

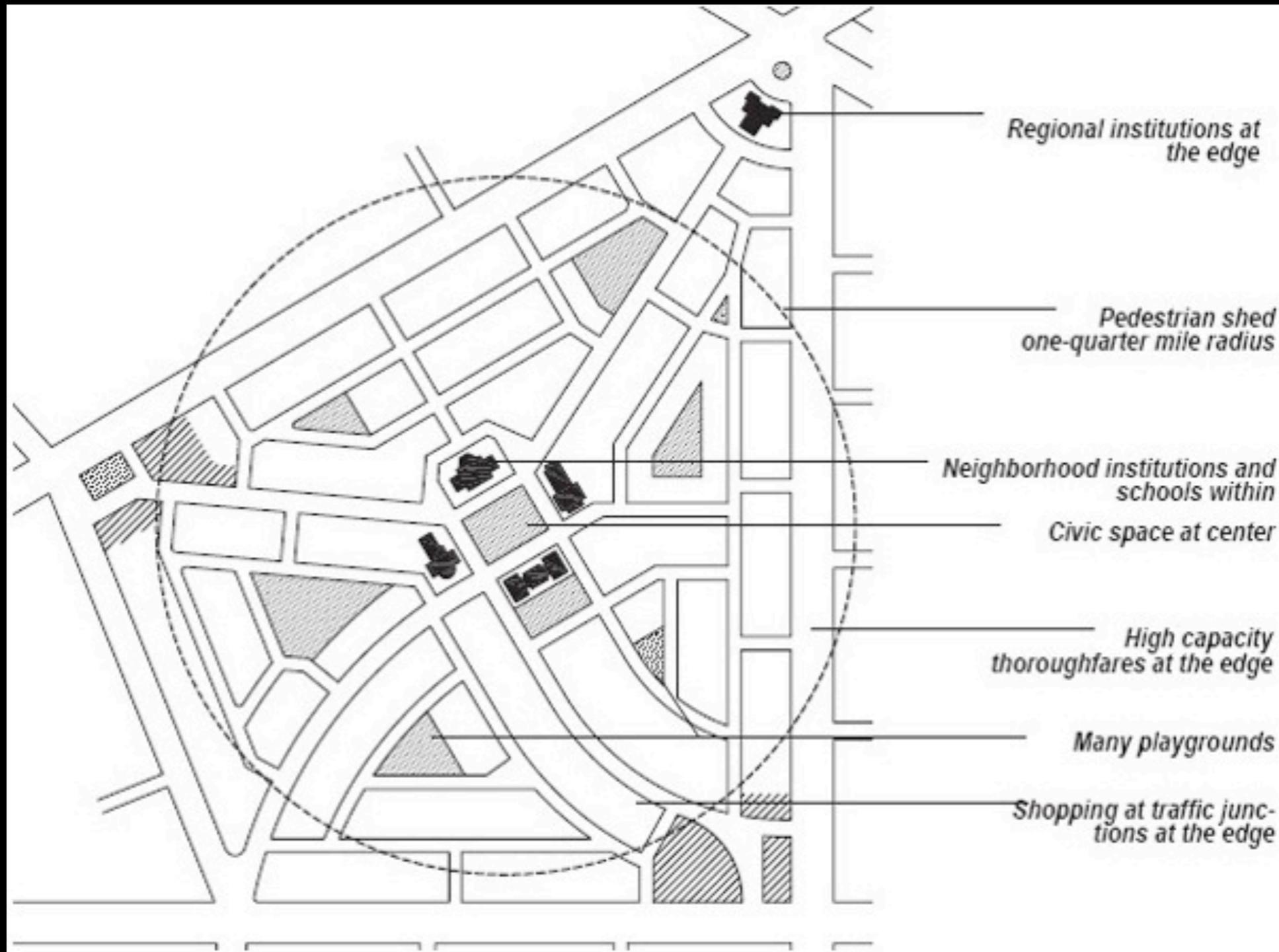
Designing for the SmartCode



Greenfield Design – Sub-Regional Neighborhood Scale

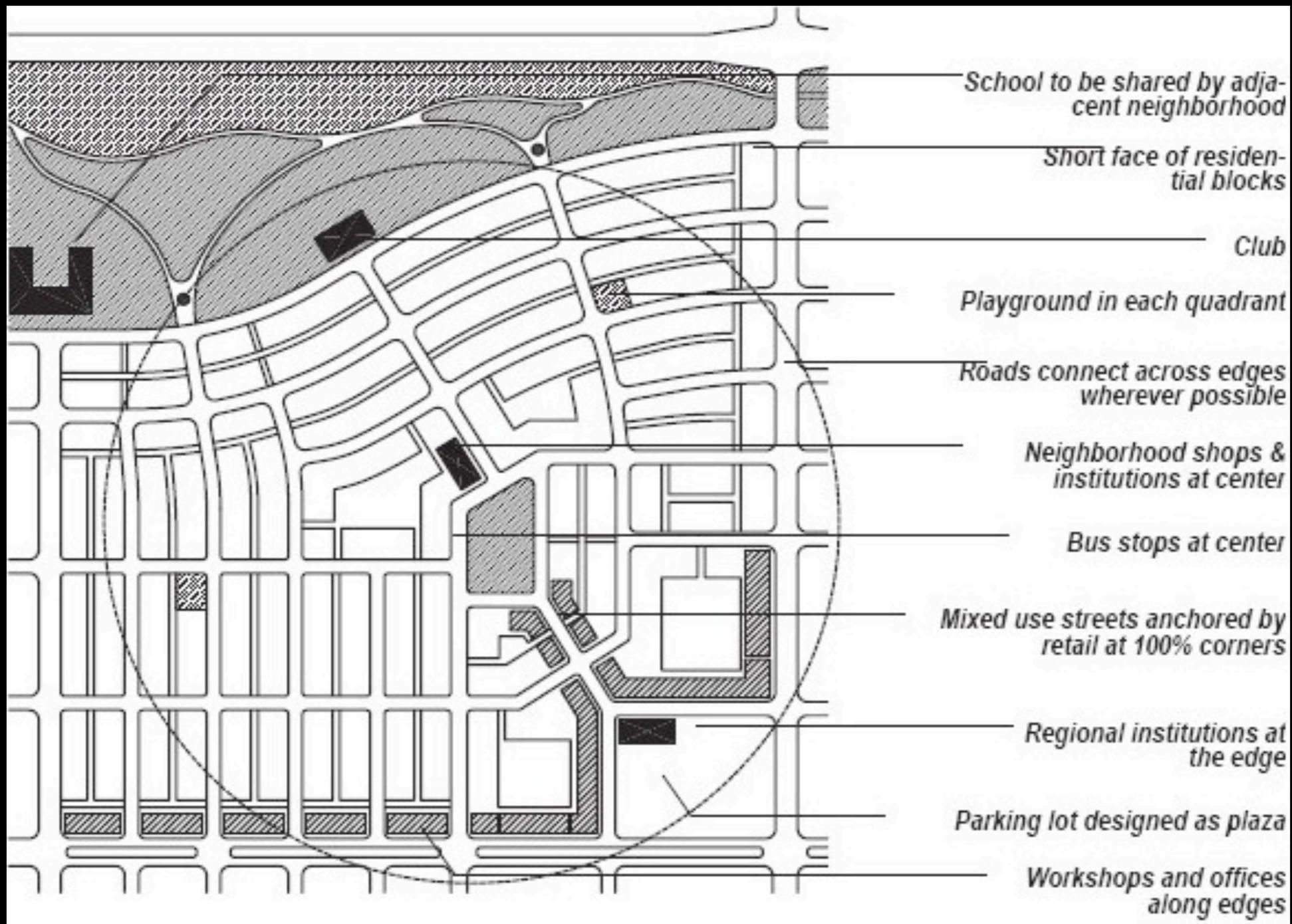
Article 3 Design Considerations





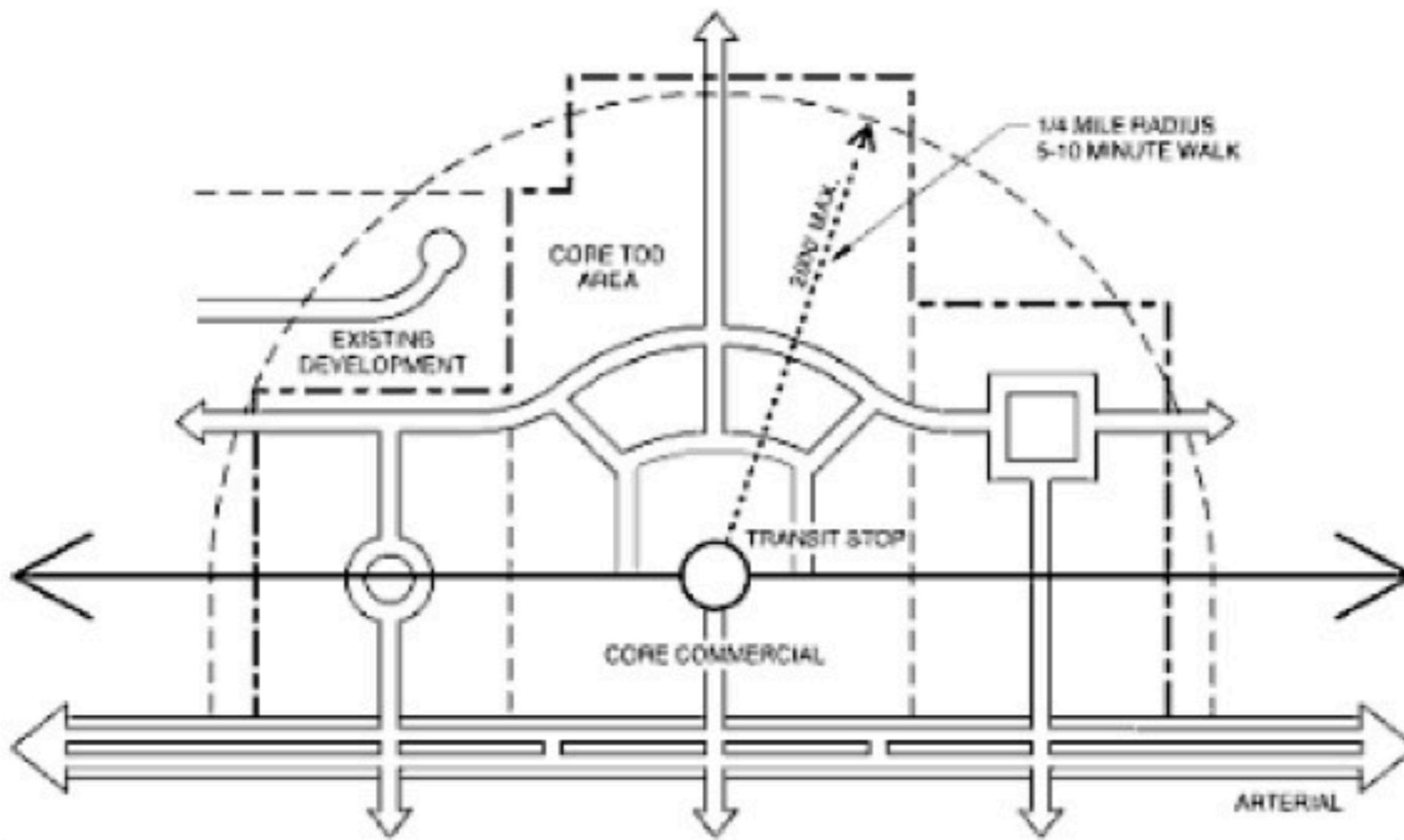
The Regional Plan of New York, 1927





DPZ, *Lexicon of The New Urbanism*, 1997





IDEALIZED TRANSIT VILLAGE DIAGRAM

Source: Adapted from Calthorpe, *The Next American Metropolis*, 1993.

Source: Adapted from Calthorpe, *The Next American Metropolis*, 1993.

IDEALIZED TRANSIT VILLAGE DIAGRAM

P. Calthorpe, *The Next American Metropolis*, 1993



- Compact



- Pedestrian Friendly



- Mixed Use



Step 1. Map Existing Conditions

Assimilate the landscape into the plan

- Legal Boundaries
- Topography
- Ground Cover
- Existing or Adjacent Development
- Sector Designation



Step 2. Determine Community Type



Step 2. Determine Community Type

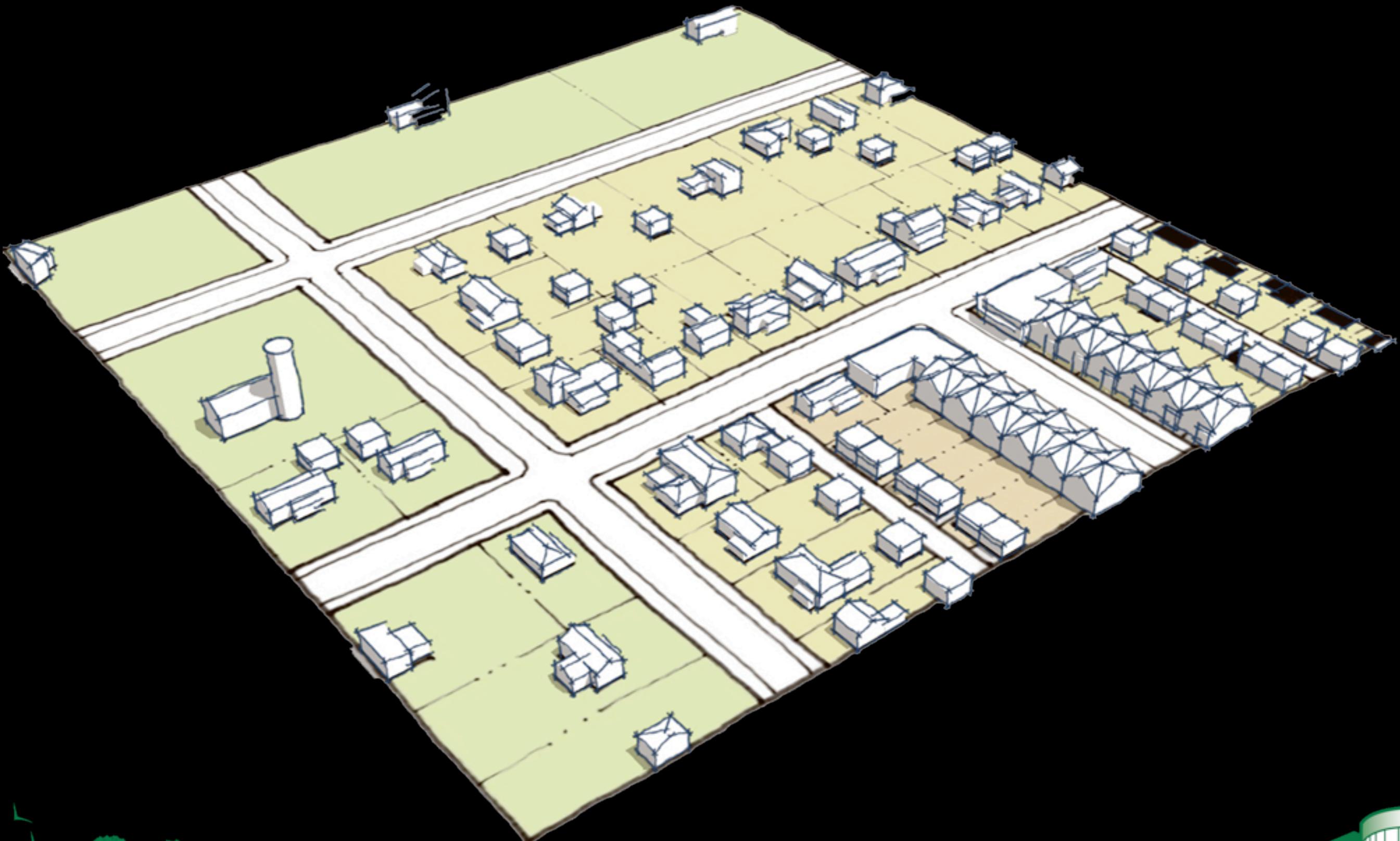
- **Hamlet - Cluster
Development**

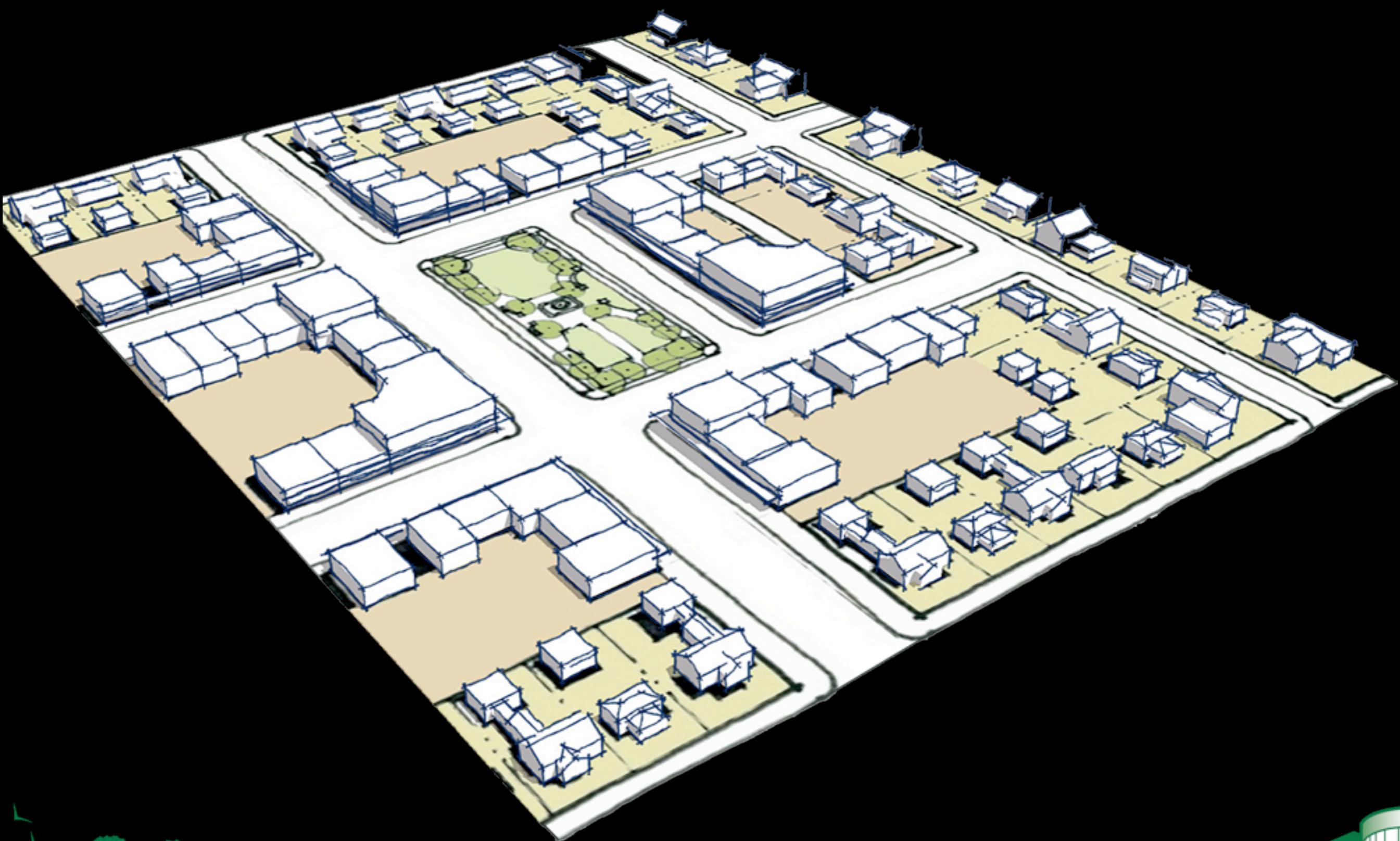


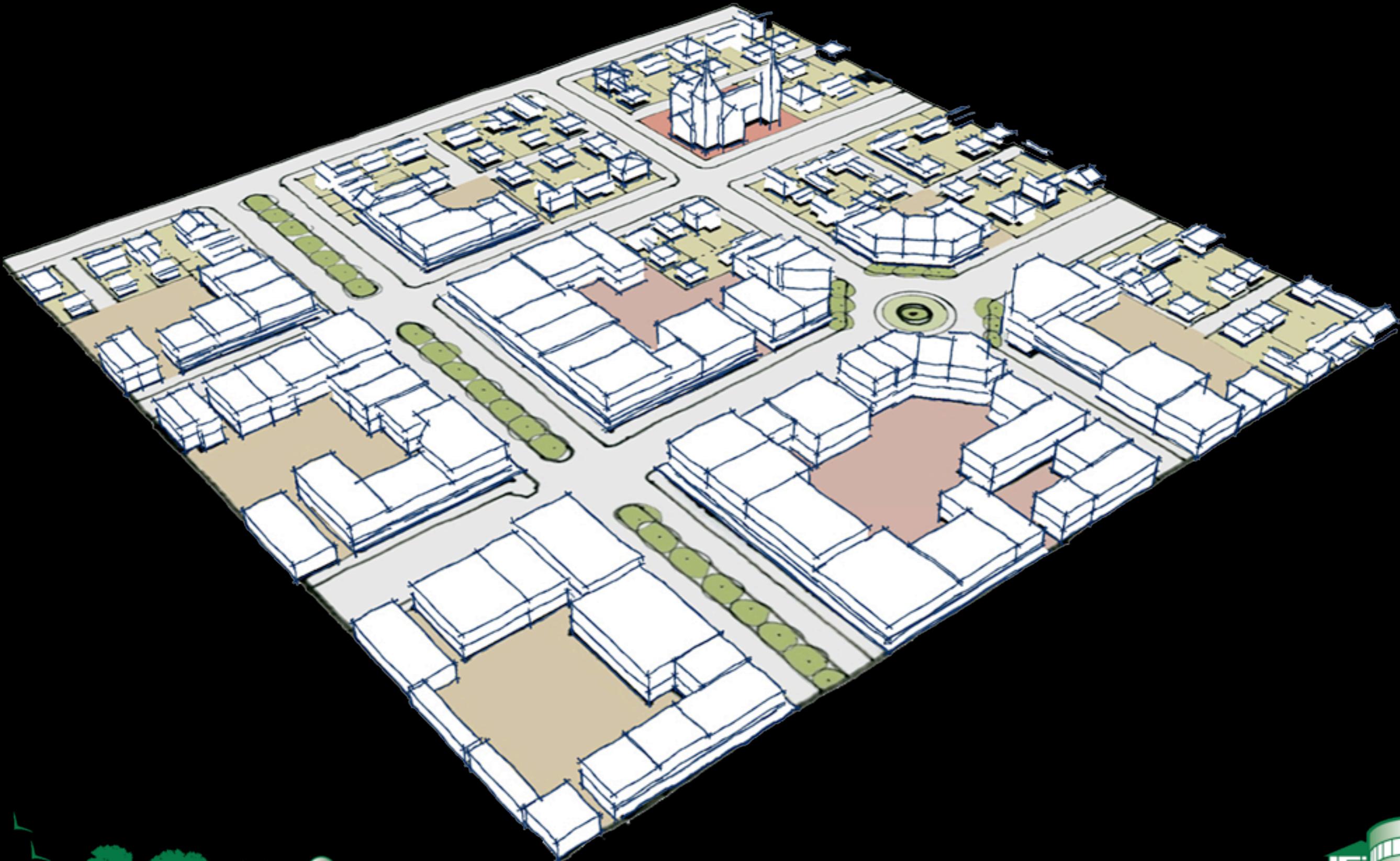
Step 2. Determine Community Type

- **Hamlet - Cluster Development**
- **Village - Traditional Neighborhood Development**









Community Types

Determine neighborhood size. Density from two (2) units per acre for a Rural Cluster to 40+ units per acre for a TOD.



Community Types

Determine neighborhood size. Density from two (2) units per acre for a Rural Cluster to 40+ units per acre for a TOD.



Step 3. Locate Mixed-Use Centers

- Serve Multiple Neighborhoods: Regional/ Sub Regional Focus
- Locate near the Thoroughfare or Intersection with the most traffic
- Destination Locations (waterfront)
- Mixed-Use Neighborhood Center



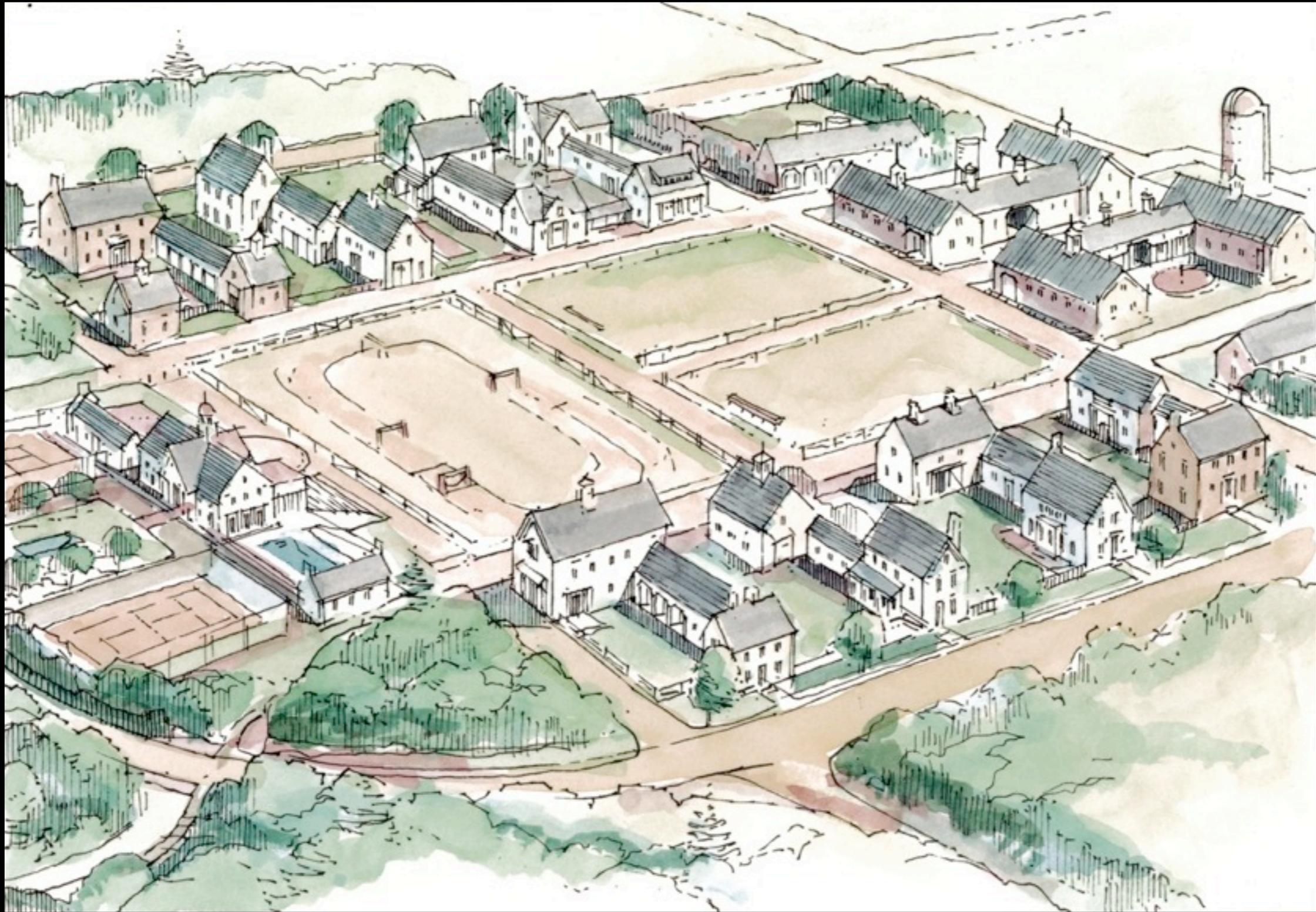






Neighborhood Types





Neighborhood Types



Neighborhood Types



Neighborhood Types



Neighborhood Types



Neighborhood Types



Step 4. Locate Pedestrian Sheds

The Pedestrian Shed is the primary structuring element for neighborhoods at the sub-regional scale.



Step 5. Refine Pedestrian Sheds

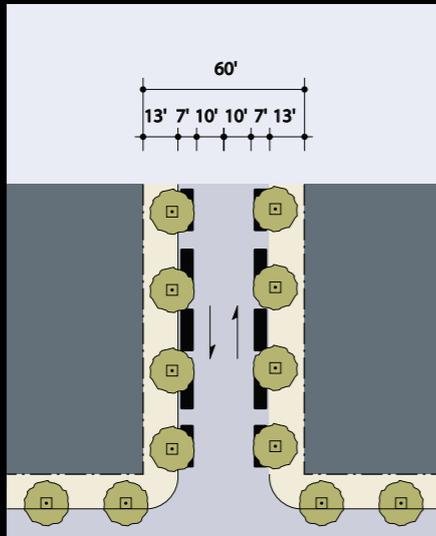
Refine the Pedestrian Sheds into Network Pedestrian Sheds that delineate the actual walkable catchment area.



Step 6. Connect Neighborhood Centers

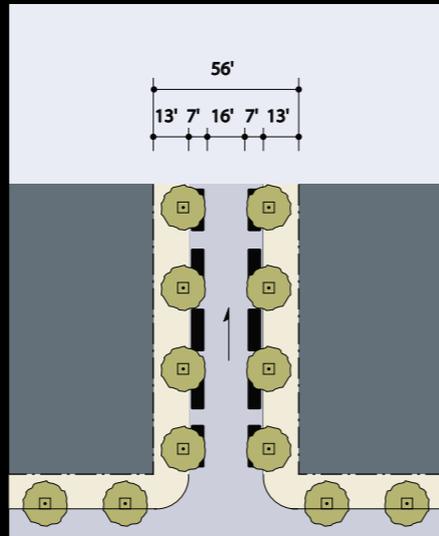
Connect neighborhood
centers to each other





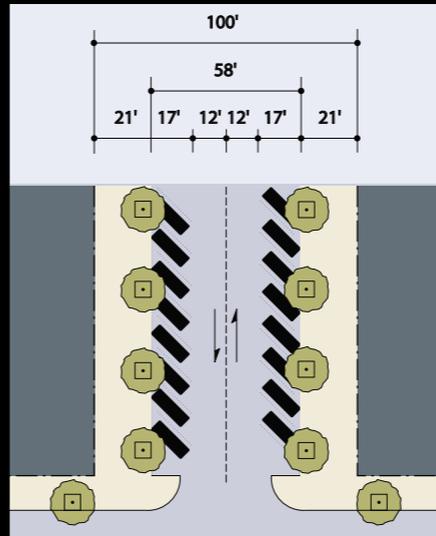
ST-60-34

Street
T4, T5
60 feet
34 feet
Slow Movement
20 MPH
9.7 seconds
2 lanes
Both Sides @ 7 feet marked
10 feet
ST, FC, DY/LC, PF
6 foot Sidewalk
4'X10' tree well
Curb
Trees at 30' o.c. Avg.
BR, SH, TR



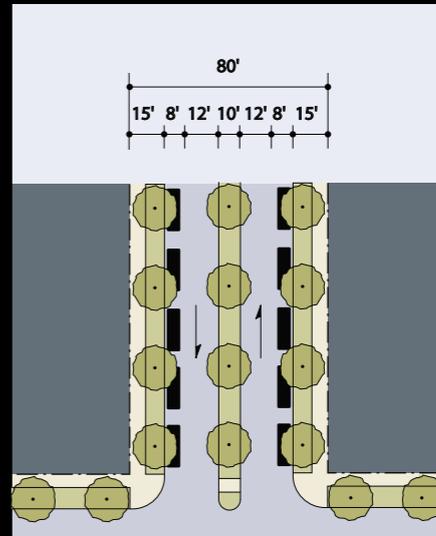
CS-56-30

Commercial Street
T5
56 feet
30 feet
Slow Movement
20 MPH
8.5 seconds
1 lane
Both Sides @ 7 feet marked
10 feet
Gallery/Arcade, Shopfront/Awning
13 foot Sidewalk
4'X10' tree well
Curb
Trees at 30' o.c. Avg.
BR, SH, TR



CS-100-58

Commercial Street
T5
100 feet
58 feet
Slow Movement
25 MPH
8.5 seconds
2 lanes
Both Sides @ 17 feet marked
10 feet
ST, FC, DY/LC, PF
21 foot Sidewalk
9'X9' tree well
Curb
Trees at 30' o.c. Avg.
BR, SH, TR



AV-80-40

Avenue
T3, T4, T5
75 feet
40 feet
Slow Movement
25 MPH
5.7 seconds - 5.7 seconds
2 lanes
Both Side @ 8 feet marked
10 feet
ST, FC, DY/LC, PF
6 foot Sidewalk
9' foot Continuous planter
Curb or Swale *
Trees at 30' o.c. Avg.
BR, SH, TR



Step 6.1. The Neighborhood has a Center & an Edge

- Center - Main Civic Space w/in 1,000' of geographic center
- Third Place or Civic Building
- Defined Edge - basis for calculations



Step 6.2. The SmartCode works with Block Structure

- Thoroughfares Connect to Other Thoroughfares
- Playgrounds within 1,000' of each Residence
- Consider Quarters w/ secondary Civic Spaces
- Block Structure forms Civic Space



Step 6.3. Block Perimeter is a Frontage

- Measured at Perimeter along connected Thoroughfares
- Frontage is at Perimeter
- Secondary Frontages
- Block Structure Forms Civic Space
- Enclosure Builds Value



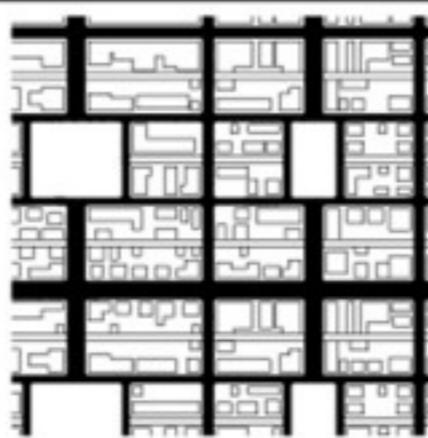
SAVANNAH PATTERN

Advantages

- Excellent directional orientation
- Controllable lot depth
- Provides end grain of blocks for fast traffic
- Even dispersal of traffic through the web
- Straight lines enhance rolling terrain
- Efficient double-loading of alleys and utilities

Disadvantages

- Monotonous unless periodically interrupted
- Does not easily absorb environmental interruptions
- Unresponsive to steep terrain
- Syn.: Orthogonal Grid, Gridiron



NANTUCKET PATTERN

Advantages

- Hierarchy with long routes for through traffic
- Even dispersal of traffic through web
- Responsive to terrain
- Easily absorbs environmental interruptions
- Monotony eliminated by terminated vistas
- Follows traces on the landscape

Disadvantages

- Uncontrollable variety of blocks and lots
- Syn.: Sitte Model, Townscape



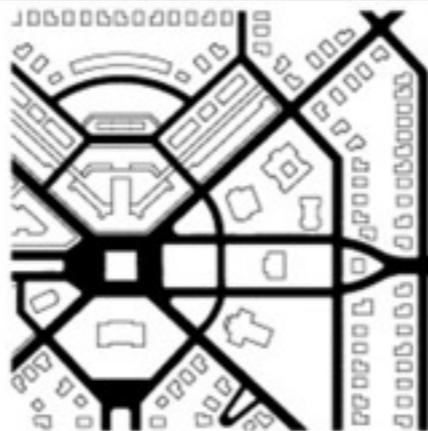
MARIEMONT PATTERN

Advantages

- Hierarchy with diagonals for through traffic
- Even dispersal of traffic through the web
- Monotony interrupted by deflected vistas
- Diagonal intersections spatially well-defined

Disadvantages

- Tends to be disorienting
- Syn.: Unwin Model, Spider Web



WASHINGTON PATTERN

Advantages

- Hierarchy with diagonals for through traffic
- Even dispersal of traffic through the grid
- Diagonals focus on terrain features
- Diagonals interrupt monotony of the grid

Disadvantages

- Uncontrollable variety of lots
- High number of awkward lot shapes
- Diagonal intersections spatially ill-defined
- Syn.: City Beautiful, Haussmann Model



RIVERSIDE PATTERN

Advantages

- Monotony interrupted by deflected vistas
- Easily absorbs environmental interruptions
- Highly responsive to terrain
- Even dispersal of traffic through the web

Disadvantages

- Highly disorienting
- Uncontrollable variety of lots
- No intrinsic hierarchy
- Syn.: Olmstedian



RADBURN PATTERN

Advantages

- Good street hierarchy for locals and collectors
- Controllable variety of blocks and lots
- Easily absorbs environmental interruptions
- Responsive to terrain

Disadvantages

- Congestion of traffic by absence of web
- Syn.: Cul-De-Sac



SQUARE BLOCK

The Square Block was an early model for planned settlements in America. It was sometimes associated with agricultural communities with four large lots per block, each with a house at its center. When the growth of the community produced additional subdivision, the replatting inevitably created irregular lots (Figure 1).

While this may provide a useful variety, it is more often regarded as a nuisance by building industry accustomed to standardized products.

A disadvantage is that discontinuous rear lot lines prevent double-loaded alleys and rear-access utilities. Despite these shortcomings, the square block is useful as a specialized type. The forced variety of platting assures a range of lot prices. When platted only at its perimeter with the center open (Figure 2), it can accommodate the high parking requirements of civic buildings. The open center may also be used as a common garden or a playground, insulated from traffic.

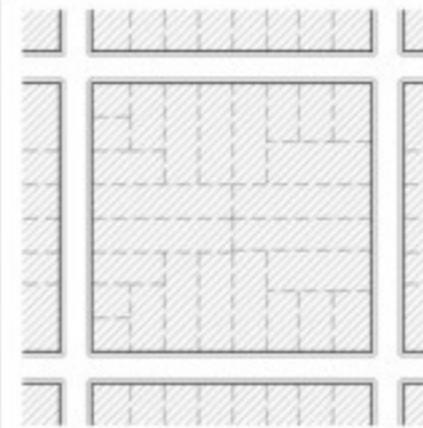


Figure 1

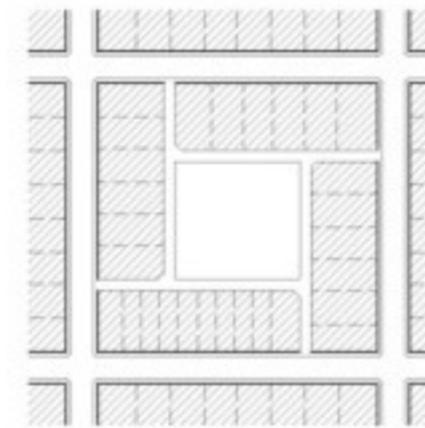


Figure 2

ELONGATED BLOCK

The Elongated Block is an evolution of the square block which overcomes some of its drawbacks. The elongated block eliminates the uncontrollable variable of lot depth, while maintaining the option of altering the lot width. Elongated blocks provide economical double-loaded alleys with short utility runs. The alley may be placed eccentrically, varying the depth of the lot (Figure 3-1). By adjusting the block length, it is possible to reduce cross-streets at the rural edges and to add them at the urban centers. This adjustment alters the pedestrian permeability of the grid, and controls the ratio of street parking to the building capacity of the block.

The elongated block can bend somewhat along its length.

giving a limited ability to shape space and to negotiate slopes (Figure 4). Unlike the square block, it provides two distinct types of frontage. With the short side or end grain assigned to the higher traffic thoroughfare, most buildings can front the quieter long side of the block (Figure 3-2). For commercial buildings, the end grain can be platted to take advantage of the traffic while the amount of parking behind is controlled by the variable depth (Figure 3-3).

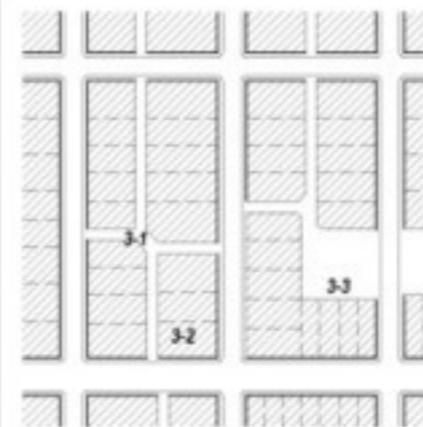


Figure 3



Figure 4

IRREGULAR BLOCK

The Irregular Block is characterized by its unlimited variations. The original organic block was created by the subdivision of land residual between well-worn paths.

It was later rationalized by Sitte, Cullen, Krier, and Olmsted to achieve a controllable picturesque effect and to organically negotiate sloping terrain. An important technique in the layout of irregular blocks is that the frontages of adjacent blocks need not be parallel (Figure 5). The irregular block, despite its variety, generates certain recurring conditions which must be resolved by sophisticated platting. At shallow curves, it is desirable to have the facades follow the frontage smoothly. This is achieved by maintaining the side lot lines perpendicular

to the frontage line (Figure 5-1). It is important that the rear lot line be wide enough to permit vehicular access (Figure 5-2). At sharper curves, it is desirable to have the axis of a single lot bisect the acute angle (Figure 5-3). In the event of excessive block depth it is possible to access the interior of the block by means of a close (Figure 5-4). Syn.: Organic Block (note: discuss topography)



Figure 5



Figure 6



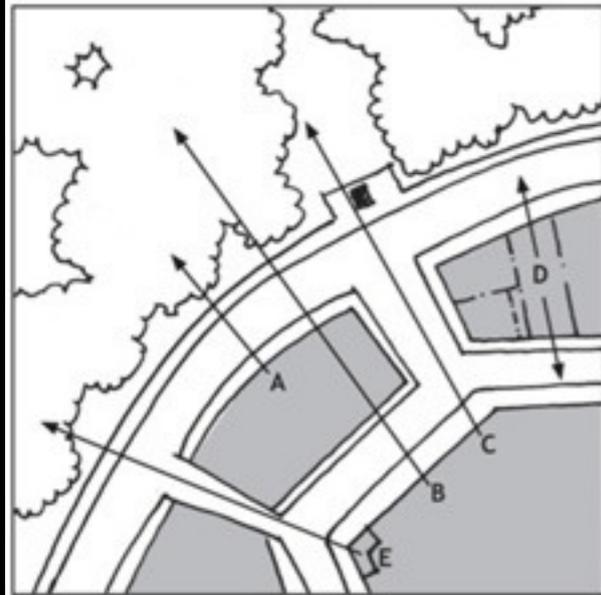
Step 6.4. Build Character with Terminated Vistas

- Special Requirement
- Civic uses are essential to the social fabric of the neighborhood
- Locate at important, prominent locations: this builds value



PRIVATE VIEWS

A number of strategies are identified for establishing a diverse hierarchy of views to the surrounding landscape and village from private units. Views may be captured thorough windows, balconies, verandas, and exclusive top floor loggia.



- A. Direct to an uninterrupted view
- B. Layered over village roof lines
- C. Framed through a block opening within the village fabric
- D. Double Sided with both village views and mountain views
- E. Loggia and Veranda, exclusive framed views



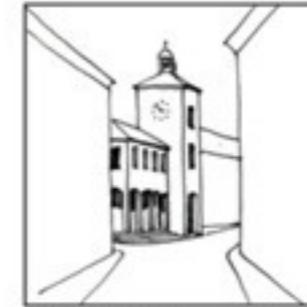
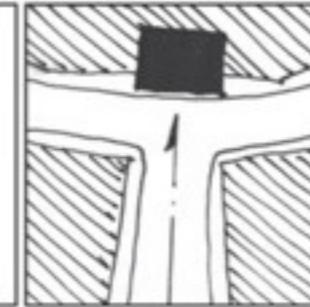
Loggia: The exclusive loggia is a covered, private porch on the top story that takes advantage of a framed viewshed through the village fabric.

VILLAGE VISTAS

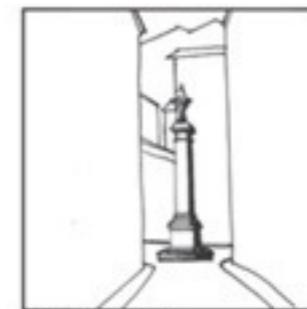
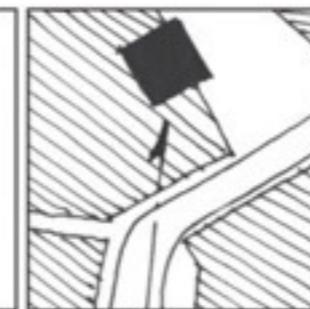
Emulating the complex character of medieval towns, vistas created within the village provide both aesthetic charm and a means of wayfinding through the public realm of the village. Vistas are typically directed at foreground buildings and spectacular views.



Terminated Vista

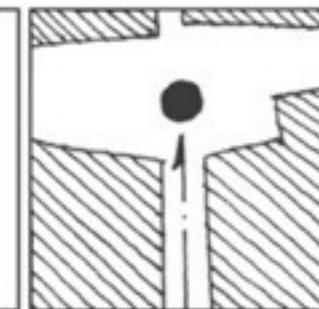
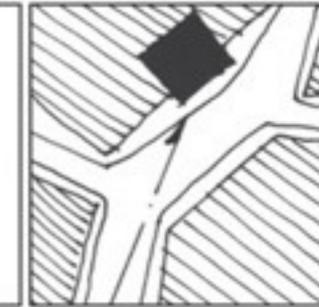


Layered Vista



Direct Viewshed Vista

Public Art Vista





Civic Spaces



Civic Spaces

- Civic Spaces are required to be 5% of the Community Unit and qualify as Parks and Open Space.





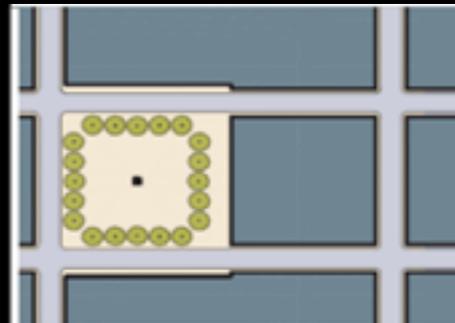


a. **Conservancy:** A natural preserve available for unstructured recreation. A Conservancy may be independent of surrounding building Frontages. Its landscape shall consist of Paths, bike trails and pedestrian trails, meadows, water bodies, woodland and open shelters, all naturalistically disposed. Conservancies may be lineal, following the trajectories of natural resource corridors, although wetlands may be part of the Conservancy, the wetlands shall not count toward Conservancy acreage. Buffers may be included. The minimum size should be 8 acres. Conservancies may be approved by Administrative Approval as Special Districts in all zones.



T1
T2
T3

Plaza: An Open Space available for Civic purposes and Commercial activities. A Plaza shall be spatially defined by building Frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas should be located at the intersection of important streets. The minimum size should be 1/4 acre and the maximum should be 2 acres.



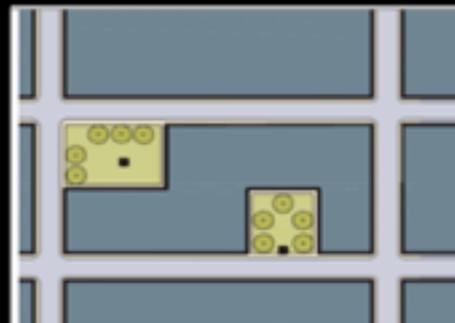
T5

b. **Neighborhood Park Special District:** A Neighborhood Park SD may be independent of surrounding building Frontages and may occur outside a Pedestrian Shed. The minimum size shall be 5 acres. Neighborhood Park SDs should include junior size play apparatus, softball diamond, 1/2 basketball court, area for lawn and field games, area for crafts, open area for general play, volleyball area, soccer field, picnic tables and benches, and / or shelters. They may include bike and pedestrian trails as well.



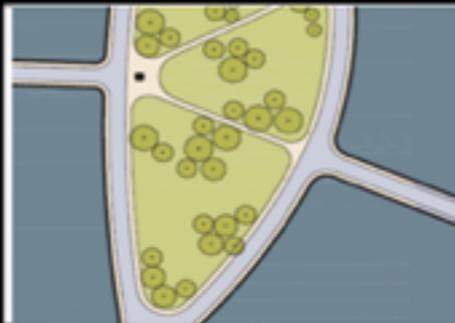
SD

g. **Playground:** An Open Space designed and equipped for the recreation of children. A Playground should be fenced and may include an open shelter. Playgrounds shall be interspersed within Residential areas and may be placed within a Block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size.



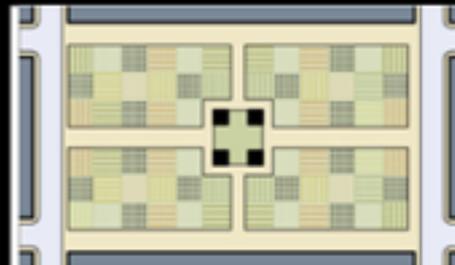
T1
T2
T3
T4
T5

c. **Neighborhood Park:** An Open Space, available for structured recreation. Landscaping may spatially define a Green rather than building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size should be 4 acres and the maximum shall be 5 acres. Neighborhood Parks should include junior size play apparatus, softball diamond, 1/2 basketball court, area for lawn and field games, area for crafts, open area for general play, volleyball area, soccer field, picnic tables and benches, and / or shelters, bike trails and pedestrian trails.



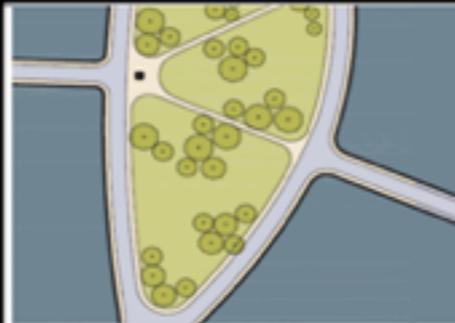
T1
T2
T3
T4

h. **Community Garden:** An Open Space designed and equipped for garden plots. A Community Garden should be fenced and may include a tool shed. Running water is required. Community Gardens shall be interspersed within Residential areas and may be placed within a Block or included within Parks and Greens. There shall be no minimum or maximum size.



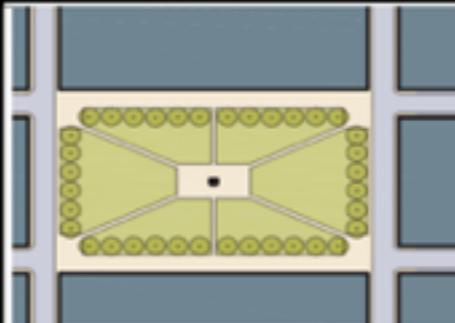
T1
T2
T3
T4
T5

d. **Green:** An Open Space, available for unstructured recreation, and may include bike trails. Landscaping may spatially define a Green rather than building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size should be 1/2 acre and the maximum should be 8 acres.



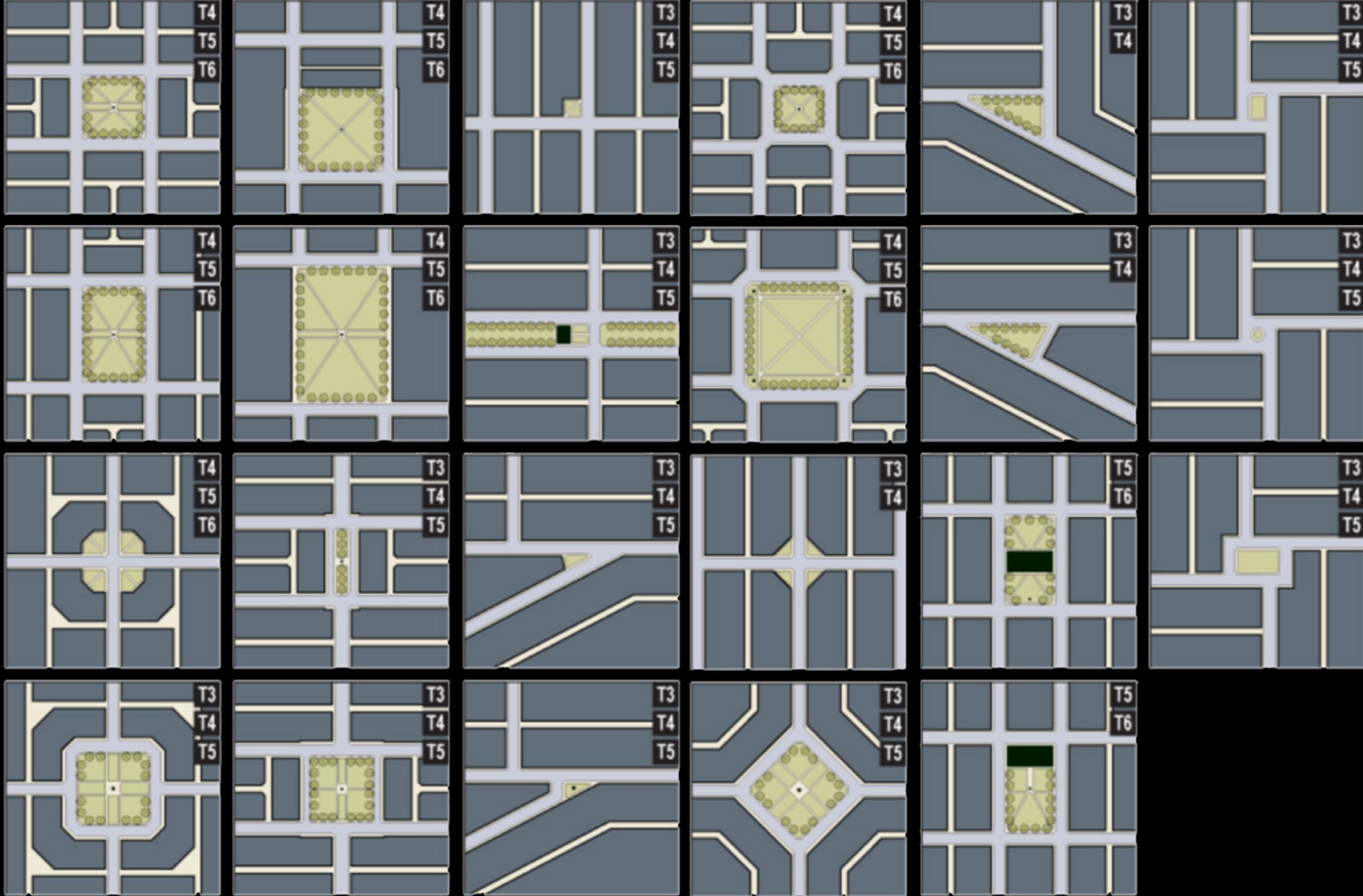
T3
T4

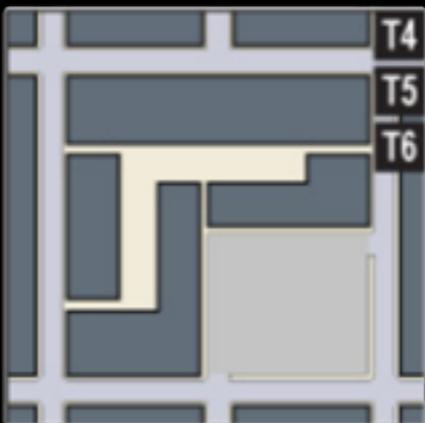
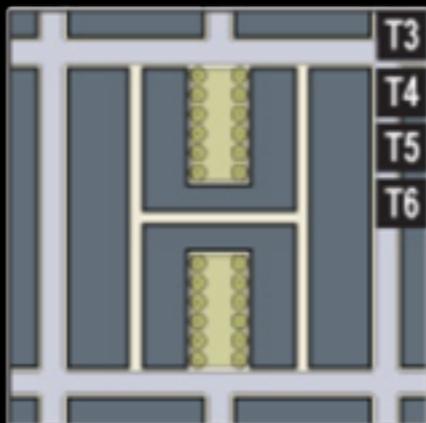
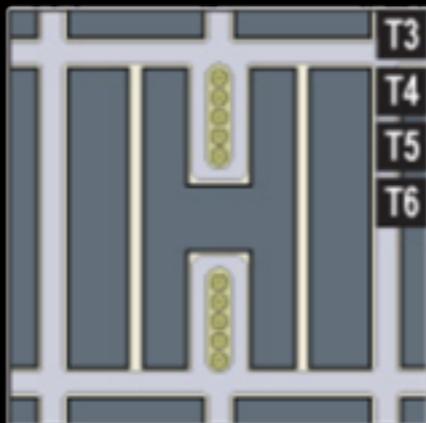
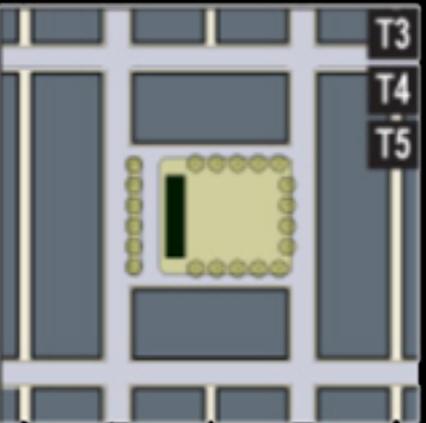
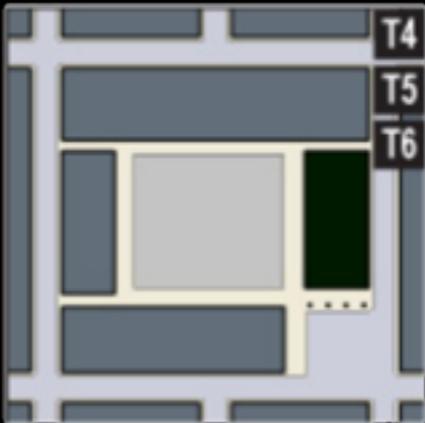
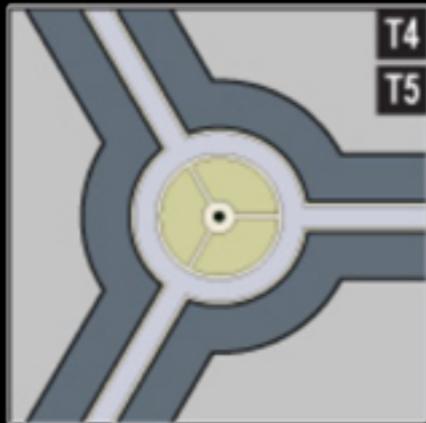
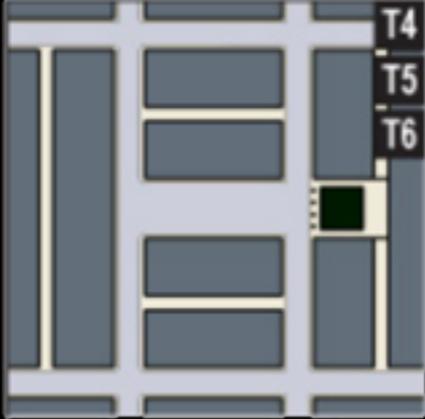
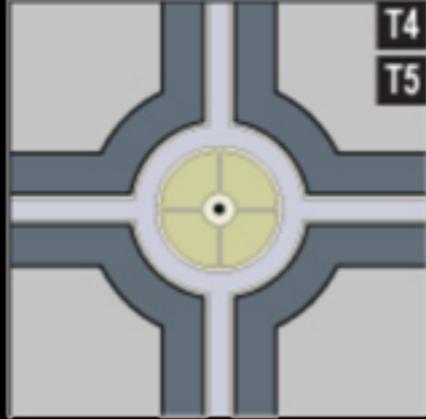
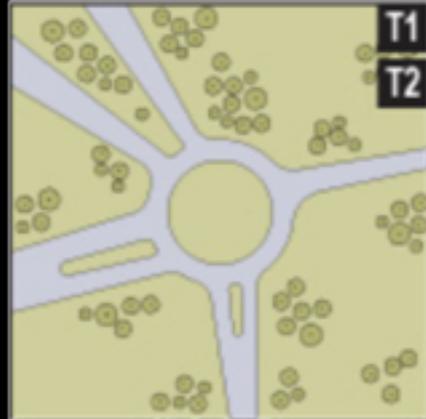
e. **Square:** An Open Space available for unstructured recreation and Civic purposes. A Square is spatially defined by building Frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important Thoroughfares. The minimum size should be 1/2 acre and the maximum should be 5 acres.



T4
T5



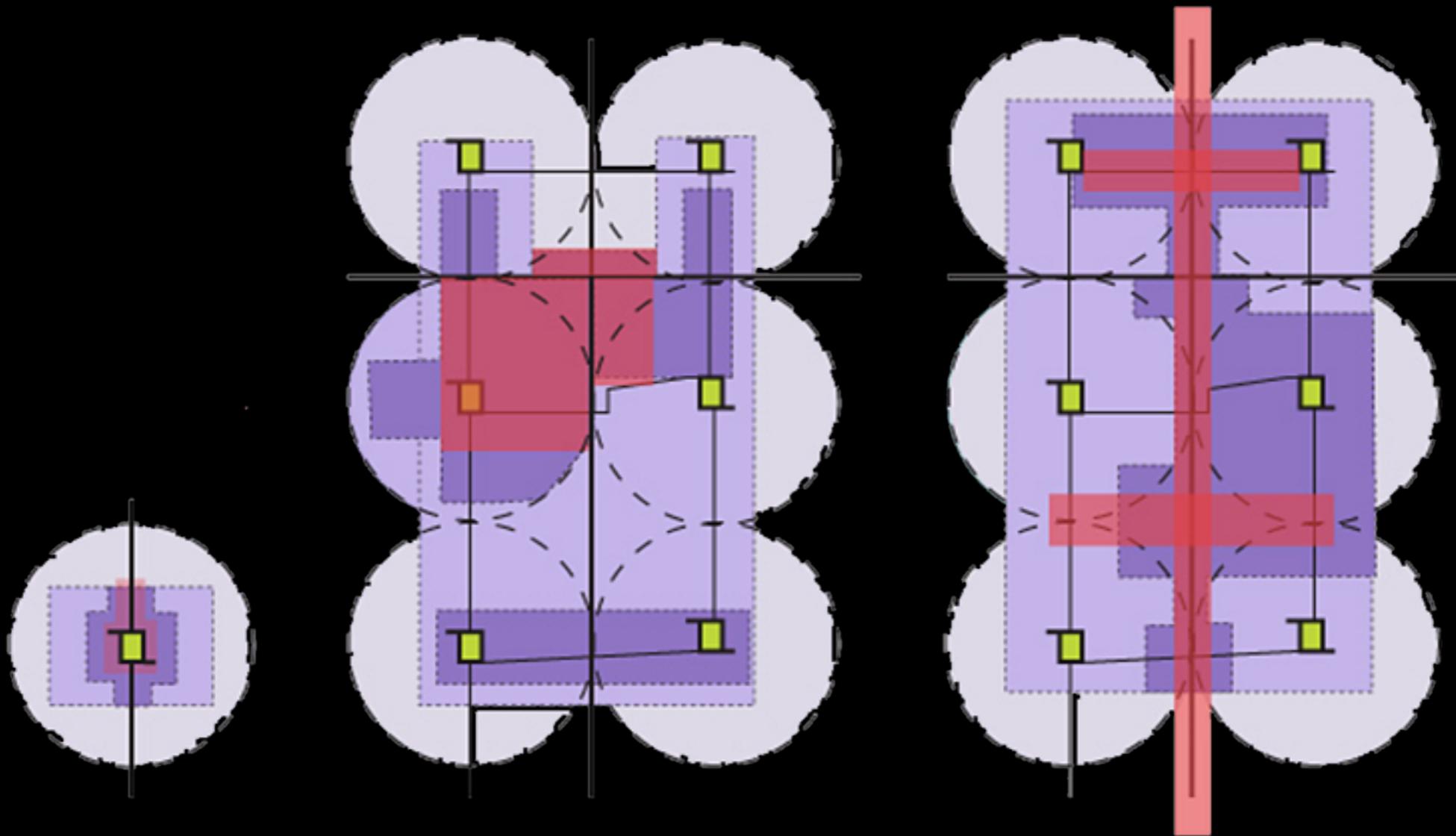




#7 Detail Transect Zones

- The Transect analyzes and coordinates the built environment to the block and parcel level.
- Assign Percentages.
- What is desired result?
- What is the context?





Rationale





T3 Design Intensity



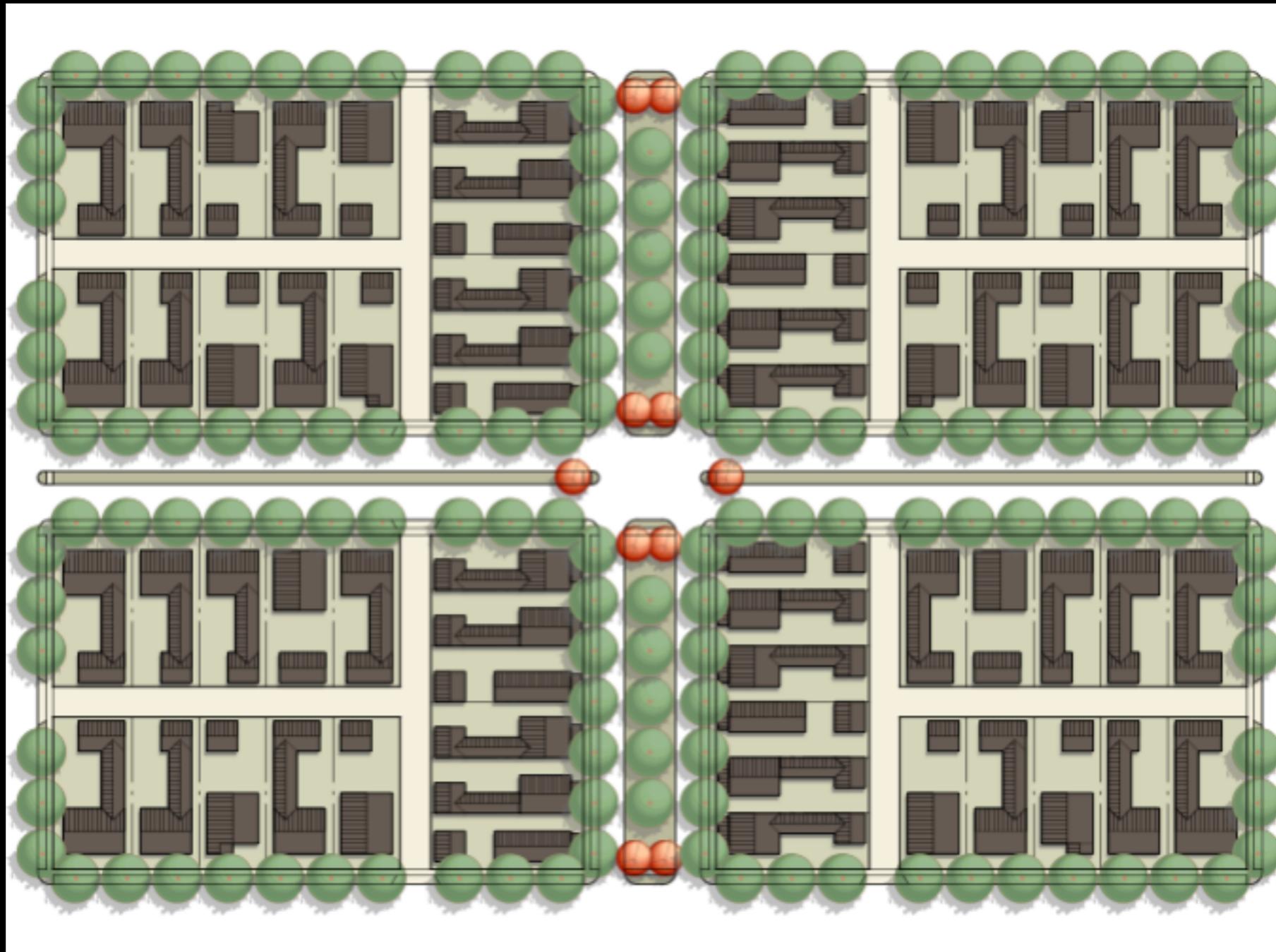




T4 Design Intensity

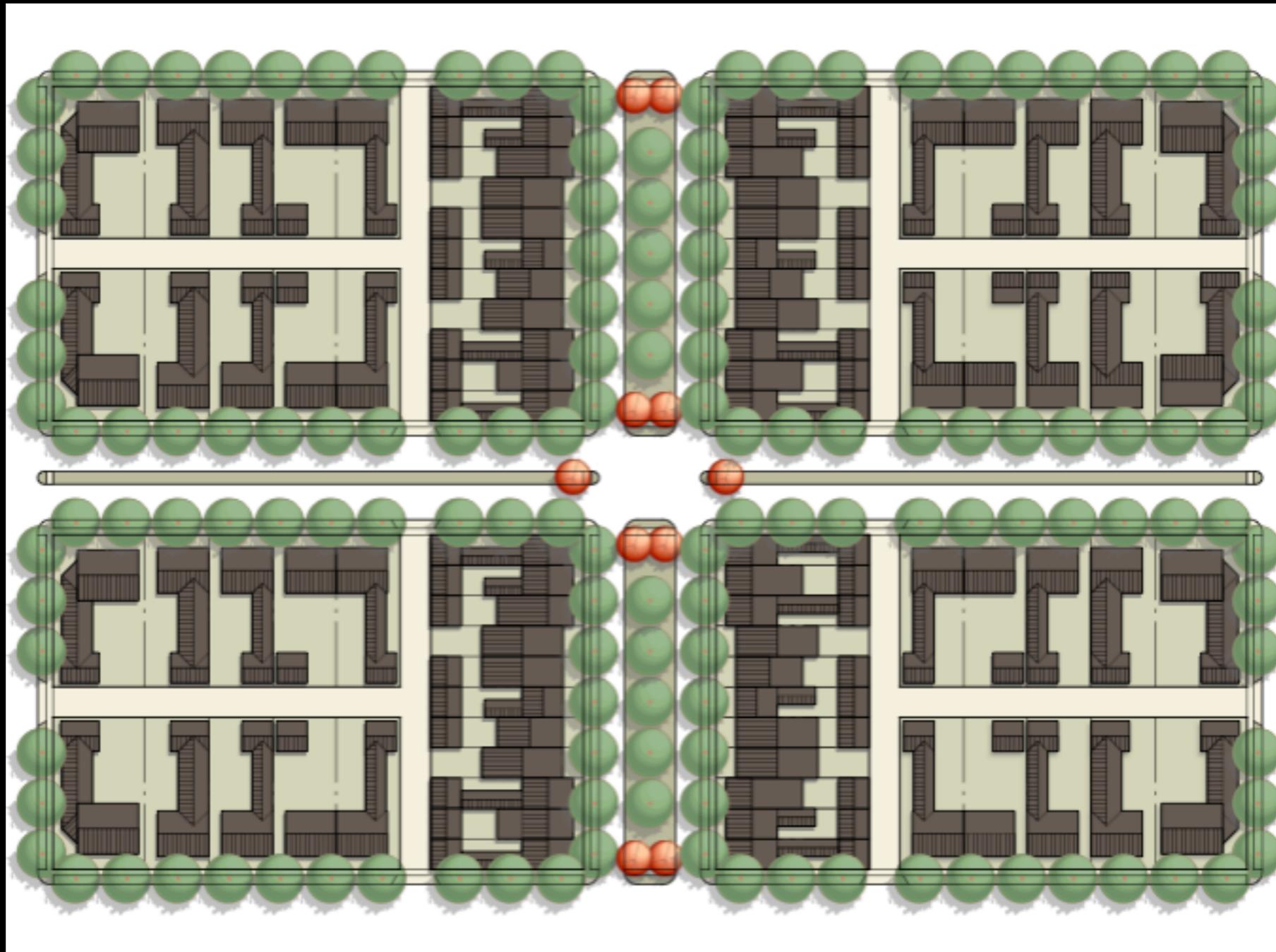






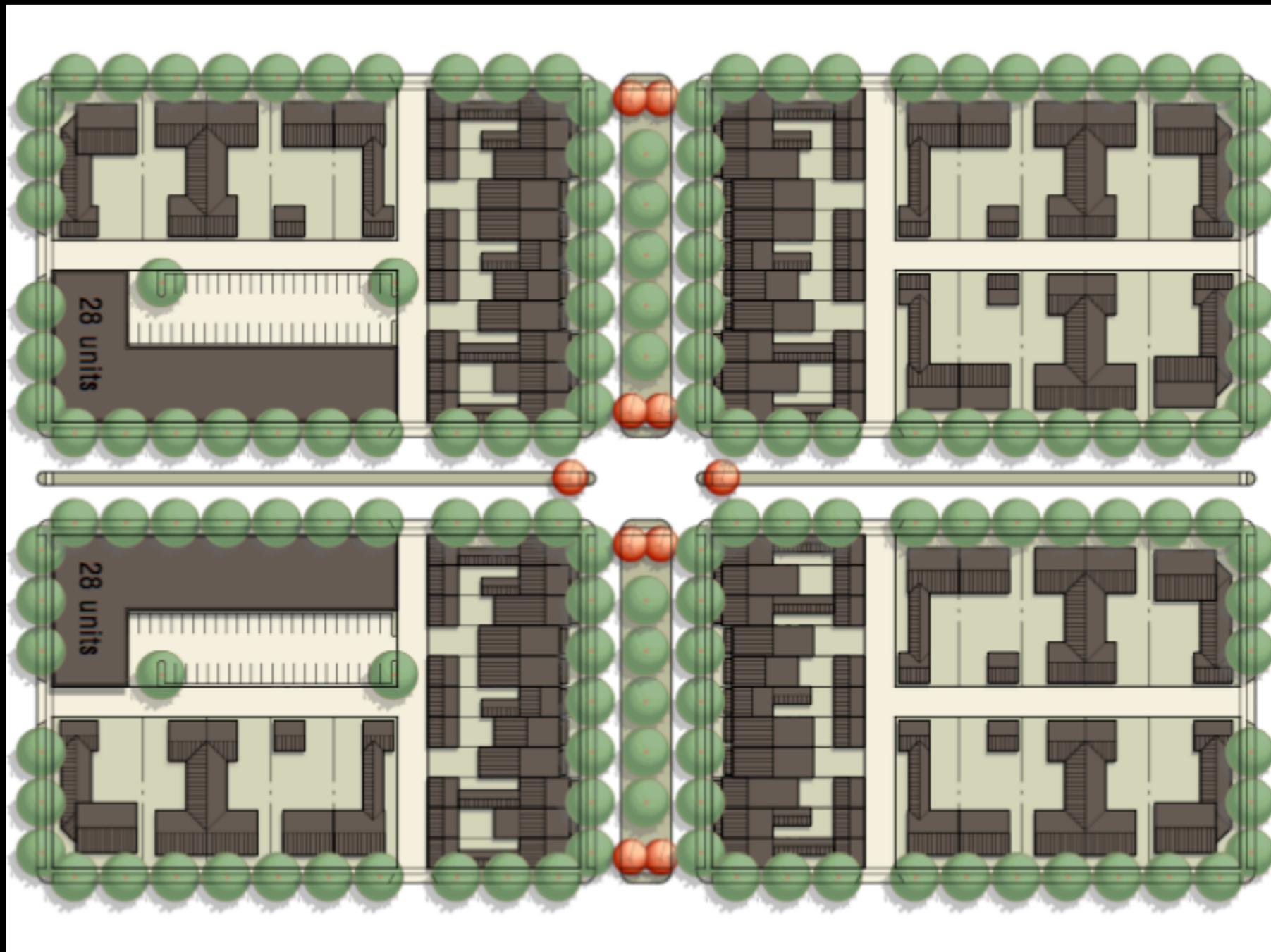
Edgeyard and Sideyard
5.5 du/acre





Edgeyard, Sideyard and Rearyard
7.2 du/acre





Edgeward, Sideyard and Rearyard
11.2 du/acre





T5 Design Intensity





Infill Neighborhood Design

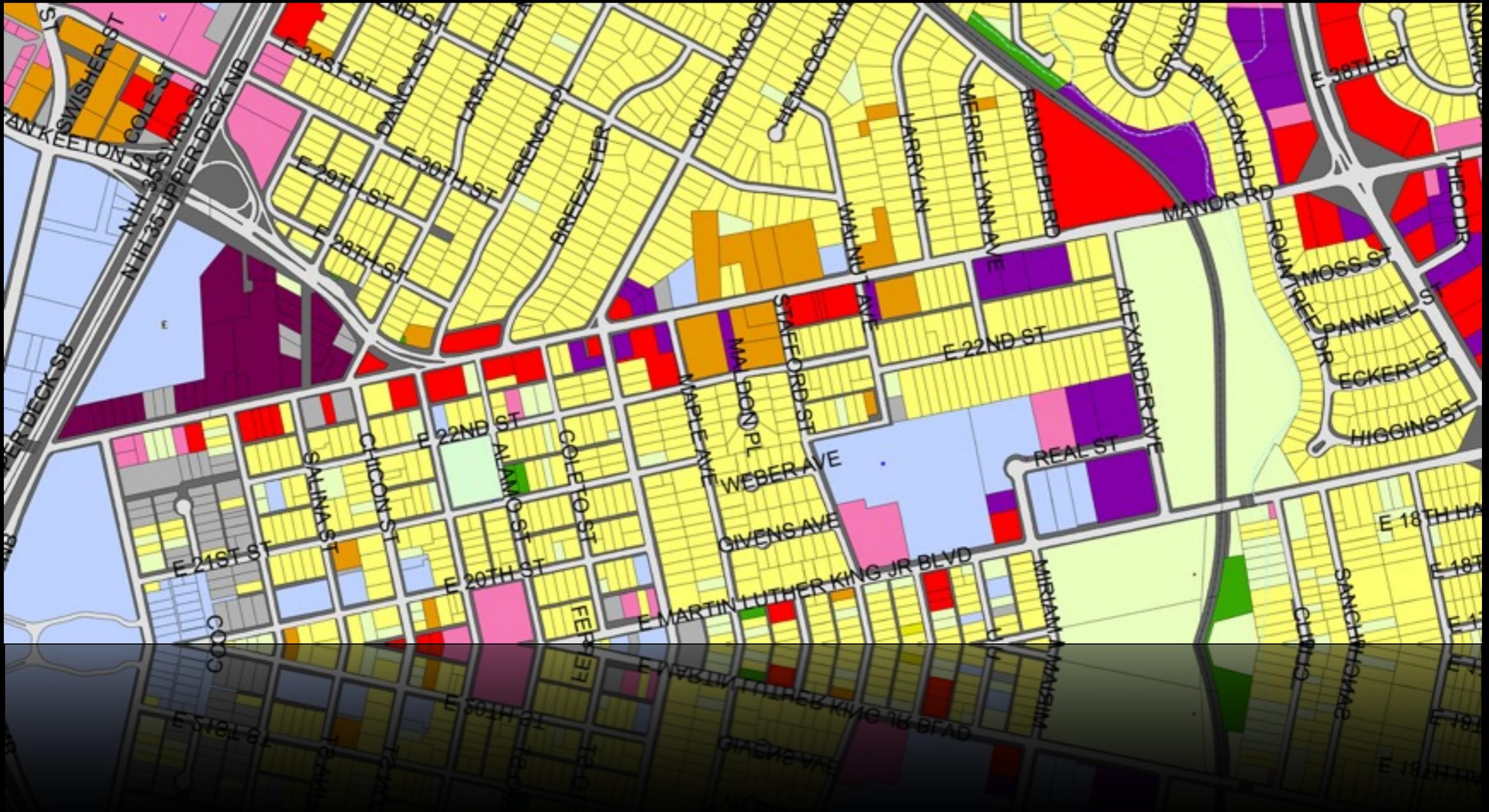
Article 4 Design Considerations





Community Type





Existing Zoning





Zoning/Transect Map



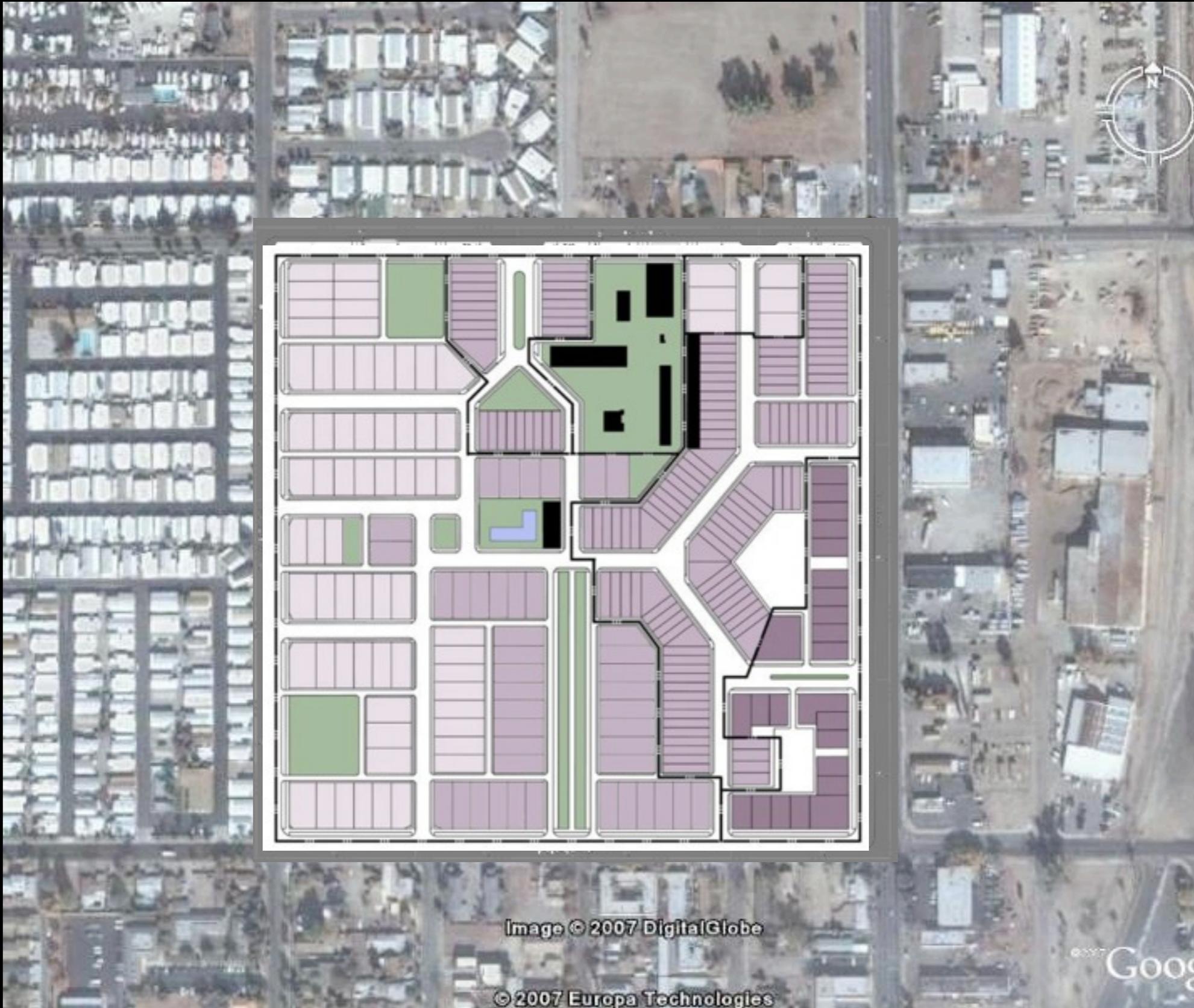


Image © 2007 DigitalGlobe

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- Build half-streets as lanes on property line
- Use thoroughfares to divide parcel
- Use existing vegetation for public space



Work with Parcel Lines



- Build half-streets as lanes on property line
- Use thoroughfares to divide parcel
- Use existing vegetation for public space



Work with Parcel Lines





Mix of Housing: Courtyard, Sideyard, Row Houses, and Edge Yard

Civic Building (Community Center or Religious)

Shared Full Soccer Field (Two Junior Fields Inset)

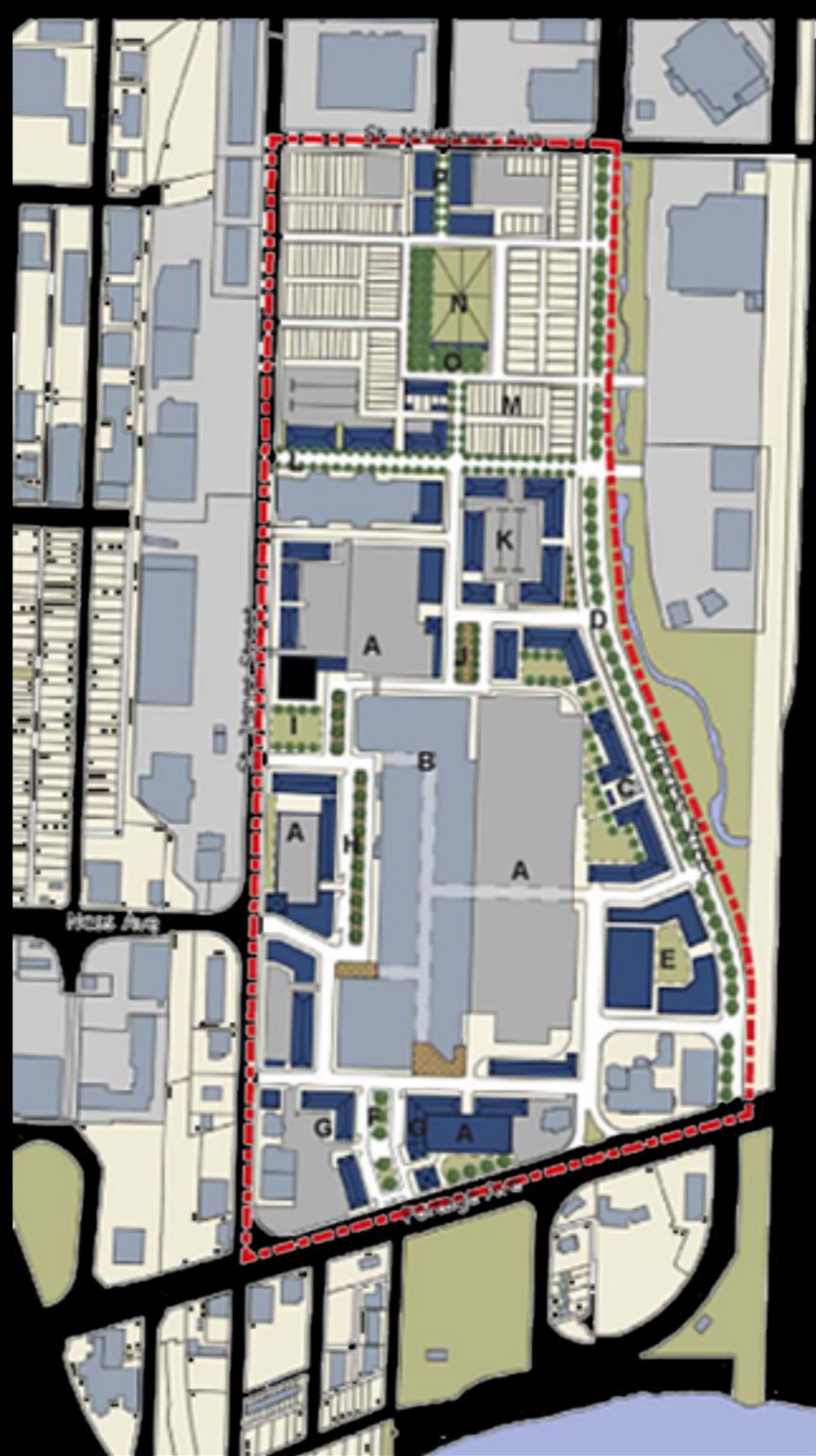
Possible Live/Work at Corner

Single Family T-3 provide interface at edge.

Plaza/Plazuela serves as central gathering space

Work with Parcel Lines

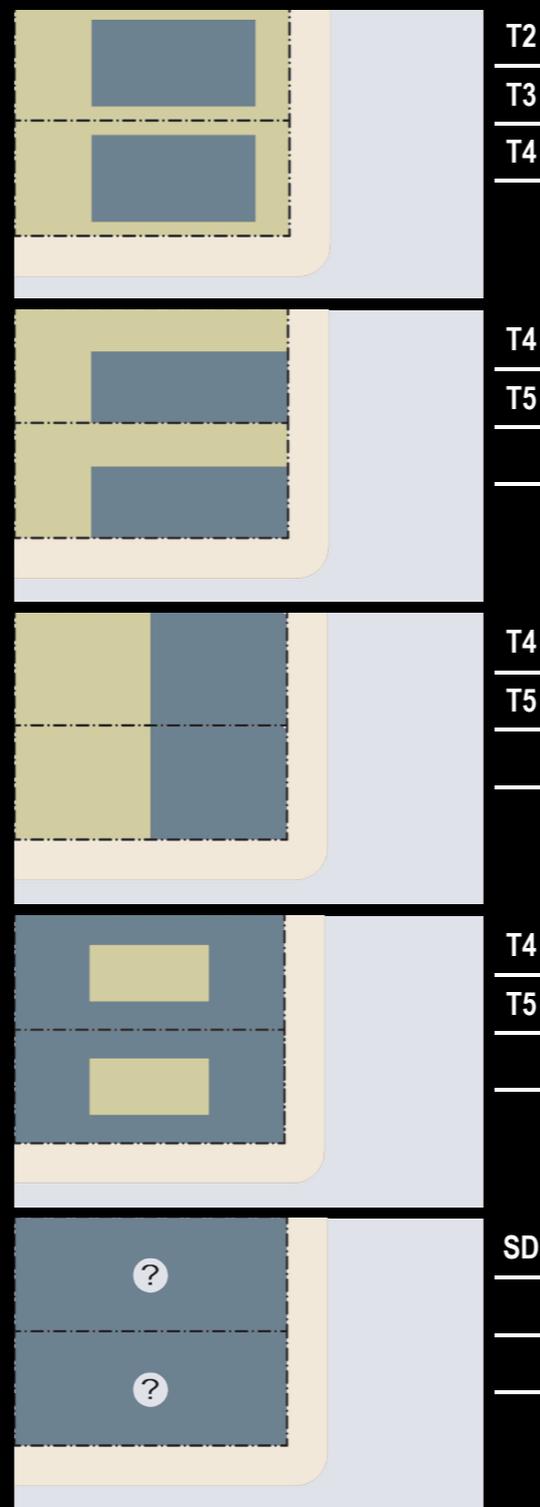




Parcel Design

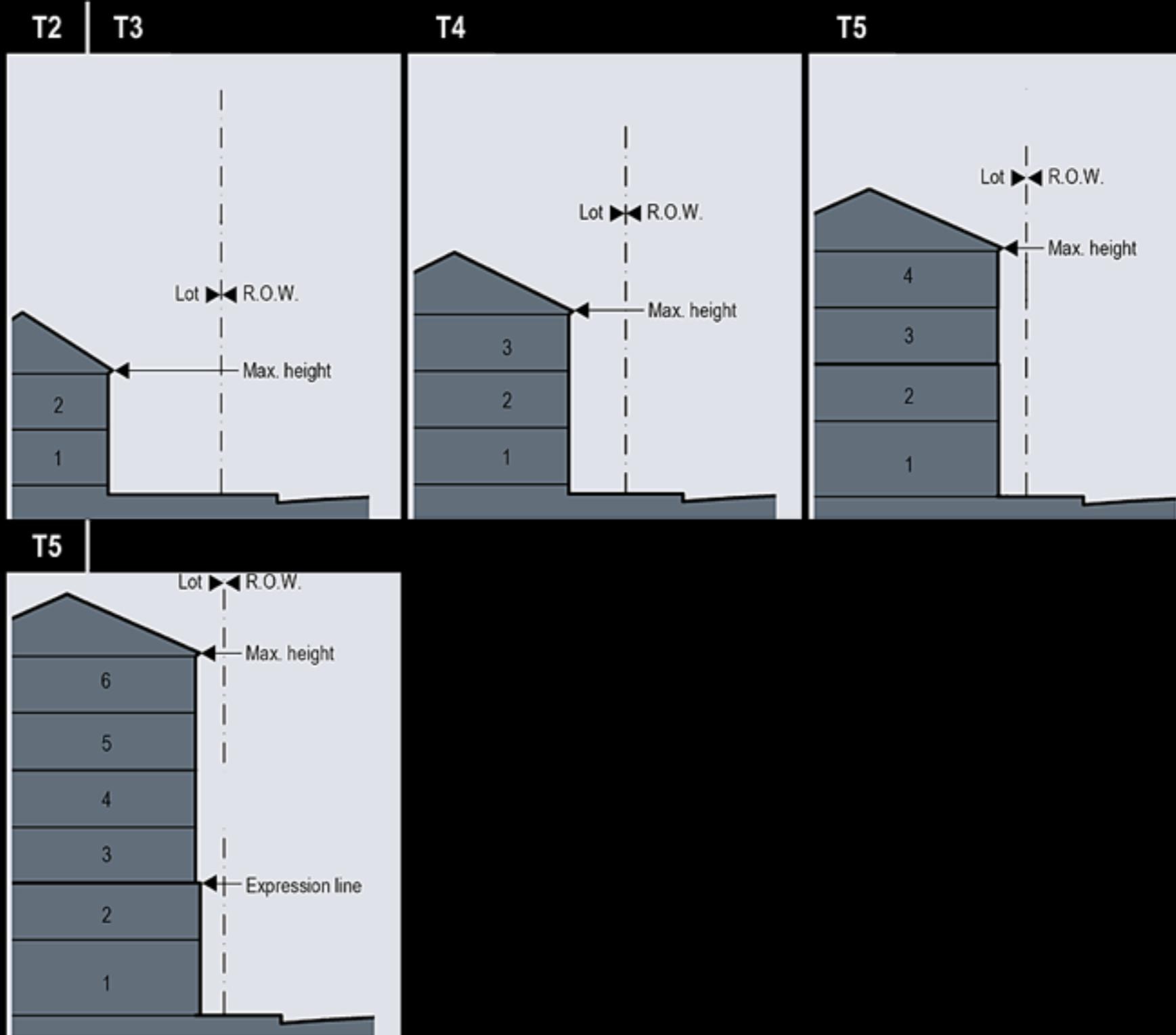
Article 5 Design Considerations





Disposition

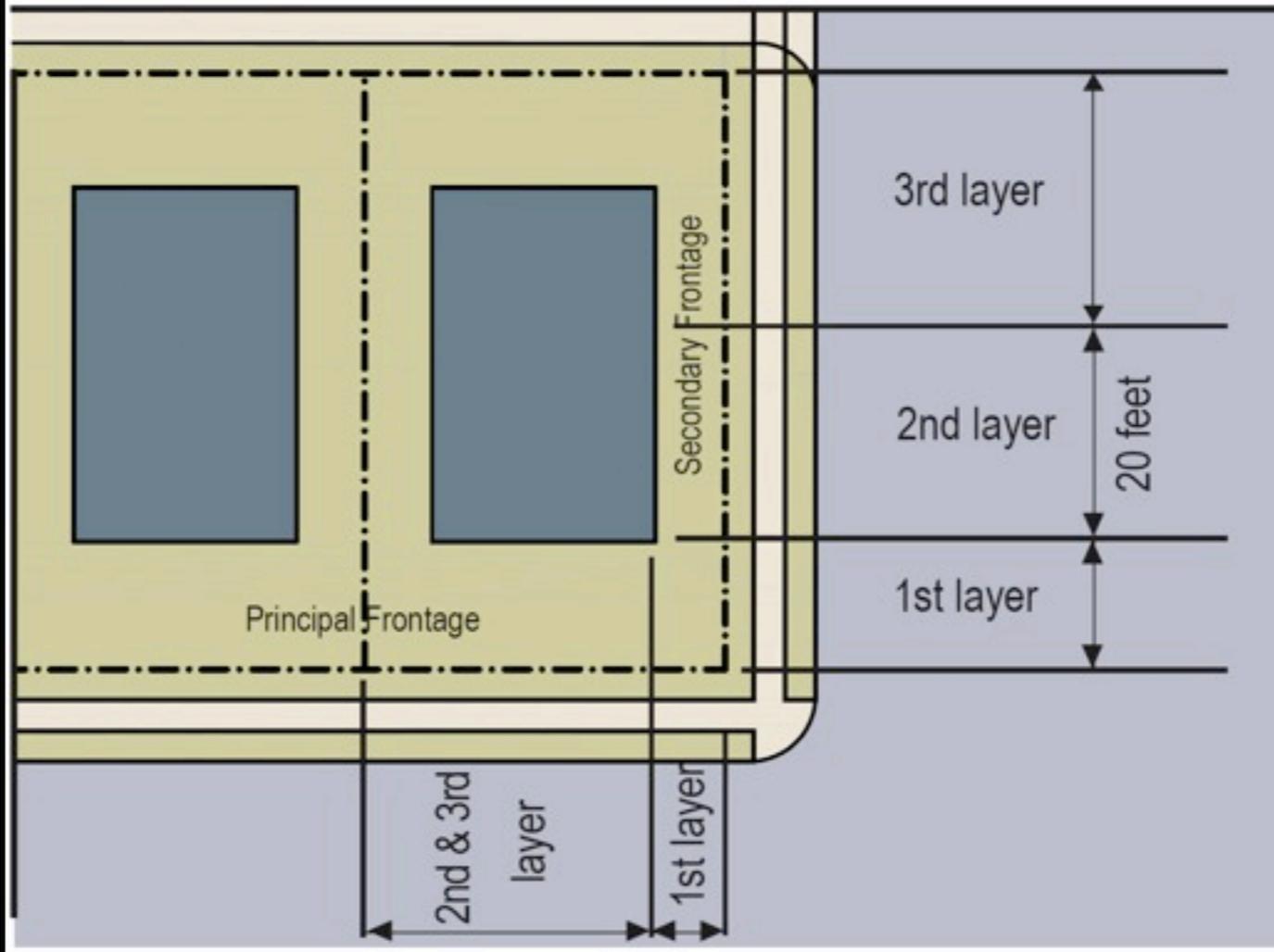




Configuration



d. LOT LAYERS

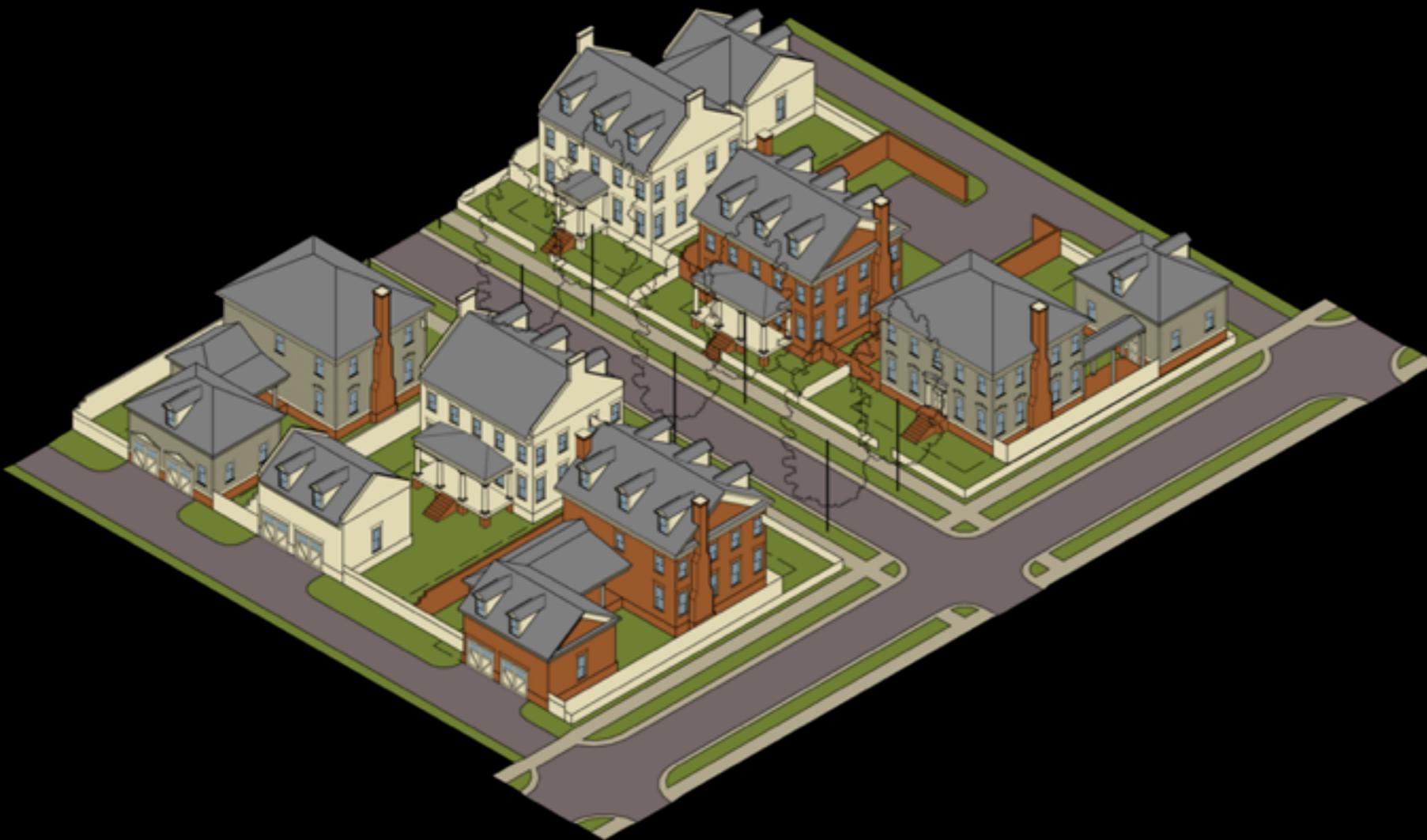


HOUSE LOTS

LOT DIMENSION VARIATIONS BY CONTEXT T-ZONES

DIMENSION	T2	T3	T4	T5
FRONT SETBACK		25'	15'	
SIDE SETBACK		10'	5'	
SIDE STREET SETBACK (ONLY AT CORNER LOT)		20'	15'	
REAR: ONLY ONE OPTION BELOW APPLIES AT OWNER'S OPTION				
ALTERNATE GARAGE & REAR SETBACK		15'	15'	
REAR LANE SETBACK		5'	5'	

* Garage setback from lane may be exactly 5' or a minimum of 15' at the Owner's option. The alternate garage setback allows room for a car to park off the lane in the driveway.

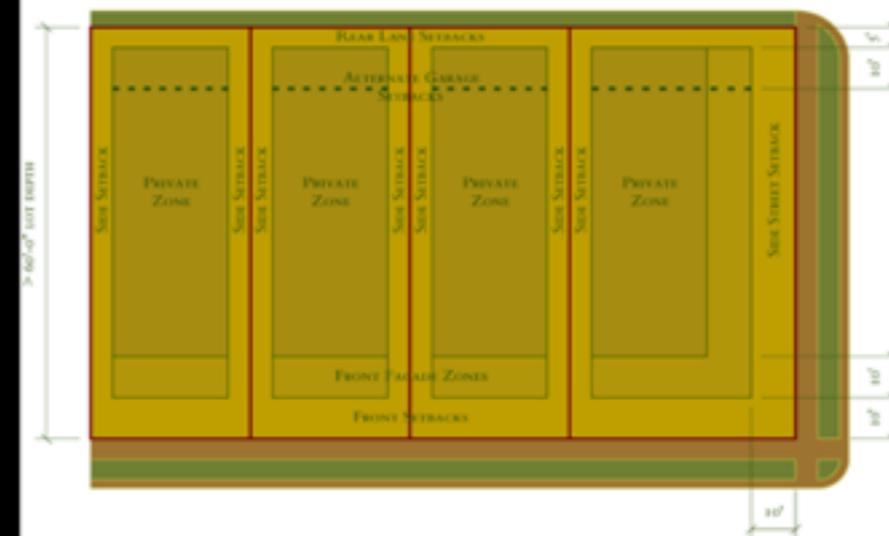
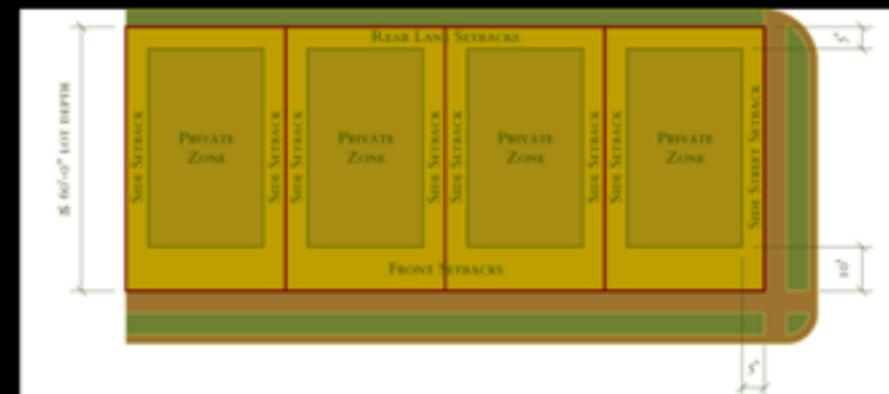




COTTAGE LOTS

LOT DIMENSION VARIATIONS BY CONTEXT T-ZONES

DIMENSION	T2	T3	T4	T5
FRONT SETBACK			VARIES	
SIDE SETBACK				
SIDE STREET SETBACK (ONLY AT CORNER LOT)			15'	
REAR: ONLY ONE OPTION BELOW APPLIES AT OWNER'S OPTION				
ALTERNATE GARAGE SETBACK			VARIES	
REAR LANE SETBACK			5'	





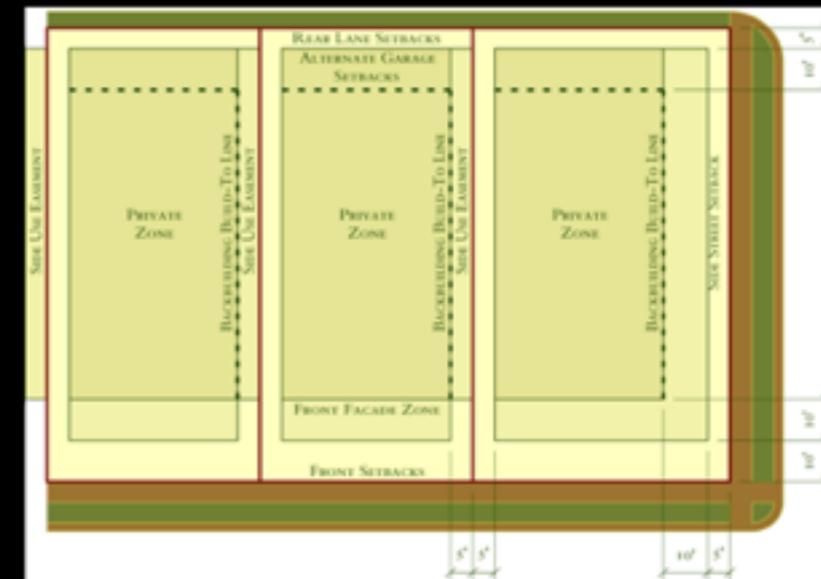
SIDEYARD HOUSE LOTS

Dimensions specified by number and name in the drawing below do not change from one Context T-Zone to another. Dimensions specified by name only in the drawing below do change as follows from one Context T-Zone to another:

LOT DIMENSION VARIATIONS BY CONTEXT T-ZONES

DIMENSION	T2	T3	T4	T5
FRONT SETBACK			10'	
SIDE SETBACK			5'	
SIDE STREET SETBACK (ONLY AT CORNER LOT)			5'	
REAR: ONLY ONE OPTION BELOW APPLIES AT OWNER'S OPTION				
ALTERNATE GARAGE SETBACK			15'	
REAR LANE SETBACK			5'	

Sideyard house lots will be platted with Side Yard Use Easements as shown below. The Use Easement is available to the house of the adjacent property. Garage setback from lane may be exactly 5' or a minimum of 15' at the Owner's option. The alternate garage setback allows room for a car to park off the lane in the driveway.



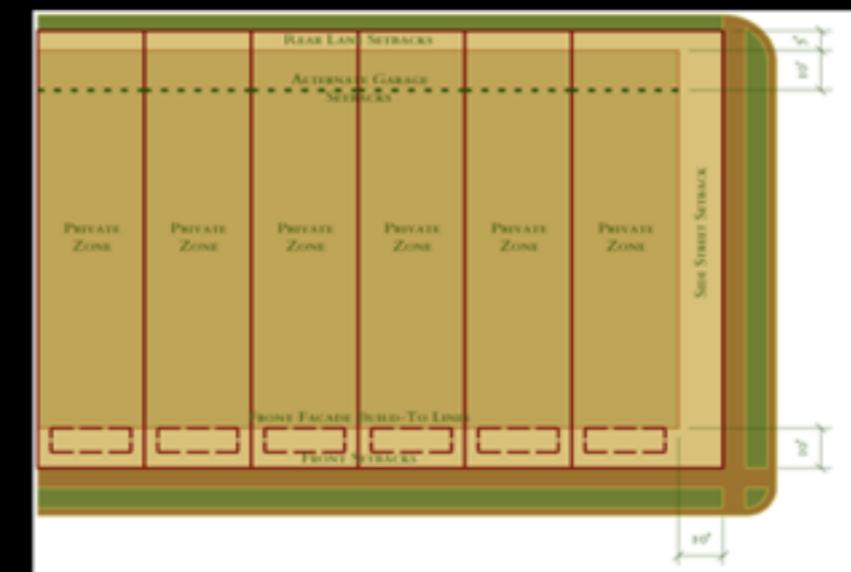


TOWNHOUSE LOTS

LOT DIMENSION VARIATIONS BY CONTEXT T-ZONES

DIMENSION	T2	T3	T4	T5
FRONT SETBACK			10' BT	10' BT
SIDE SETBACK			0'	0'
SIDE STREET SETBACK (ONLY AT CORNER LOT)			10'	10' BT
REAR: ONLY ONE OPTION BELOW APPLIES AT OWNER'S OPTION				
ALTERNATE GARAGE SETBACK			15'	15'
REAR LANE SETBACK			5'	5'

* Garage setback from lane may be exactly 5' or a minimum of 15' at the Owner's option. The alternate garage setback allows room for a car to park off the lane in the driveway. If buildings are not located at the 5' lane yard setback, a fence, wall, or hedge shall be used to maintain the lane edge.





LIVE/WORK AND OFFICE LOTS

LOT DIMENSION VARIATIONS BY CONTEXT T-ZONES

DIMENSION	T2	T3	T4	T5
FRONT SETBACK				0' BT
SIDE SETBACK				0'
SIDE STREET SETBACK (ONLY AT CORNER LOT)				0'
REAR: ONLY ONE OPTION BELOW APPLIES AT OWNER'S OPTION				
ALTERNATE GARAGE SETBACK				15'
REAR LANE SETBACK				5'

* Garage setback from lane may be exactly 5' or a minimum of 15' at the Owner's option. The alternate garage setback allows room for a car to park off the lane in the driveway.

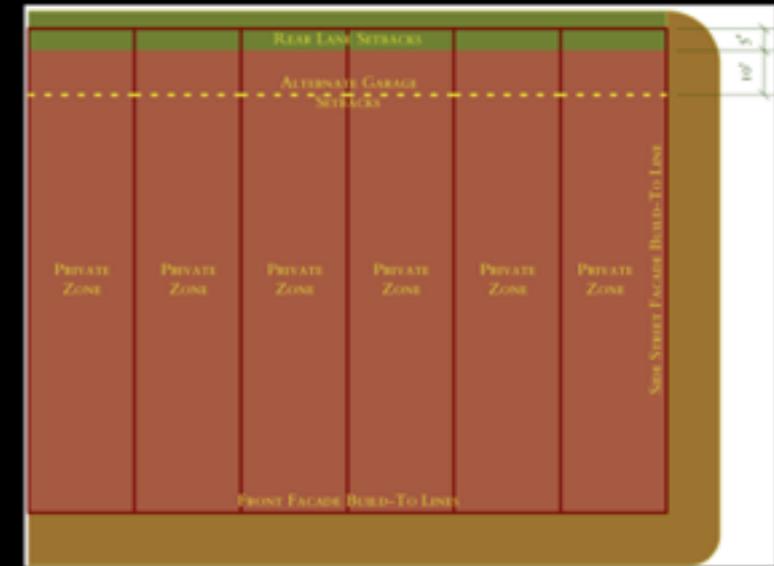
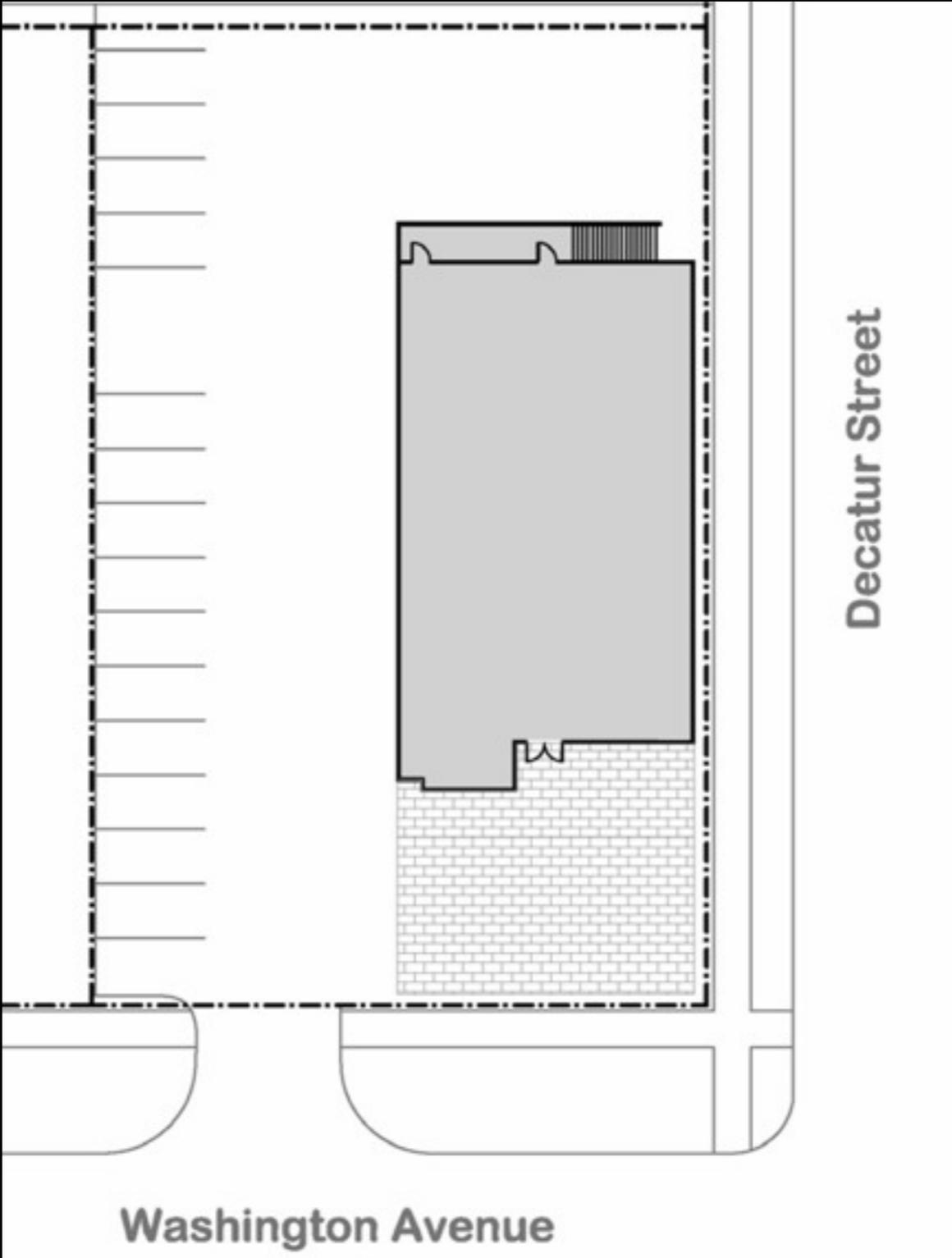


TABLE 19. PARKING CALCULATIONS

The gross minimum number of parking spaces listed below shall be multiplied by the "occupancy rate" as found in Table 20, for each use for the weekday night, daytime and evening periods respectively, and weekend night, daytime and evening periods respectively. The gross minimum numbers of parking spaces for each of the purposes referred to for each time period shall be added to produce the aggregate gross minimum numbers of parking spaces for each time period.

	T2	T3	T4	T5
RESIDENTIAL	2.0 / dwelling		1.5 / dwelling	1.0 / dwelling
LODGING	1.0 / unit		1 / unit	1.0 / unit
OFFICE	3.0 / 1,000 s.f.		3.0 / 1,000 s.f.	2.0 / 1,000 s.f.
RETAIL	4.0 / 1,000 s.f.		4.0 / 1,000 s.f.	3.0 / 1,000 s.f.
CIVIC	1 / 5 seats assembly use 1 / 1,000 square feet of exhibition or indoor recreation area		1 / 5 seats assembly use 1 / 1,000 s.f. exhibition or indoor recreation area Parking requirement may be reduced according to the Parking Occupancy Rate Table 20. 1 Bicycle Rack Space / 20 vehicular spaces required Parking for civic uses may be provided off-site within a distance of 1,000 feet.	1 / 5 seats assembly uses 1 / 1,000 s.f. exhibition or indoor recreation area Parking requirement may be reduced according to the Parking Occupancy Rate Table 20. 1 Bicycle Rack Space / 20 vehicular spaces required Parking ratio may be reduced within ½ mile radius of TOD and within ¼ mile radius of a Transit Corridor by thirty percent (30%). Parking may be provided by ownership or lease offsite within 1000 feet.
OTHER	To be determined by Administrative Waiver			



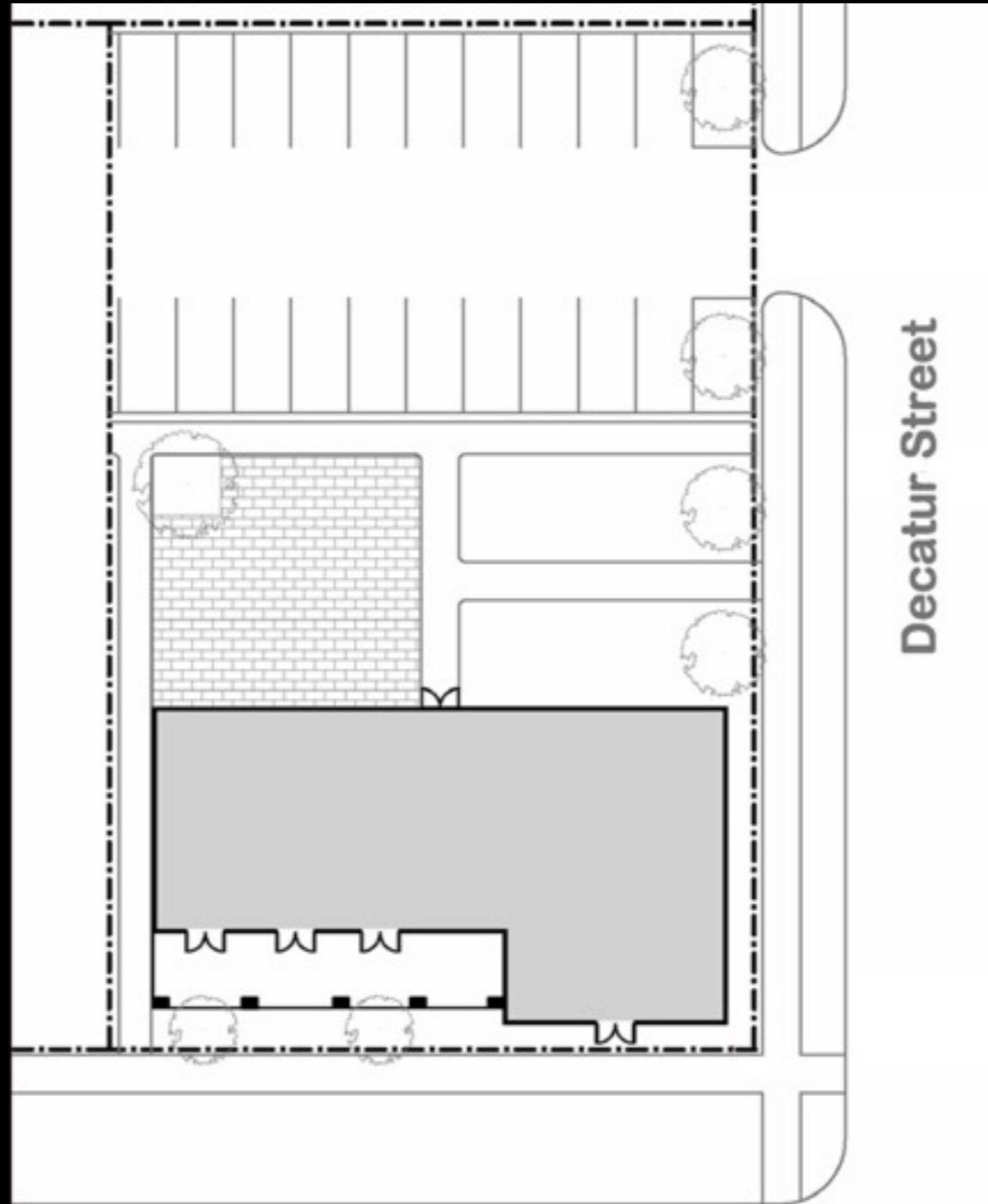


Decatur Street

Washington Avenue

Washington Avenue





Decatur Street

Washington Avenue

Washington Avenue



The Regulating Plan

Preparation & Administration



Article 3 Regulating Plan

3.1.6 New Community Regulating Plans shall include one or more maps, explanatory text and statistical information describing the following for each Community Unit in the plan area, in compliance with the standards described in this Article:

- a. Transect Zones
- b. Civic Zones
- c. Thoroughfare network
- d. Special Districts, if any
- e. Special Requirements, if any
- f. All requests for Administrative Waivers, if any.
- g. All requests for Administrative Approvals, if any.



3.2 SEQUENCE OF COMMUNITY DESIGN

3.2.1 The New Community Regulating Plan area shall be structured using one or more Pedestrian Sheds applicable to its Community Unit type as required in Section 3.3. The Pedestrian Shed(s)

should be located according to existing conditions, such as traffic intersections, adjacent developments, transit stations, and natural features. The site or any Community Unit within it may be smaller or larger than its Pedestrian Shed. The Pedestrian Shed is a planning guide, not a regulatory unit.

3.2.2 The Pedestrian Sheds may be adjusted to include land falling between or outside them including lands designated as O1 and O2 Sectors. Community Unit boundaries are determined by the boundaries of these Adjusted Pedestrian Sheds, herein after known as the Community Unit.

3.2.3 Areas of Transect Zones (Section 3.4) shall be allocated within the boundaries of each Community Unit as appropriate to its type. See Section 3.3 and Table 2a.





3.3.2 Traditional Neighborhood Development (TND)

a. A Traditional Neighborhood Development (TND) shall be permitted within the G-2 Controlled Growth Sector, the G-3 Intended Growth Sector, and the G-4 Infill Growth Sector.

b. A TND within the G-2 Controlled Growth Sector and the G-3 Intended Growth Sector shall be structured by one Standard or Linear Pedestrian Shed and shall be no fewer than 40 acres and no more than 200 acres.

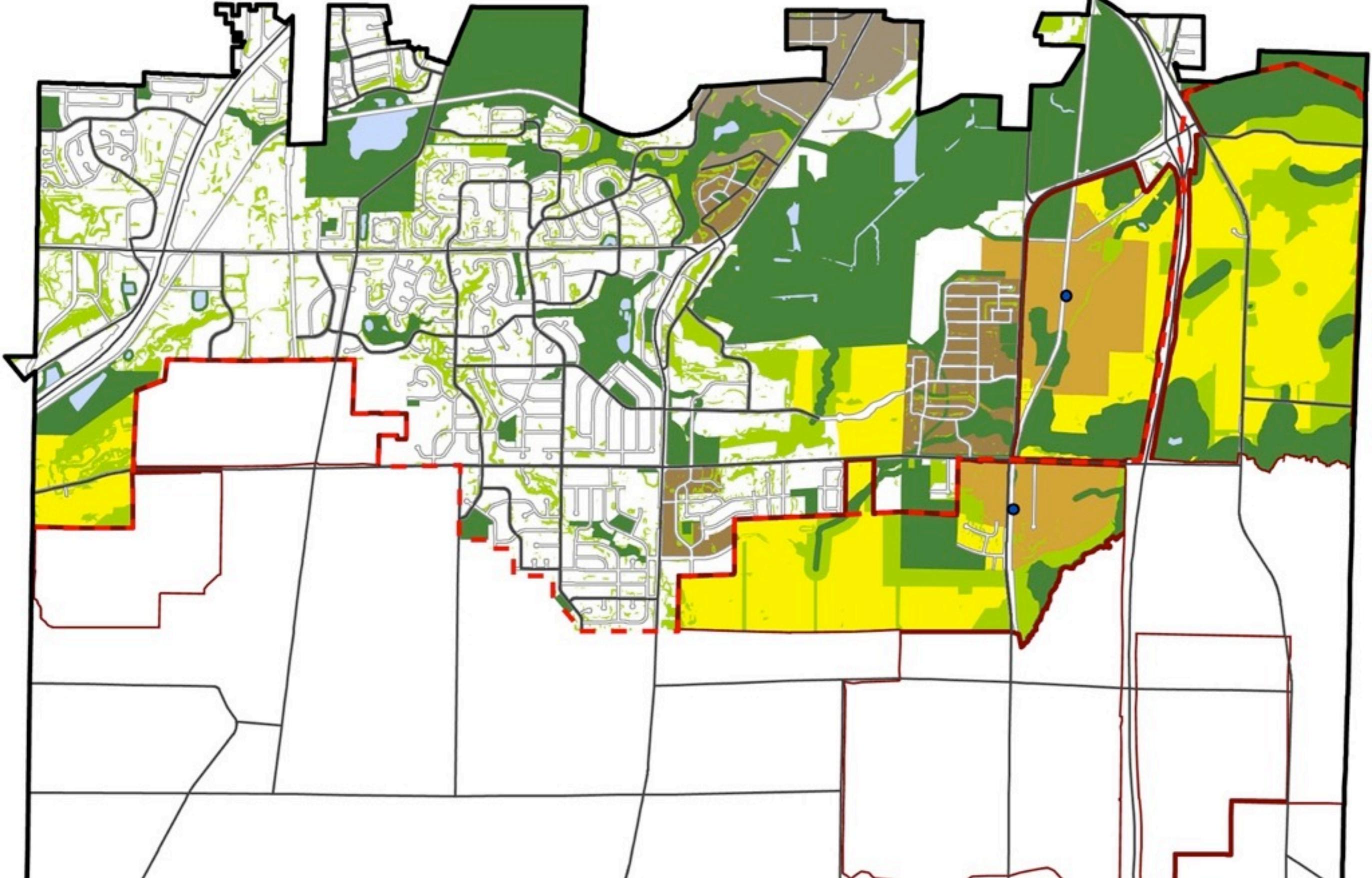


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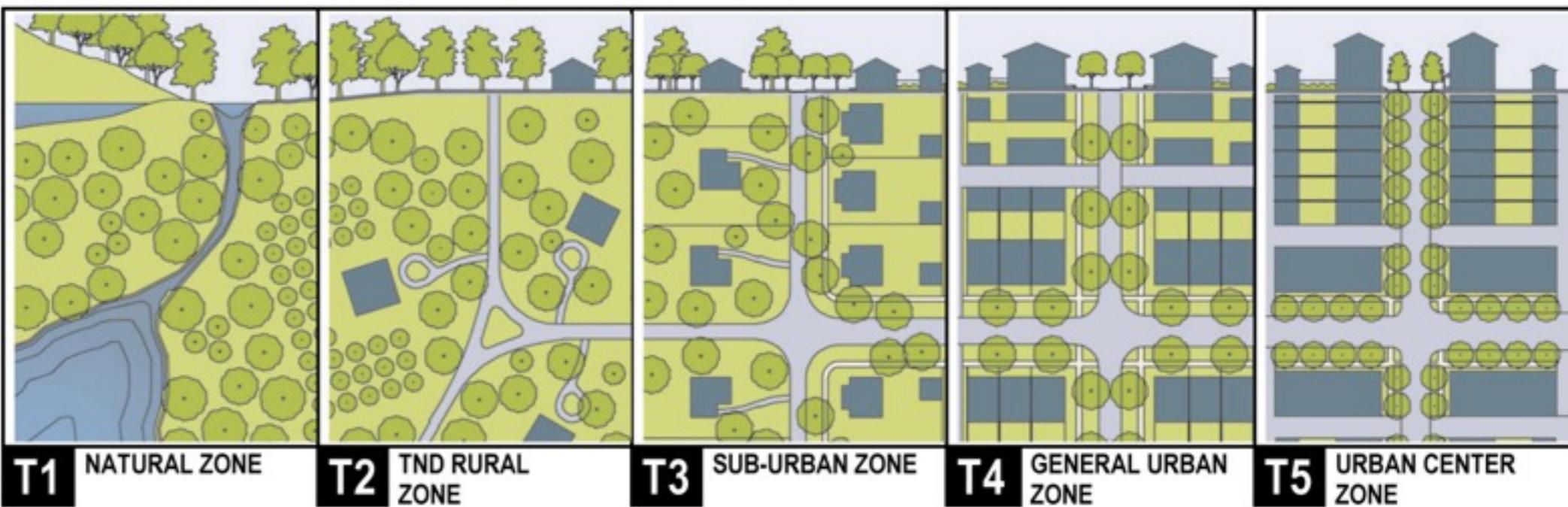




	(PRIMARYLY OPEN SPACE)		(PRIMARYLY NEW COMMUNITIES)		(SUCCESSIONAL COMMUNITIES)				
	01 PRESERVED OPEN SECTOR	02 RESERVED OPEN SECTOR	G1 RESTRICTED GROWTH SECTOR	G2 CONTROLLED GROWTH SECTOR	G3 INTENDED GROWTH SECTOR	G4 INFILL GROWTH SECTOR			
			CLD	CLD	TND	TND	RCD	TND	RCD
T1	NO MINIMUM	NO MINIMUM							
T2	NO MINIMUM	NO MINIMUM	50% MIN	50% MIN	NO MIN	NO MIN			
T3			10 - 30%	10 - 30%	10 - 30%	10 - 30%			
T4			20 - 40%	20 - 40%	30 - 60%	30 - 60%	10 - 30%	VARIABLE	VARIABLE
T5					10 - 30%	10 - 30%	10 - 30%	VARIABLE	VARIABLE
T6							40 - 80%	VARIABLE	VARIABLE



TABLE 2. SUMMARY TABLE



a. ALLOCATION OF ZONES per Pedestrian Shed (applicable to Article 3 only)

CLD requires	50% min.		30% max.	20 – 50%	not permitted
TND requires	no minimum	no minimum	5 – 30% max.	30 – 65%	5 – 40%
TOD requires	no minimum	not permitted	20% max.	20 – 50%	40 – 60%



Compliance with allocation of remanants of the site outside the Pedestrian Sheds as set forth in Section 3.1.10.

Transect Zones outside ped shed: T1, T2, T3 (as well as areas previously approved and under development)

Compliance with Pedestrian Shed requirements as set forth in Section 3.3.2b.

Transect Zones inside ped shed: T3, T4L, T5

Compliance with Transect Zone Allocation requirements as set forth in Table 14A.

See tables below

Gulf Port SmartCode Requirements

- T1 = no minimum
- T2 = no minimum
- T3 = 10% - 40%
- T4L = 20% - 50%
- T5 = 10% - 30%
- T6 = prohibited

Neighborhood 1

T2	T3	T4L	T5	Civic Green	SD	Total
25.9	16.9	19.7	8.1	6.1	0.0	76.8
34%	22%	26%	11%	8%	0%	100%

Neighborhood 2

T2	T3	T4L	T5	Civic Green	SD	Total
11.2	17.8	26.3	7.0	5.8	0.0	68.0
16%	26%	39%	10%	9%	0%	100%

Neighborhood 3

T2	T3	T4L	T5	Civic Green	SD	Total
13.0	9.7	22.6	11.9	19.5	18.7	95.3
14%	10%	24%	12%	20%	20%	100%

Total

T2	T3	T4L	T5	Civic Green	SD	Total
50.1	44.4	68.5	27.0	31.4	18.7	240.0
21%	18%	29%	11%	13%	8%	100%



Transect Zones

- T5 - Urban Center
- T4 - Urban Open (L)
- T3 - Sub-Urban
- T2 - Rural
- T1 - Natural

- Areas Previously Approved and Under Development

Civic Space Reserves

- Civic Building
- Civic Space
- Civic Parking
- Special District
- 1/4 Mile Pedestrian Shed



Compliance with allocation of remanants of the site outside the Pedestrian Sheds as set forth in Section 3.1.10.

Gulf Port SmartCode Requirements

- T1 = no minimum
- T2 = no minimum
- T3 = 10% - 40%
- T4L = 20% - 50%
- T5 = 10% - 30%
- T6 = prohibited

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T2	T3	T4L	T5	Civic Green	SD	Total
25.9	16.9	19.7	8.1	6.1	0.0	76.8
34%	22%	26%	11%	8%	0%	100%

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Neighborhood 3

T2	T3	T4L	T5	Civic Green	SD	Total
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Total

T2	T3	T4L	T5	Civic Green	SD	Total
50.1	44.4	68.5	27.0	31.4	18.7	240.0
21%	18%	29%	11%	13%	8%	100%



3.5 CIVIC ZONES

3.5.1 General

d. A Civic Zone(s) shall not occupy more than 20% of a Pedestrian Shed, otherwise it is subject to the creation of a Special District. See Section 3.6.

3.5.3 Civic Space (CS) Specific to T3 - T5 Zones

a. Each Community Unit shall assign at least 5% of its Urbanized area to Civic Space.



3.5 CIVIC ZONES

3.5.1 General

d. A Civic Zone(s) shall not occupy more than 20% of a Pedestrian Shed, otherwise it is subject to the creation of a Special District. See Section 3.6.

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3.5 CIVIC ZONES

3.5.1 General

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3.5.3 Civic Space (CS) Specific to T3 - T5 Zones

a. Each Community Unit shall assign at least 5% of its Urbanized area to Civic Space.



Compliance with Civic Function Allocation as set forth in Section 3.7.2

Neighborhood 1: 8% of developable land
Neighborhood 2: 9% of developable land
Neighborhood 3: 20% of developable land



Civic Space Reserves
■ Civic Building
■ Civic Space
○ 1/4 Mile Pedestrian Shed



3.5 CIVIC ZONES

3.5.3 Civic Space (CS) Specific to T3 - T5 Zones

d. Each Community Unit shall contain at least one Main Civic Space located within 800 feet of the geographic center of each Community Unit, unless a greater distance is approved by Administrative Waiver. A Main Civic Space shall conform to one of the types specified in Table 8d – 8f.

e. Within 1,000 feet of every Lot in Residential use, a Civic Space designed and equipped as a playground shall be provided. A playground shall conform to Table 8g.

f. Each Civic Space, specified in Tables 8c-8f, shall have a minimum of 50% of its perimeter Enfronting a Thoroughfare.



3.5 CIVIC ZONES

3.5.3 Civic Space (CS) Specific to T3 - T5 Zones

d. Each Community Unit shall contain at least one Main Civic Space located within 800 feet of the geographic center of each Community Unit, unless a greater distance is approved by Administrative Waiver. A Main Civic Space shall conform to one of the types specified in Table 8d – 8f.

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3.5 CIVIC ZONES

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e. Within 1,000 feet of every Lot in Residential use, a Civic Space designed and equipped as a playground shall be provided. A playground shall conform to Table 8g.

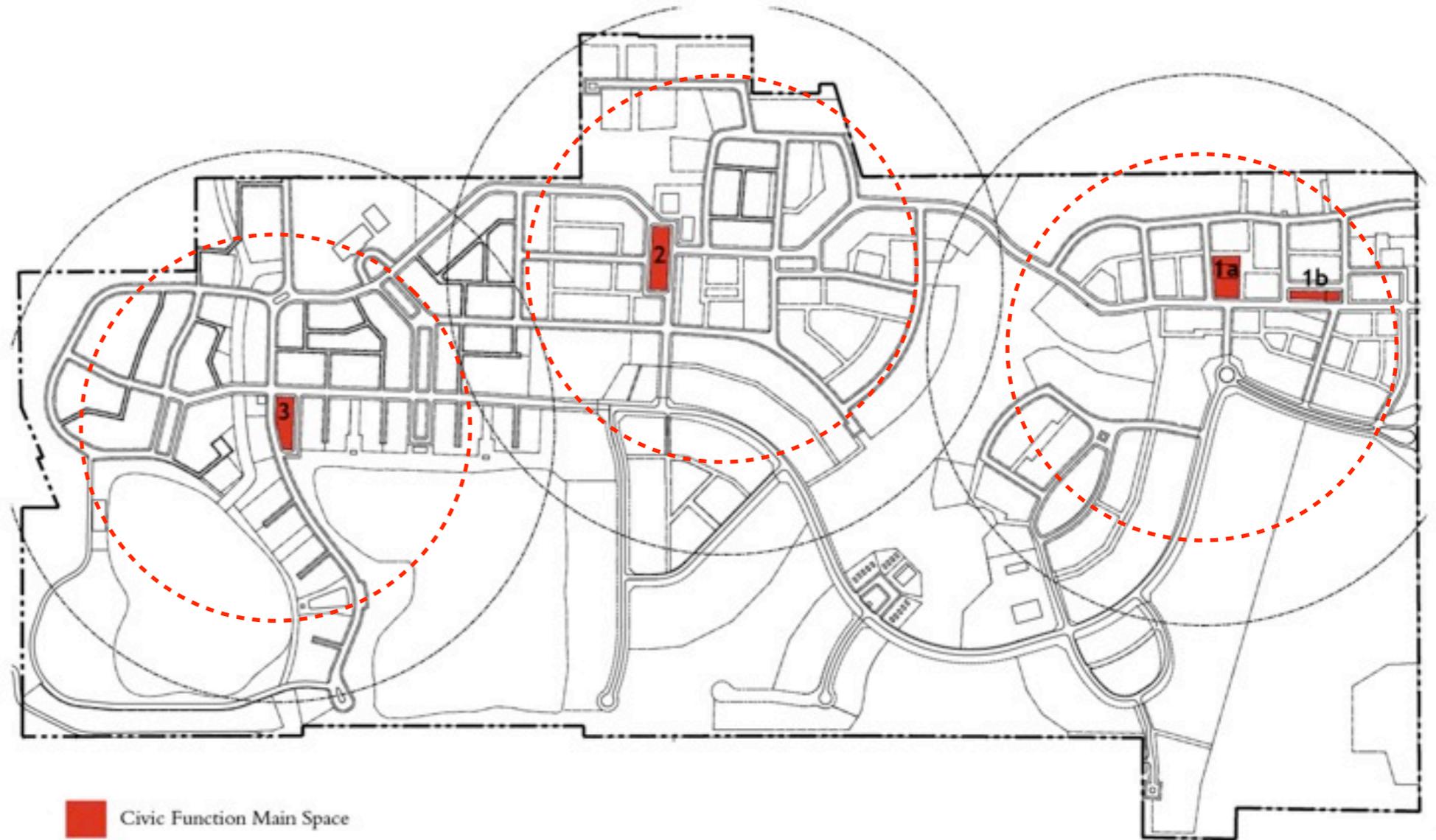
f. Each Civic Space, specified in Tables 8c-8f, shall have a minimum of 50% of its perimeter Enfronting a Thoroughfare.



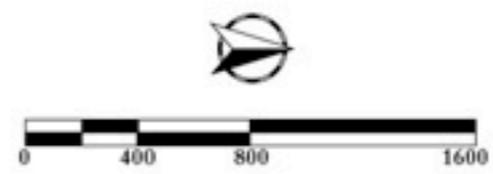
Compliance with Civic Function Allocation as set forth in Section 3.7.2c and Table 13

Request for Warrant on Plaza sizes less than 1 acre:

- 1a. Plaza: 0.88 acres
- 1b. Plaza: 0.65 acres
- 2. Plaza: 0.98 acres
- 3. Plaza: 0.82 acres



 Civic Function Main Space
 1/4 Mile Pedestrian Shed

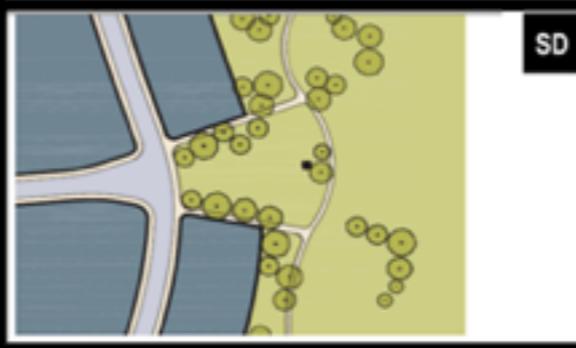


a. **Conservancy:** A natural preserve available for unstructured recreation. A Conservancy may be independent of surrounding building Frontages. Its landscape shall consist of Paths, bike trails and pedestrian trails, meadows, water bodies, woodland and open shelters, all naturalistically disposed. Conservancies may be lineal, following the trajectories of natural resource corridors, although wetlands may be part of the Conservancy, the wetlands shall not count toward Conservancy acreage. Buffers may be included. The minimum size should be 8 acres. Conservancies may be approved by Administrative Approval as Special Districts in all zones.



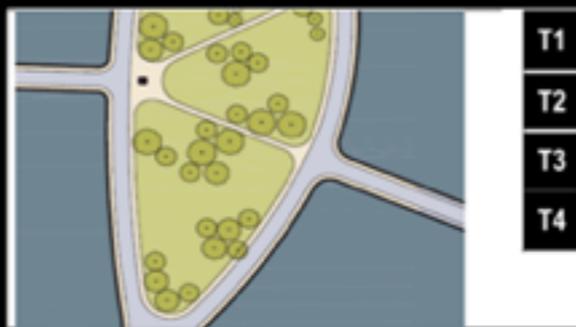
T1
T2
T3

b. **Neighborhood Park Special District:** A Neighborhood Park SD may be independent of surrounding building Frontages and may occur outside a Pedestrian Shed. The minimum size shall be 5 acres. Neighborhood Park SDs should include junior size play apparatus, softball diamond, 1/2 basketball court, area for lawn and field games, area for crafts, open area for general play, volleyball area, soccer field, picnic tables and benches, and / or shelters. They may include bike and pedestrian trails as well.



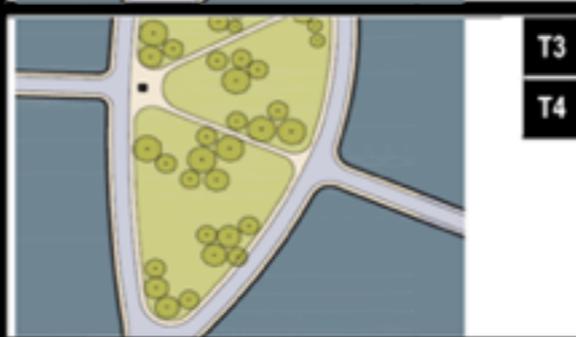
SD

c. **Neighborhood Park:** An Open Space, available for structured recreation. Landscaping may spatially define a Green rather than building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size should be 4 acres and the maximum shall be 5 acres. Neighborhood Parks should include junior size play apparatus, softball diamond, 1/2 basketball court, area for lawn and field games, area for crafts, open area for general play, volleyball area, soccer field, picnic tables and benches, and / or shelters, bike trails and pedestrian trails.



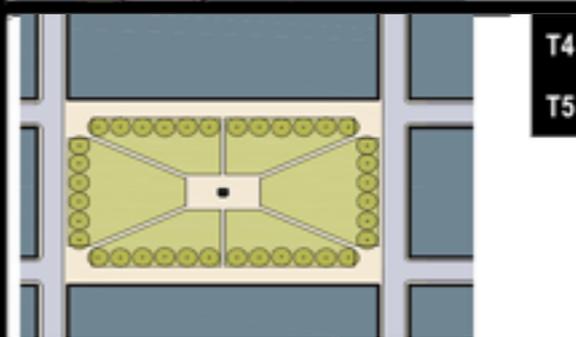
T1
T2
T3
T4

d. **Green:** An Open Space, available for unstructured recreation, and may include bike trails. Landscaping may spatially define a Green rather than building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size should be 1/2 acre and the maximum should be 8 acres.



T3
T4

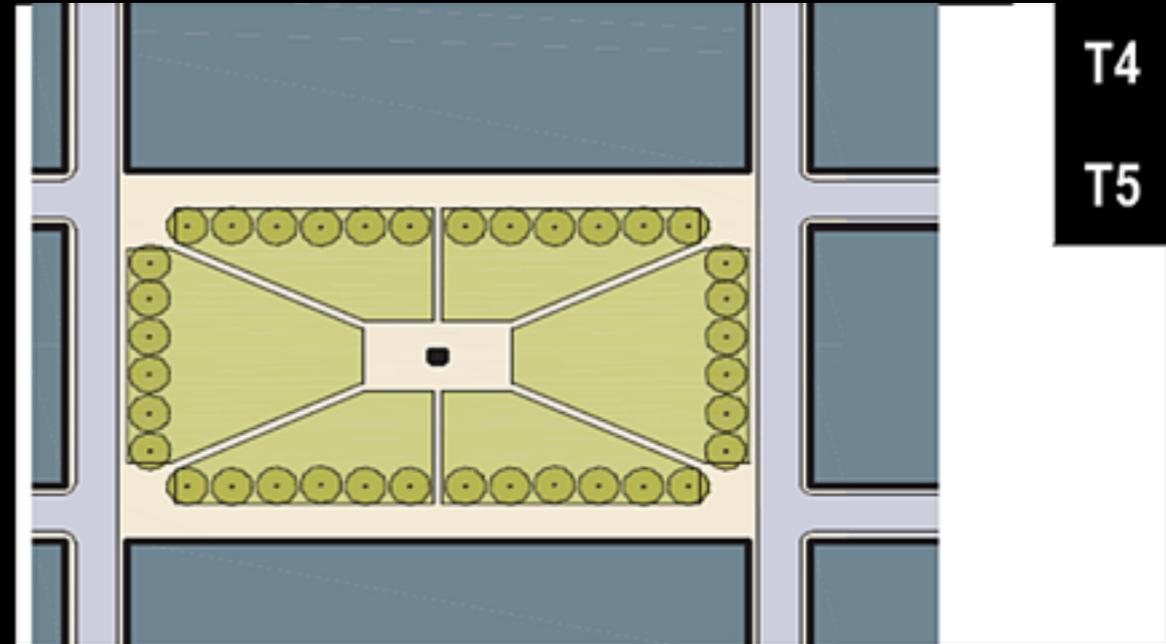
e. **Square:** An Open Space available for unstructured recreation and Civic purposes. A Square is spatially defined by building Frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important Thoroughfares. The minimum size should be 1/2 acre and the maximum should be 5 acres.



T4
T5



e. **Square:** An Open Space available for unstructured recreation and Civic purposes. A Square is spatially defined by building Frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important Thoroughfares. The minimum size should be 1/2 acre and the maximum should be 5 acres.



9 Playgrounds



3.5 CIVIC ZONES

3.5.4 Civic Buildings (CB) Specific to T3 - T5 Zones

a. The applicant shall covenant to construct a Meeting Hall or a Third Place within one block of the Main Civic Space of each Community Unit. Its corresponding Public Frontage should be equipped with a shelter and bench for a transit stop.

b. One Civic Building Lot shall be reserved for an elementary school. It shall be reserved up to five (5) years after the date of Common Council acceptance of public improvements for the phase in which it is located for the construction of a neighborhood school, unless a reduced amount is approved by Administrative Waiver. After this period of time the developer, if unused may sell it. The school site may be within any Transect Zone except T1.

c. Civic Building sites should not occupy more than 20% of the area of each Pedestrian Shed.

d. Civic Building sites should be located within or adjacent to a Civic Space, or at the axial termination of a significant Thoroughfare.



3.5 CIVIC ZONES

3.5.4 Civic Buildings (CB) Specific to T3 - T5 Zones

a. The applicant shall covenant to construct a Meeting Hall or a Third Place within one block of the Main Civic Space of each Community Unit. Its corresponding Public Frontage should be equipped with a shelter and bench for a transit stop.

b. One Civic Building Lot shall be reserved for an elementary school. It shall be reserved up to five (5) years after the date of Common Council acceptance of public improvements for the phase in which it is located for the construction of a neighborhood school, unless a reduced amount is approved by Administrative Waiver. After this period of time the developer, if unused may sell it. The school site may be within any Transect Zone except T1.

c. Civic Building sites should not occupy more than 20% of the area of each Pedestrian Shed.

d. Civic Building sites should be located within or adjacent to a Civic Space, or at the axial termination of a significant Thoroughfare.



3.5 CIVIC ZONES

3.5.4 Civic Buildings (CB) Specific to T3 - T5 Zones

a. The applicant shall covenant to construct a Meeting Hall or a Third Place within one block of the Main Civic Space of each Community Unit. Its corresponding Public Frontage should be equipped with a shelter and bench for a transit stop.

b. One Civic Building Lot shall be reserved for an elementary school. It shall be reserved up to five (5) years after the date of Common Council acceptance of public improvements for the phase in which it is located for the construction of a neighborhood school, unless a reduced amount is approved by Administrative Waiver. After this period of time the developer, if unused may sell it. The school site may be within any Transect Zone except T1.

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d. Civic Building sites should be located within or adjacent to a Civic Space, or at the axial termination of a significant Thoroughfare.



3.5 CIVIC ZONES

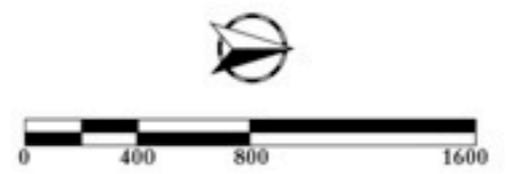
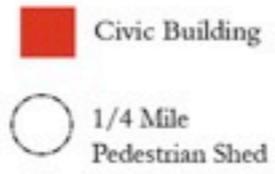
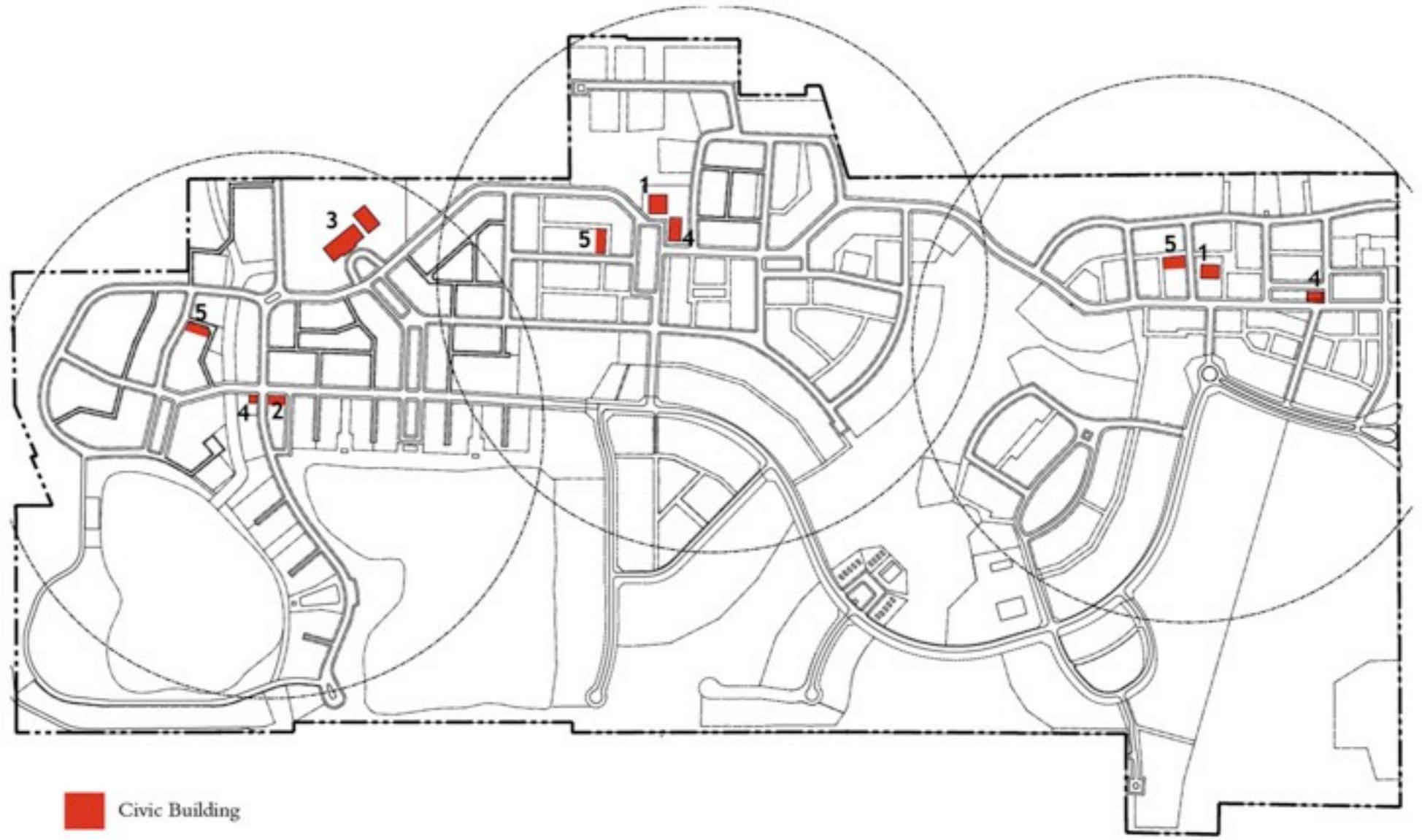
3.5.4 Civic Buildings (CB) Specific to T3 - T5 Zones

- a. The applicant shall covenant to construct a Meeting Hall or a Third Place within one block of the Main Civic Space of each Community Unit. Its corresponding Public Frontage should be equipped with a shelter and bench for a transit stop.
- b. One Civic Building Lot shall be reserved for an elementary school. It shall be reserved up to five (5) years after the date of Common Council acceptance of public improvements for the phase in which it is located for the construction of a neighborhood school, unless a reduced amount is approved by Administrative Waiver. After this period of time the developer, if unused may sell it. The school site may be within any Transect Zone except T1.
- c. Civic Building sites should not occupy more than 20% of the area of each Pedestrian Shed.
- d. Civic Building sites should be located within or adjacent to a Civic Space, or at the axial termination of a significant Thoroughfare.



Compliance with Civic Function Allocation as set forth in Section 3.7.2c, Section 3.7.3b, and Section 3.7.3c

- 1. Meeting Hall
- 2. Third Place
- 3. Elementary School
- 4. Other Civic Building Reserve
- 5. Childcare Building Reservation Lot



3.7 THOROUGHFARE STANDARDS

3.5.1 General

e. The Thoroughfare network shall be designed to define Blocks not exceeding the size prescribed in Table 2c. The perimeter shall be measured as the sum of Lot Frontage Lines. Block perimeter at the edge of the development parcel shall be subject to approval by Administrative Approval. Block perimeters may be reduced by Passages not more than 20% of each Transect Zone.

f. Thoroughfares shall connect wherever possible to those on adjacent sites. Cul-de-sacs shall be subject to approval by Administrative Approval to accommodate specific site conditions only.

g. Each Lot shall Enfront a vehicular Thoroughfare, except that 20% of the Lots within each Transect Zone may Enfront a Passage or a Civic Space.

h. Thoroughfares along a designated B-Grid may be exempted by Administrative Waiver from one or more of the specified Public Frontage or Private Frontage requirements. See Table 14.



c. BLOCK SIZE

Block Perimeter

no maximum

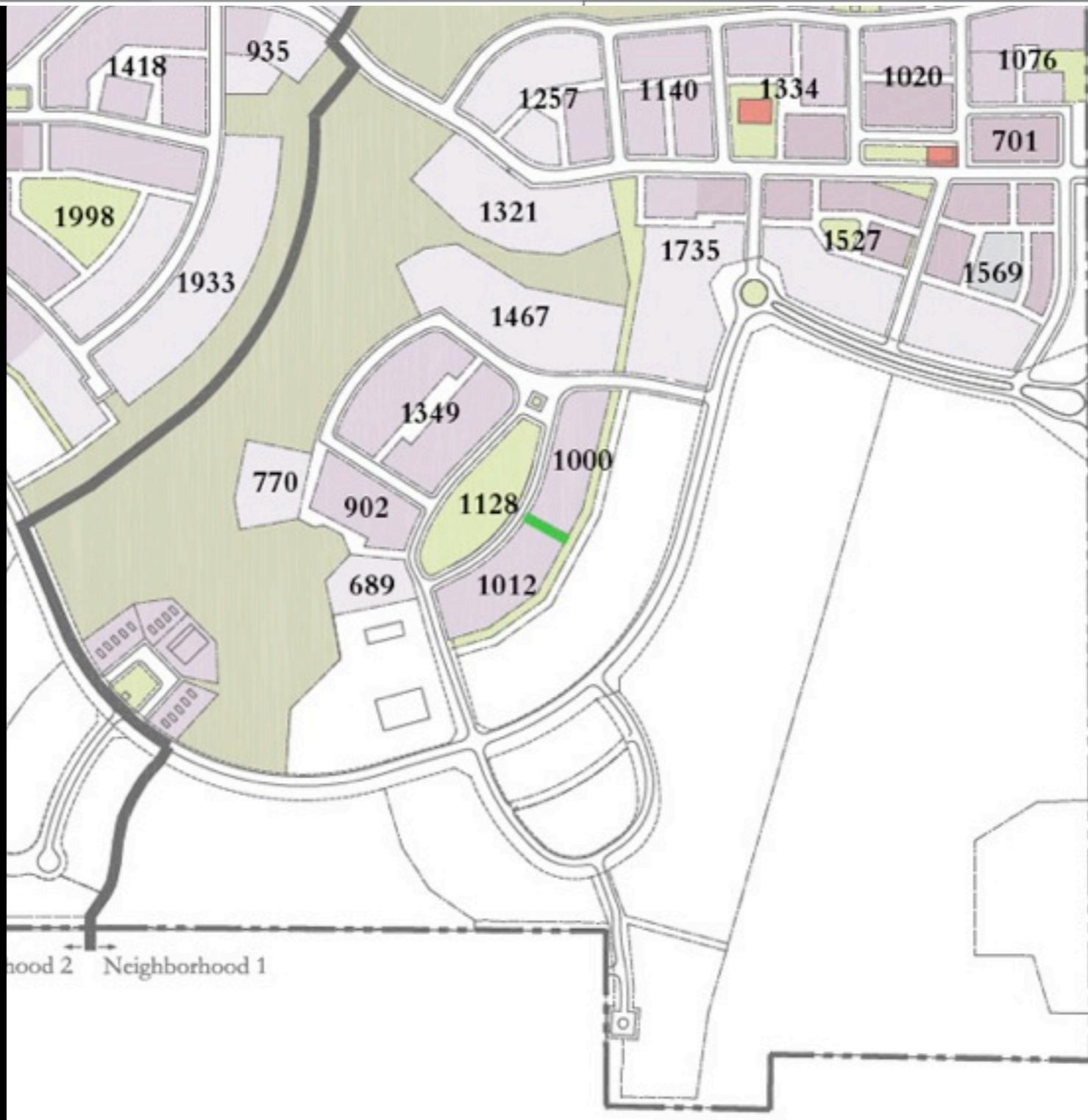
no maximum

3000 ft. max

2400 ft. max

2000 ft. max

2000 ft. max



Neighborhood 2 Neighborhood 1



c. BLOCK SIZE

Block Perimeter

no maximum

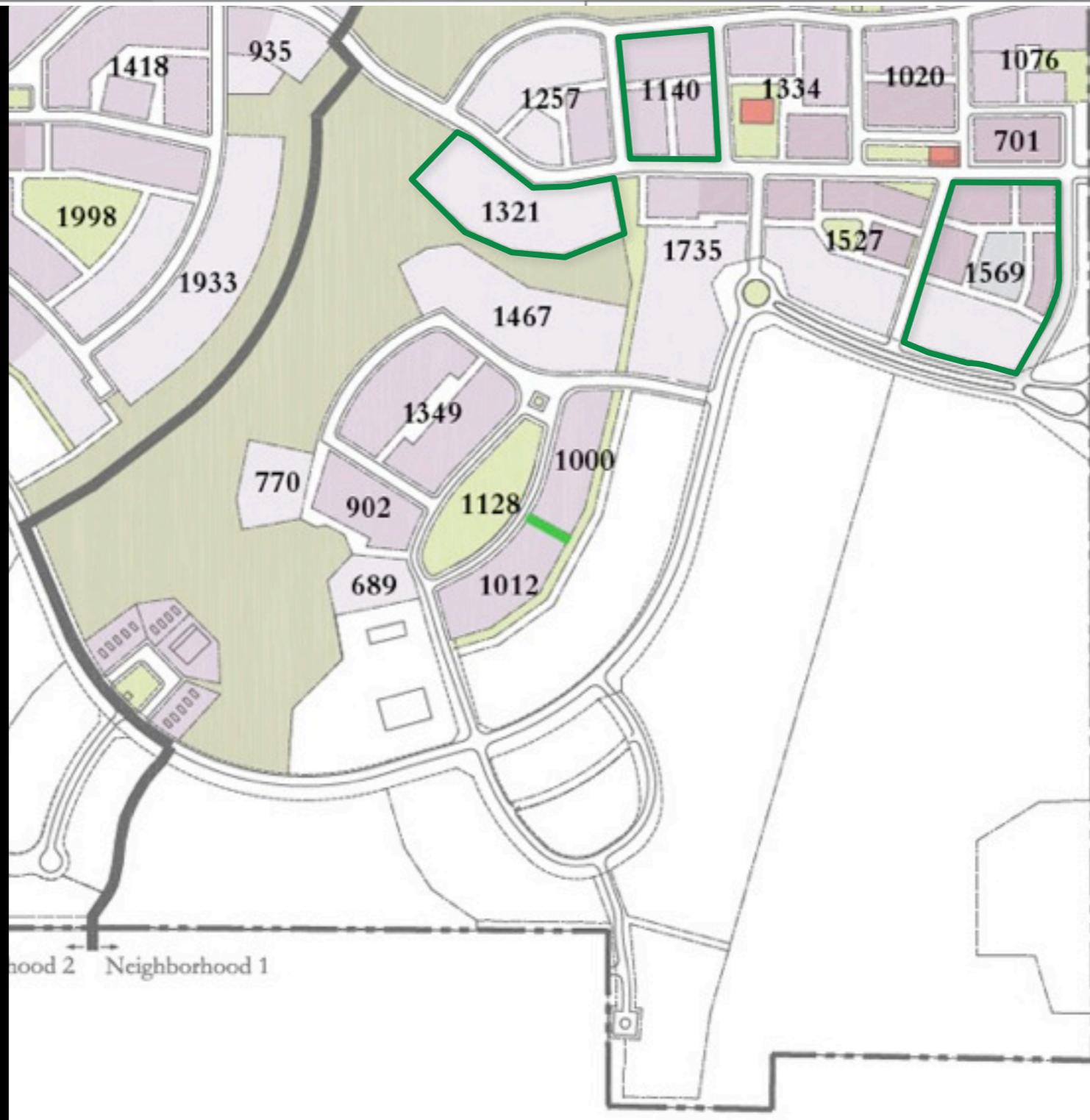
no maximum

3000 ft. max

2400 ft. max

2000 ft. max

2000 ft. max



Compliance with Maximum Block Size requirements as set forth in Table 14C

- T1 - No Maximum
- T2 - No Maximum
- T3 - 3000 feet max
- T4 - 2400 feet max
- T5 - 2000 feet max

All Blocks conform to Table 14C



- | | |
|---|--|
| Transect Zones | Civic Space Reserves |
| T5 - Urban Center | Civic Building |
| T4 - Urban Open (L) | Civic Space |
| T3 - Sub-Urban | Civic Parking |
| T2 - Rural | Special District |
| T1 - Natural | |



3.7 THOROUGHFARE STANDARDS

3.5.1 General

e. The Thoroughfare network shall be designed to define Blocks not exceeding the size prescribed in Table 2c. The perimeter shall be measured as the sum of Lot Frontage Lines. Block perimeter at the edge of the development parcel shall be subject to approval by Administrative Approval. Block perimeters may be reduced by Passages not more than 20% of each Transect Zone.

f. Thoroughfares shall connect wherever possible to those on adjacent sites. Cul-de-sacs shall be subject to approval by Administrative Approval to accommodate specific site conditions only.

g. Each Lot shall Enfront a vehicular Thoroughfare, except that 20% of the Lots within each Transect Zone may Enfront a Passage or a Civic Space.

h. Thoroughfares along a designated B-Grid may be exempted by Administrative Waiver from one or more of the specified Public Frontage or Private Frontage requirements. See Table 14.



Compliance with Thoroughfare Termination and Cul-de-sac Limitations as set forth in 3.6.2c

One street terminates with a cul-de-sac as a future connection.

Compliance with Required % of Lots Enfronting Thoroughfares as set forth in Section 3.6.2d

Neighborhood 1: More than 80% of lots front on Thoroughfares

Neighborhood 2: More than 80% of lots front on Thoroughfares

Request for Warrant

Neighborhood 3: 68% of Lots front on a Thoroughfare.

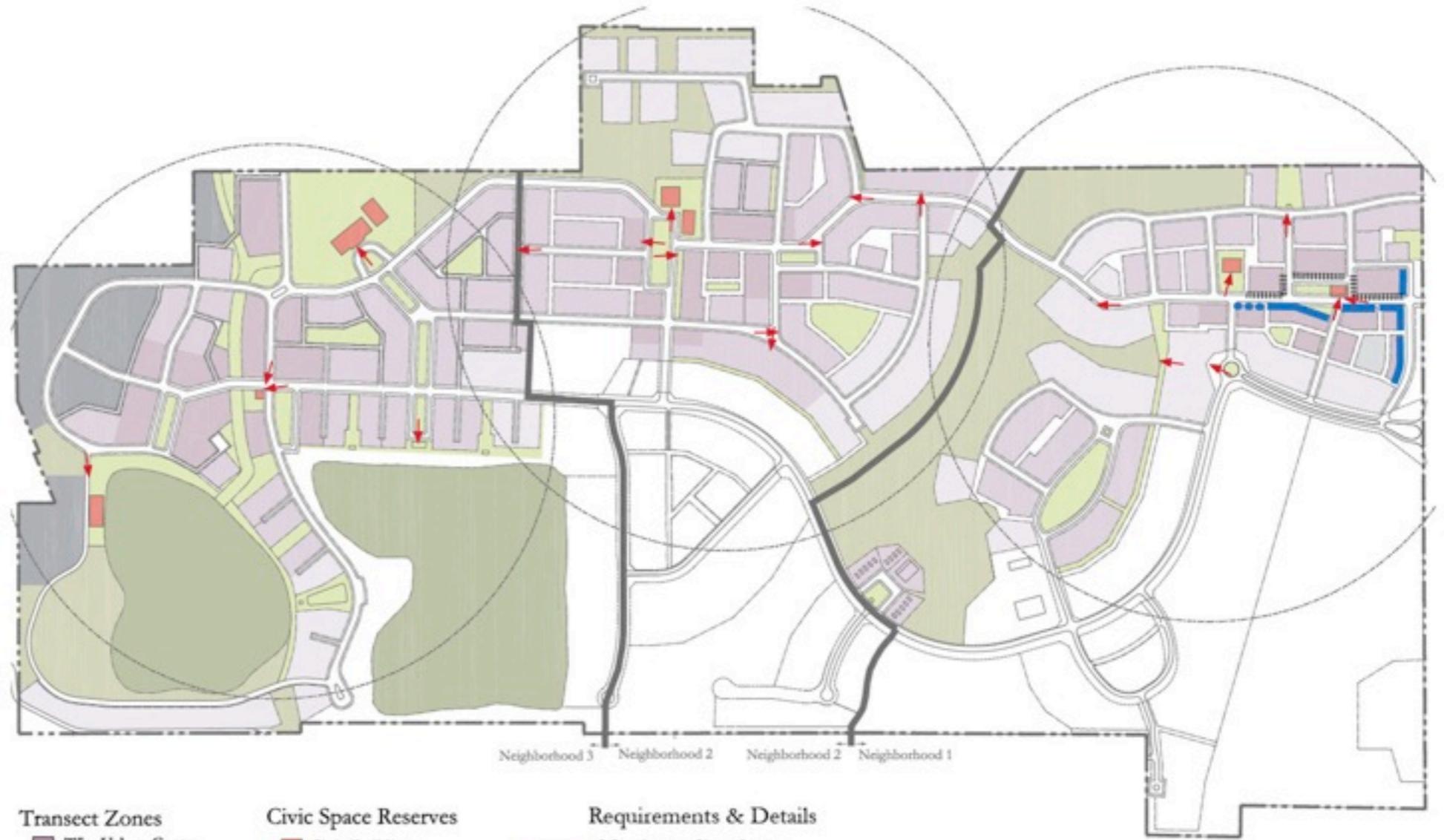


3.9 SPECIAL REQUIREMENTS

3.9.1 A New Community Regulating Plan may designate any of the following:

- a. A differentiation of the Thoroughfares as A-Grid and B-Grid....
- b. Designations for Mandatory and/or Recommended Retail Frontage....
- c. Designations for Mandatory and/or Recommended Gallery Frontage,....
- d. A designation for Coordinated Frontage,
- e. Designations for Mandatory and/or Recommended Terminated Vista locations,
- f. Designations for Cross Block Passages, ...





Transect Zones

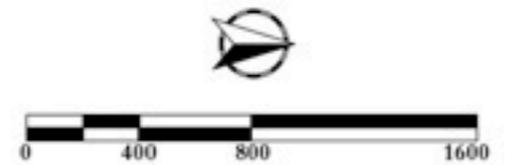
- T5 - Urban Center
- T4 - Urban Open (L)
- T3 - Sub-Urban
- T2 - Rural
- T1 - Natural

Civic Space Reserves

- Civic Building
- Civic Space
- Civic Parking
- Special District
- 1/4 Mile Pedestrian Shed

Requirements & Details

- Mandatory Shopfront
- Recommended Shopfront
- Mandatory Gallery
- Terminated Vista

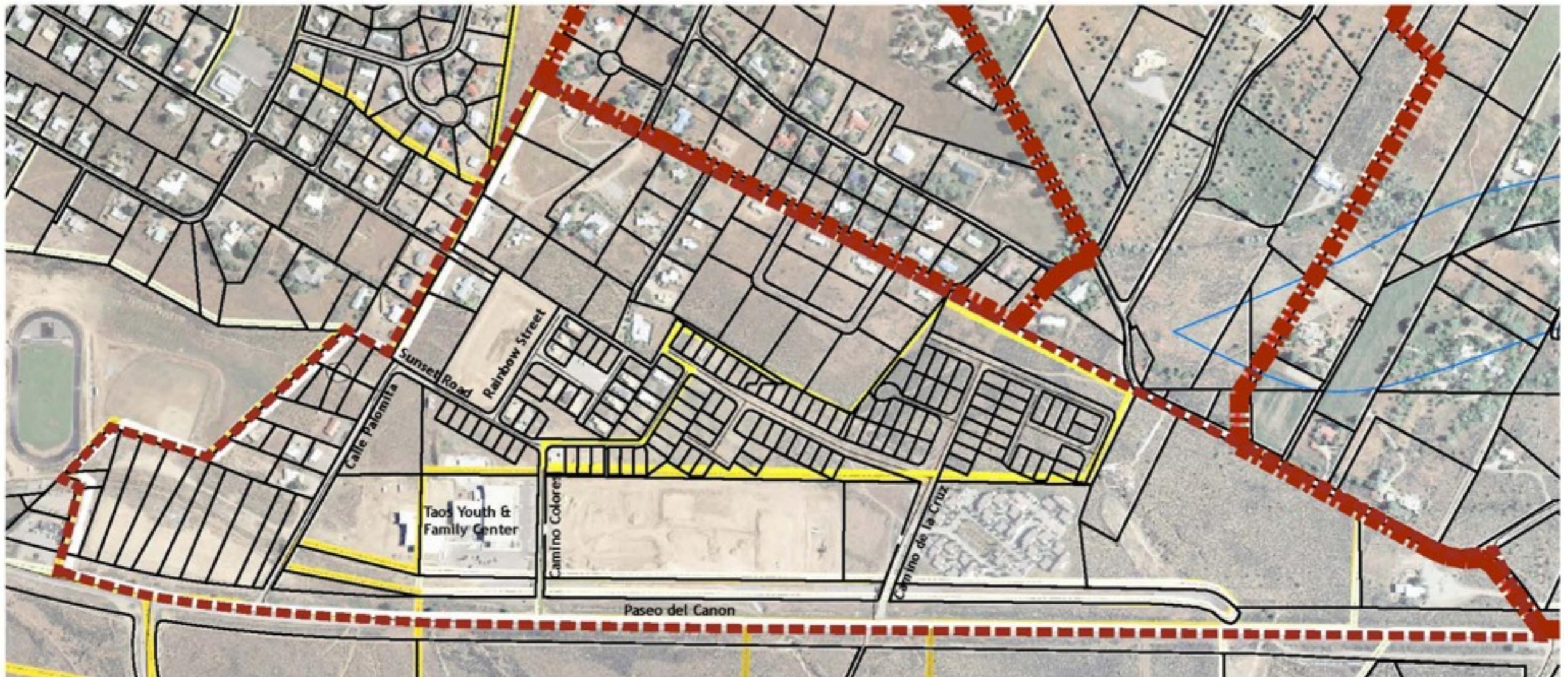


Article 4 Regulating Plan

4.1.3 Infill Community Regulating Plans shall consist of one or more maps showing the following:

- a. the boundaries of the Community Unit(s);
- b. Transect Zones and any Civic Zones within each Pedestrian Shed, assigned according to an analysis of existing conditions and future needs
- c. a Thoroughfare network, existing or planned (Table 4, Table 5, Table 12, and Table 13)
- d. any Special Districts (Section 4.6)
- e. any Special Requirements (Section 4.8)
- f. all requests for Administrative Waivers, if any;
- g. all requests for Administrative Approvals, if any





3.1.1 Before any area designated as Infill can be re-zoned to this code, the Planning Department shall prepare, or have prepared on its behalf, Infill Regulating Maps that delineate the Transect Zones. Infill Regulating Maps shall be prepared in a process of public consultation subject to approval by the Town Council.

3.1.2 Infill Regulating Maps shall regulate, at a minimum, an area the size of the Pedestrian Shed commensurate with its Community type as listed in Section 3.2. The Department shall determine a Community type based on existing conditions and intended evolution in the plan area.

- 3.1.3 Infill Regulating Maps shall consist of one or more maps showing the following:
- a. the outline(s) of the Pedestrian Shed(s) and the boundaries of the Community or Communities
 - b. Transect Zones and Civic Zones within each Pedestrian Shed, assigned according to an analysis of existing conditions and future needs
 - c. a Thoroughfare network, existing or planned (Table 2A, Table 2B, and Table 2C)

Contiguous Development Area = 132.7 acres

-  Neighborhood Boundary (approx. 5 min. walk)
-  Taos Town Limit
-  Existing Parcels



CHAMISA VERDE NEIGHBORHOOD TAOS, NEW MEXICO

ARTICLE 2: COMMUNITY SCALE PLAN SUBMITTAL

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EXISTING SITE





3.1.3 Infill Regulating Maps shall consist of one or more maps showing the following:

- a. The outline(s) of the Pedestrian Shed(s) and the boundaries of the Community or Communities
- b. Transect Zones and Civic Zones within each Pedestrian Shed, assigned according to an analysis of existing conditions and future needs

3.3 TRANSECT ZONES

3.3.1 Transect Zone standards for Infill Regulating Maps should be calibrated by means of a survey of exemplary existing and intended conditions, as identified in a process of public consultation and subject to the approval of the Town Council. Metrics shall be recorded on Table 12 and Table 13.

3.3.2 A Transect Zone shall include elements indicated by Article 2, Article 3, and Article 4.

- T1 Natural Zone
- T3 Sub-Urban Zone
- T4 General Urban Zone
- T5b Urban Center Zone
- Civic Space
- Civic Building

Proposed Transect Allocations, as shown on plan above

T1	T3	T4	T5b	Civic	Total
11.5 ac	14.5 ac	63.9 ac	15.2 ac	27.7 ac	132.7 ac
9%	11%	48%	11%	21%	100%





a. ALLOCATION OF ZONES per Pedestrian Shed (applicable to Article 2 only)

(see Table 14)

CLD requires	50% min. T1 and/or T2	10 - 40%	5 - 20%	not permitted	not permitted	
TND requires	no minimum	no minimum	10 - 30%	30 - 60 %	10 - 30% T5a or 5 - 20% T5b	

Proposed Transect Allocations, as shown on plan above

T1	T3	T4	T5b	Civic	Total
11.5 ac.	14.5 ac.	63.9 ac.	15.2 ac.	27.7 ac.	132.7 ac.
9%	11%	48%	11%	21%	100%



4.4 CIVIC ZONES

4.4.1 General

a. Infill Community Regulating Plans shall designate Civic Space Zones (CS) and Civic Building Zones (CB).

b. Civic Zones that total 20% or more of a Community Unit may be subject to the creation of a Special District. See Section 4.6.

c. Parking provisions for Civic Zones shall be determined by Administrative Approval.

4.4.2 Civic Space Zones (CS)

a. Civic Spaces shall be generally designed as described in Table 8, their type determined by the surrounding or adjacent Transect Zone.

4.4.3 Civic Building Zones (CB)

a. Civic Buildings shall be permitted by Administrative Approval in any Transect Zone or by Right on Civic Zones reserved in the Infill Community Regulating Plan.



4.4 CIVIC ZONES

4.4.1 General

- a. Infill Community Regulating Plans shall designate Civic Space Zones (CS) and Civic Building Zones (CB).
- b. Civic Zones that total 20% or more of a Community Unit may be subject to the creation of a Special District. See Section 4.6.
- c. Parking provisions for Civic Zones shall be determined by Administrative Approval.

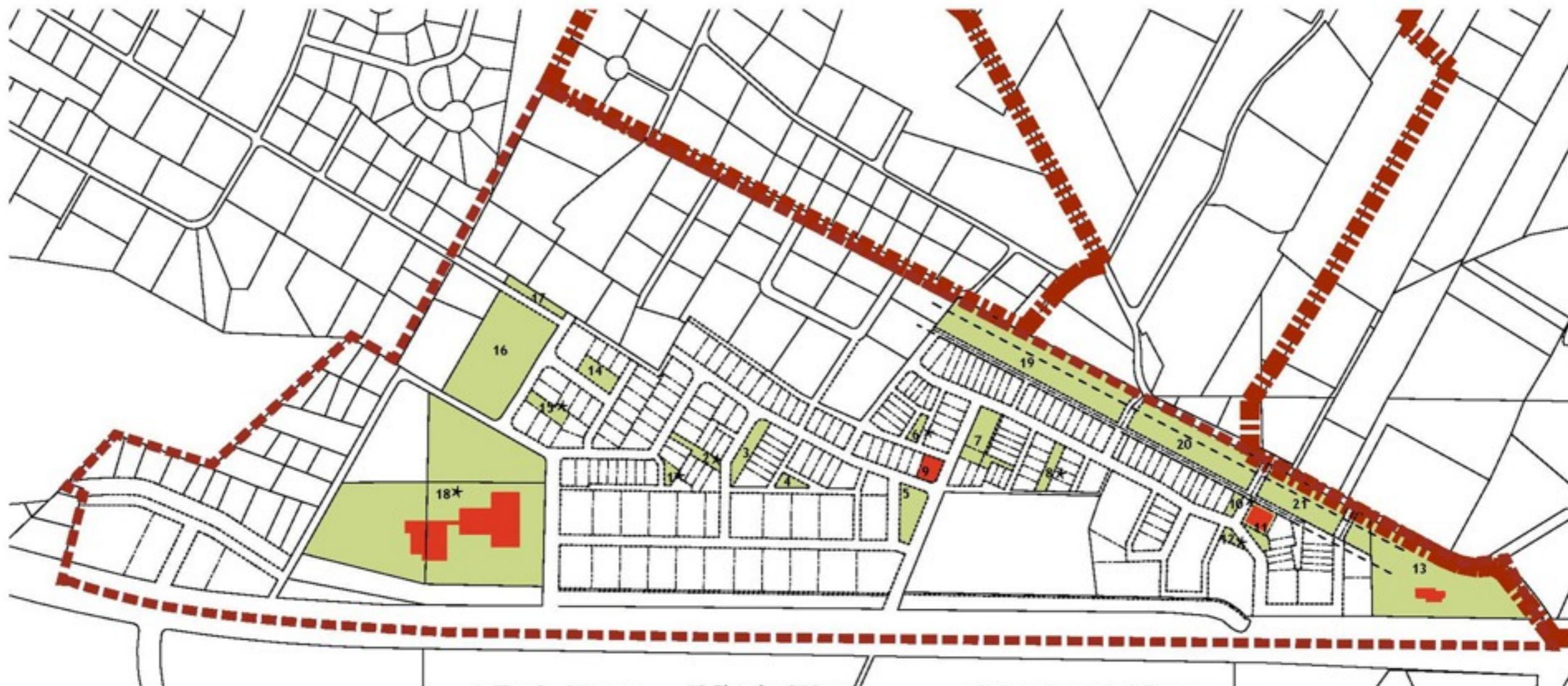
4.4.2 Civic Space Zones (CS)

- a. Civic Spaces shall be generally designed as described in Table 8, their type determined by the surrounding or adjacent Transect Zone.

4.4.3 Civic Building Zones (CB)

- a. Civic Buildings shall be permitted by Administrative Approval in any Transect Zone or by Right on Civic Zones reserved in the Infill Community Regulating Plan.

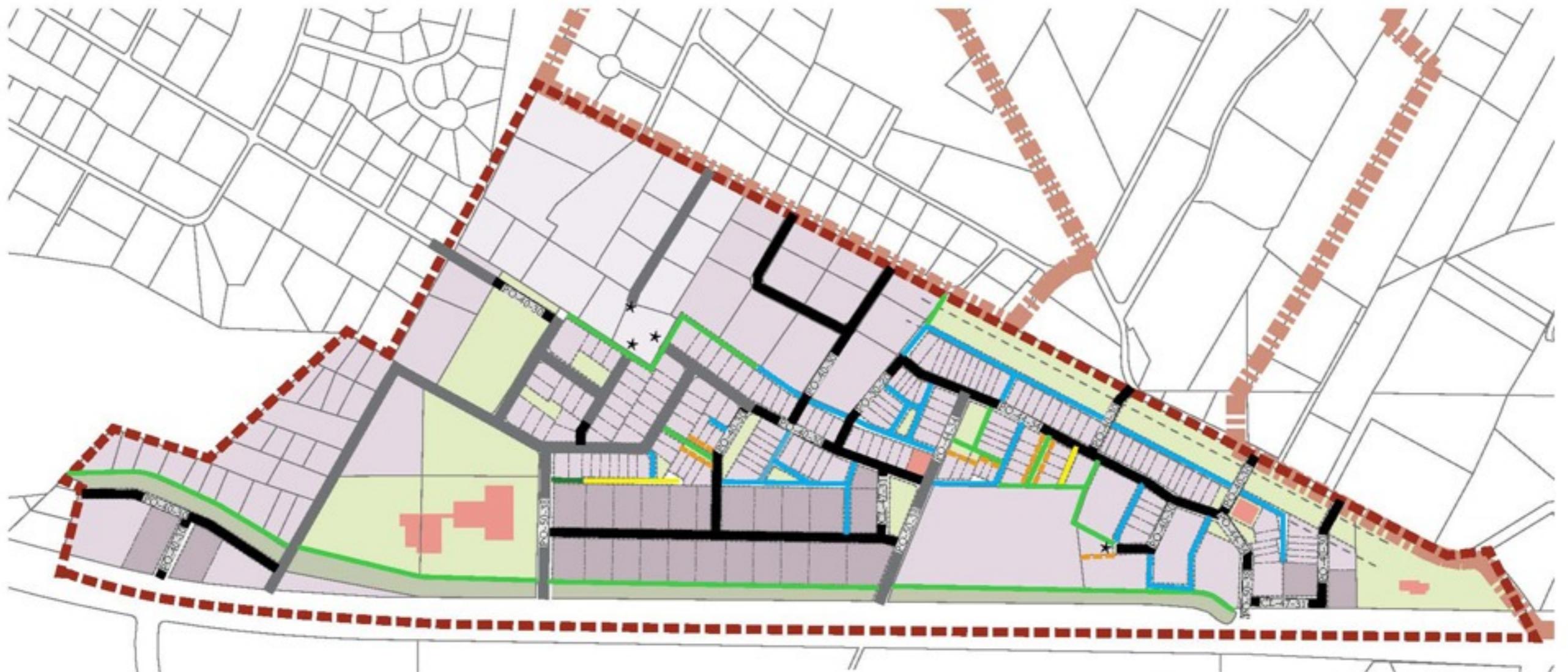




- | | | |
|--------------------------|---------------------------------|---------------------------------|
| 1: Plazuela - 0.16 acres | 10: Plazuela - 0.14 acres | 19: Parque Comunal - 2.79 acres |
| 2: Plazuela - 0.20 acres | 11: Plazuela - 0.47 acres | 20: Parque Comunal - 1.75 acres |
| 3: Plazuela - 0.46 acres | 12: Plazuela - 0.17 acres | 21: Parque Comunal - 1.14 acres |
| 4: Plazuela - 0.25 acres | 13: Parque Comunal - 4.31 acres | |
| 5: Plazuela - 0.75 acres | 14: Plazuela - 0.37 acres | |
| 6: Plazuela - 0.19 acres | 15: Plazuela - 0.22 acres | |
| 7: Plazuela - 0.67 acres | 16: Sports Field - 2.90 acres | |
| 8: Plazuela - 0.19 acres | 17: Plazuela - 0.32 acres | |
| 9: Plazuela - 0.29 acres | 18: Parque Comunal - 9.96 acres | |

 Civic Space
 Civic Building





- Existing Thoroughfares
- Vehicular Thoroughfares
- Rear Lane (RL-24-12)
- Rear Lane (RL-30-12)
- Pedestrian/Bicycle Paths
- Lots that do not front a vehicular Thoroughfare
- T1 Natural Zone
- T3 Sub-Urban Zone
- T4 General Urban Zone
- T5b Urban Center Zone
- Civic Space
- Civic Building

* Request for Warrant for above noted locations where existing conditions do not allow for connected thoroughfares.

- All Thoroughfares designed for shared Bicycle Route



3.1.3 Infill Regulating Maps shall consist of one or more maps showing the following:

- a. The outline(s) of the Pedestrian Shed(s) and the boundaries of the Community or Communities
- b. Transect Zones and Civic Zones within each Pedestrian Shed, assigned according to an analysis of existing conditions and future needs

3.3 TRANSECT ZONES

3.3.1 Transect Zone standards for Infill Regulating Maps should be calibrated by means of a survey of exemplary existing and intended conditions, as identified in a process of public consultation and subject to the approval of the Town Council. Metrics shall be recorded on Table 12 and Table 13.

3.3.2 A Transect Zone shall include elements indicated by Article 2, Article 3, and Article 4.

Transect Allocations for Chamisa Verde

T4	TSb	Civic	Total	
17.0	0.3	5.4	22.7	acres
75%	1.3%	23.7%	100%	



- T4 General Urban Zone
- TSb Urban Center Zone
- Civic Space
- Civic Building



3.4.2 Civic Space Zones (CS)

a. Civic Spaces shall be generally designed as described in Table 11, their type determined by the surrounding or adjacent Transect Zone in a process of public consultation subject to the approval of the Town Council.

- 1: Plazuela - 0.16 acres
- 2: Plazuela - 0.20 acres
- 3: Plazuela - 0.46 acres
- 4: Plazuela - 0.25 acres
- 5: Plazuela - 0.20 acres
- 6: Plazuela - 0.19 acres
- 7: Plazuela - 0.67 acres
- 8: Parque Comunal - 2.79 acres
- 9: Plazuela - 0.19 acres

*Request for Warrants on Plazuelas with sizes less than 1/4 acre, as specified in Table 11.

3.4.3 Civic Building Zones (CB)

a. Civic Buildings shall be permitted by Variance in any Transect Zone or by Warrant on Civic Zones reserved in the Infill Regulating Map.
b. Civic Buildings shall not be subject to the Requirements of Article 4. The particulars of their design shall be determined by Warrant.

Civic Building Zone - 0.29 acres



3.1.3 Infill Regulating Maps shall consist of one or more maps showing the following:

c. a Thoroughfare network, existing or planned (Table 2A, Table 2B, and Table 2C)



- Existing Thoroughfares
- Vehicular Thoroughfares
- Rear Lane (RL-24-12)
- Rear Lane (RL-30-12)
- Pedestrian/Bicycle Paths
- Lots that do not front a vehicular Thoroughfare

- All Thoroughfares designed for shared Bicycle Route



Article 5 Site Plans

5.1.2 Building and site plans submitted under this Article shall show the following, in compliance with the standards described in this Article:

a. For site and building approval:

- i. Building Disposition
- ii. Building Configuration
- iii. Building Use
- iv. Parking Location Standards
- v. Number of Dwelling units
- vi. Base Residential Density
- vii. Building square footage
- xii. Landscape Standards
- xiii. Signage Standards



Article 5 Site Plans

5.1.2 Building and site plans submitted under this Article shall show the following, in compliance with the standards described in this Article:

a. For site and building approval:

xiv. Special Requirements, if any

xv. Architectural Standards

xvi. Statistics, maps and other documentation showing how the Article 5 application, in combination with the past approved Article 5 plans, will meet the approved Community Regulating plan, and the standards for this Chapter.



5.6 BUILDING DISPOSITION

5.6.2 Specific to zones T3, T4, T5

- a. Newly platted Lots shall be dimensioned according to Table 2f and Tables 22 – 26.
- b. Building Disposition types shall be as shown in Table 2i and Table 16.
- c. Buildings shall be disposed in relation to the boundaries of their Lots according to Table 2g, Table 2h and Tables 22 – 26.
- d. One Principal Building at the Frontage, and one Outbuilding to the rear of the Principal Building, may be built on each Lot as shown in Table 27c.
- e. Lot coverage by impervious surface shall not exceed that recorded in Table 2f and Tables 22-26.
- f. Façades shall be built parallel to a rectilinear Principal Frontage Line or to the tangent of a curved Principal Frontage Line, and along a minimum percentage of the Frontage width at the Setback, as specified as Frontage Buildout on Table 2g and Tables 22 – 26.



5.6 BUILDING DISPOSITION

5.6.3 Specific to zones T3 and T4

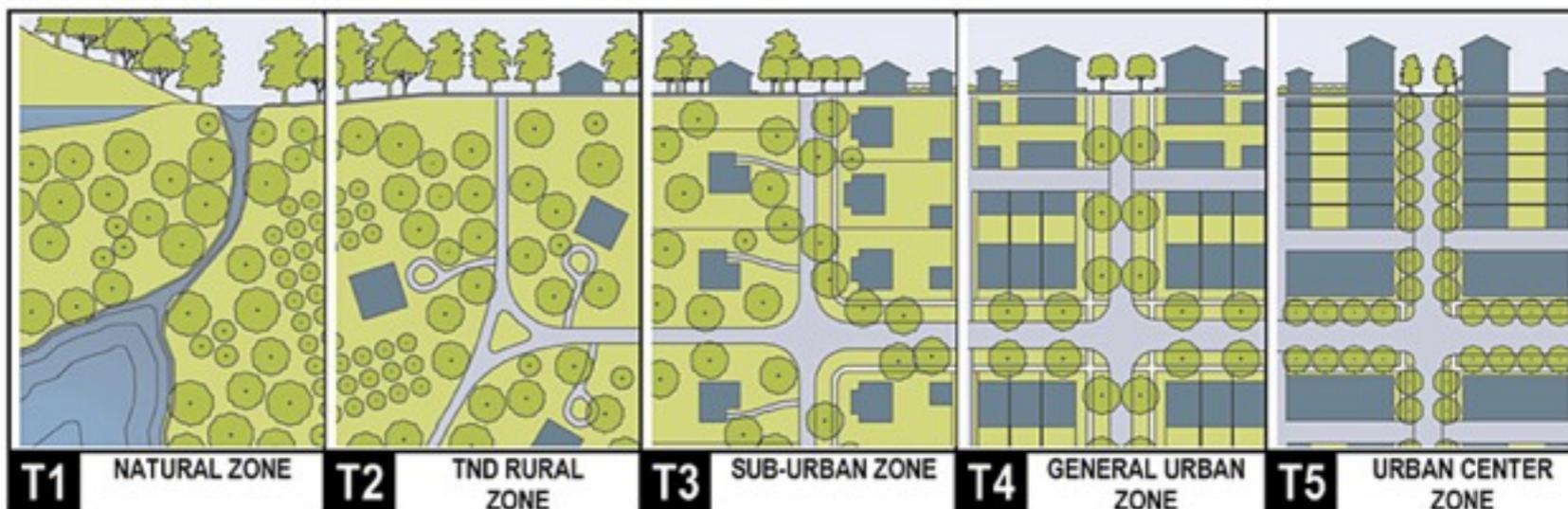
- a. Bayfront and bowfront buildings are permitted and the portion of the bay or bow encroaching into the first layer shall count toward the Frontage Buildout requirements as specified on Table 2g and Tables 22 – 26. These building types shall only be permitted where:
 - i. The façade wall materials consist of stucco, masonry or stone.
 - ii. The total of the combined widths of the bays or bows do not exceed 50% of the façade width.

5.6.4 Specific to zone T4

- a. Single-family lots shall be 60 ft. wide or less.



SUMMARY TABLE CONTINUED



f. LOT OCCUPATION

	T1	T2	T3	T4	T5
Lot Width – TND	not applicable	100 ft. min.	50 ft. min 120 ft. max.	18 ft. min 96 ft. max.*	18 ft. min 180 ft. max.
Lot Width – TOD	not applicable	not applicable	50 ft. min 120 ft. max.	18 ft. min 96 ft. max.*	18 ft. min 300 ft. max.
Lot Coverage	not applicable	not applicable	50% max.	70% max.	90% max.**

g. SETBACKS – PRINCIPAL BUILDING (See Tables 22 – 26)

*Single-family detached lots may not exceed 60 ft. max.

**May be allocated per block rather than per lot.

(g.1) Front Setback Principal	not applicable	24 ft. min.	20 ft. min.	6 ft. min. 18 ft. max.	0 ft. min. 12 ft. max.
(g.2) Front Setback Secondary	not applicable	24 ft. min.	12 ft. min.	6 ft. min. 18 ft. max.	0 ft. min. 12 ft. max.
(g.3) Side Setback	not applicable	24 ft. min.	5 ft. min.	0 ft.** - 3 ft. min.	0 ft. min. 12 ft. max.
(g.4) Rear Setback	not applicable	24 ft. min.	20 ft. min.	3 ft. min. *	3 ft. min. *
Frontage Buildout	not applicable	not applicable	not applicable	60% min. **	80% min. **

* or 15 ft. from centerline of Rear Alley

h. SETBACKS – OUTBUILDING (See Tables 22 – 26)

** Variation behind the primary setback is permitted up to 18"

** 3 ft. min. except in the case of a common or shared wall. In all other cases, 0' permitted only by Administrative Waiver.

Front Setback	not applicable	20 ft. min. + bldg. setback	20 ft. min. + bldg. setback	20 ft. min. + bldg. setback	40 ft. max. from rear prop
Side Setback	not applicable	6 ft. min.	3 ft. or 6 ft. total	0 ft. min. or 3 ft.	0 ft. min.
Rear Setback	not applicable	3 ft. min.	3 ft. min. *	3 ft. min.*	3 ft. max.

i. BUILDING DISPOSITION (See Table 16)

* 3 ft. max. for alley-loaded corner condition

Edgeward	not applicable	permitted	permitted	permitted	by Administrative Approval
Sideward	not applicable	not permitted	not permitted	permitted	permitted
Reward	not applicable	not permitted	not permitted	permitted	permitted
Courtyard	not applicable	not permitted	not permitted	not permitted	permitted

DISPOSITION



Building 1

Compliance with Building Disposition requirements as set forth in Section 4.2.1 and 4.6.1

1. Setbacks	Front	Side	Rear
required range	0' -12'	0-24'	0' allowed
actual	0'	10'-12'	0'

2. Lot Coverage	
max. allowable - 80%	 Building 1 Lot
actual - 73%	 Building 1 Footprint

3. Lot Width
allowable range - 18 ft min. 180 ft max.
actual - 100' - 164'

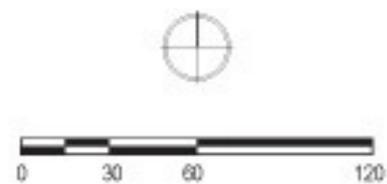
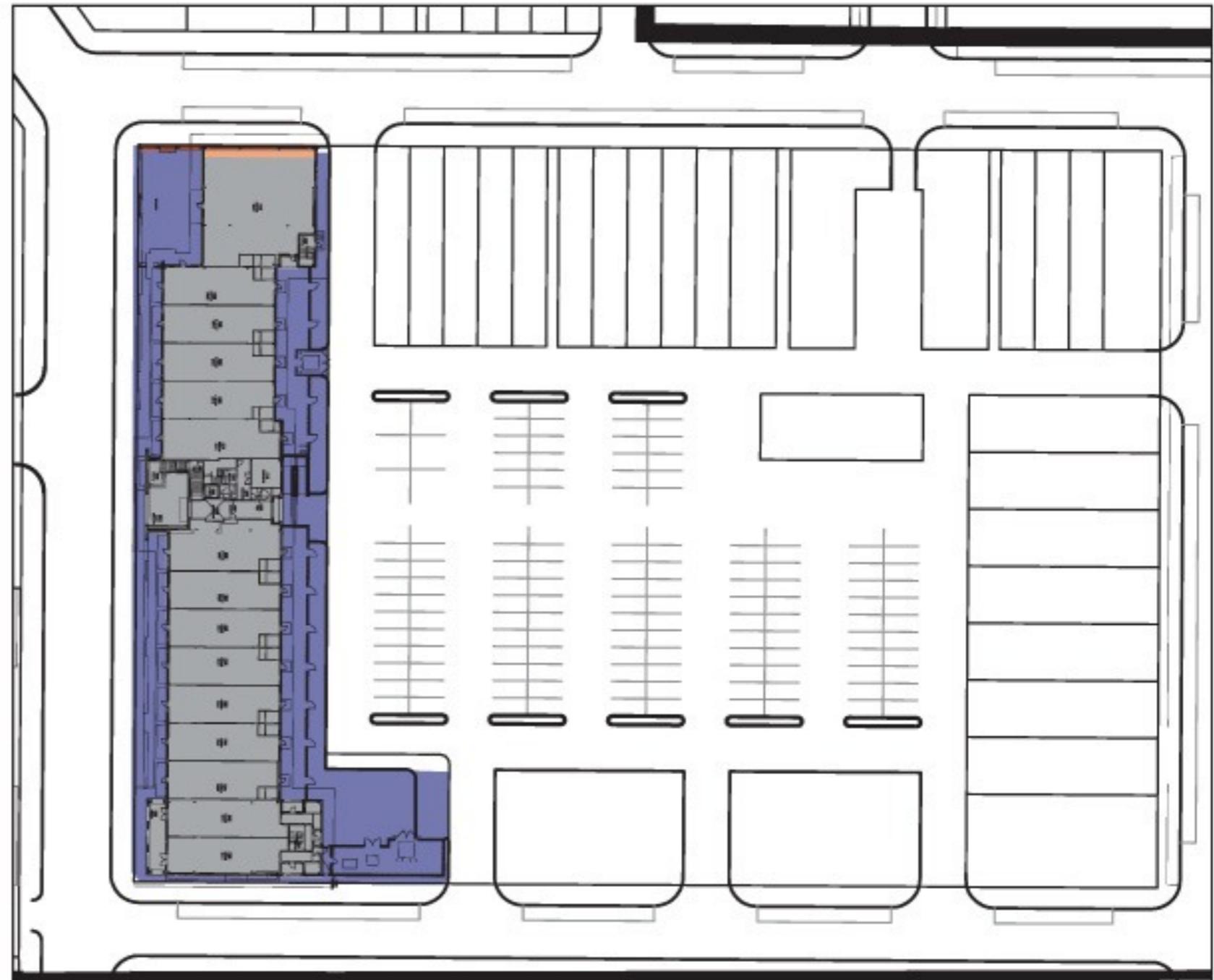
4. Minimum 70% width of facade along principal frontage ²
 Building Facade - 60'
 Frontage Line - 100'

5. Outbuilding Setbacks - N/A

6. Compliance with Table 9 building types - Edge Yard

7. Facade is aligned parallel to the principal Frontage Line

8. Compliance with minimum 12 foot setback from Rear Alley or Rear Lane centerline - N/A



5.7 BUILDING CONFIGURATION

5.7.1 Specific to zones T2, T3, T4, T5

a. The Private Frontage of buildings shall conform to and be allocated in accordance with and Table 2j and Table 14.

b. Buildings on corner Lots shall have two Private Frontages as shown in Table 27.
Prescriptions for the second and Third Layers pertain only to the Principal Frontage.
Prescriptions for the First Layer pertain to both Frontages.

c. All Façades shall be glazed with at least 10% clear glass of the first Story.

d. Building heights and Extension Lines shall conform to Table 2k and Table 15.



5.7 BUILDING CONFIGURATION

5.7.1 Specific to zones T2, T3, T4, T5

h. Except for solar panels and geo-thermal wells, all outdoor electrical, plumbing and mechanical equipment shall be located in the second or third layer and concealed from the frontage view. These facilities are not allowed to encroach into the first layer.

5.7.2 Specific to zone T2

a. In no case shall the height of any residential structure exceed 35 feet as measured under Chapter 22.

5.7.3 Specific to zone T3

a. No portion of the Private Frontage may Encroach the Sidewalk.

b. Open porches may Encroach the First Layer 50% of its depth. (Table 27d)

c. Balconies and bay windows may Encroach the First Layer 25% of its depth except that balconies on porch roofs may Encroach as does the porch.



5.7 BUILDING CONFIGURATION

5.7.3 Specific to zone T3

d. In no case shall the height of any residential structure exceed 35 feet as measured under Chapter 22.

5.7.4 Specific to zone T4

a. Balconies, open porches and bay windows may Encroach the First Layer 80% of its depth. (Table 27d) Galleries may Encroach 100% of the First Layer for commercial uses

b. Awnings may Encroach the Sidewalk to within 2 feet of the Curb but must clear the Sidewalk vertically by at least 8 feet and must be retractable.

5.7.5 Specific to zone T5

a. Awnings may Encroach the Sidewalk to within 2 feet of the Curb but must clear the Sidewalk vertically by at least 8 feet and must be retractable.

b. The Shopfront Private Frontage shall be no less than 50% glazed in clear glass as generally illustrated in Table 14 and specified in Article 5.



5.7 BUILDING CONFIGURATION

5.7.5 Specific to zone T5

- c. Stoops, Light Courts, balconies and bay windows, may Encroach the First Layer 100% of its depth. (Table 27d)
- d. Loading docks and service areas shall be permitted on Frontages only by Administrative Approval.
- e. In the absence of a building Façade along any part of a Frontage Line, a Streetscreen shall be built co-planar with the Façade.
- f. Streetscreens should be between 3.5 and 8 feet in height. The Streetscreen may be replaced by a hedge or fence by Administrative Waiver. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access.
- g. A first level Residential or Lodging Use should be raised a minimum of 2 feet from average Sidewalk grade.



5.7 BUILDING CONFIGURATION

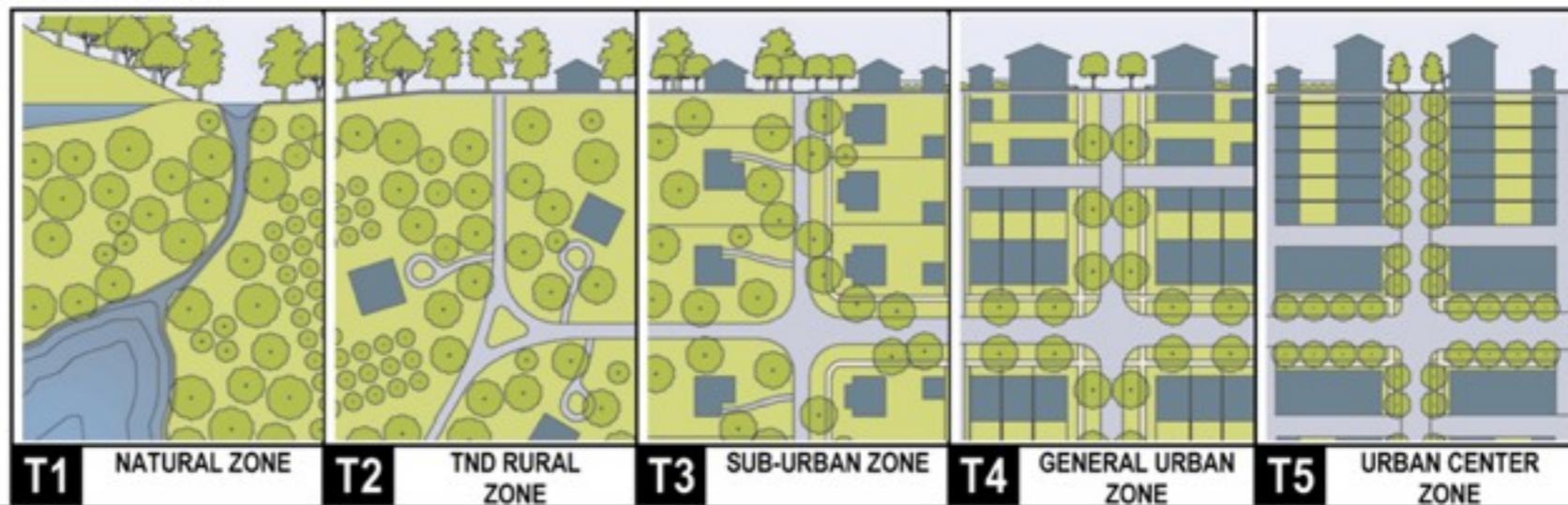
5.7.5 Specific to zone T5

h. One-story heights are permitted in TNDs by Administrative Waiver, but shall not exceed 20% of the Pedestrian Shed Private Frontage for T5.

i. For Common Entry and Planter, a landscaped planter is optional and may extend no more than 3' from the facade at grade, or 8' if lined with a min. 8" thick masonry wall not to exceed 36" in height. Any setback area not within the planter shall be paved at grade.



SUMMARY TABLE CONTINUED



j. PRIVATE FRONTAGES (See Tables 14)

	T1	T2	T3	T4	T5
Common Yard	not applicable	permitted	permitted	not permitted	not permitted
Porch & Fence	not applicable	permitted	permitted	permitted	not permitted
Light Court	not applicable	not permitted	not permitted	permitted	permitted
Forecourt	not applicable	not permitted	not permitted	permitted	permitted
Stoop	not applicable	not permitted	not permitted	permitted	permitted
Shopfront	not applicable	not permitted	not permitted	permitted	permitted
Gallery	not applicable	not permitted	not permitted	permitted	permitted
Arcade	not applicable	not permitted	not permitted	not permitted	permitted
Common Entry & Planter	not applicable	not permitted	not permitted	not permitted	permitted
Parking Lot	not applicable	not permitted	not permitted	not permitted	not permitted

k. BUILDING CONFIGURATION (See Table 15)

	T1	T2	T3	T4	T5
Principal Building - TND	not applicable	2 stories max.	2 stories max. *	3 stories max.	4 stories max. 2 min.**
Principal Building - TOD	not applicable	2 stories max.	2 stories max. *	3 stories max.	6 stories max. 2 min.
Outbuilding	not applicable	2 stories max.	2 stories max. *	2 stories max.	2 stories max.

CONFIGURATION



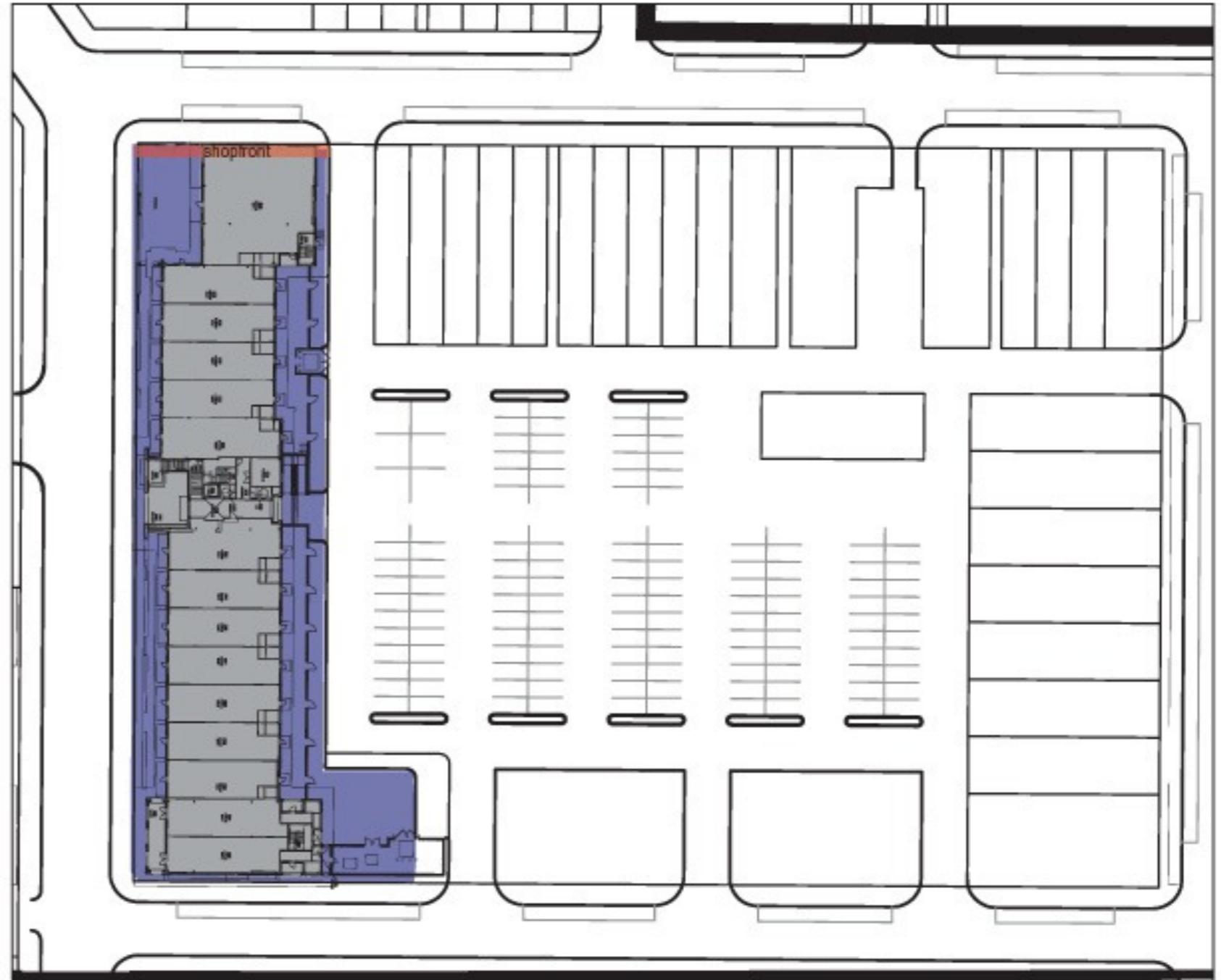
Building 1

Compliance with Building Configuration requirements as set forth in Section 4.2.2 and 4.4.2

1. Private Frontage types shall conform to requirements set forth in Table 7 and Table 14I.
2. Building Heights shall conform to requirements set forth Table 8 and Table 14J.



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Revision Date: September, 2007, 0914-Article 4 Submittal.indd



5.9 PARKING AND DENSITY CALCULATIONS

5.9.1 Specific to zones T4, T5

a. Buildable Density on a Lot shall be determined by the sum of the actual parking calculated as that provided (1) within the Lot (2) one-half the available parking along the parking lane corresponding to the Lot Frontage for residential use, or the total available parking along the parking lane corresponding to the Lot Frontage for non-residential use (s), and (3) by purchase or lease from a Civic Parking Reserve within the Community Unit, if available.

b. The actual parking may be adjusted upward according to the Occupancy Rate of Table 20 to determine the Effective Parking. The Occupancy Rate is available for any two Uses within any pair of adjacent Blocks.

c. Based on the Effective Parking available, the Density of the projected Use may be determined according to Table 19.



5.9 PARKING AND DENSITY CALCULATIONS

5.9.1 Specific to zones T4, T5

- d. Within a Transit Oriented Development (TOD) the Effective Parking may be further adjusted upward by 30%.
- e. The total Density within each Transect Zone shall not exceed that specified by an approved Regulating Plan based on Article 3 or Article 4.
- f. Density is calculated over the respective T Zone for each community type. In no case shall the density within any one block (or portion of a block if more than one T Zone occupies a block) exceed the maximum density set for the respective T Zone identified in Table 2b. Density for each block (or portion of a block if more than one T Zone occupies a block) may be less than that required in Table 2b, but it will be required to offset this lower density by a higher density elsewhere in the respective T Zone so as to meet the overall T Zone density allocation in Table 2b. Net density is used in the calculations.



5.9 PARKING AND DENSITY CALCULATIONS

5.9.1 Specific to zones T4, T5

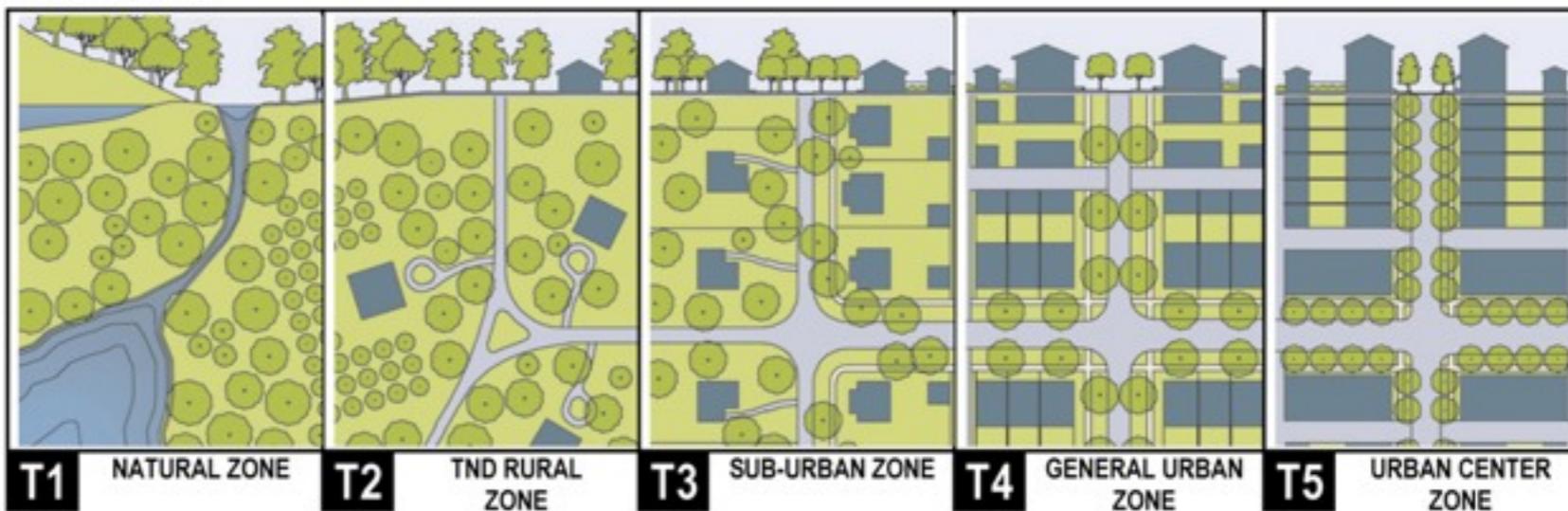
g. Applicant shall provide the necessary information to show how their application fits with prior applications to assure the density levels as required by Table 2b are met

h. Accessory Units do not count toward Density calculations.

i. Liner Buildings less than 30 feet deep and no more than two Stories shall be exempt from parking requirements.



SUMMARY TABLE CONTINUED



T1 NATURAL ZONE

T2 TND RURAL ZONE

T3 SUB-URBAN ZONE

T4 GENERAL URBAN ZONE

T5 URBAN CENTER ZONE

I. BUILDING USE (See Table 18 and Table 21)

* 35 ft. max. for Residential **1 by Administrative Waiver

Residential	not applicable	restricted use	restricted use	limited use	open use
Lodging	not applicable	restricted use	restricted use	limited use	open use
Office	not applicable	restricted use	restricted use	limited use	open use
Retail	not applicable	restricted use	restricted use	limited use	open use
Industrial	not applicable	not applicable	by Conditional Use*	by Conditional Use*	by Conditional Use

USE



Building 1

Compliance with Parking standards as set forth in Section 4.2.4 and 4.6.4

1. Pursuant to Article 4.2.4(d) we request that parking be accommodated elsewhere within 1/4 mile of site²

2. Required number of spaces

Retail	= 21,340sf x (3.0 / 1,000sf)	= 64 spaces
Office	= 25,305sf x (2.0 / 1,000sf)	= 51 spaces
Total		= 115 spaces
		/ 1.2 sharing factor
Final Total		= 96 spaces

3. Parking areas shall be located at the Third Lot Layer and masked by a Streetscreen or Liner Building as shown in Table 16D - N/A

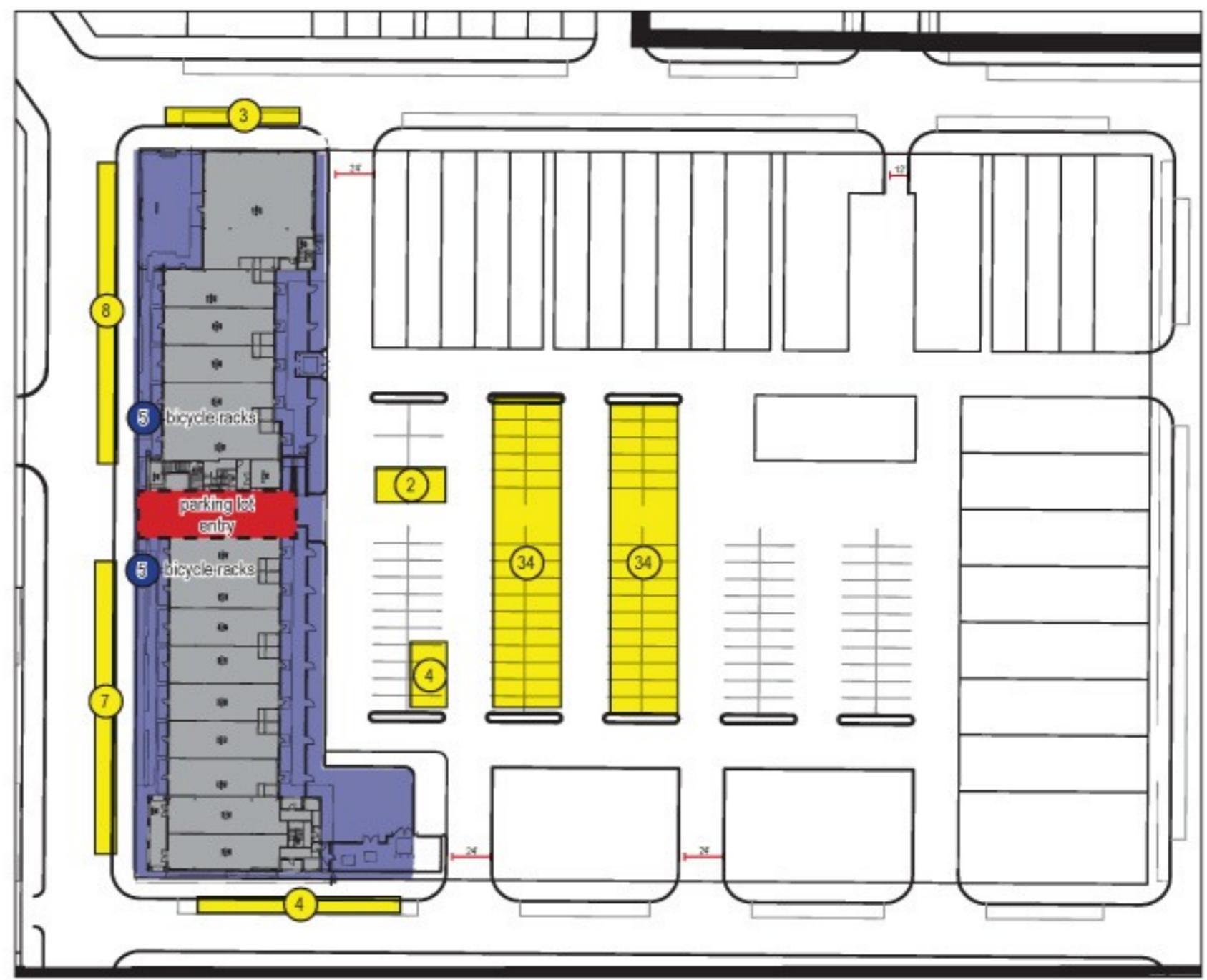
4. Inclusion of on-street parking along frontage line toward satisfaction of Required Parking

5. Parking shall be accessed from a Rear Alley - N/A

6. Required entrance location for pedestrians from parking lot or parking structure

7. Vehicular entrances of a parking lot or garage on a frontage shall be no wider than 30 feet.

8. Compliance with bicycle rack for every 10 vehicular parking spaces



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 Revision Date: September, 2007, 0514-Article 4 Submittal.indd



5.11 LANDSCAPE STANDARDS

5.11.1 General to zones T2, T3, T4, T5

a. Lot coverage shall not exceed that identified in Table 2f.

5.11.2 Specific to zones T2, T3, T4

a. The first Layer may not be paved, with the exception of Driveways as specified in Section 5.10.3, Sections 5.10.4, and Section 5.10.5. (Table 27d) and a maximum 5 foot width walkway from the Stoop or Porch to the driveway and/or public sidewalk or Thoroughfare.

b. The minimum required landscape area shall be thirty (30) percent of the first layer of Principal and Secondary Frontages.

c. Preservation of on-site existing trees and vegetation is encouraged and may be used to fulfill the landscape requirements.



5.11 LANDSCAPE STANDARDS

5.11.3 Specific to zone T3

a. One (1) Tree shall be planted within the first Layer for every 800 square feet of landscape area, or any portion thereof. (Table 27d)

b. Substitutions:

i. One (1) Tree may be substituted for two (2) Understory Trees;

ii. One (1) Understory Tree may be substituted for six (6) Shrubs.

c. One (1) Tree may be substituted for an existing Tree to be preserved provided that:

i. It is four (4) Inches DBH or greater;

ii. Possesses a healthy and full canopy;

iii. Has incurred no damage that would undermine its long-term vitality and quality.

d. Trees shall be naturalistically clustered.



5.11 LANDSCAPE STANDARDS

5.11.4 Specific to zone T4

a. A minimum of one (1) Understory Tree or six (6) Shrubs shall be planted within the first Layer for every 500 square feet of first layer Landscape Area. (Table 27d):

b. Porous paving materials are encouraged in order to increase storm water infiltration on site

5.11.5 Specific to zones T5

a. Trees shall not be required in the first Layer.

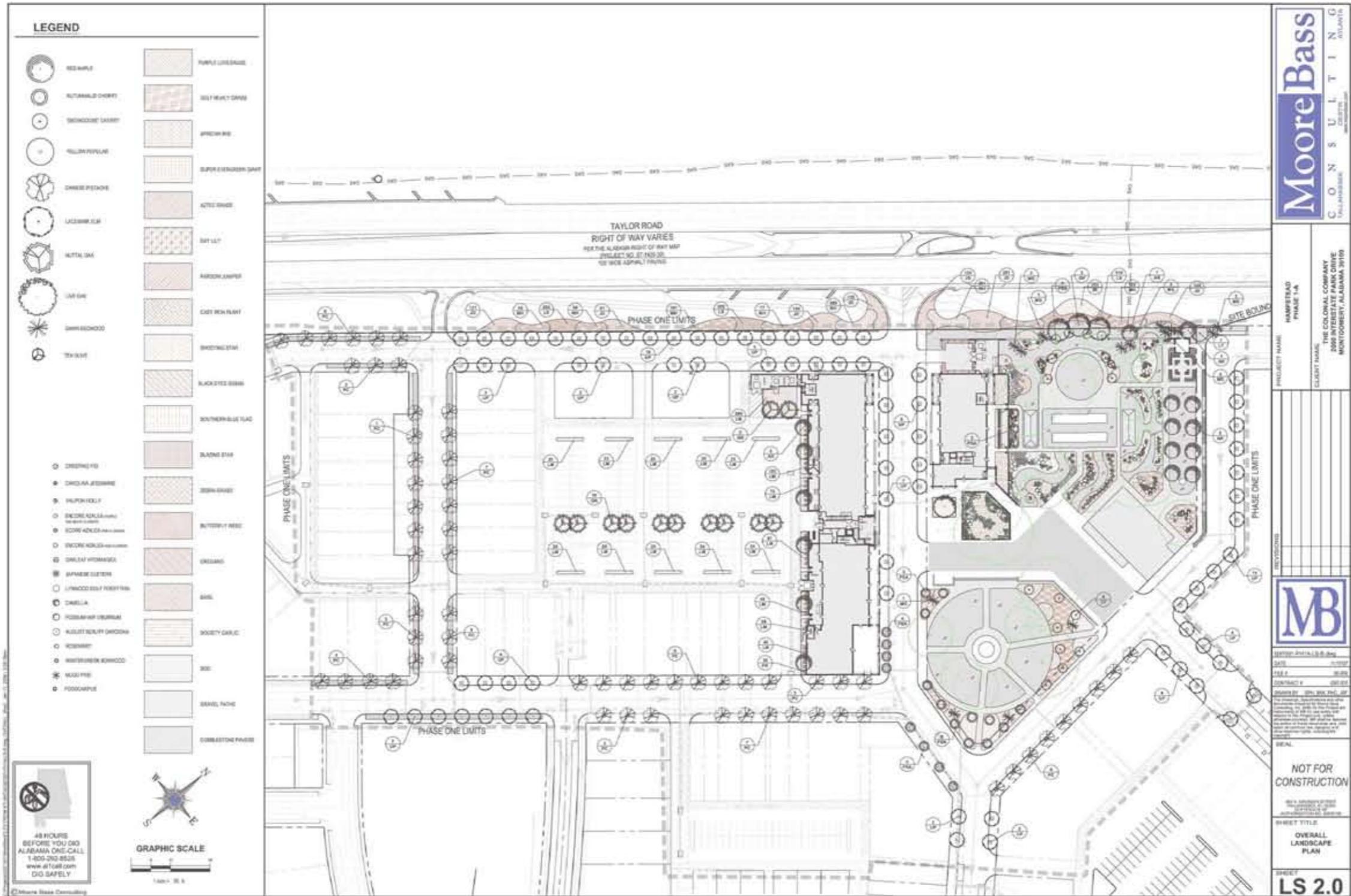
b. The first Layer may be paved to match the pavement of the Public Frontage.

c. Landscape islands in interior parking lots shall only occur at the end of drive aisles.

Islands should be the minimum size for healthy growth for the specific species of Tree.

d. Porous paving materials are encouraged in order to increase storm water infiltration on site.





*plan not to scale



5.12 SIGNAGE STANDARDS

5.12.3 Specific to zones T4, T5

a. Signage shall be externally illuminated, except that signage within the Shopfront glazing may be neon lit.

b. B-grid streets may utilize the Chapter 24 Sign Ordinance instead of 5.12 standards.

5.12.4 Specific to zones T2, T3, T4

a. One blade sign for each business may be permanently installed perpendicular to the Façade within the first Layer. Such a sign shall not exceed a total of 4 square feet and shall clear 8 feet above the Sidewalk.



5.12 SIGNAGE STANDARDS

5.12.5 Specific to zones T5

a. Blade signs, not to exceed 6 square ft. for each separate business entrance, may be attached to and shall be perpendicular to the Façade, and shall clear 8 feet above the Sidewalk.

b. A single external permanent sign band may be applied to the Façade of each building, providing that such sign not exceed 3 feet in height by any length.



Compliance with General Signage as set forth in Section 4.2.8

General Signage Standards

a. One address number no more than 6 inches vertically shall be attached to the building in proximity to the principal entrance or at a mailbox. - All buildings compliant

b. One blade sign for each business may be permanently installed perpendicular to the Facade. Such a sign shall not exceed a total of 4 square feet unless otherwise specified in Sections 4.4 and following. - All buildings compliant

c. Signage may be lit externally only with full-spectrum source, unless otherwise specified. - All buildings compliant

(T3) Signage Standards

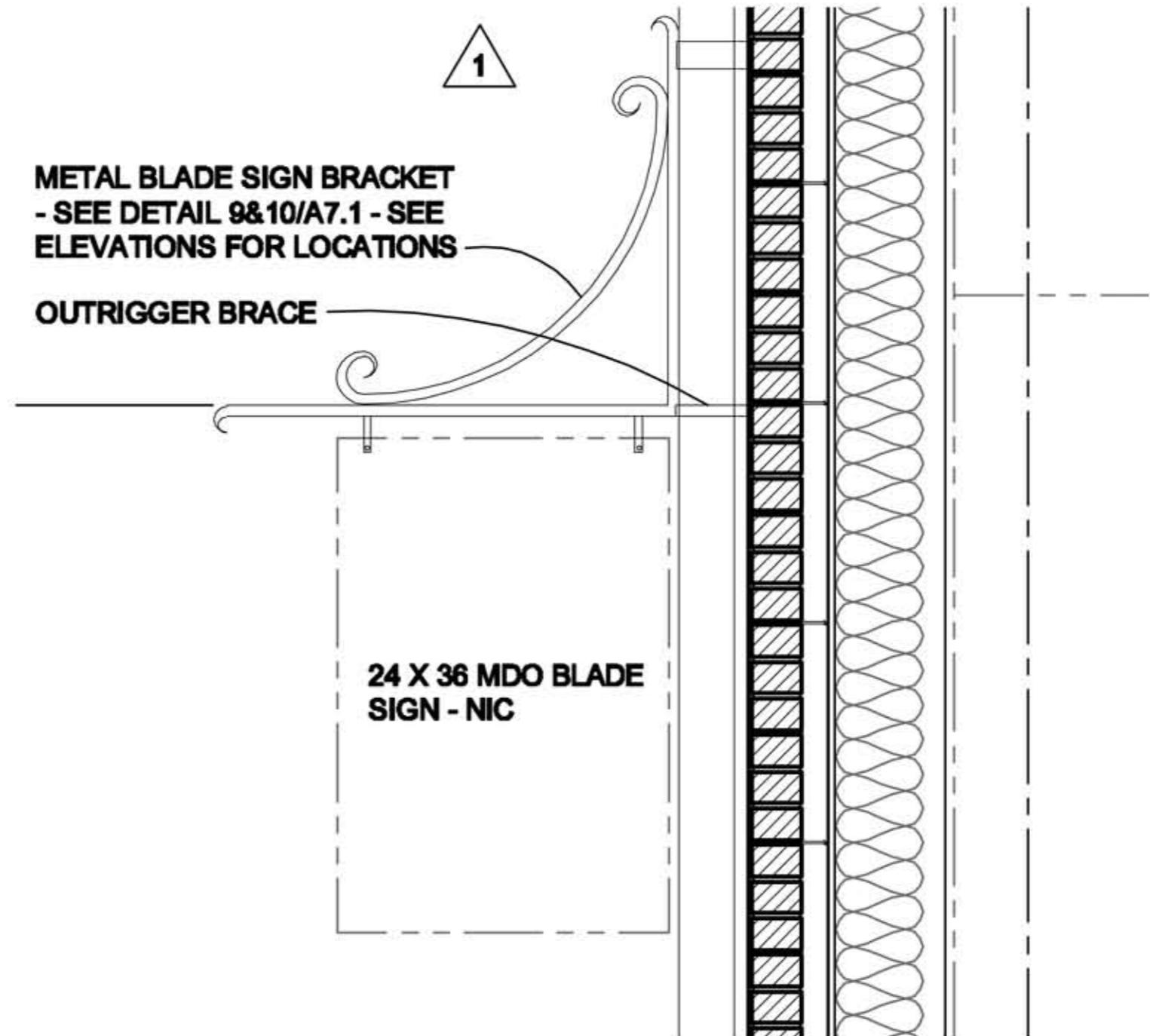
a. There shall be no signage permitted additional to that specified in Section 4.2.8. - Watson residence compliant

b. Signage may not be lit. - Watson Residence compliant

(T5) Signage Standards

a. In addition to the signage permitted in Section 4.2.8, a single external sign band may be applied to the Facade of each building, providing that such sign not exceed 3 feet in height by any length. - N/A blade signs to be utilized on Buildings 1&2

b. Blade signs, not to exceed 6 square ft. for each separate business entrance, may be attached perpendicular to the Facade. - Buildings 1&2 compliant (see exhibit)



*drawing not to scale



5.13 ARCHITECTURAL STANDARDS

- 5.13.1 Architectural review shall be accomplished as an Administrative Approval for all non-Civic buildings. The Plan Commission may waive any of the standards in 5.13 to allow building design or architecture the Commission feels is suitable for the block and its neighborhood.
- 5.13.2 Architectural Intent for non-Civic building Façades specific to Zones T4 and T5 Façades
- a. Provide front entrance(s) that are distinct and visible from the street, but should not exaggerate or double the height of the entrance.
 - b. Simple massing is preferred and should be used with stoops, porches, galleries, arcades, roof eaves, and balconies to provide expressive character, over excessive use of building articulation.



5.13 ARCHITECTURAL STANDARDS

5.13.3 Architectural Intent for non-Civic building Façades specific to Zone T5 Façades

- a. Provide a discernable base, middle and cap that are clearly defined by horizontal elements along the bottom and top of the building. Expression of the elements should be handled through changes in material selection, color, or plane. Use of horizontal bands, cornices, and or varied window patterns can assist in expression.

5.13.4 General to Zones T3, T4, and T5 Façades

This section does not apply to single-family and two-family Edgeyard and Sideyard Residential units.

- a. Building wall materials may be combined on each Façade only horizontally, with the lighter above more substantial materials.
- b. Durable materials are cementitious siding, brick, artificial or natural stone, stucco and concrete finished to an architectural level, and decorative finish block systems.
- c. Vinyl siding shall not be permitted.



5.13 ARCHITECTURAL STANDARDS

5.13.4 General to Zones T3, T4, and T5 Façades

- d. The use of reflective materials is discouraged.
- e. Glazing above the first Story Façade shall not exceed 50% of the total building Façade wall area, with each Façade being calculated independently, except by Administrative Waiver.
- f. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that roofs for porches and attached sheds may be no less than 3:12. Prairie Style buildings may have a 4:12 slope on the primary roof.
- g. Low pitch or flat roofs shall be enclosed by a parapet that is a minimum of 42” in height, or a greater height as necessary to conceal mechanical equipment.
- h. Streetscreens should be constructed of a material matching the adjacent building Façade. Hedges may be used as Streetscreens.
- i. Fences at the first Lot Layer shall be painted or stained.



5.13 ARCHITECTURAL STANDARDS

5.13.5 Specific to Zones T3, T4 Façades

- a. Materials to the height of 2 ft. above grade shall be durable.
- b. Exterior Insulation Finish System (EIFS), vinyl, cellulose composite siding and non-Kevlar aluminum coated siding are not considered durable materials.
- c. Balconies and porches shall be made of painted wood, stained wood or cementitious wood substitute boards the same size and thickness as commonly available wood boards, or wood plastic composite.

5.13.6 Specific to Zone T5

- a. Materials for street story Façade or below shall be durable.
- b. Preferred durable materials are stucco, brick, artificial or natural stone, concrete finished to an architectural standard and decorative finish block systems.
- c. Wood and finished metal may be used as accents, but should not be the primary material of the street story Façade.



5.13 ARCHITECTURAL STANDARDS

5.13.6 Specific to Zone T5

- d. Balconies and porches shall be made of painted wood, stained wood, cementitious wood substitute boards the same size and thickness as commonly available wood boards, wood plastic composite, or wrought iron.

5.13.7 Specific to Civic Buildings

- a. Civic Buildings are subject to Architectural Review under Chapter 13 of the municipal code (see Section 5.4.3a).

5.13.8 Specific to Special Districts

- a. Buildings in Special Districts are subject to Architectural Review under Chapter 13 of the municipal code.



5.14 FENCING STANDARDS

5.14.1 General to Zones T3, T4, and T5

- a. Hedges in Frontage Line fencing shall be evergreen.
- b. Wood Frontage Fences shall be painted or stained.
- c. No single Frontage Fence panel shall exceed 40” in height along a Frontage Lot Line.
- d. Private Fences shall be between 60” and 72” in height.
- e. Single tall panels may be used for Private Fences if the panel height is mitigated by a 32” minimum hedge at the outside perimeter or by using a 1x6 or 1x8 middle rail on the outside of the fence with a 1x10 or 1x12 dog board.
- f. Frontage Fences may occur at the Lot Line, or up to 18” behind the Lot Line to permit landscaping.
- g. Private Fences at the Rear Alley or Rear Lane must be solid below 54”. If higher than 54”, the upper panel must be 50% open.



5.14 FENCING STANDARDS

5.14.1 General to Zones T3, T4, and T5

- h. Fences along non-thoroughfare, or alley lot lines may be chain link, but in no case shall exceed 72" in height.
- i. The supporting members and posts shall be on the inside, and the smooth or flat faces on the outside. If two faces are used, each face shall be of the same type and finish.
Board on board fences is considered equal treatment.

5.14.2 Specific to Zone T3

- a. Frontage fences in T3 shall be picket, post and hedge, board and picket, ranch, or hedgerows.
- b. Frontage Fences shall be 36" to 42" in height. Secondary Frontage Fences may be 60" high beginning at the Primary Setback.



5.14 FENCING STANDARDS

5.14.3 Specific to Zone T4

- a. Frontage fences in T4 shall be picket, post and hedge, iron, board and picket, stone, brick, stucco or hedgerows.
- b. Frontage Fences shall be 36" to 48" in height. Secondary Frontage Fences may be 60" high beginning at the Primary Setback.

5.14.4 Specific to Zone T5

- a. Frontage fences in T5 shall be iron, iron and stone, iron and brick, brick, stucco or stone.
- b. Frontage Fences shall be 48" to 72" in height.



Compliance with General Architectural Standards as set forth in Section 4.2.5

4.2.5 General Architectural Standards

a. Building wall materials may be combined on each Facade only horizontally, with the heavier below the lighter. - All buildings are constructed with brick

b. Streetscreens should be between 3.5 and 8 feet in height and constructed of a material matching the adjacent building Facade. The Streetscreen may be a hedge or fence by Warrant. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access. In addition, all Streetscreens over 4 feet high should be 30% permeable or articulated. - N/A

c. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion. - All openings are of vertical and square proportion

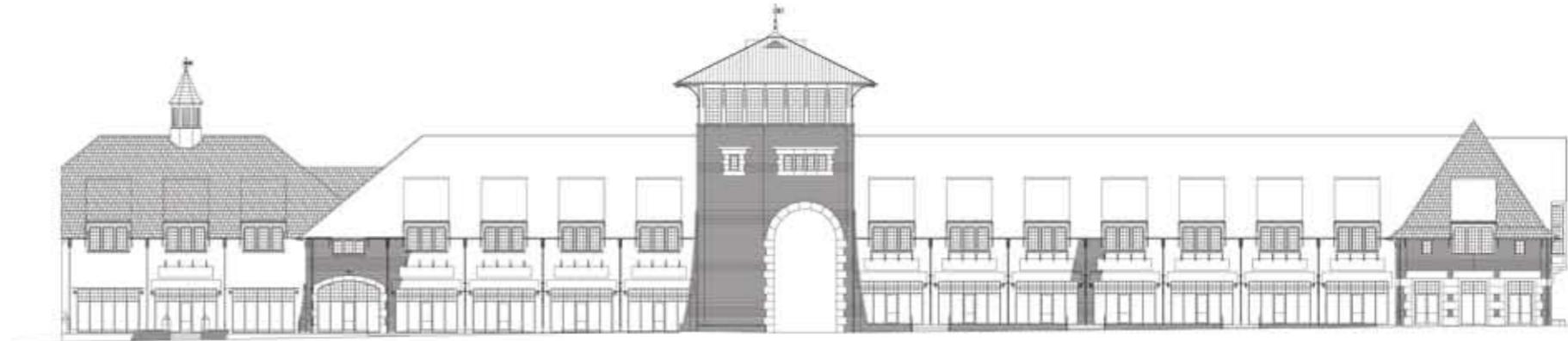
d. Openings above the first story shall not exceed 50% of the total building wall area, with each Facade being calculated independently. - All buildings meet standard

e. The Facades on retail frontages shall be detailed as storefronts and glazed with clear glass no less than 70% of the sidewalk-level story. - All buildings meet standard

f. Doors and windows that operate as sliders are prohibited along frontages. - All buildings meet standard - All buildings meet standard

g. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches and attached sheds may be no less than 2:12. - All buildings meet standard

h. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the CRC. - N/A



*elevations not to scale



Compliance with T5 Architectural Standards as set forth in Section 4.6.5

Building 1

(T5) Architectural Standards

- a. In addition to the general specifications shown in Section 4.2.5, specific standards shall be as follows.
- b. The exterior finish materials on all Facades shall be limited to stone, brick and/or stucco. - Facade constructed with brick
- c. Balconies, galleries and arcades shall be made of concrete, painted wood or metal. - Building meets standard
- d. Buildings may have flat roofs enclosed by parapets or sloped roofs. - N/A
- e. Streetscreens shall be located coplanar with the building Facade line as shown in Table 16D. - Building meets standard



Compliance with T5 Architectural Standards as set forth in Section 4.6.5

Building 2

(T5) Architectural Standards

a. In addition to the general specifications shown in Section 4.2.5, specific standards shall be as follows.

b. The exterior finish materials on all Facades shall be limited to stone, brick and/or stucco. - Facade constructed with brick

c. Balconies, galleries and arcades shall be made of concrete, painted wood or metal. - Building meets standard

d. Buildings may have flat roofs enclosed by parapets or sloped roofs. - N/A

e. Streetscreens shall be located coplanar with the building Facade line as shown in Table 16D. - Building meets standard



Compliance with T3 Architectural Standards as set forth in Section 4.4.5

Watson Residence

(T3) Architectural Standards

a. In addition to the general specifications shown in Section 4.2.5, specific standards shall be as follows:

b. The exterior finish material on all Facades shall be limited to brick, wood siding, and/or stucco. - Facade constructed with brick

c. Balconies and porches shall be made of painted wood. - Building meets standard

d. Buildings shall have sloped roofs. - Building meets standard

e. Fences, if provided, shall be at the Frontage Line as illustrated in Table 16D. Fences at Lot Lines may be of painted wood board or chain link. - Building meets standard



*elevation not to scale



5.15 LIGHTING STANDARDS

5.15.4 Specific to zone T4

a. Average lighting levels at the building frontage line shall not exceed 2.0 footcandles.

5.15.5 Specific to zone T5

a. Average lighting levels at the building frontage line shall not exceed 4.0 footcandles.



Compliance with Ambient Standards as set forth in Section 4.2.9

General Ambient Standards

a. Sound levels shall not exceed: 65 decibels by day and 55 decibels after sunset in Zones T1 through T4, and 70 decibels until midnight in Zones T5 and T6. - All buildings compliant

b. Average lighting levels measured in foot-candles at the building frontage shall not exceed 1.0 fc at T1 through T3 Zones, 2.0 fc at the T4 Zones, 5.0 fc at T5 Zones and 20 fc at T6 Zones. - Plan is compliant (see exhibit)

c. Streetlights shall be of a general type illustrated in Table 5. - Streetlights compliant (see exhibit)

d. Outdoor storage shall be screened from view from any frontage by a Streetscreen in conformance with Section 4.2.5b.) - All buildings compliant

