				R4S	Type 4 Short		120 <sup>3</sup>	277 <sup>5</sup>
R5	Type 5 Wide <sup>1</sup>	208 <sup>3</sup>	347 <sup>5</sup>	WBASC Wall bracket with surface conduit box				
R5S	Type 5 Short <sup>1</sup>	240 <sup>3</sup>	480 <sup>5</sup>	AASP Adjustable tilt arm square pole mounting <sup>6</sup>				
AFR	Automotive Front Row			AARP Adjustable tilt arm round pole mounting <sup>6</sup>				
AFRR90	Automotive Front Row Right Rotated			AAWB Adjustable tilt arm with wall bracket <sup>6</sup>				
AFRL90	Automotive Front Row Left Rotated			AAWSC Adjustable tilt arm wall bracket and surface conduit box <sup>6</sup>				

Options		STANDARD FINISH = Specify	
Shipped Installed		Finish	
HS	House-side shield <sup>7</sup>	DDBXD	Dark Bronze
PE	Photocontrol, button style <sup>8,9</sup>	DBLXD	Black
PEX	Photocontrol external threaded, adjustable <sup>9,10</sup>	DNAXD	Natural Aluminum
PER7	Seven-wire twist-lock receptacle only (no controls) <sup>9,11,12,13</sup>	DWHXD	White
CE34	Conduit entry 3/4" NPT (Qty 2)	DBBTXD	Textured Dark Bronze
SF	Single fuse (120, 277, 347) <sup>5</sup>	DBLXD	Textured Black
DF	Double fuse (208, 240, 480) <sup>5</sup>	DNATXD	Textured Natural Aluminum
SPD20KV	20KV Surge pack (10KV standard)	DWHGXD	Textured White
FAO	Field adjustable output <sup>9,13</sup>		
DMG	0-10V dimming extend out back of housing for external control (control ordered separate) <sup>9,13</sup>		
	<b>Shipped Separately (requires some field assembly)</b>		
	EGS External glare shield <sup>7</sup>		
	EGFV External glare full visor (360° around light aperture) <sup>7</sup>		
	BS Bird spikes <sup>17</sup>		





## Ordering Information

### Accessories

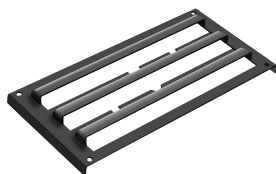
Ordered and shipped separately.

RSX1HS	RSX1 House side shield (includes 1 shield)
RSX1HSAFRR U	RSX1 House side shield for AFR rotated optics (includes 1 shield)
RSX1EGS (FINISH) U	External glare shield (specify finish)
RSX1EGV (FINISH) U	External glare full visor (specify finish)
RSXRPA (FINISH) U	RSX Universal round pole adaptor plate (specify finish)
RSXWBA (FINISH) U	RSX WBA wall bracket (specify finish) <sup>1</sup>
RSXSCB (FINISH) U	RSX Surface conduit box (specify finish, for use with WBA, WBA not included)
DLL127F 1.5 JU	Photocell -SSL twist-lock (120-277V) <sup>18</sup>
DLL347F 1.5 CUL JU	Photocell -SSL twist-lock (347V) <sup>18</sup>
DLL480F 1.5 CUL JU	Photocell -SSL twist-lock (480V) <sup>18</sup>
DSHORT SBK U	Shorting cap <sup>18</sup>

### NOTES

- Any Type 5 distribution, is not available with WBA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- XVOLT driver not available with P1 or P2. XVOLT driver operates on any line voltage from 277V-480V (50/60 Hz). XVOLT not available with fusing (SF or DF) and not available with PE or PEX.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Maximum tilt is 90° above horizontal.
- It may be ordered as an accessory.
- Requires MVOLT or 347V.
- Not available in combination with other light sensing control options (following options cannot be combined: PE, PEX, PER7, FAO, DMG, PIRHN). Exception: PE or PEX and FAO can be combined.
- Requires 120V, 208V, 240V or 277V.
- Twistlock photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included. Dimming leads capped for future use.
- For units with option PER7, the mounting must be restricted to +/- 45° from horizontal aim per ANSI C136.10-2010.
- Two or more of the following options cannot be combined including DMG, PER7, FAO and PIRHN.
- Must be ordered with PIRHN.
- Requires MVOLT or HVOLT.
- Must be ordered with NLTAIR2. For additional information on PIRHN visit [here](#).
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.

## External Shields



House Side Shield



External Glare Shield

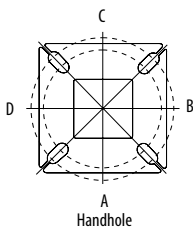


External 360 Full Visor

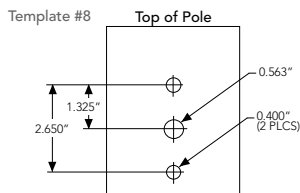
## Pole/Mounting Information

Accessories including bullhorns, cross arms and other adapters are available under the accessories tab at Lithonia's Outdoor Poles and Arms product page. Click here to visit [Accessories](#).

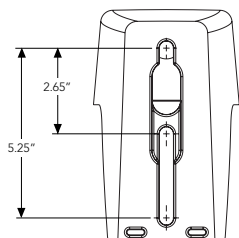
### HANDHOLE ORIENTATION



### RSX POLE DRILLING



### RSX STANDARD ARM & ADJUSTABLE ARM



### Round Tenon Mount - Pole Top Slipfitters

Tenon O.D.	RSX Mounting	Single	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2 - 3/8"	RPA, AARP	AS3-5190	AS3-5280	AS3-5290	AS3-5320	AS3-5390	AS3-5490
2 - 7/8"	RPA, AARP	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	RPA, AARP	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

### Drill/Side Location by Configuration Type

Drilling Template	Mounting Option	Single	2 @ 180	2 @ 90	3 @ 120	3 @ 90	4 @ 90
#8	Head Location	Side B	Side B & D	Side B & C	Round Pole Only	Side B, C & D	Side A, B, C & D
	Drill Nomenclature	DM19AS	DM28AS	DM29AS	DM32AS	DM39AS	DM49AS

### RSX1 - Luminaire EPA

\*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

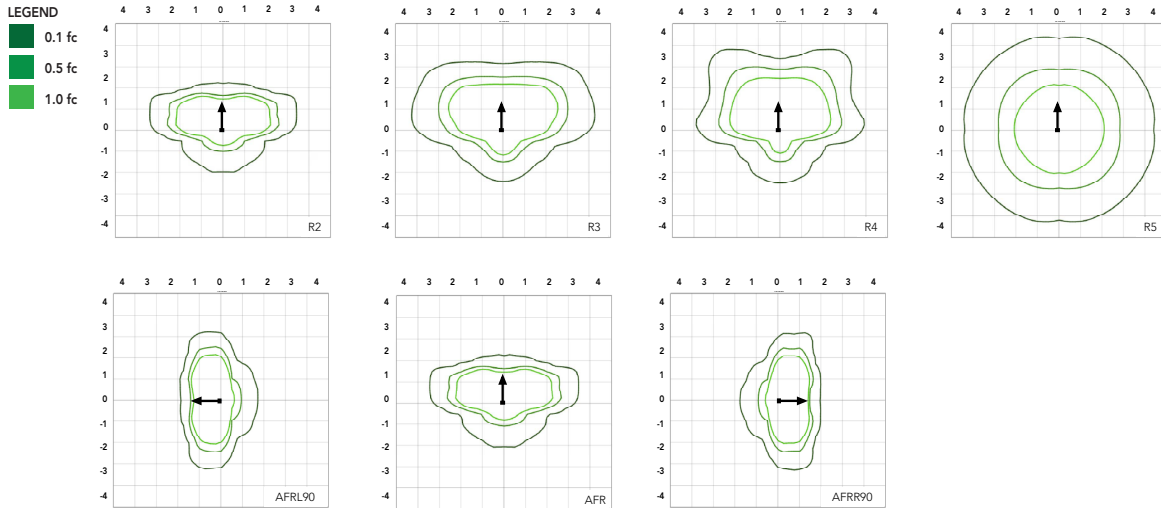
Fixture Quantity & Mounting Configuration		Single	2 @ 90	2 @ 180	3 @ 90	3 @ 120	4 @ 90	2 Side by Side	3 Side by Side	4 Side by Side
SPA - Square Pole Adaptor	Tilt									
	0°	0.57	1.03	1.05	1.52	1.36	2.03	1.31	1.7	2.26
	RPA - Round Pole Adaptor	0.62	1.08	1.15	1.62	1.46	2.13	1.36	1.8	2.36
MA - Mast Arm Adaptor		0.49	0.95	0.89	1.36	1.2	1.87	1.23	1.54	2.1
IS - Integral Slipfitter AASP/AARP - Adjustable Arm Square/Round Pole	0°	0.57	1.03	1.05	1.52	1.36	2.03	1.31	1.7	2.26
	10°	0.68	1.34	1.33	2	1.74	2.64	1.35	2.03	2.71
	20°	0.87	1.71	1.73	2.56	2.26	3.42	1.75	2.62	3.49
	30°	1.24	2.19	2.3	3.21	2.87	4.36	2.49	3.73	4.97
	40°	1.81	2.68	2.98	3.85	3.68	5.30	3.62	5.43	7.24
	45°	2.11	2.92	3.44	4.2	4.08	5.77	4.22	6.33	8.44
	50°	2.31	3.17	3.72	4.52	4.44	6.26	4.62	6.94	9.25
	60°	2.71	3.66	4.38	5.21	5.15	7.24	5.43	8.14	10.86
	70°	2.78	3.98	4.54	5.67	5.47	7.91	5.52	8.27	11.03
	80°	2.76	4.18	4.62	5.97	5.76	8.31	5.51	8.27	11.03
90°	2.73	4.25	4.64	6.11	5.91	8.47	5.45	8.18	10.97	



**Photometric Diagrams**

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [RSX Area homepage](#).

Isofootcandle plots for the RSX1 LED P4 40K. Distances are in units of mounting height (20').



**Performance Data**

**Lumen Ambient Temperature (LAT) Multipliers**

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97
45°C	113°F	0.96
50°C	122°F	0.95

**Electrical Load**

Performance Package	System Watts (W)	Current (A)					
		120V	208V	240V	277V	347V	480V
P1	51W	0.42	0.25	0.21	0.19	0.14	0.11
P2	72W	0.60	0.35	0.30	0.26	0.21	0.15
P3	109W	0.91	0.52	0.45	0.39	0.31	0.23
P4	133W	1.11	0.64	0.55	0.48	0.38	0.27

**Projected LED Lumen Maintenance**

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.97	>0.95	>0.92

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.



**Performance Data**

**Lumen Output**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Distribution Type	30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	51W	R2	6,482	1	0	1	126	7,121	1	0	1	139	7,121	1	0	1	139
		R3	6,459	1	0	2	127	7,096	1	0	2	139	7,096	1	0	2	139
		R3S	6,631	1	0	1	129	7,286	1	0	2	142	7,286	1	0	2	142
		R4	6,543	1	0	2	128	7,189	1	0	2	141	7,189	1	0	2	141
		R4S	6,313	1	0	1	124	6,936	1	0	1	136	6,936	1	0	1	136
		R5	6,631	3	0	2	130	7,286	3	0	2	143	7,286	3	0	2	143
		R5S	6,807	3	0	1	133	7,479	3	0	1	147	7,479	3	0	1	147
		AFR	6,473	1	0	1	127	7,112	1	0	1	139	7,112	1	0	1	139
		AFRR90	6,535	2	0	2	127	7,179	2	0	2	140	7,179	2	0	2	140
		AFRL90	6,562	2	0	1	128	7,210	2	0	2	140	7,210	2	0	2	140
P2	72W	R2	8,991	2	0	1	123	9,878	2	0	1	135	9,878	2	0	1	135
		R3	8,959	2	0	2	124	9,843	2	0	2	137	9,843	2	0	2	137
		R3S	9,198	2	0	2	126	10,106	2	0	2	139	10,106	2	0	2	139
		R4	9,077	2	0	2	126	9,972	2	0	2	139	9,972	2	0	2	139
		R4S	8,757	1	0	2	122	9,622	2	0	2	134	9,622	2	0	2	134
		R5	9,198	4	0	2	128	10,106	4	0	2	140	10,106	4	0	2	140
		R5S	9,443	3	0	1	131	10,374	3	0	1	144	10,374	3	0	1	144
		AFR	8,979	2	0	1	125	9,865	2	0	1	137	9,865	2	0	1	137
		AFRR90	9,064	3	0	2	124	9,959	3	0	2	137	9,959	3	0	2	137
		AFRL90	9,102	3	0	2	125	10,001	3	0	2	137	10,001	3	0	2	137
P3	109W	R2	12,808	2	0	1	117	14,072	2	0	2	129	14,072	2	0	2	129
		R3	12,763	2	0	2	117	14,023	2	0	2	129	14,023	2	0	2	129
		R3S	13,104	2	0	2	120	14,397	2	0	2	132	14,397	2	0	2	132
		R4	12,930	2	0	2	119	14,206	2	0	2	130	14,206	2	0	2	130
		R4S	12,475	2	0	2	114	13,707	2	0	2	126	13,707	2	0	2	126
		R5	13,104	4	0	2	120	14,397	4	0	2	132	14,397	4	0	2	132
		R5S	13,452	3	0	2	123	14,779	3	0	2	136	14,779	3	0	2	136
		AFR	12,791	2	0	1	117	14,053	2	0	2	129	14,053	2	0	2	129
		AFRR90	12,913	3	0	3	118	14,187	3	0	3	130	14,187	3	0	3	130
		AFRL90	12,967	3	0	2	118	14,247	3	0	3	130	14,247	3	0	3	130
P4	133W	R2	14,943	2	0	2	112	16,417	2	0	2	123	16,417	2	0	2	123
		R3	14,890	2	0	3	112	16,360	2	0	3	123	16,360	2	0	3	123
		R3S	15,287	2	0	2	115	16,796	2	0	2	126	16,796	2	0	2	126
		R4	15,085	2	0	3	113	16,574	2	0	3	125	16,574	2	0	3	125
		R4S	14,554	2	0	2	109	15,991	2	0	2	120	15,991	2	0	2	120
		R5	15,287	4	0	2	115	16,796	4	0	2	126	16,796	4	0	2	126
		R5S	15,693	4	0	2	118	17,242	4	0	2	130	17,242	4	0	2	130
		AFR	14,923	2	0	2	112	16,395	2	0	2	123	16,395	2	0	2	123
		AFRR90	15,065	3	0	3	113	16,551	3	0	3	124	16,551	3	0	3	124
		AFRL90	15,128	3	0	3	114	16,621	3	0	3	125	16,621	3	0	3	125

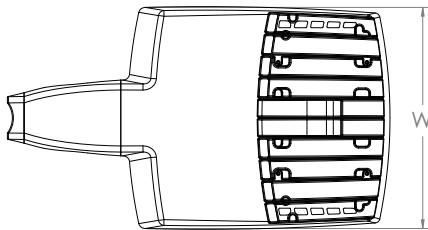


## Dimensions & Weights

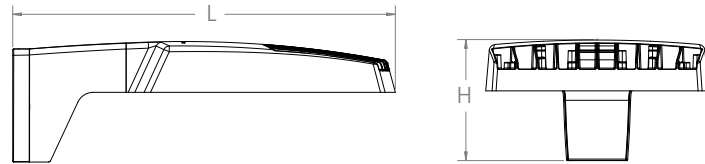
### Luminaire Weight by Mounting Type

Mounting Configuration	Total Luminaire Weight
SPA	22 lbs
RPA	24 lbs
MA	22 lbs
WBA	25 lbs
WBASC	28 lbs
IS	25 lbs
AASP	25 lbs
AARP	27 lbs
AAWB	28 lbs
AAWSC	31 lbs

#### RSX1 with Round Pole Adapter (RPA)



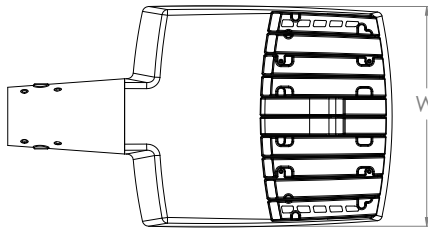
Length: 22.8" (57.9 cm)  
Width: 13.3" (33.8 cm)  
Height: 3.0" (7.6 cm) Main Body  
7.2" (18.4 cm) Arm



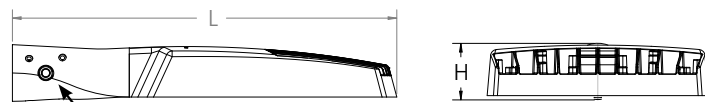
Note: RPA — Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.



#### RSX1 with Mast Arm Adapter (MA)

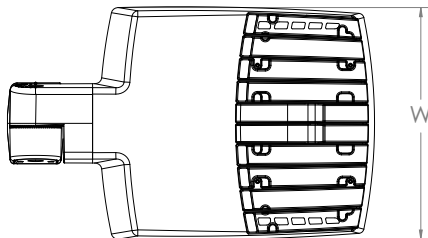


Length: 23.2" (59.1 cm)  
Width: 13.3" (33.8 cm)  
Height: 3.0" (7.6 cm) Main Body  
3.5" (8.9 cm) Arm

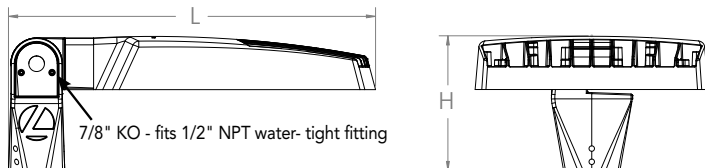


7/16" locking thru bolt/nut provided

#### RSX1 with Adjustable Slipfitter (IS)



Length: 20.7" (52.7 cm)  
Width: 13.3" (33.8 cm)  
Height: 3.0" (7.6 cm) Main Body  
7.6" (19.3 cm) Arm

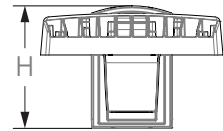
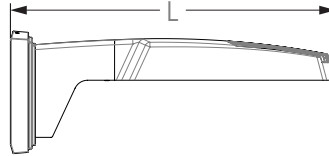
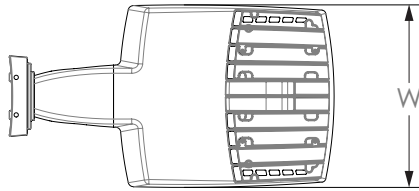


7/8" KO - fits 1/2" NPT water-tight fitting



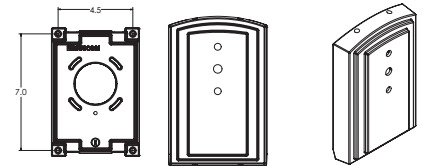
**Dimensions**

**RSX1 with Wall Bracket (WBA)**

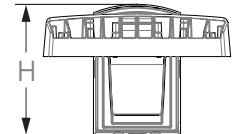
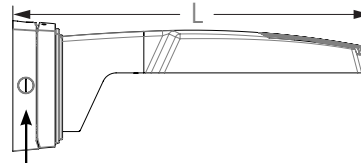
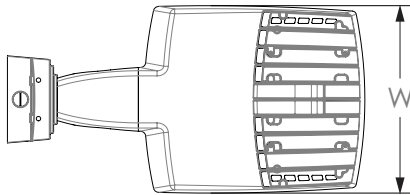


Length: 23.6" (59.9 cm)  
Width: 13.3" (33.8 cm)  
Height: 3.0" (7.6 cm) Main Body  
8.9" (22.6 cm) Arm

**Wall Bracket (WBA) Mounting Detail**



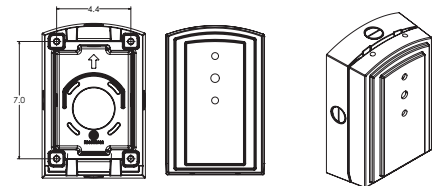
**RSX1 with Wall Bracket with Surface Conduit Box (WBASC)**



3/4" NPT taps with plugs - Qty (4) provided

Length: 25.3" (64.3 cm)  
Width: 13.3" (33.8 cm)  
Height: 3.0" (7.6 cm) Main Body  
9.2" (23.4 cm) Arm

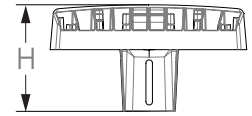
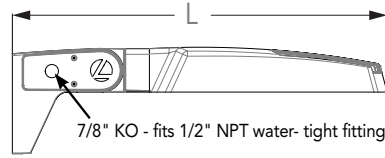
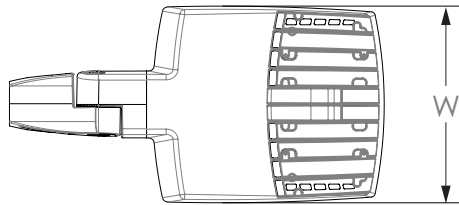
**Surface Conduit Box (SCB) Mounting Detail**



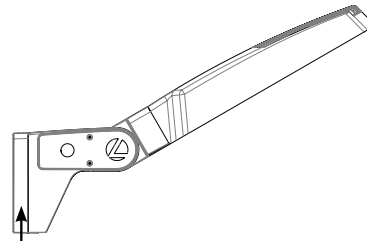


**Dimensions**

**RSX1 with Adjustable Tilt Arm - Square or Round Pole (AASP or AARP)**



Length: 25.3" (65.3 cm) AASP  
26.3" (66.8 cm) AARP  
Width: 13.3" (33.8 cm)  
Height: 3.0" (7.6 cm) Main Body  
7.2" (18.2 cm) Arm



**NOTE:**  
RPA - Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.

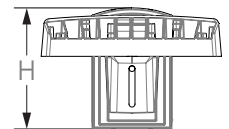
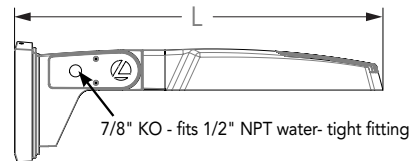
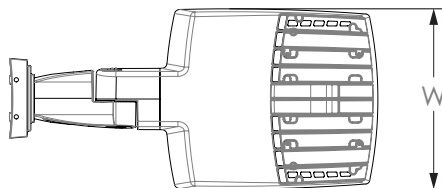


**Notes**

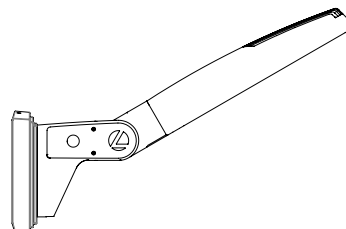
AASP: Requires 3.0" min. square pole for 1 at 90°. Requires 3.5" min. square pole for mounting 2, 3, 4 at 90°.

AARP: Requires 3.2" min. dia. round pole for 2, 3, 4 at 90°. Requires 3.0" min. dia. round pole for mounting 1 at 90°, 2 at 180°, 3 at 120°.

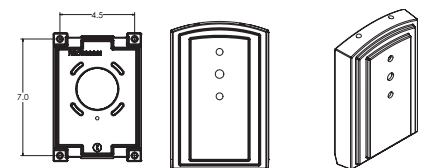
**RSX1 with Adjustable Tilt Arm with Wall Bracket (AAWB)**



Length: 27.1" (68.8 cm)  
Width: 13.3" (33.8 cm)  
Height: 3.0" (7.6 cm) Main Body  
8.9" (22.6 cm) Arm



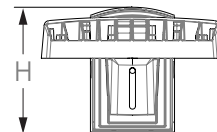
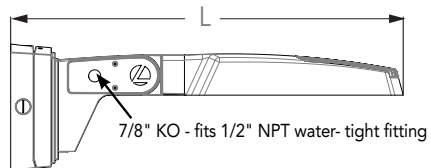
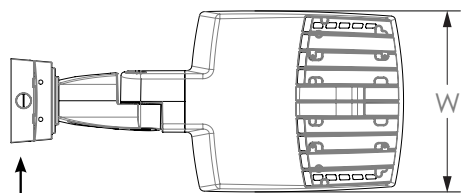
**Wall Bracket (WBA) Mounting Detail**





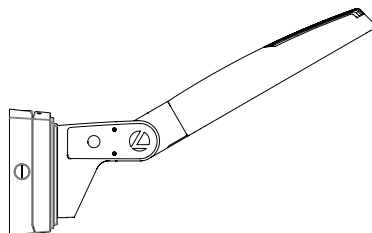
**Dimensions**

**RSX1 with Adjustable Tilt Arm with Wall Bracket and Surface Conduit Box (AAWSC)**

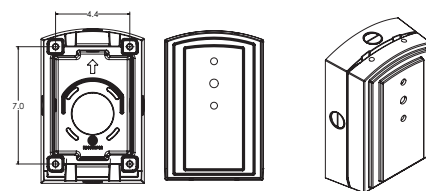


3/4" NPT taps with plugs - Qty (4) provided

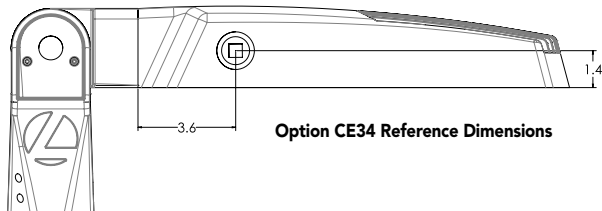
Length: 28.8" (73.2 cm)  
Width: 13.3" (33.8 cm)  
Height: 3.0" (7.6 cm) Main Body  
9.2" (23.4 cm) Arm



**Surface Conduit Box (SCB) Mounting Detail**

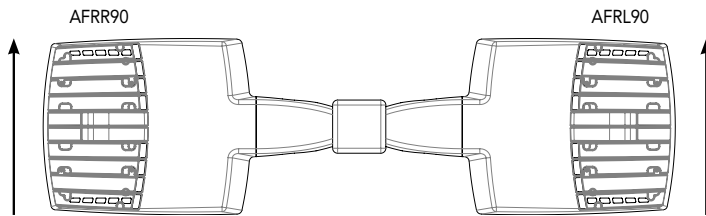


**Additional Reference Drawings**



Option CE34 Reference Dimensions

**Automotive Front Row - Rotated Optics (AFRL90/R90)**



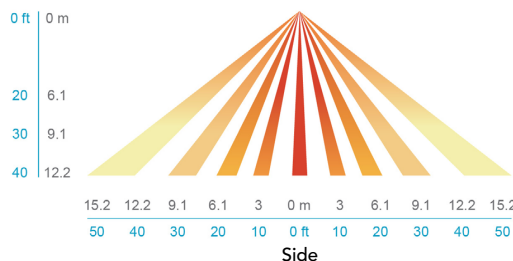
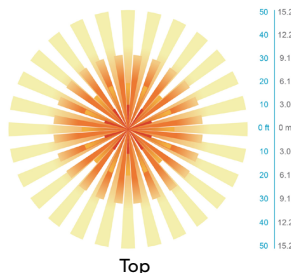
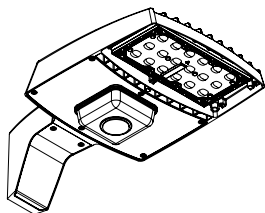
(Example: 2@180 - arrows indicate direction of light exiting the luminaire)



**nLight Control - Sensor Coverage and Settings**

**nLight Sensor Coverage Pattern**

NLTAIR2 PIRHN



Motion Sensor Default Settings - Option PIRHN						
Option	Dimmed State (unoccupied)	High Level (when occupied)	Photocell Operation	Dwell Time (occupancy time delay)	Ramp-up Time (from unoccupied to occupied)	Ramp-down Time (from occupied to unoccupied)
NLTAIR2 PIRHN	Approx. 30% Output	100% Output	Enabled @ 1.5FC	7.5 minutes	3 seconds	5 minutes

\*Note: NLTAIR2 PIRHN default settings including photocell set-point, high/low dim rates, and occupancy sensor time delay are all configurable using the Clarity Pro App. Sensor coverage pattern shown with luminaire at 0°. Sensor coverage pattern is affected when luminaire is titled.

**FEATURES & SPECIFICATIONS**

**INTENDED USE**

The RSX LED area family is designed to provide a long-lasting, energy-efficient solution for the one-for-one replacement of existing metal halide or high pressure sodium lighting. The RSX1 delivers 7,000 to 17,000 lumens and is ideal for replacing 70W to 400W HID pole-mounted luminaires in parking lots and other area lighting applications.

**CONSTRUCTION**

The RSX LED area luminaire features a rugged die-cast aluminum main body that uses heat-dissipating fins and flow-through venting to provide optimal thermal management that both enhances LED performance and extends component life. Integral "no drill" mounting arm allows the luminaire to be mounted on existing pole drillings, greatly reducing installation labor. The light engines and housing are sealed against moisture and environmental contaminants to IP66. The low-profile design results in a low EPA, allowing pole optimization. All mountings are rated for minimum 1.5 G vibration load per ANSI C136.31. 3G Mountings: Include SPA, RPA, MA, IS, AASP, and AARP rated for 3G vibration. 1.5G Mountings: Include WBA, WBASC, AAWB and AAWSC rated for 1.5G vibration.

**FINISH**

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures superior adhesion as well as a minimum finish thickness of 3 mils. The result is a high-quality finish that is warranted not to crack or peel.

**OPTICS**

Precision acrylic refractive lenses are engineered for superior application efficiency, distributing the light to where it is needed most. Available in short and wide pattern distributions including Type 2, Type 3, Type 3S, Type 4, Type 4S, Type 5, Type 5S, AFR (Automotive Front Row), and AFR rotated AFRR90 and ARFL90.

**ELECTRICAL**

Light engine(s) configurations consist of high-efficacy LEDs mounted on metal-core circuit boards and aluminum heat sinks to maximize heat dissipation. Light engines are IP66 rated. LED lumen maintenance is >L92/100,000 hours. CCT's of 3000K, 4000K and 5000K (minimum 70 CR) are available. Fixtures ship standard with 0-10v dimming driver. Class 1 electronic drivers ensure system power factor >90% and THD <20%. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

**STANDARD CONTROLS**

The RSX LED area luminaire has a wide assortment of control options. Dusk to dawn controls include MVOLT and 347V button-type photocells and NEMA twist-lock photocell receptacles.

**nLIGHT AIR CONTROLS**

The RSX LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing with photocontrol functionality and is suitable for mounting heights up to 40 feet. No commissioning is required when using factory default settings that provide basic stand-alone motion occupancy dimming that is switched on and off with a built-in photocell. See chart above for motion sensor default out-of-box settings. For more advanced wireless functionality, such as group dimming, nLight AIR can be commissioned using a smartphone and the easy-to-use CLAIRITY app. nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclypse. Additional information about nLight Air can be found [here](#).

**INSTALLATION**

Integral "no-drill" mounting arm allows for fast, easy mounting using existing pole drillings. Select the "SPA" option for square poles and the "RPA" option to mount to round poles. Note, the RPA mount can also be used for mounting to square poles by omitting the RPA adapter plate. Select the "MA" option to attach the luminaire to a 2 3/8" horizontal mast arm or the "IS" option for an adjustable slipfitter that mounts on a 2 3/8" OD tenon. The adjustable slipfitter has an integral junction box and offers easy installation. Can be tilted up to 90° above horizontal. Additional mountings are available including a wall bracket, adjustable tilt arm for direct-to-pole and wall and a surface conduit box for wall mount applications.

**LISTINGS**

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only. U.S. Patent No. D882, 1465

**BUY AMERICAN**

Product with the BAA option is assembled in the USA and meets the Buy America(h) government procurement requirements under FAR, DFARS and DOT. Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.

**WARRANTY**

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





## FEATURES & SPECIFICATIONS

**INTENDED USE** — These specifications are for USA standards only. Square Straight Steel is a general purpose light pole for up to 39-foot mounting heights. This pole provides a robust yet cost effective option for mounting area lights and floodlights.

### CONSTRUCTION

**Pole Shaft:** The pole shaft is of uniform dimension and wall thickness and is made of a weldable-grade, hot-rolled, commercial-quality steel tubing with a minimum yield of 55 KSI (11-gauge, 0.120"), or 50 KSI (7-gauge, 0.179"). Shaft is one-piece with a full-length longitudinal high-frequency electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4", 5" and 6".

**Pole Top:** Options include tenon top, drilled for side mount fixture, tenon with drilling (includes extra handhole) and open top. Side drilled and open top poles include a removable top cap.

**Handhole:** A reinforced handhole with grounding provision is provided at 18" from the base on side A. Positioning the handhole lower may not be possible and requires engineering review; consult Tech Support-Outdoor for further information. Every handhole includes a cover and cover attachment hardware. The handhole has a nominal dimension of 2.5" x 5".

**Base Cover:** A durable ABS plastic two-piece full base cover, finished to match the pole, is provided with each pole assembly. Additional base cover options are available upon request.

**Anchor Base/Bolts:** Anchor base is fabricated from steel that meets ASTM A36 standards and can be altered to match existing foundations; consult factory for modifications. Anchor bolts are manufactured to ASTM F1554 Standards grade 55, (55 KSI minimum yield strength and tensile strength of 75-95 KSI). Top threaded portion (nominal 12") is hot-dipped galvanized per ASTM A-153.

**HARDWARE** — All structural fasteners are high-strength galvanized carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

**FINISH** — Extra durable painted finish is coated with TGIC (Triglycidyl Isocyanurate) Polyester powder that meets 5A and 5B classifications of ASTM D3359. Powder-coat finishes include Dark Bronze, White, Black, and Natural Aluminum colors. Architectural Colors and Special Finishes are available by quote and include, but are not limited to Paint over Hot-dipped Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes.

**BUY AMERICAN** — Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.

**INSTALLATION** — **Do not** erect poles without having fixtures installed. Factory-supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use Lithonia Lighting factory templates. If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage. Lithonia Lighting is not responsible for the foundation design.

**WARRANTY** — 1-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**NOTE:** Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

Catalog Number
Notes
Type



### Anchor Base Poles

# SSS

### SQUARE STRAIGHT STEEL





## SSS Square Straight Steel Poles

**ORDERING INFORMATION**

Lead times will vary depending on options selected. Consult with your sales representative.

**Example:** SSS 20 5C DM19 DDBXD

Series	Nominal fixture mounting height	Nominal shaft base size/wall thickness <sup>2</sup>	Mounting <sup>3</sup>	Options	Finish <sup>14</sup>	
SSS <sup>1</sup>	20 = 20 Feet  10'-39' (for 1/2 ft increments, add -6 to the pole height. Ex: 20-6 equals 20ft 6in.)  See technical information table for complete ordering information.)	4C 4" 11g (0.120") 4G 4" 7g (0.179") 5C 5" 11g (0.120") 5G 5" 7g (0.179") 6G 6" 7g (0.179")  See technical information table for complete ordering information.)	<b>Tenon mounting</b> PT Open top (includes top cap) T20 2-3/8" O.D. (2" NPS) T25 2-7/8" O.D. (2-1/2" NPS) T30 3-1/2" O.D. (3" NPS) T35 4" O.D. (3-1/2" NPS)  <b>Drill mounting<sup>4</sup></b> KAC/KAD/KSE/KSF/KVR/KVF DM19 1 at 90° DM28 2 at 180° DM28 PL 2 at 180° with one side plugged DM29 2 at 90° DM39 3 at 90° DM49 4 at 90°  CSX/DSX/RSX/AERIS™/OMERO™/HLA/KAX Drill mounting <sup>4</sup> DM19AS 1 at 90° DM28AS 2 at 180° DM29AS 2 at 90° DM39AS 3 at 90° DM49AS 4 at 90°  RAD drill mounting <sup>4,5</sup> DM19RAD 1 at 90° DM28RAD 2 at 180° DM29RAD 2 at 90° DM39RAD 3 at 90° DM49RAD 4 at 90°  ESX Drill mounting <sup>4</sup> DM19ESX 1 at 90° DM28ESX 2 at 180° DM29ESX 2 at 90° DM39ESX 3 at 90° DM49ESX 4 at 90°	<b>AERIS™ Suspend drill mounting<sup>4,6</sup></b> DM19AST_ 1 at 90° DM28AST_ 2 at 180° DM29AST_ 2 at 90° DM39AST_ 3 at 90° DM49AST_ 4 at 90°  <b>OMERO™ Suspend drill mounting<sup>4,6</sup></b> DM19MRT_ 1 at 90° DM28MRT_ 2 at 180° DM29MRT_ 2 at 90° DM39MRT_ 3 at 90° DM49MRT_ 4 at 90°	<b>Shipped installed</b> VD Vibration damper <sup>7</sup> HAxy Horizontal arm bracket (1 fixture) <sup>8,9</sup> FDLxy Festoon outlet less electrical <sup>8,10</sup> CPL12/xy 1/2" coupling <sup>8</sup> CPL34/xy 3/4" coupling <sup>8</sup> CPL1/xy 1" coupling <sup>8</sup> NPL12/xy 1/2" threaded nipple <sup>8</sup> NPL34/xy 3/4" threaded nipple <sup>8</sup> NPL1/xy 1" threaded nipple <sup>8</sup> EHHxy Extra handhole <sup>8,11</sup> NEC NEC 410.30 compliant gasketed handhole (Not UL Labeled) IC Interior coating <sup>12</sup>  L/AB Less anchor bolts (Include when anchor bolts are not needed) TP Tamper resistant handhole cover fasteners UL UL listed with label (Includes NEC compliant cover) BAA Buy America(n) Act Compliant <sup>13</sup>	<b>STANDARD FINISH = Specify</b>  <b>Super durable paint colors</b> DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBL BXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white  <b>Other finishes</b> GALV Galvanized finish <b>Architectural colors and special finishes</b> Paint over Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes available.

**NOTES:**

- Handhole covers (HHC), full base covers (FBC) and top caps (TC) shipped separately. No need to call out in nomenclature. For additional parts please order as replacements.
- Wall thickness will be signified with a "C" (11 Gauge) or a "G" (7-Gauge) in nomenclature. "C" - 0.120" | "G" - 0.179".
- PT open top poles include top cap. When ordering tenon mounting and drill mounting for the same pole, follow this example: DM28/T20. The combination includes a required extra handhole.
- Refer to the fixture spec sheet for the correct drilling template pattern and orientation compatibility.
- All RAD drilling's require a minimum top O.D. of 4".
- Insert "1" or "2" to designate fixture size; e.g. DM19AST2.
- On 4" and 5" poles, VD cannot be installed if provisions (EHH, FDL, NPL, CPL) are located higher than 2/3 of the pole's total height.  
*Example: Pole height is 25ft, A provision cannot be placed above 16ft.*
- Specify location and orientation when ordering option.  
**For "x":** Specify the height above the base of pole in feet or feet and inches; separate feet and inches with a "-".  
*Example: 5ft = 5 and 20ft 3in = 20-3*  
**For "y":** Specify orientation from handhole (A,B,C,D) Refer to the Handhole Orientation diagram below.  
*Example: 1/2" coupling at 5' 8"; orientation C = CPL12/5-8C*
- Horizontal arm is 18" x 2-3/8" O.D. tenon standard, with radius curve providing 12" rise and 2-3/8" O.D. If ordering two horizontal arm at the same height, specify with HAxy. *Example: HA20BD.*
- FDL does not come with GFCI outlet or handhole cover. These must be supplied by contractor or electrician.
- Combination of tenon-top and drill mount includes extra handhole. EHH includes cover.
- Provides enhanced corrosion resistance.
- Use when mill certifications are required.
- Finish must be specified. Additional colors available; see Architectural Colors brochure linked [here](#) (Form No. 794.3).

**Accessories:** Order as separate catalog number.

- PL DT20 Plugs for ESX drillings
- PL DT8 Plugs for DMxxAS drillings

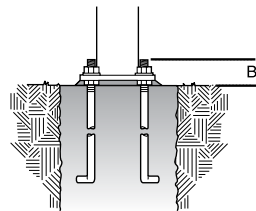
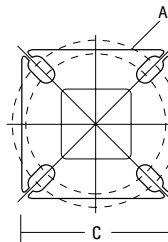
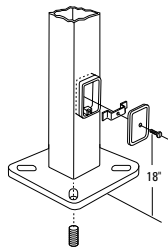


## SSS Square Straight Steel Poles

TECHNICAL INFORMATION — EPA (ft <sup>2</sup> ) with 1.3 gust													
Catalog Number	Nominal Shaft Length (ft.)*	Pole Shaft Size (Base in. x Top in. x ft.)	Wall thick (in)	Gauge	EPA (ft <sup>2</sup> ) with 1.3 gust						Bolt circle (in)	Bolt size (in. x in. x in.)	Approximate ship weight (lbs.)
					80 MPH	Max. weight	90 MPH	Max. weight	100 MPH	Max. weight			
SSS 10 4C	10	4.0 x 10.0	0.120"	11	30.6	765	23.8	595	18.9	473	8-9	3/4 x 18 x 3	75
SSS 12 4C	12	4.0 x 12.0	0.120"	11	24.4	610	18.8	470	14.8	370	8-9	3/4 x 18 x 3	90
SSS 14 4C	14	4.0 x 14.0	0.120"	11	19.9	498	15.1	378	11.7	293	8-9	3/4 x 18 x 3	100
SSS 16 4C	16	4.0 x 16.0	0.120"	11	15.9	398	11.8	295	8.9	223	8-9	3/4 x 18 x 3	115
SSS 18 4C	18	4.0 x 18.0	0.120"	11	12.6	315	9.2	230	6.7	168	8-9	3/4 x 18 x 3	125
SSS 20 4C	20	4.0 x 20.0	0.120"	11	9.6	240	6.7	167	4.5	150	8-9	3/4 x 18 x 3	140
SSS 20 4G	20	4.0 x 20.0	0.179"	7	14	350	11	275	8	200	8-9	3/4 x 30 x 3	198
SSS 20 5C	20	5.0 x 20.0	0.120"	11	17.7	443	12.7	343	9.4	235	10-12	1 x 36 x 4	185
SSS 20 5G	20	5.0 x 20.0	0.179"	7	28.1	703	21.4	535	16.2	405	10-12	1 x 36 x 4	265
SSS 25 4C	25	4.0 x 25.0	0.120"	11	4.8	150	2.6	100	1	50	8-9	3/4 x 18 x 3	170
SSS 25 4G	25	4.0 x 25.0	0.179"	7	10.8	270	7.7	188	5.4	135	8-9	3/4 x 30 x 3	245
SSS 25 5C	25	5.0 x 25.0	0.120"	11	9.8	245	6.3	157	3.7	150	10-12	1 x 36 x 4	225
SSS 25 5G	25	5.0 x 25.0	0.179"	7	18.5	463	13.3	333	9.5	238	10-12	1 x 36 x 4	360
SSS 30 4G	30	4.0 x 30.0	0.179"	7	6.7	168	4.4	110	2.6	65	8-9	3/4 x 30 x 3	295
SSS 30 5C	30	5.0 x 30.0	0.120"	11	4.7	150	2	50	--	--	10-12	1 x 36 x 4	265
SSS 30 5G	30	5.0 x 30.0	0.179"	7	10.7	267	6.7	167	3.9	100	10-12	1 x 36 x 4	380
SSS 30 6G	30	6.0 x 30.0	0.179"	7	19	475	13.2	330	9	225	11-13	1 x 36 x 4	520
SSS 35 5G	35	5.0 x 35.0	0.179"	7	5.9	150	2.5	100	--	--	10-12	1 x 36 x 4	440
SSS 35 6G	35	6.0 x 35.0	0.179"	7	12.4	310	7.6	190	4.2	105	11-13	1 x 36 x 4	540
SSS 39 6G	39	6.0 x 39.0	0.179"	7	7.2	180	3	75	--	--	11-13	1 x 36 x 4	605

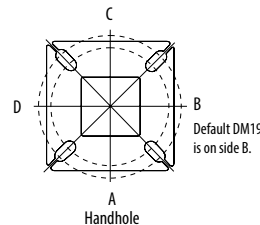
NOTE: \* EPA values are based ASCE 7-93 wind map. For 1/2 ft increments, add -6 to the pole height. Ex: 20-6 equals 20ft 6in.

### BASE DETAIL



POLE DATA							
Shaft base size	Bolt circle A	Bolt projection B	Base square C	Base plate thickness	Template description	Anchor bolt description	Anchor bolt and template description
4"C	8" - 9"	3.25" - 3.75"	8" - 8.25"	0.75"	ABTEMPLATE PJ50004	AB18-0	ABSSS-4C
4"G	8" - 9"	3.38" - 3.75"	8" - 8.25"	0.875"	ABTEMPLATE PJ50004	AB30-0	ABSSS-4G
5"	10" - 12"	3.5" - 4"	11"	1"	ABTEMPLATE PJ50010	AB36-0	ABSSS-5
6"	11" - 13"	4" - 4.50"	12.5"	1"	ABTEMPLATE PJ50011	AB36-0	N/A

### HANDHOLE ORIENTATION



### IMPORTANT INSTALLATION NOTES:

- **Do not** erect poles without having fixtures installed.
- Factory-supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use Lithonia Lighting factory templates.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Lithonia Lighting is not responsible for the foundation design.
- Bolt circles have +/- 1/2" tolerance.

**CAUTION:** These specifications are intended for general purposes only. Lithonia Lighting reserves the right to change material or design, without prior notice, in a continuing effort to upgrade its products.



POLE-SSS



**Job Name:**  
Avalon Apartments - Site Lighting

**Catalog Number:**  
FCBT690-UNV-42-XXK-10L-  
STANDARD FINISH

Notes: Confirm finish

**Type:**

**OB**

ELL22-116791

**FC**  
OUTDOOR LIGHTING

**FCBT690**



**Date:**

**Approved:**

**Type:**

**Fixture:**

**Project:**

**FCBT690** Exterior die-cast aluminum bollard with right angle head position tower. Available in 42" and 36" height. Designed and built to illuminate the ground and/or pathways safely without glare. **FCBT690** has an extremely wide-throw beam pattern covering 30'–35' wide and still measuring greater than 1 foot candle. It also has a forward throw of approximately 14 feet. Matches up with FCBT690S, 24" high version.

## SPECIFICATIONS

### PHYSICAL

<b>dimensions</b>	42"H or 36"H x 8"W x 9"D at top (3"D at base)
<b>weight</b>	12 lbs
<b>housing</b>	marine grade, corrosion resistant, heavy gauge aluminum
<b>lens</b>	impact resistant, UV stabilized, clear, polycarbonate diffuser
<b>mounting</b>	heavy gauge base bracketing for bollard installation provides a unique mounting solution, so the tower body anchors flush to the ground without the appearance of a base plate, anchor bolts included (j-box by others)
<b>ingress protection</b>	IP66: dry, damp, or wet locations with extruded silicone gasket to seal out contaminants
<b>finish</b>	Six stage chemical iron phosphate conversion pre-treatment. Polyester powder coat finish, 18 µm Min., 5000hr salt spray test (ASTM B117) compliant with Florida / AAMA 2604 specification.

### PERFORMANCE

<b>color temperature</b>	2700K	3000K	3500K	4000K
<b>lumen output offerings</b>	479 lm	958 lm	1436 lm	1915 lm
<b>lifetime</b>	> 70,000 hours / L70 or better			
<b>color consistency</b>	3 SDCM / 85 CRI			
<b>operating temperature</b>	-49°F to 104°F (-45°C to 40°C)			
<b>junction temperature</b>	73°C @ T <sup>a</sup> 25°C			
<b>warranty</b>	5-Year limited warranty (refer to website for details)			

### ELECTRICAL

<b>input voltage</b>	Universal 120-277VAC   optional: 347 VAC (integral)   480 VAC (integral)
<b>power supply</b>	Integral Class II, electronic, high power factor > 94% @120V
<b>certification</b>	ETL/cETL Listed
<b>standards</b>	UL1598 / CSA C22.2 No. 250.0; UI 8750 / CSA C22.2 No. 250.13 / IES LM-79 / LM-80
<b>power consumption</b>	7W (479 lm) minimum, 26W (1915 lm) maximum
<b>dimming</b>	<b>standard:</b> 0-10V (10%)   <b>optional:</b> ELV (120V only) / DMX (integral) / DALI (integral)

Due to continuous development and improvements, specifications are subject to change without notice. FC Lighting reserves the right to change lab test details or specifications without notice. Product use certifies agreement to FC Lighting terms and conditions. FCC Series Cylinder Lights are engineered and produced in our Illinois manufacturing facility.

US Commercial Lighting Manufacturer Since 1982

**Specification Sheet**

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RG-JF-102521

**FCBT690**

## Ordering Information

**ORDERING INFORMATION**

FCBT690			XXK = Specify				STANDARD FINISH = Specify		
SERIES	VOLTAGE		HEIGHT	CCT		LUMENS	FINISH	OPTIONS	
<b>FCBT690</b>	<b>UNV</b>	UNV 120V-277V	<b>42</b> 42"	<b>27K</b>	2700K	<b>5L</b> 479 lm (7W)	<b>BK</b> Black	<b>CD</b>	Cane Detector
	<b>347V</b>	347V AC ( <i>Integral</i> )	<b>36</b> 36"	<b>3K</b>	3000K	<b>10L</b> 958 lm (13W)	<b>BZ</b> Bronze	<b>LD</b>	0-10V Dimming (Standard)
	<b>480V</b>	480V AC ( <i>Integral</i> )		<b>35K</b>	3500K	<b>14L</b> 1436 lm (20W)	<b>SL</b> Silver	<b>ELV</b>	ELV Dimming ( <i>120 Only</i> )
				<b>4K</b>	4000K	<b>19L</b> 1915 lm (26W)	<b>WH</b> White	<b>DMX</b>	DMX Dimming ( <i>Integral</i> )
							<b>CC</b> Custom Color	<b>DALI</b>	DALI Dimming ( <i>Integral</i> )
								<b>SP20</b>	20kV Surge Protector
								<b>BBU</b>	Battery Backup, Integral (Not w/ ELV)
								<b>SP20-BBU</b>	(2) 20kV Surge Protectors (1/LED driver, 1/BBU) and Battery Backup ( <i>Integral</i> )
								<b>HS</b>	180° House Shield
								<b>HS2</b>	270° House Shield

**Consult Factory for other options and configurations.**

To ensure you receive proper configurations for your lighting specifications, contact us directly about any unique application requirements. This may include but not be limited to lumen output, mounting needs, or electrical components.

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US Commercial Lighting Manufacturer Since 1982

**Specification Sheet**

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RG-JF-102521



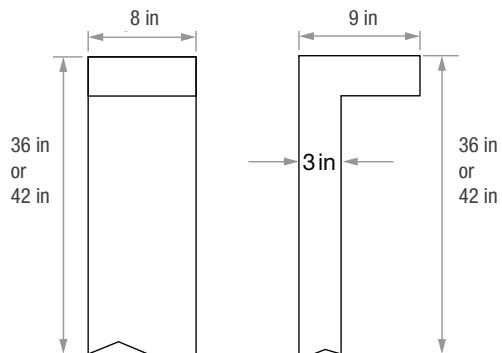
**FCBT690**



Physical

**PRODUCT DIMENSIONS - STANDARD PRODUCT**

height	42"H or 36"H
width	8" W
depth	9" D top
depth	3" D base

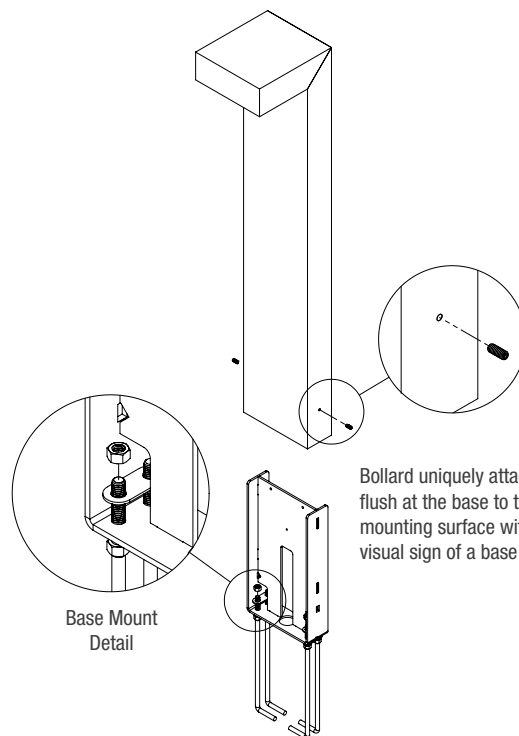
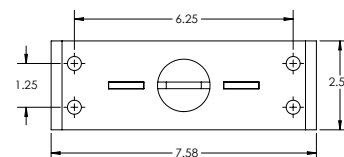


**MOUNTING**

mounting plate depth	3" D
mounting plate width	8" W
anchor bolt size	3/8"Ø x 12"L x 2" Tang

Anchor Bolt Part #	94523B-4
Quantity Required	4 for each bollard

mounting hole pattern



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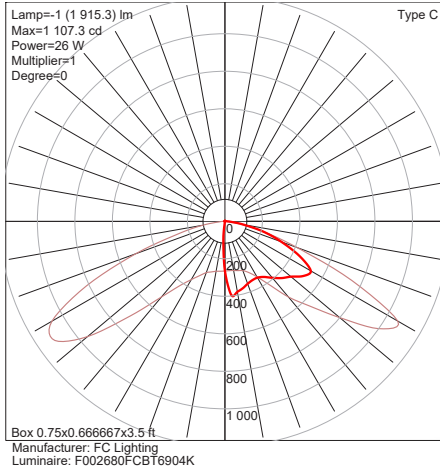


**FCBT690**



Photometry & Accessories

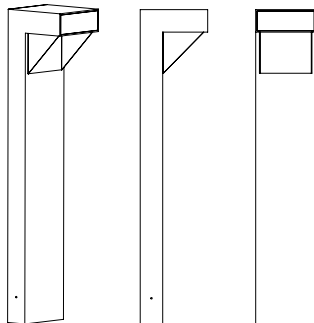
**OPTICAL DISTRIBUTION**



**ACCESSORIES**

FIND IES FILES ON FCLIGHTING.COM

**HS - House Shield that blocks light out the sides**



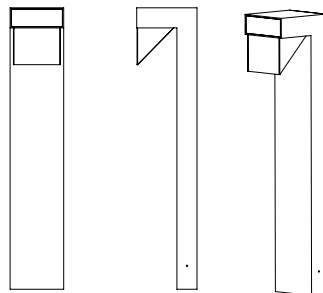
Use the 180° House Side Shield (HS) to protect beach side areas where fixtures are installed.

**HS Height:** 5.5" H

**CD - Cane Detector**

<b>foot depth</b>	add 3" D at column base
<b>foot width</b>	8" W

**HS2 - House Shield that blocks light out the front**



Use the (HS2) front House Shield to protect beach side areas where fixtures are installed.

**HS Height:** 5.5" H

**SHOWS FCBT690  
W/ CANE DETECTION**



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**Job Name:**  
Avalon Apartments - Site Lighting

**Catalog Number:**  
EW61806

Notes:

**Type:**

**OW1**

ELL22-116791

**CARSON**  
**EW61806**

WALL

PROJECT



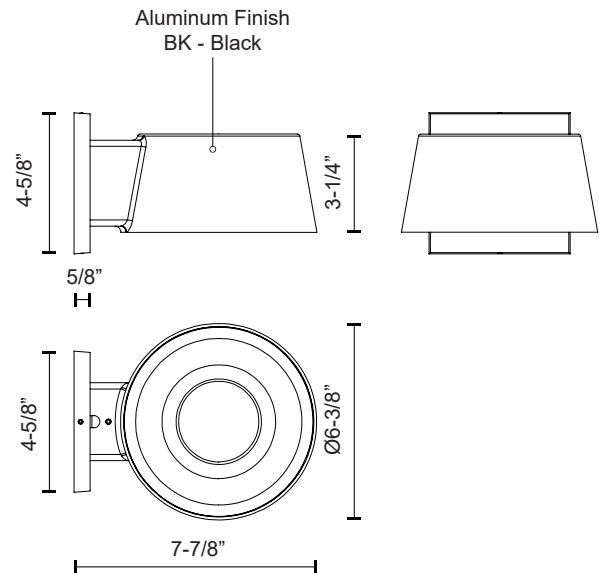
**DESCRIPTION**

Architectural exterior wall sconce, die-cast aluminum conical body with glossy white reflector for even illumination. Rated IP65.

**SPECIFICATION DETAILS**

\* For custom options, consult factory for details.

<b>Fixture Dimensions</b>	W6-3/8" x H3-1/4" x E7-7/8"
<b>Light Source</b>	LED with DC Driver
<b>Wattage</b>	11W
<b>Total Lumens</b>	1155lm
<b>Delivered Lumens</b>	BK-741lm
<b>Voltage</b>	120-277V
<b>Color Temperature</b>	3000K
<b>CRI (Ra)</b>	80CRI
<b>Optional Color Temps</b>	2700K - 5000K Available, Minimum Order Quantities Apply
<b>LED Rated Life</b>	50,000 hours
<b>Dimming</b>	Non-Dimming
<b>Diffuser Details</b>	Clear PC
<b>Location</b>	Wet, IP65
<b>Warranty</b>	5 Years
<b>Canopy Dimensions</b>	W4-5/8" x H4-5/8" x E1/2"
<b>Finish Option(s)</b>	Black



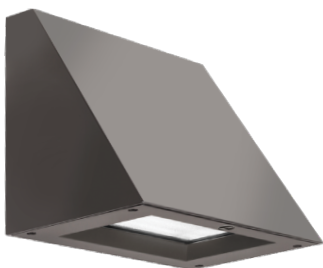
**KUZCO**

19054 28TH AVENUE  
SURREY - BC V3Z 6M3  
CANADA

WWW.KUZCOLIGHTING.COM

COMMENT





# WDGE2 LED

## Architectural Wall Sconce

### Visual Comfort Optic



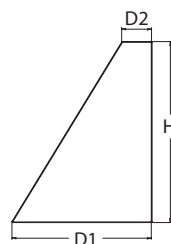
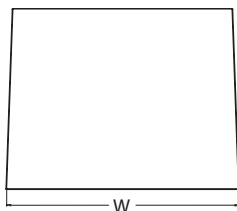
Buy American

Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

### Specifications

- Depth (D1):** 7"
- Depth (D2):** 1.5"
- Height:** 9"
- Width:** 11.5"
- Weight:** 13.5 lbs (without options)



### Introduction

The WDGE2 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE2 family provides additional energy savings and code compliance.

WDGE2 delivers up to 6,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

### WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

### Ordering Information

**EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD**

Series	Package	XXK = Specify		Distribution	Voltage	Mounting	Shipped separately	
		Color Temperature	CRI				AWS	PBBW
WDGE2 LED	P1 <sup>1</sup>	P1SW	27K 2700K	80CRI	VF Visual comfort forward throw	MVOLT	Shipped included	
	P2 <sup>1</sup>	P2SW	30K 3000K				SRM	Surface mounting bracket
	P3 <sup>1</sup>	P3SW	35K 3500K	ICW			Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) <sup>2</sup>	
	P4 <sup>1</sup>	Door with small window (SW) is required to accommodate sensors. See page 2 for more details.						480 <sup>3</sup>
	P5 <sup>1</sup>	40K 4000K	50K <sup>2</sup> 5000K					

Options		STANDARD FINISH = Specify	
		Finish	
E4WH	Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min)	<b>Standalone Sensors/Controls</b> (only available with P1SW, P2SW & P3SW)	DDBXD Dark bronze
E10WH	Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min)	PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.	DBLXD Black
E20WC	Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min)	PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching	DNAXD Natural aluminum
PE <sup>4</sup>	Photocell, Button Type	PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.	DWHXD White
DS <sup>5</sup>	Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.	DSSXD Sandstone
DMG <sup>6</sup>	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	<b>Networked Sensors/Controls</b> (only available with P1SW, P2SW & P3SW)	DBBTD Textured dark bronze
BCE	Bottom conduit entry for back box (PBBW). Total of 4 entry points.	NLTAIR2 PIR nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights.	DBLXD Textured black
BAA	Buy America(n) Act Compliant	NLTAIR2 PIRH nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights. See page 4 for out of box functionality	DNATXD Textured natural aluminum
			DWHGXD Textured white
			DSSTXD Textured sandstone





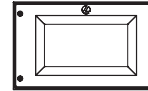
**Accessories**

Ordered and shipped separately.

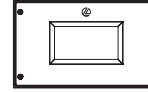
- WDGEAWS DDBXD      WDGE 3/8inch Architectural Wall Spacer (specify finish)
- WDGE2PBBW DDBXD U      WDGE2 surface-mounted back box (specify finish)

**NOTES**

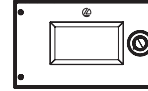
- 1 P1-P5 not available with sensors/controls. Sensors/controls only available with P1SW, P2SW and P3SW.
- 2 50K not available in 90CRI
- 3 347V and 480V not available with E4WH, E10WH, E20WC or DS.
- 4 PE not available in 480V or with sensors/controls
- 5 DS option not available with E4WH, E10WH, E20WC or sensors/controls.
- 6 DMG option not available with sensors/controls
- 7 Not qualified for DLC. Not available with emergency battery backup or sensors/controls



Default configuration with no sensors/controls.  
Power Packages: P1, P2, P3, P4, P5



Small Window (SW) configuration  
Power Packages: P1SW, P2SW, P3SW



Configuration with sensors/controls  
Power Packages: P1SW, P2SW, P3SW

**Performance Data**

**Lumen Output**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					35K (3500K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P1 / P1SW	10W	VF	1,166	119	0	0	0	1,209	123	0	0	0	1,251	128	0	0	0	1,256	128	0	0	0	1,254	128	0	0	0
		VW	1,197	122	0	0	0	1,241	126	0	0	0	1,284	131	0	0	0	1,289	131	0	0	0	1,286	131	0	0	0
P2 / P2SW	15W	VF	1,878	129	1	0	0	1,947	134	1	0	0	2,015	139	1	0	0	2,023	139	1	0	0	2,019	139	1	0	0
		VW	1,927	133	1	0	0	1,997	137	1	0	0	2,067	142	1	0	0	2,075	143	1	0	0	2,071	143	1	0	0
P3 / P3SW	23W	VF	2,908	129	1	0	0	3,015	134	1	0	0	3,119	138	1	0	0	3,132	139	1	0	0	3,126	139	1	0	0
		VW	2,983	132	1	0	0	3,093	137	1	0	0	3,200	142	1	0	0	3,213	143	1	0	0	3,206	142	1	0	0
P4	35W	VF	4,096	117	1	0	1	4,247	121	1	0	1	4,394	126	1	0	1	4,412	126	1	0	1	4,403	126	1	0	1
		VW	4,202	120	1	0	0	4,357	125	1	0	1	4,508	129	1	0	1	4,526	129	1	0	1	4,517	129	1	0	1
P5	48W	VF	5,567	115	1	0	1	5,772	119	1	0	1	5,972	123	1	0	1	5,996	124	1	0	1	5,984	124	1	0	1
		VW	5,711	118	1	0	1	5,921	122	1	0	1	6,127	126	1	0	1	6,151	127	1	0	1	6,139	127	1	0	1

**Electrical Load**

Performance Package	System Watts	Current (A)					
		120V	208V	240V	277V	347V	480V
P1 / P1SW	10W	0.082	0.049	0.043	0.038	--	--
	13W	--	--	--	--	0.046	0.033
P2 / P2SW	15W	0.132	0.081	0.072	0.064	--	--
	18W	--	--	--	--	0.056	0.041
P3 / P3SW	23W	0.195	0.114	0.100	0.088	--	--
	26W	--	--	--	--	0.079	0.058
P4	35W	0.302	0.175	0.152	0.134	--	--
	38W	--	--	--	--	0.115	0.086
P5	48W	0.434	0.241	0.211	0.184	--	--
	52W	--	--	--	--	0.157	0.119

**Lumen Multiplier for 90CRI**

CCT	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

**Lumen Output in Emergency Mode (4000K, 80 CRI)**

Option	Dist. Type	Lumens
E4WH	VF	646
	VW	647
E10WH	VF	1,658
	VW	1,701
E20WC	VF	2,840
	VW	2,913

**Lumen Ambient Temperature (LAT) Multipliers**

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C      32°F	1.03
10°C     50°F	1.02
20°C     68°F	1.01
25°C     77°F	1.00
30°C     86°F	0.99
40°C     104°F	0.98

**Projected LED Lumen Maintenance**

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

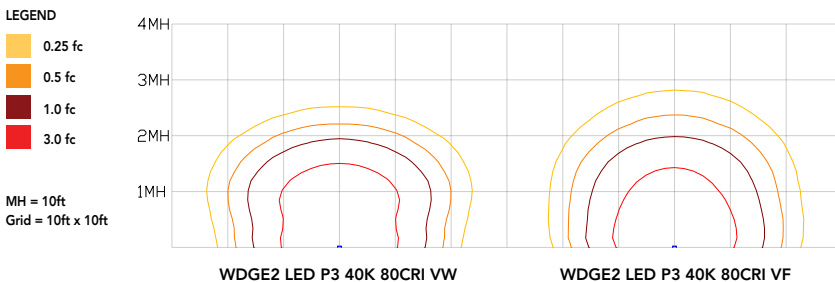
Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91





**Photometric Diagrams**

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.



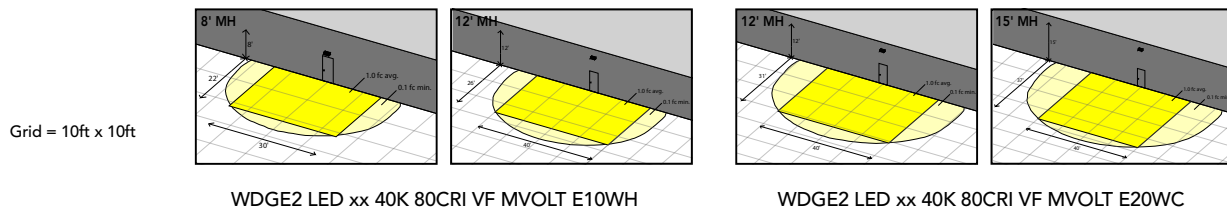
**Emergency Egress Options**

**Emergency Battery Backup**

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

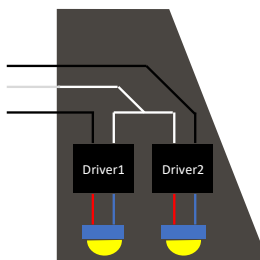
The examples below show illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E10WH or E20WC and VF distribution.



**Dual Switching (DS) Option**

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark. This option is typically used with a back generator or inverter providing emergency power.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9







## Mounting, Options & Accessories



**NLTAIR2 PIR – nLight AIR  
Motion/Ambient Sensor**

D = 7"  
H = 11"  
W = 11.5"



**PBBW – Surface-Mounted Back Box**  
Use when there is no junction box available.

D = 1.75"  
H = 9"  
W = 11.5"



**AWS – 3/8inch Architectural Wall Spacer**

D = 0.38"  
H = 4.4"  
W = 7.5"

## FEATURES & SPECIFICATIONS

### INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

### CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

### FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

### OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

### INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

### LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

### BUY AMERICAN

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.

### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





**JLA**  
ARCHITECTS

## TRANSMITTAL

**Date:** October 18, 2022

**To:** City of Fitchburg - Planning/Zoning Department  
Attn. Deanna Schmidt, City Planner & Zoning Administrator  
5520 Lacy Road  
Fitchburg, Wisconsin 53711  
**via Hand delivered only**

**Project Name:** Avalon Lot 3 Development High Density Residential Development  
(Avalon Apartments)

**JLA Project:** 22-0421

**Message:**

Enclosed you will find our submittal for the PDD-SIP review and Architectural & Design Review of the proposed development at the November 15, 2022, meeting. The project proposes a new high density residential development to be located on Lot 3 on Index Road.

If you should have any questions or comments, then please feel free to contact me at (608)442-3823 or [mlong@jla-ap.com](mailto:mlong@jla-ap.com).

Please let me know if you have any questions.

Sincerely,

Matthew Long  
Project Manager

**Enc.:** SIP Rezoning Application  
SIP Submittal Electronic Copy (pdf format) & 3 Hard Copies  
Architectural and Design Review Application  
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**Cc:** Ned Hoyt  
Michael Thorson



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