

Fitchburg SmartCode Zoning Pattern Book

SD1 MIXED USE BUSINESS PARK



Note: This guide does not contain all provisions of the Chapter 23 SmartCode. Please consult Fitchburg Ch. 23 SmartCode for the complete ordinance.

Prepared by Fitchburg Planning Department

December 3, 2012

SD1 STANDARDS

QUICK SHEET

Base Residential Density: 12 units/ac. max.

Uses other than Office, Lodging and Industrial: 20% max.

Block Perimeter: 3000' max. (Block perimeter at the edge of the Community Unit may exceed the maximum block perimeter by up to 10% by Administrative Waiver. Block perimeters may be reduced by Passages not more than 20% of each Transect Zone. Block Perimeter is established in the Article 3 Regulating Plan.) A block is defined as the total of private Lots, Passages, Rear Alleys/ Lanes, circumscribed by Thoroughfares.

Lot Width: 60' min—300' max (TND/TOD)

Lot Coverage: 80% maximum

This is the portion of a lot occupied by buildings, sheds, enclosures, structures, patios, decks, pavements, drive-ways, parking areas, walkways or other similar surfaces.

Setbacks Principal: Front (Primary/Secondary): 0' min.—24' max.

Side: 0' min—24' max .

Rear: 12' min.

Setbacks Outbuilding: Front: 20' min. + building setback

Side: 3' min.

Rear: 3' min.

Frontage Buildout: 70% min

This is the minimum required percent lot width that shall have building façade at primary setback for the Principal Frontage only. Façade may vary up to 18" behind the primary setback and count toward requirement.

Building Height: Principal Building: TND/TOD 5 stories max, 2 min
(1 by Administrative Waiver)

Outbuilding: 2 stories max

Building Disposition: Edgeyard, Sideyard, Rearyard

Private Frontage: Common Yard, Forecourt, Shopfront, Gallery, Arcade,
Parking Lot (by Administrative Approval, Common Entry & Planter)

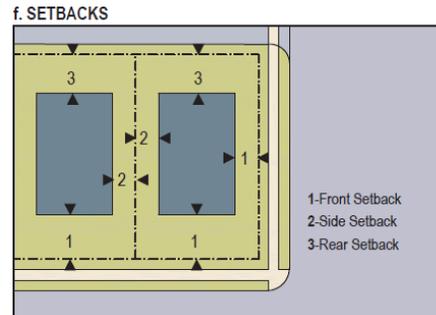
Building Use: See tables 9 and 21 and Section 5.8 of Chapter 23 SmartCode

TRANSECT STANDARDS

SITE PLANNING

SETBACKS:

The setback is the area of a Lot measured from the Lot line to a building Façade of Elevation that is maintained clear of permanent structures, with the exception of permitted Encroachments listed in Section 5.7 of Chapter 23.



LOT LAYERS:

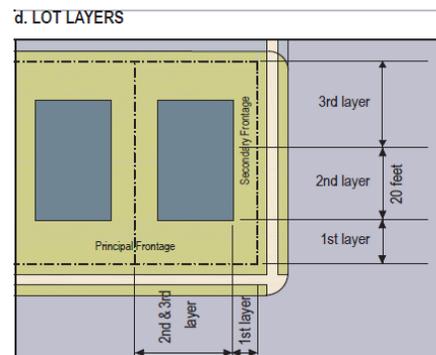
The SmartCode organizes a Lot around Layers. A Layer is a range of depth of a Lot within which certain elements are permitted.

First Layer: Frontage Line to the building setback.

(Frontage Line is a Lot Line bordering a Public Frontage.)

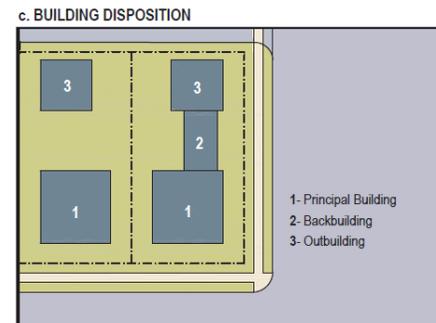
Second Layer: Principal Building setback + 20'

Third Layer: End of Second Layer to Rear lot line



BUILDING DISPOSITION:

Buildings shall be disposed in relation to the boundaries of their Lots according to Table 9 & 26, and are subject to Architectural Review under Chapter 25 of the Municipal Code.



FRONTAGE BUILDOUT: (Table 9)

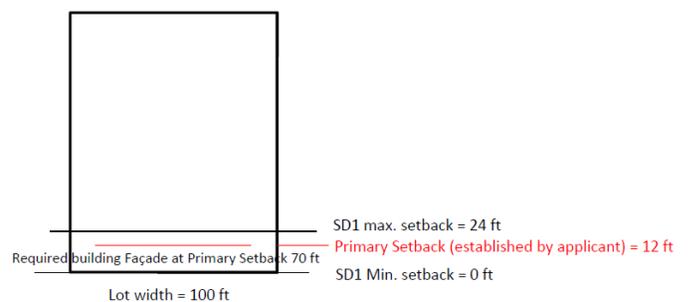
Frontage buildout: the minimum required percent of lot width that shall have a building Façade at the primary setback. The primary setback is the line at which the façade closest to the lot line occurs as is set by the applicant. All other parts of the Façade shall be between the primary setback and maximum front setback. Porches, stoops and other allowed encroachments do not count as part of the building Façade.

The Façade may vary up to 18" behind the primary setback and still count toward the Frontage Buildout.

See 5.6.2(f) and 5.7.6 for exceptions for Forecourt buildings.

Frontage Buildout

EXAMPLE



Example:
SD1 Frontage Buildout requirement is 70%.

Applicant chooses a primary setback between the allowed setback range.

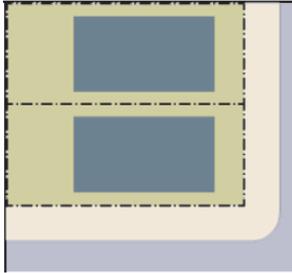
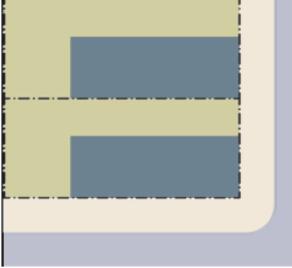
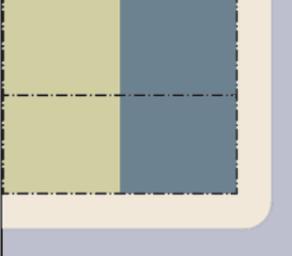
A minimum of 70% of the lot width (in this example, 70 feet) needs to be covered by building Façade at the primary setback. All other part of the Façade shall be between the primary setback and maximum front setback.

SD1 TRANSECT STANDARDS

BUILDING DISPOSITION & CONFIGURATION

- Buildings shall be disposed in relation to the boundaries of their Lots according to Tables 9 & 26, and are subject to Architectural Review under Chapter 25 of the Municipal Code.

Table 16 Building Disposition

<p>a. Edgeyard Building: Specific Types - single-family House, Cottage, villa, Estate House, urban villa. A building that occupies the center of its Lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the Frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well placed Backbuilding and/or Outbuilding.</p>	
<p>b. Sideyard Building: Specific Types - duplex, zero-lot-line house. A building that occupies one side of the Lot with the Setback to the other side. A shallow Frontage Setback defines a more urban condition. If the adjacent building is similar with a blank sidewall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze. If a Sideyard House abuts a neighboring Sideyard House, the type is known as a duplex. Sharing a party wall in this disposition reduces energy costs, and sometimes noise.</p>	
<p>c. Rearyard Building: Specific Types - Townhouse, Live-work unit, loft building, Multi-family buildings, Mixed use Block, Flex Building, perimeter Block. A building that occupies the full Frontage, leaving the rear of the Lot as the sole yard. This is a very urban type as the continuous Façade steadily defines the public Thoroughfare. The rear Elevations may be articulated for functional purposes. In its Residential form, this type is the Townhouse. For its Commercial form, the rear yard can accommodate substantial parking.</p>	

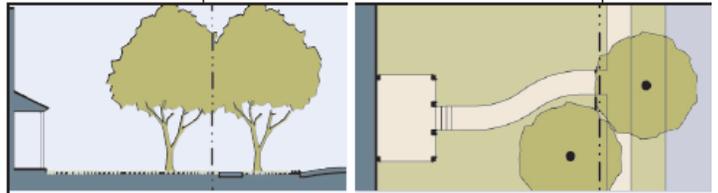
- The Principal Frontage on a corner lot is the Private Frontage designated to bear the address and Principal Entrance to the building, and the measure of minimum lot width.
- Buildings shall follow Tables 9 & 26 and are subject to Architectural Review under Chapter 25 of the Municipal Code.

SD1 TRANSECT STANDARDS

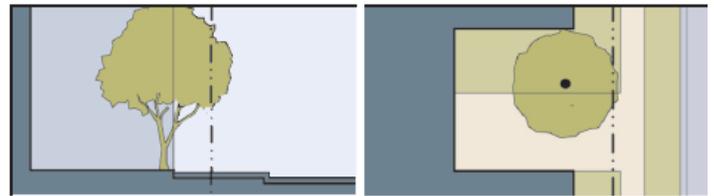
PRIVATE FRONTAGES

The Private Frontage is the privately held Layer between the Frontage Line and the Principal Building Façade.

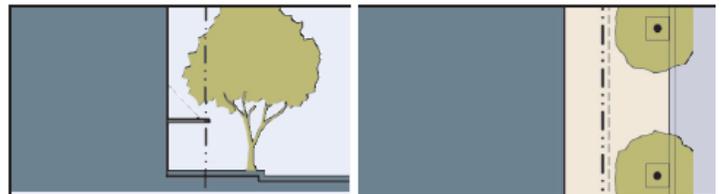
a. Common Yard: a planted Frontage wherein the Façade is set back from the Frontage Line. The front yard remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The deep Setback provides a buffer from the higher speed Thoroughfares. Porches or Stoops may be used in conjunction.



d. Forecourt: a Frontage wherein the Façade is close to the Frontage Line and the central portion is set back. The forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other Frontage types. Large trees within the Forecourts may overhang the Sidewalks.



f. Shopfront: a Frontage wherein the Façade is aligned close to the Frontage Line with the building entrance at Sidewalk grade. This type is conventional for Retail use. It has substantial glazing on the Sidewalk level and an awning that should overlap the Sidewalk to within 2 feet of the Curb. Syn: **Retail Frontage.**



g. Gallery: a Frontage wherein the Façade is set back from the Frontage Line with an attached cantilevered shed or lightweight colonnade aligned with the Frontage Line and overlapping a private Sidewalk. This type is conventional for Retail use. The Gallery should be no less than 10 feet wide and should overlap the sidewalk to within 2 feet of the Curb.



h. Arcade: a colonnade supporting habitable space that overlaps a private Sidewalk, while the Façade at Sidewalk level remains behind the Frontage Line. This type is conventional for Retail use. The Arcade shall be no less than 12 feet wide and should overlap the Sidewalk to the Frontage Line.



i. Common Entry & Planter: a frontage wherein the facade is aligned close to the frontage line with the building entrance at sidewalk grade allowing shared entry to a multi-unit residential or office building. An optional shallow planter may line the facade, and the facade should provide glazing at Sidewalk grade.



SD1 TRANSECT STANDARDS

BUILDING USE

- Building shall conform to the uses on Tables 9 and 21.
- A maximum of 20% of SD1 can be uses other than Office, lodging and Industrial.

TABLE 21. SPECIFIC USE

	T2	T3	T4	T5	SD1
a. RESIDENTIAL *					
Mixed Use Block				■	■
Flex Building			■	■	■
Multi-Family Building **			■	■	■
Live/Work Unit	■	■	■	■	■
Townhouse		■	■	■	□
Duplex		■	■	■	□
Courtyard House			■	■	□
Sideyard House		■	■	■	□
Cottage		■	■		
House	■	■	■		
Villa	■				
Accessory Unit	■	■	■	■	■
Residential Amenity		□	□	■	■
b. LODGING					
Hotel (no room limit)				■	■
Inn (up to 20 rooms)	□		■	■	
Bed & Breakfast (up to 6 rooms)	□	■	■	■	
School Dormitory	□		■	■	
c. OFFICE ***					
Office Building			■	■	■
Live-Work Unit		■	■	■	■
d. RETAIL					
Open-Market Building	■	■	■	■	□
Retail Building			■	■	□
Display Gallery			■	■	■
Restaurant		■	■	■	■
Kiosk			■	■	□
Push Cart				□	□
Liquor Store			□	■	■
Adult Entertainment					
e. CIVIC					
Bus Shelter		■	■	■	■
Convention Center				□	■
Conference Center				□	■
Exhibition Center				□	■
Fountain or Public Art	■	■	■	■	■
Library		□	■	■	□
Live Theater				■	□
Movie Theater				■	□
Museum				■	□
Outdoor Auditorium	□	■		■	
Parking Structure				■	■
Passenger Terminal					□
Playground	■	■	■	■	□
Sports Stadium					□
Surface Parking Lot				□	■
Religious Assembly	■	■	■	■	□

	T1	T2	T3	T4	T5	SD1
f. OTHER: AGRICULTURE						
Grain Storage	□	■				
Livestock Pen	□	■				
Greenhouse	□	■	■			
Stable	□	■	□			
kennel	□	■	□	□	□	
f. OTHER: AUTOMOTIVE						
Gasoline		□		□	□	□
Automobile Service						□
Truck Maintenance						□
Drive-Through Facility				□	□	□
Rest Stop	■	■				
Roadside Stand	■	■				
Billboard						
Shopping Center						
Shopping Mall						
f. OTHER: CIVIL SUPPORT						
Fire Station			■	■	■	■
Police Station				■	■	■
Cemetery		■	□	□		□
Funeral Home				■	■	□
Hospital					□	■
Medical Clinic				□	■	■
f. OTHER: EDUCATION						
College					□	■
High School				□	□	□
Trade School					□	■
Elementary School			□	■	■	□
Other - Childcare Center		■	■	■	■	■
f. OTHER: INDUSTRIAL						
Heavy Industrial Facility						□
Light Industrial Facility				□	□	■
Truck Depot						□
Laboratory Facility					□	■
Water Supply Facility						□
Sewer and Waste Facility						
Electric Substation	□	□	□	□	□	□
Wireless Transmitter	□	□				□
Cremation Facility						
Warehouse						■
Produce Storage		□				
Mini-Storage						□

■ BY RIGHT

□ BY CONDITIONAL USE

See Table 18 for specific scale of general Use by Transect Zone.

* Family Day Care, as defined in Chapter 22 is permitted in T2, T3, T4 and T5.

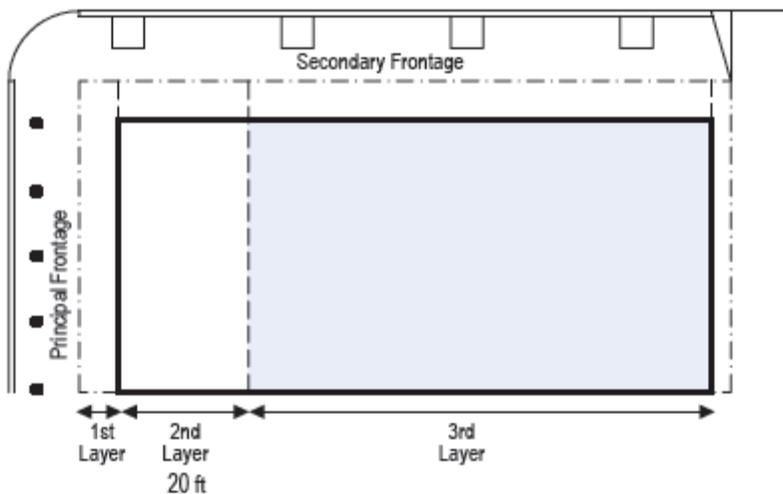
** Group Homes are permitted according to Chapter 22.

*** Home offices are permitted in T2.

SD1 TRANSECT STANDARDS

Drive & Parking (5.9 & 5.10)

- Parking shall be in accordance with the City of Fitchburg parking standards and is subject to Architectural Review under Chapter 25 of the Municipal Code. (5.9.3(a))
- All parking lots, garages, and Parking Structures shall be located as shown in Table 26.
- Uncovered parking spaces may be provided within the second and third Layer. Parking in the first Layer may be permitted by Administrative Approval. (Table 26)



Architecture (5.13):

- Buildings in Special Districts are subject to Architectural Review under Chapter 25 of the Municipal Code. (5.13.8(a))

Landscaping (5.11):

- Subject to Architectural Review under Chapter 25 and Design Review under Chapter 22 of the Municipal Code. (5.11.6(a))

Lighting (5.15):

- Subject to Architectural Review under Chapter 25 and Design Review under Chapter 22 of the Municipal Code. (5.15.6(a))

Signage (5.12)

- Signage shall utilize the Chapter 26 Sign Ordinance. (5.12.6(a))

SD1 TRANSECT STANDARDS ILLUSTRATIONS

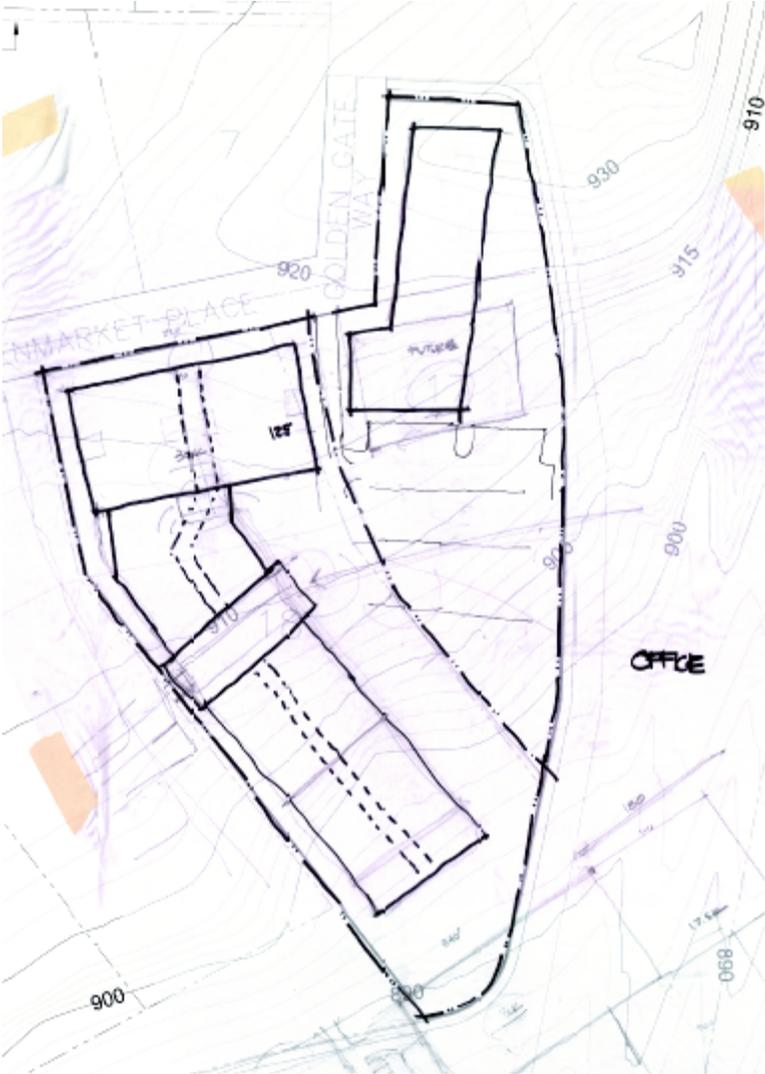


Image prepared by PlaceMakers and Architect Eric Brown

Note: This image is a representation of buildings and parking placement for SD1, but do not necessarily comply with all of the Fitchburg SD1 standards and requirements. It is provided for illustration only.