

Receipt # 12.1943  
Yessica A.  
2/27/19

	City of Fitchburg Planning/Zoning Department 5520 Lacy Road Fitchburg, WI 53711 (608-270-4200)	<h2>REZONING APPLICATION</h2>
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The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the B-G district to the B-P district the following described property:

1. **Location of Property/Street Address:** SW vacant 1.01 AC portion of 6220 Nesbitt Road Fitchburg, WI 53719

**Legal Description - (Metes & Bounds, or Lot No. And Plat):**

attached

\*\*\*Also submit in electronic format (MS WORD or plain text) by email to: [planning@fitchburgwi.gov](mailto:planning@fitchburgwi.gov)

2. **Proposed Use of Property - Explanation of Request:**

The construction and operation of a franchise commercial daycare facility for approximately 169 children and 23 employees with an outdoor play area. B-P Professional zoning is requested for the conditional use #10 of "Day care".

3. **Proposed Development Schedule:** TBD

\*\*\*Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

\*\*\*Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to [planning@fitchburgwi.gov](mailto:planning@fitchburgwi.gov). Additional information may be requested.

**Type of Residential Development (If Applicable):** \_\_\_\_\_

**Total Dwelling Units Proposed:** \_\_\_\_\_ **No. Of Parking Stalls:** \_\_\_\_\_

**Type of Non-residential Development (If Applicable):** Daycare

**Proposed Hours of Operation:** 6:30am to 6:30pm **No. Of Employees:** 23

**Floor Area:** 10,000 S.F. **No. Of Parking Stalls:** 39

**Sewer:** Municipal  Private  **Water:** Municipal  Private

**Current Owner of Property:** Charden Properties LLC - Chris Peterson, Owner

**Address:** 6220 Nesbitt Rd. Fitchburg, WI 53719 **Phone No:** (608)338-5822

**Contact Person:** Gary Wendt

**Email:** wendt@bradfordchicago.com

**Address:** 200 S Wacker Dr, STE 726 Chicago, IL 60606 **Phone No:** (312)755-8017

**Respectfully Submitted By:** [Signature] Gary Wendt  
 Owner's or Authorized Agent's Signature      Print Owner's or Authorized Agent's Name

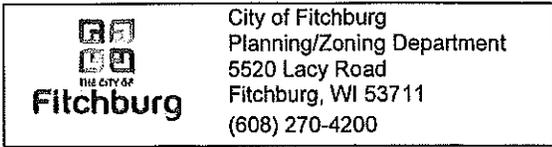
PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

**For City Use Only:** **Date Received:** 2/19/19 **Publish:** \_\_\_\_\_ and \_\_\_\_\_

**Ordinance Section No.** \_\_\_\_\_ **Fee Paid:** P2 + CU = \$ 770.00

**Permit Request No.** 12-2273-19

Receipt # 12.1943  
Yvonne A.  
2/27/19



# CONDITIONAL USE PERMIT APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

1. Location of Property:  
Street Address: SW vacant 1.01 AC portion of 6220 Nesbitt Road Fitchburg, WI 53719  
Legal Description - (Metes & Bounds, or Lot No. And Plat): see attachment 1

\*\*\*Also submit in electronic format (MS WORD or plain text) by email to: PLANNING@FITCHBURGWI.GOV

2. Current Use of Property: Vacant  
3. Proposed Use of Property: Daycare - The Learning Experience  
4. Proposed Development Schedule: TBD  
5. Zoning District: Current Zoning is G-B: General Business. Future Zoning is B-P: Professional Office District  
6. Future Land Use Plan Classification: Business

\*\*\*Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

\*\*\*Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable):  
No. of Dwelling Units by Bedroom: 1 BR  2 BR  3 BR  4 or More

No. Of Parking Stalls: \_\_\_\_\_

Type of Non-residential Development (If Applicable): Daycare

Proposed Hours of Operation: 6:30am to 6:30pm No. Of Employees: 23

Floor Area: 10,000 SF Building No. Of Parking Stalls: 39

Sewer: Municipal  Private  Water: Municipal  Private

Current Owner of Property: Charden Properties LLC - Chris Peterson, Owner

Address: 6220 Nesbitt Rd. Fitchburg, WI 53719 Phone No: (608)338-5822

Contact Person: Gary Wendt

Email: wendt@bradfordchicago.com

Address: 200 S Wacker Dr, Ste 726 Chicago, IL 60606 Phone No: (312)755-8017

Respectfully Submitted By: [Signature]

Owner's or Authorized Agent's Signature

\*\* It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: 2/19/19 Publish: \_\_\_\_\_

Ordinance Section No. \_\_\_\_\_ Fee Paid: PZ+CU = \$770.00

Permit Request No. CUP-2274-19

# ATTACHMENTS

Legal Description	1
Parking Evaluation Impact Statement	2

# LEGAL DESCRIPTION

**LEGAL DESCRIPTION**  
for  
**Lot 2 of a Proposed Certified Survey Map**

A part of Lot 1 of Certified Survey Map No. 10317, recorded as Document No. 3443224 of Dane County Records, being located in the Southeast 1/4 of the Northwest 1/4 of Section 7, Township 6 North, Range 9 East, City of Fitchburg, Dane County, Wisconsin, being more particularly described as follows:

**COMMENCING** at the corner common to said Lot 1 and Lot 2 of said Certified Survey Map No. 10317, lying on the Northwesterly right-of-way line of Nesbitt Road;

thence, along said Northwesterly right-of-way line, South 57°35'21" West, 462.82 feet to its intersection with the Northeasterly right-of-way line of Limestone Lane;

thence, along said Northeasterly right-of-way line, North 32°30'09" West, 21.98 feet to the **POINT OF BEGINNING**;

thence, continuing along said Northeasterly right-of-way line, North 32°30'09" West, 237.52 feet;

thence North 57°35'21" East, 174.27 feet;

thence South 32°24'39" East, 252.50 feet to the Northwesterly line of a proposed right-of-way dedication to widen Nesbitt Road;

thence, along last said Northwesterly line, South 57°35'21" West, 158.89 feet to the beginning of a tangent curve, being concave Northerly, having a radius of 15.00 feet and a chord which bears North 77°27'24" West, 21.20 feet;

thence Southwesterly, Westerly and Northwesterly, 23.54 feet along the arc of said curve through a central angle of 89°54'30" to the Point of Tangency thereof and the **POINT OF BEGINNING**, containing 43,903 square feet or 1.008 acres, more or less.

**BEING SUBJECT TO** to all easements and agreements, if any, of record and/or fact.

***NOTE:** This preliminary legal description is to provide a location of the proposed Lot 2 for zoning submittal and permitting purposes only and is not to be used for conveyance of the property. Lot 2 will legally become a separate property only upon approval of the Certified Survey Map by the City of Fitchburg and recordation at the Dane County Register of Deeds.*

Project No. CP-08-18\_BRAD  
Date: January 15, 2019

# **PARKING EVALUATION IMPACT STATEMENT**

MEMORANDUM TO: Gary Wendt  
Bradford Real Estate Companies

FROM: Luay R. Aboona, PE, PTOE  
Principal

DATE: January 16, 2019

SUBJECT: Parking Evaluation Impact Statement

This memorandum summarizes the results and findings of a parking evaluation conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for The Learning Experience proposed to be located on a number of sites in Wisconsin. The Learning Experience is a daycare facility with a maximum occupancy of 169 students and 23 teachers and staff at any given time. The school will be open Monday through Friday from 6:30 A.M. to 6:30 P.M.

The purpose of this evaluation is as follows:

- To evaluate the trip generation characteristics of the proposed daycare
- To evaluate the drop-off and pick-up operations
- To evaluate the parking needs of the proposed daycare

### Traffic Characteristics of the Proposed Facility

As indicated earlier, the daycare will be open Monday through Friday between 6:30 A.M. and 6:30 P.M. The daycare will have 23 teachers and staff and a maximum enrollment of 169 children ranging in age from six weeks to six years old. Given their young age, all children will be escorted in and out of the facility.

### Facility Traffic Generation

The volume of traffic that will be generated by the proposed facility was estimated using trip data published in the Institute of Transportation Engineers' (ITE) *Trip Generation Manual*, 10<sup>th</sup> Edition. **Table 1** tabulates the vehicle trips anticipated for this development for the weekday morning and weekday evening peak hours, as well as the daily (two-way) traffic volumes.

Table 1  
ESTIMATED FACILITY-GENERATED TRAFFIC VOLUMES

Land Use	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Weekday Total
	In	Out	Total	In	Out	Total	
Daycare – 169 Students (Land-Use Code 565)	70	65	135	65	70	135	700

### Drop-Off/Pick-Up Operations

Given their young age, parents will be required to park their vehicles and escort their children in and out of the daycare. Typically, up to 12 parking spaces fronting the building will be reserved for drop-off and pick-up activities to provide safe passage. Based on KLOA, Inc. observations of other daycare centers, the drop-off process takes about two to three minutes on average while the pick-up process takes about five to six minutes. Given that the school allows for children to be dropped off and picked up at any time with no specific start or dismissal time, it is anticipated that the drop-off and pick-up operations will work efficiently with no significant traffic issues and that designating the 12 parking spaces fronting the building for drop-off/pick-up will be sufficient.

### Parking Evaluation

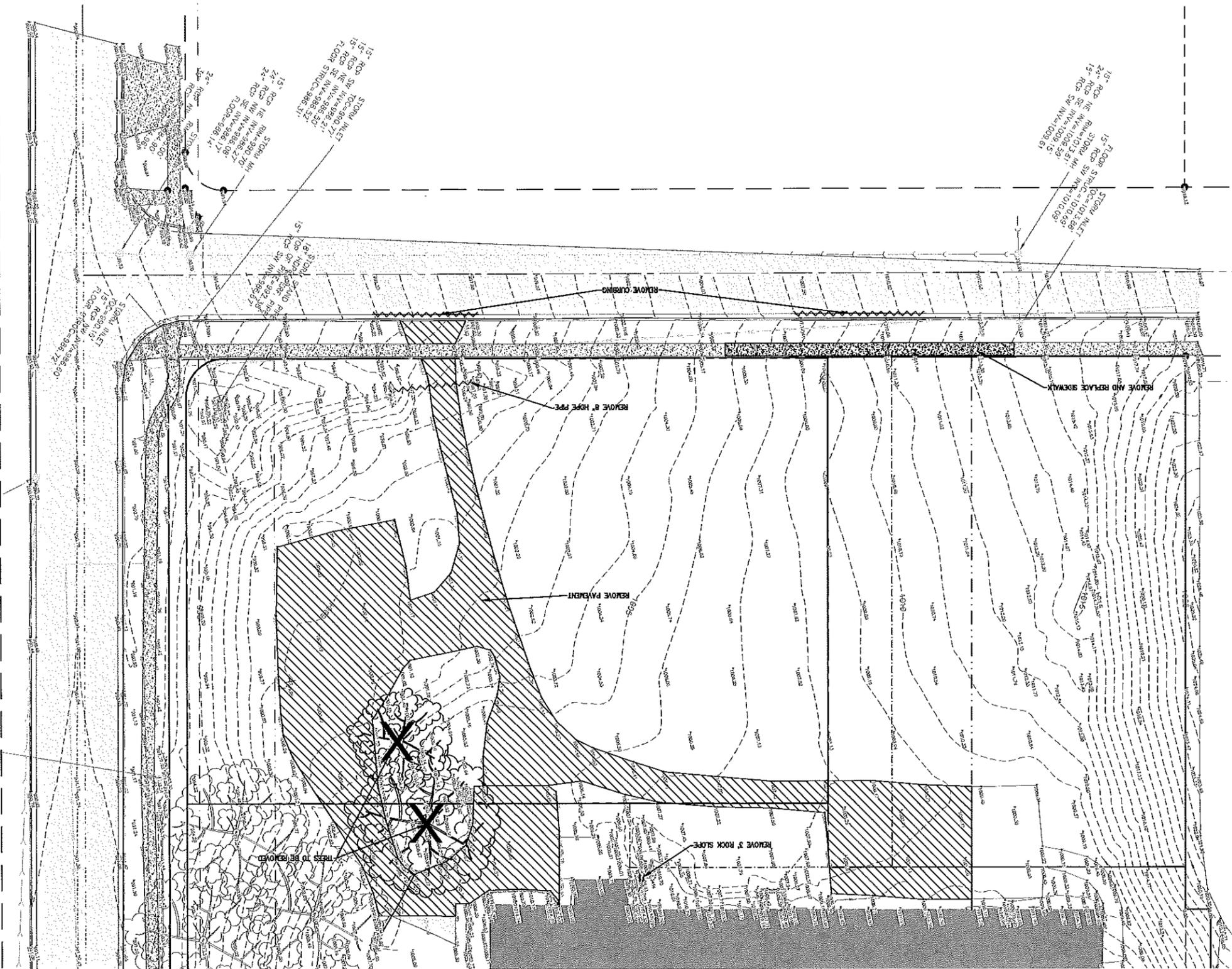
KLOA, Inc. reviewed the *ITE Parking Generation Manual*, 4<sup>th</sup> Edition to calculate the peak parking demand for the proposed land use, which indicates a parking demand ratio of 0.24 spaces per student. When applied to the maximum occupancy of 169 students, the calculated demand will be 41 spaces. It should be noted that the maximum occupancy will not be typically achieved immediately and that the daycare typically experiences an absentee rate of approximately eight to 12 percent, which will reduce the calculated parking demand to 36 to 38 spaces.

### Conclusion

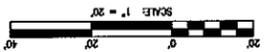
Based on the proposed facility plan and the preceding evaluation, the following conclusions and recommendations are made:

- The traffic that will be generated by the proposed The Learning Experience will be low and spread out over several hours.
- Parents will be required to park their vehicles and escort their children in and out of the daycare.
- The Learning Experience will typically require a maximum of 41 parking spaces that could be reduced to between 36 and 38 spaces to account for absentees.
- Approximately 12 parking spaces fronting the building should be designated for drop-off/pick-up activities.





NOTES:  
 1. ALL UTILITY LOCATIONS, MATERIALS AND SIZES SHALL BE FIELD VERIFIED PRIOR TO ORDERING MATERIALS.  
 2. UTILITIES THAT ARE TO BE REMOVED SHALL BE DISCONNECTED AT THE MAN.  
 3. UTILITIES SHALL BE LOCATED BY THE APPLICABLE UTILITY LOCATION SERVICE PRIOR TO ANY WORK.



**LEGEND**

	CONCRETE TO BE REMOVED FULL DEPTH
	ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH
	CURB, STORM SEWER, FENCE AND WALL TO BE REMOVED
	SAW CUT FULL DEPTH
	TO BE REMOVED

STAIN/PAINT REMOVAL  
 P.C. ST INV=576.12'  
 INV=576.13'  
 CHANNELED CHANNEL=973.15'

SM  
 TOP FLOORING NOT TO BE REMOVED  
 INV=924.51'  
 (SC500128-WI 04)PUM

Designed By	SAH
Drawn By	SAH
Checked By	MJC
Date	11/06/2018
Job Number	CE180032
Sheet Number	C2

**CELTD**  
 Caldwell Engineering, Ltd.  
 1318 North Madison Street, Woodstock, Illinois  
 (815) 522-5564 www.caldwelling.com

**THE LEARNING EXPERIENCE**  
 6220 NESBITT RD.  
 FITCHBURG, WI  
 EXISTING CONDITIONS & DEMOLITION PLAN

NO.	DATE	REVISIONS
1	12/27/2018	GENERAL IMPROVEMENTS

FOR REVIEW

CE180032  
 Sheet Number  
 11/06/2018  
 Date  
 MJC  
 Checked By  
 SAH  
 Drawn By  
 SAH  
 Designed By  
 SAH

**CELTD**  
 Caldwell Engineering, Ltd.  
 1115 West Main Street, Westport, Illinois  
 (815) 282-5551 www.caldwellengineering.com

**THE LEARNING EXPERIENCE**  
 6220 NESBITT RD.  
 FITCHBURG, WI  
 GEOMETRIC PLAN

NO.	DATE	REVISIONS
1	11/21/2018	ISSUED FOR PERMIT

- NOTE:
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
  2. SIDEWALK IS WIDE TYPICAL UNLESS OTHERWISE SPECIFIED.
  3. ALL CURB AND GUTTER IS TO BE 12" CURB.
  4. FOR BUILDING AND TRASH ENCLOSURE LAYOUT AND DIMENSIONS SEE ARCHITECTURAL PLAN.
  5. 5/4" HIGH TRASH ENCLOSURE SHALL BE INSTALLED WHEN THE CURB ADJUTS A SIDEWALK OR EXISTING CURB. CONCRETE PAVEMENT/SIDEWALK ADJUTS EXISTING SIDEWALK. CONCRETE PAVEMENT/SIDEWALK ADJUTS EXISTING SIDEWALK.
  6. THE TOTAL PARKING LOT SPACES PROVIDED ARE 39.

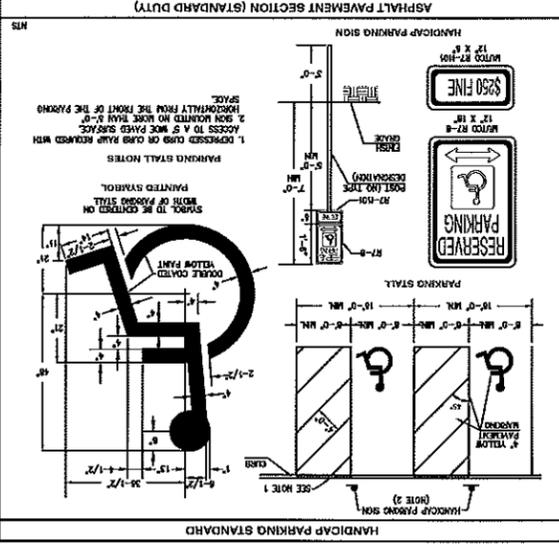
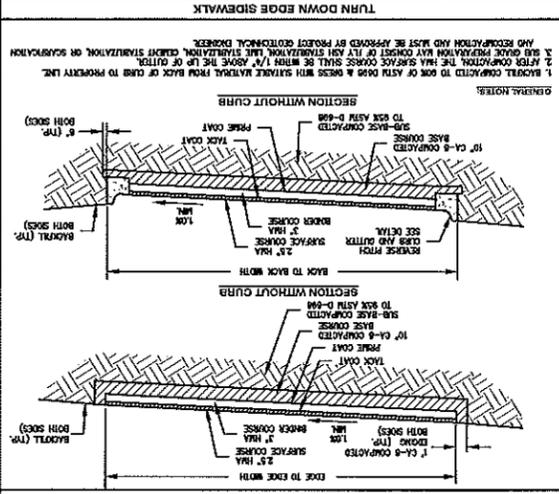
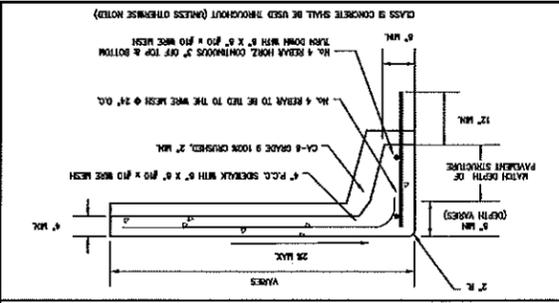
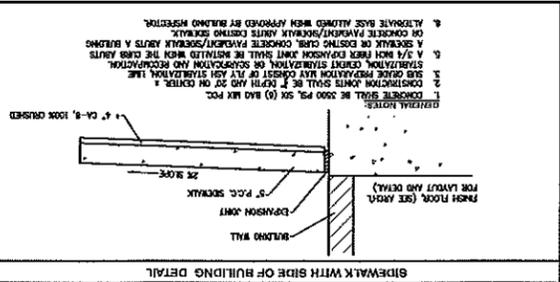
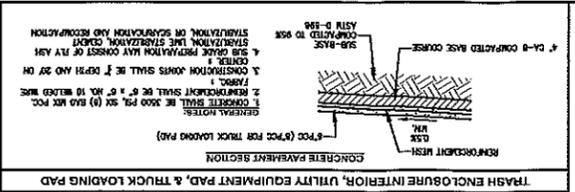
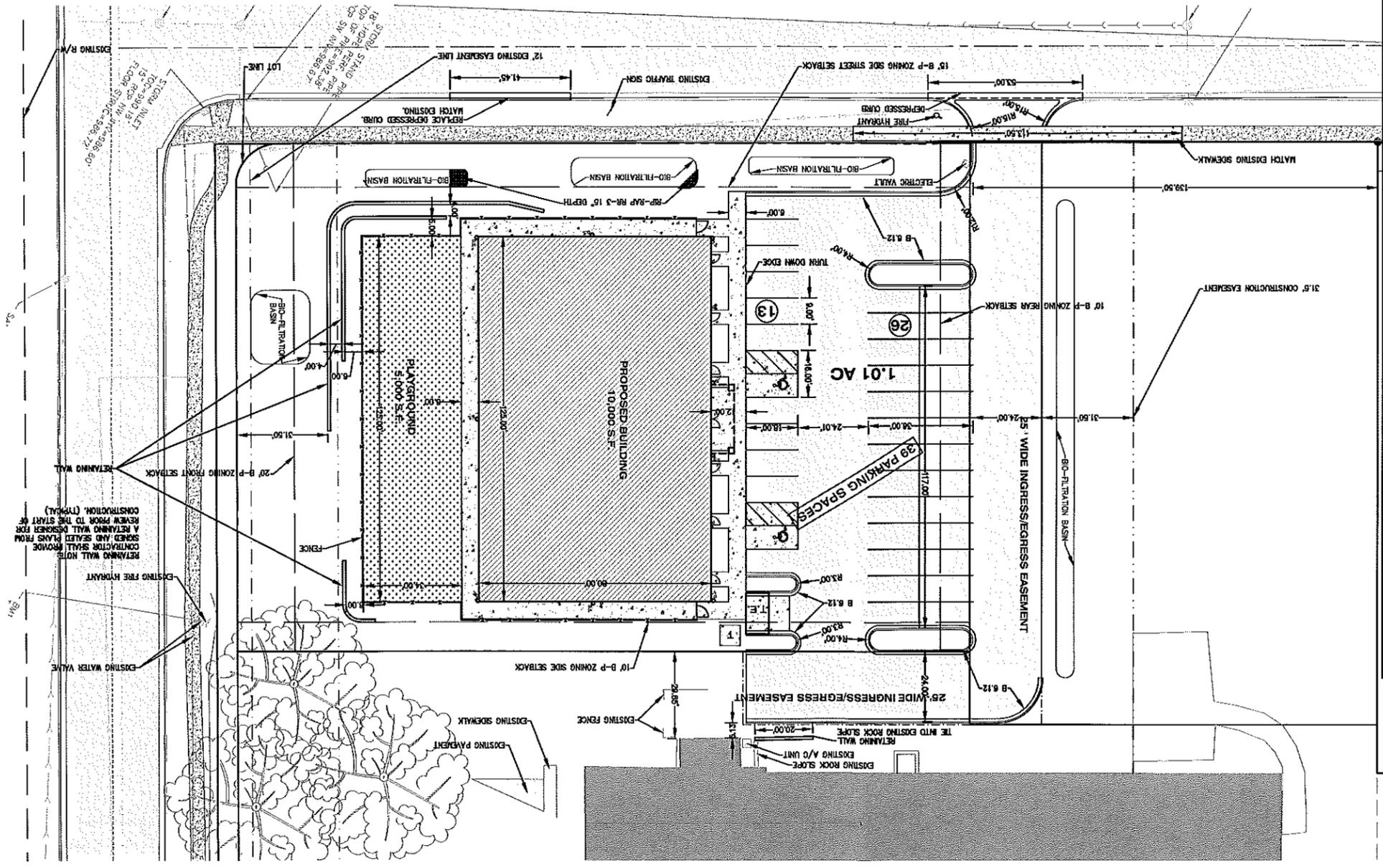
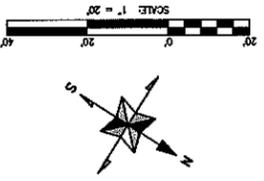








Table with 3 columns: NO., DATE, DESCRIPTION. Lists various materials and their specifications, including concrete, steel, and masonry.

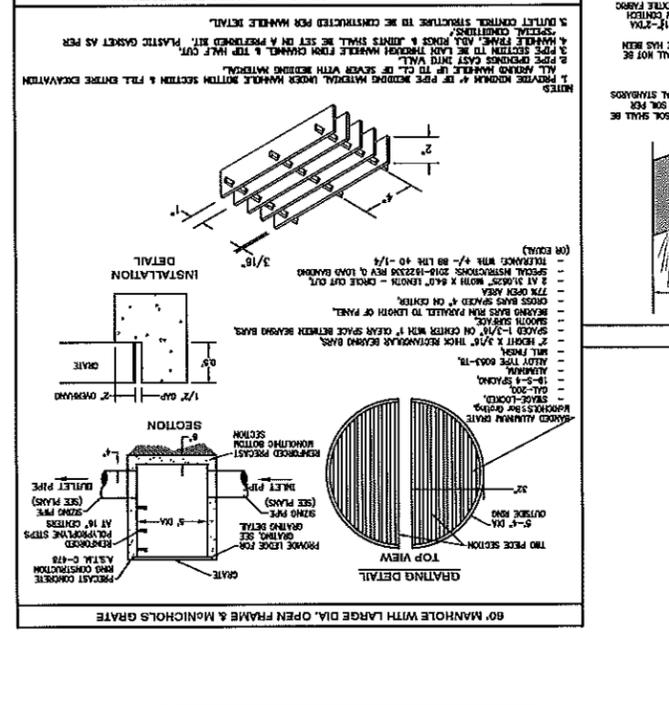


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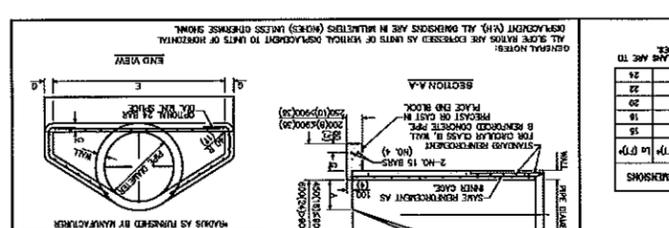


Table with 3 columns: NO., NOMINAL SIZE, COARSE AGGREGATE CONVERSION TABLE. Lists aggregate sizes and their corresponding nominal sizes.

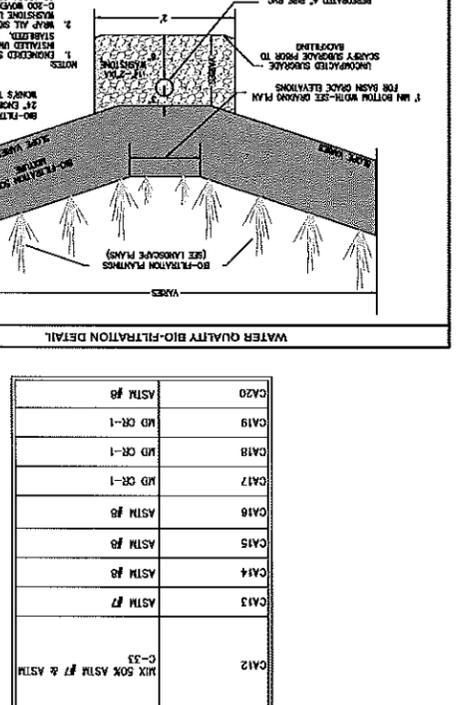


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GENERAL NOTES  
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.  
2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.  
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.  
4. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES.  
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION OF ANY DAMAGE TO ADJACENT PROPERTIES.  
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