



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: TIM WETZEL

Address: 5301 VOYES ROAD Phone Number of Contact Person: 608-257-2600

City, State, Zip Code: MADISON WI 53718 Email of Contact Person: TIMC.AUTOTEMPERATURE.COM

Project Address: ORCHARD POINTE Lot: 8 Subdivision: _____

Project Type: Multi-Family Commercial Industrial Other
 New Addition

Impervious Surface Ratio (ISR): _____ (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details, including grading plan.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drives and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

Landscaping:

- 1. Location, species, size of existing trees, shrubs, and plantings.
- 2. Location, species, size of proposed plantings.
- 3. Location and size of all paved, seeded/sodded and gravelled areas.
- 4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed: _____ Date: 1-19-19
Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: 2/20/19 Plan Commission Date: 3/19/19

Comments:

DWELLINGS & GOLDFISH SWIM SCHOOL

Lot 8, Orchard Pt., Fitchburg, WI



Architecture :

Dimension IV - Madison Design Group

6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608.829.4444 www.dimensionivmadison.com

Civil Engineer:

Professional Engineering LLC

818 Meadowbrook Ln., Waunakee, WI 53597
(608) 849-9378 pei.com

Project Data

Zoning: BG General Business
Building Max Height: 26' - 2"
Building Area: 15,750sf Footprint
+1,574sf Mezzanine = 17,324sf Total

List of Drawings

C100 Existing Conditions
C200 Site Plan
C300 Grading Plan
C301 Erosion Control Plan
C400 Utility Plan

A1.0 - Floor Plan
A2.0 - Elevations
A2.1 - Overall North Elevation
A2.3 - Perspective View

Project Location

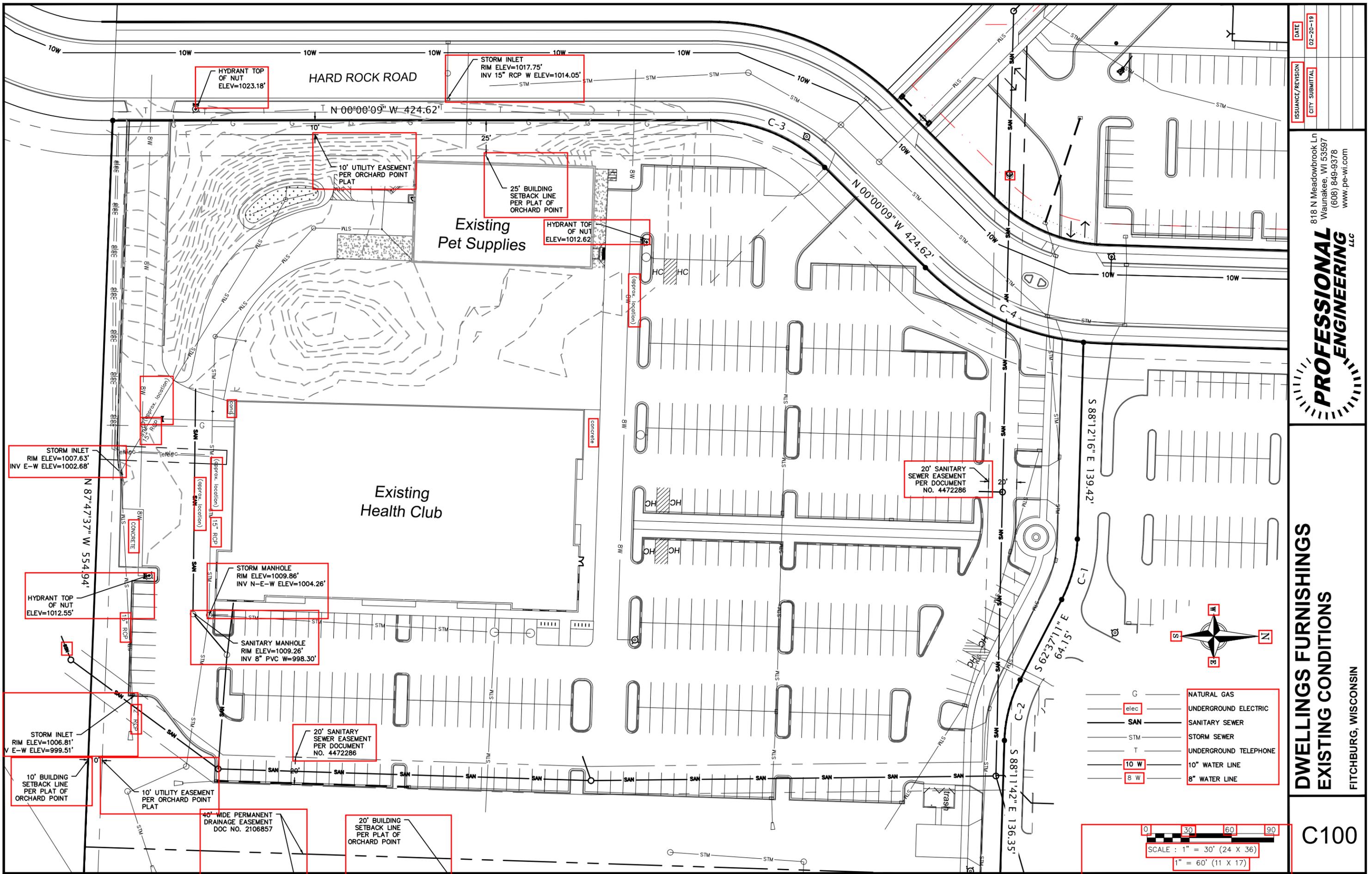


Architectural & Design Review

PROJECT # 19024

02/20/2019

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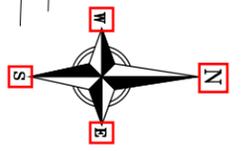
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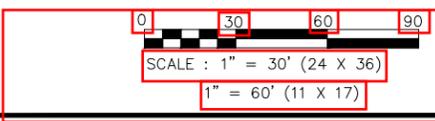


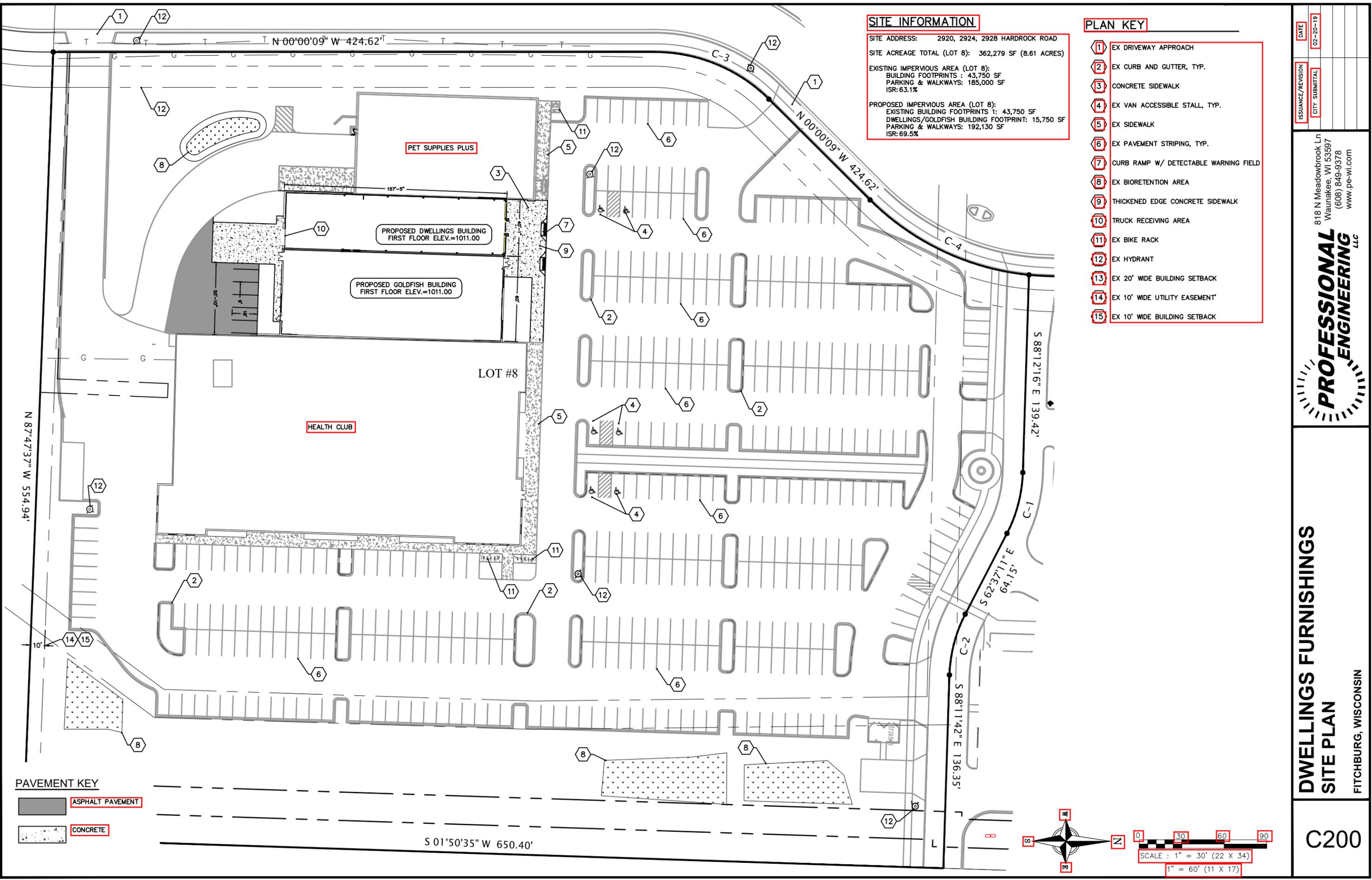
**DWELLINGS FURNISHINGS
 EXISTING CONDITIONS**
 FITCHBURG, WISCONSIN

C100



G	NATURAL GAS
elec	UNDERGROUND ELECTRIC
SAN	SANITARY SEWER
STM	STORM SEWER
T	UNDERGROUND TELEPHONE
10 W	10" WATER LINE
8 W	8" WATER LINE





SITE INFORMATION

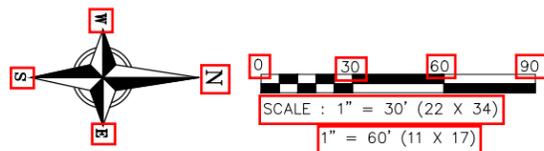
SITE ADDRESS: 2920, 2924, 2928 HARDROCK ROAD
 SITE ACREAGE TOTAL (LOT 8): 362,279 SF (8.61 ACRES)

EXISTING IMPERVIOUS AREA (LOT 8):
 BUILDING FOOTPRINTS : 43,750 SF
 PARKING & WALKWAYS: 185,000 SF
 ISR: 63.1%

PROPOSED IMPERVIOUS AREA (LOT 8):
 EXISTING BUILDING FOOTPRINTS 1: 43,750 SF
 DWELLINGS/GOLDFISH BUILDING FOOTPRINT: 15,750 SF
 PARKING & WALKWAYS: 192,130 SF
 ISR: 69.5%

- PLAN KEY**
- 1 EX DRIVEWAY APPROACH
 - 2 EX CURB AND GUTTER, TYP.
 - 3 CONCRETE SIDEWALK
 - 4 EX VAN ACCESSIBLE STALL, TYP.
 - 5 EX SIDEWALK
 - 6 EX PAVEMENT STRIPING, TYP.
 - 7 CURB RAMP W/ DETECTABLE WARNING FIELD
 - 8 EX BIORETENTION AREA
 - 9 THICKENED EDGE CONCRETE SIDEWALK
 - 10 TRUCK RECEIVING AREA
 - 11 EX BIKE RACK
 - 12 EX HYDRANT
 - 13 EX 20' WIDE BUILDING SETBACK
 - 14 EX 10' WIDE UTILITY EASEMENT
 - 15 EX 10' WIDE BUILDING SETBACK

- PAVEMENT KEY**
- ASPHALT PAVEMENT
 - CONCRETE



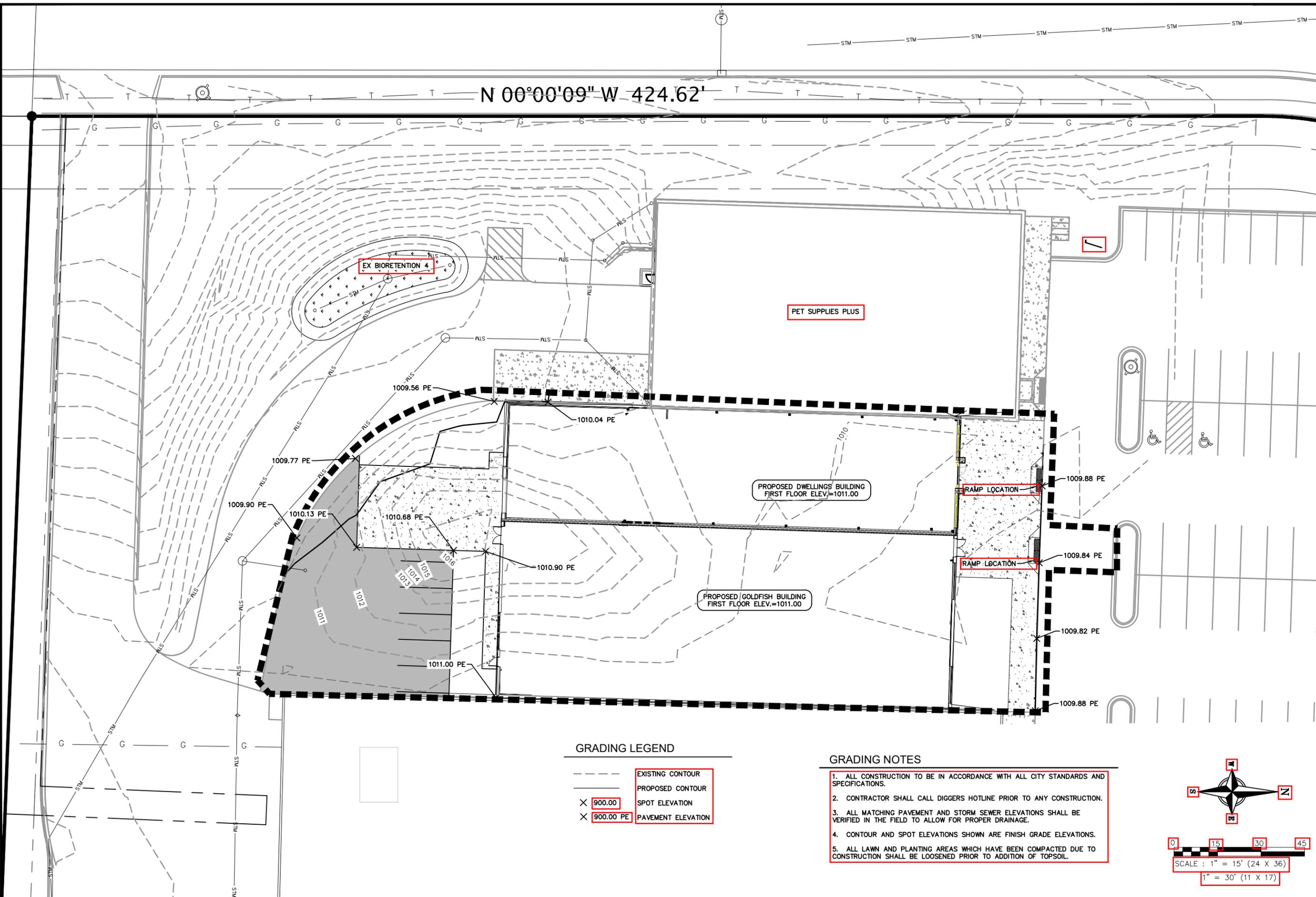
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 (608) 849-9378
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PROFESSIONAL ENGINEERING LLC

DWELLINGS FURNISHINGS
SITE PLAN
 FITCHBURG, WISCONSIN

C200



N 00°00'09" W 424.62'

EX BIORETENTION 4

PET SUPPLIES PLUS

PROPOSED DWELLINGS BUILDING
FIRST FLOOR ELEV.=1011.00

PROPOSED GOLDFISH BUILDING
FIRST FLOOR ELEV.=1011.00

RAMP LOCATION

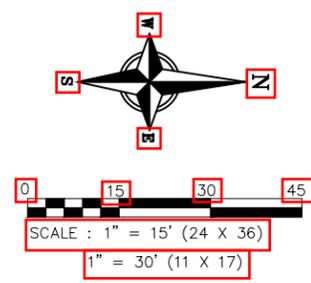
RAMP LOCATION

GRADING LEGEND

- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- X 900.00 SPOT ELEVATION
- X 900.00 PE PAVEMENT ELEVATION

GRADING NOTES

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
3. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
4. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
5. ALL LAWN AND PLANTING AREAS WHICH HAVE BEEN COMPACTED DUE TO CONSTRUCTION SHALL BE LOOSENEED PRIOR TO ADDITION OF TOPSOIL.



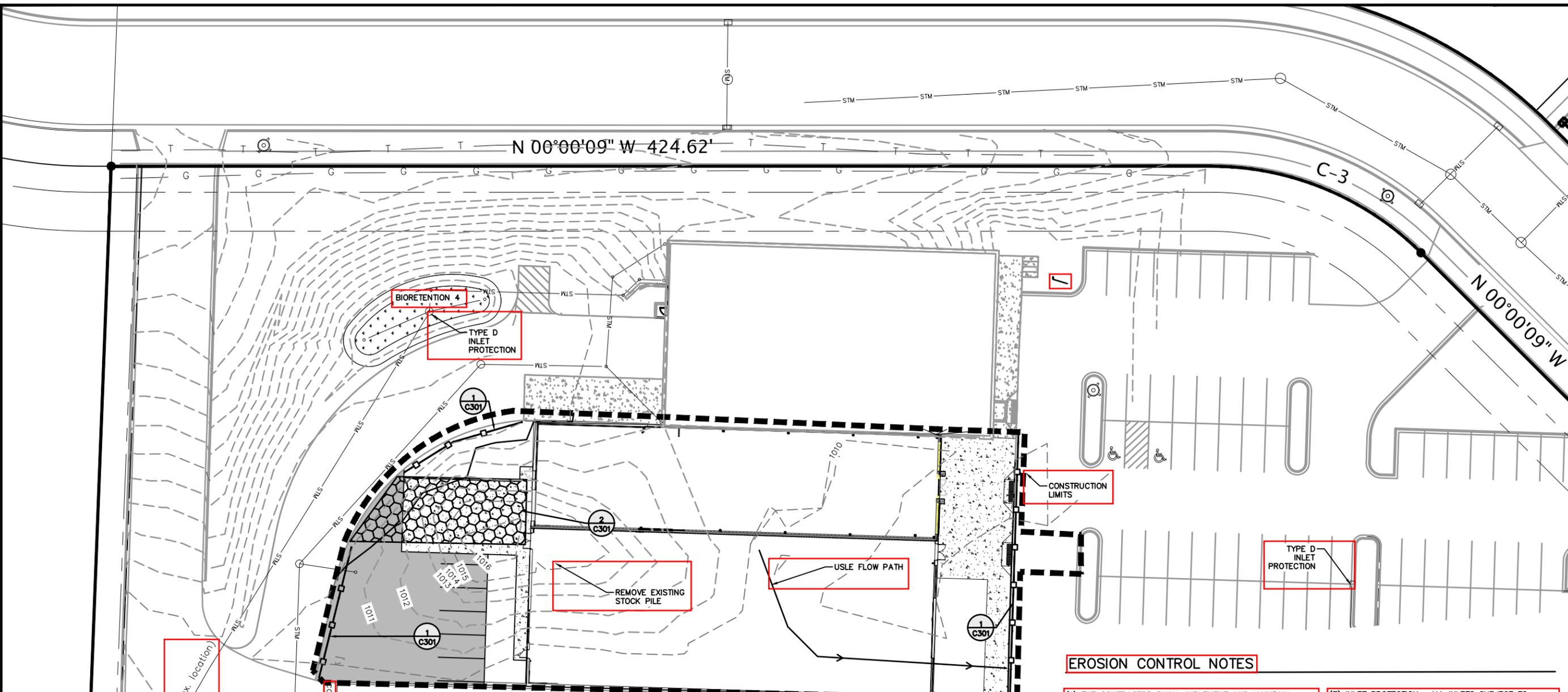
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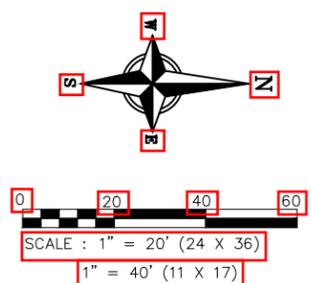
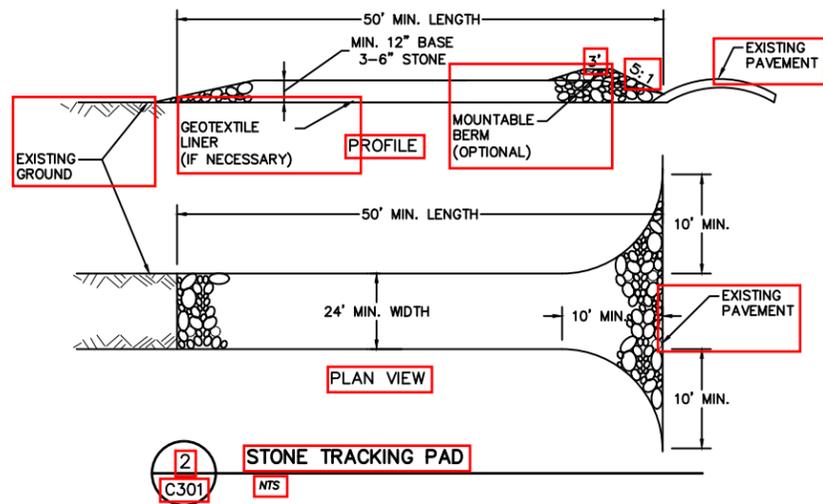
**DWELLINGS FURNISHINGS
GRADING PLAN**
FITCHBURG, WISCONSIN

C300



EROSION CONTROL NOTES

- (1) THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF LAND DISTURBING CONSTRUCTION ACTIVITIES UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE.
- (2) ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CITY EROSION CONTROL AND STORMWATER ORDINANCE AND THE APPROPRIATE WISCONSIN DNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. THE TOWN RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
- (3) CLEANING. RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY.
- (4) RESTORATION. RESTORATION SHALL BE COMPLETED AS NOTED IN THE CONSTRUCTION SCHEDULE UNLESS OTHERWISE AUTHORIZED BY THE TOWN.
- (5) INSPECTION. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND A DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
- (6) STONE TRACKING PAD. BEFORE BEGINNING CONSTRUCTION, CONTRACTOR SHALL INSTALL A STONE TRACKING PAD AT EACH POINT WHERE VEHICLES ENTERS/EXITS THE CONSTRUCTION SITE. STONE TRACKING PADS SHOULD BE AT LEAST 24 FEET WIDE AND 50 FEET LONG, AND CONSTRUCTED OF 3-6 INCH WASHED STONE WITH A DEPTH OF AT LEAST 12 INCHES. ON SITES WITH CLAY SOILS, STONE TRACKING PADS MUST BE UNDERLAIN WITH A GEOTEXTILE LINER TO PREVENT THE STONE FROM SINKING INTO THE SOIL.
- (7) INLET PROTECTION. ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH TYPE D INLET PROTECTION OR APPROVED EQUAL. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT.
- (8) EROSION MAT. AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 4H:1V SHALL BE STABILIZED WITH WISCONSIN DOT CLASS 1, URBAN, TYPE B, EROSION MAT.
- (9) TEMPORARY EROSION CONTROL. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- (10) STABILIZATION. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
- (11) TOPSOIL. A MINIMUM OF 4 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.
- (12) SEEDING. SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 LBS PER 1,000 SF OF AREA OR AS NOTED ON THE LANDSCAPE PLAN.
- (13) STOCKPILES. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.



1
C301 SILT FENCE
NTS

2
C301 STONE TRACKING PAD
NTS

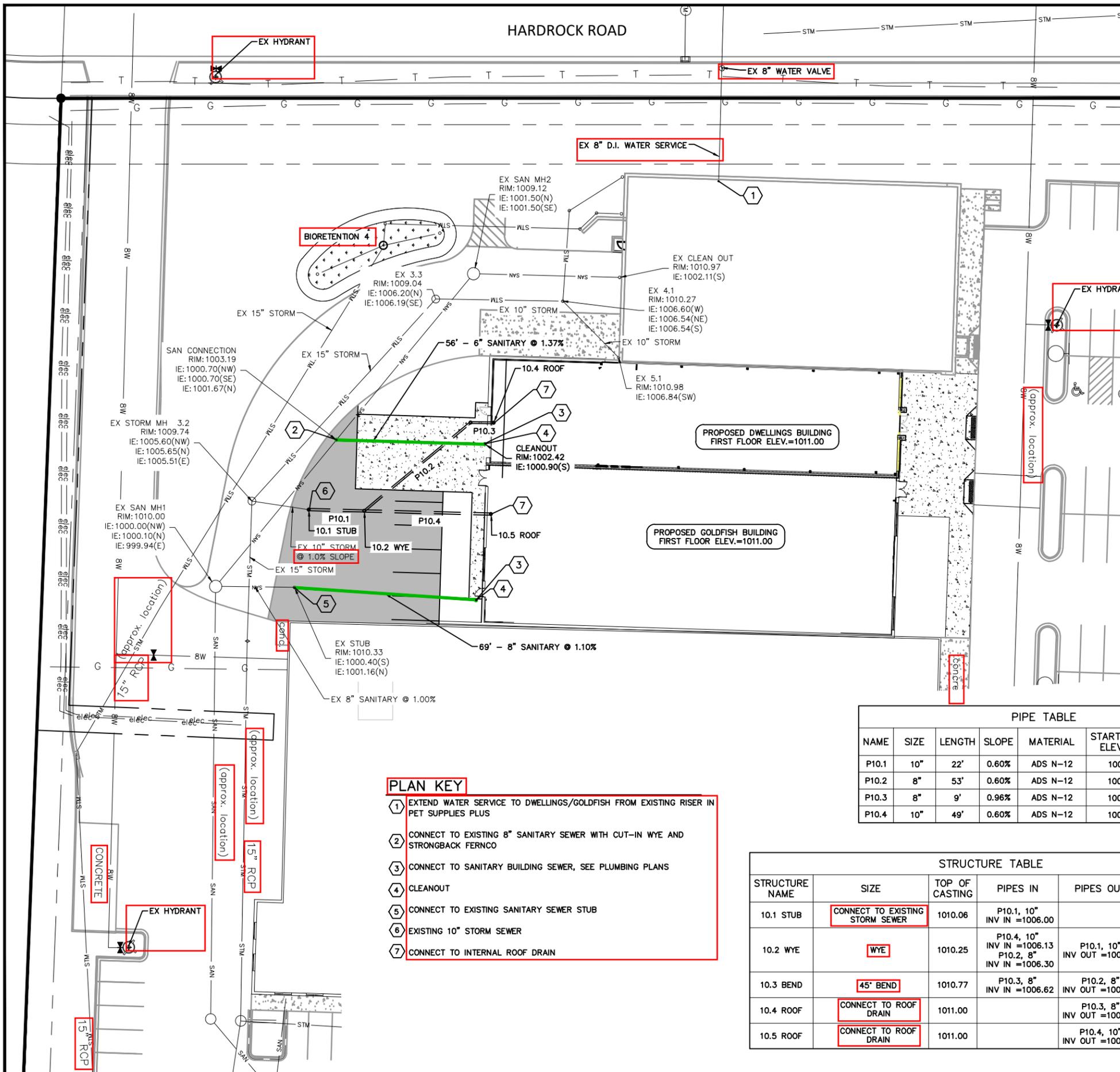
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PROFESSIONAL ENGINEERING LLC

DWELLINGS FURNISHINGS
EROSION CONTROL PLAN
FITCHBURG, WISCONSIN

C301



UTILITY NOTES

1. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
2. ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE LOCATED FROM PREVIOUS DESIGN PLANS. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
3. ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST ADDITION.
4. CONTRACTOR SHALL OBTAIN ALL NECESSARY CONNECTION PERMITS FROM THE CITY PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
5. RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE PROJECT LIMITS IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
6. ALL STORM SEWER PIPE TO BE ADS N-12, RCP CLASS III REINFORCED CONCRETE WITH RUBBER GASKETS OR SCHEDULE 40 PVC AS NOTE
7. SANITARY SEWER SERVICES SHALL BE SDR-26 PVC.
8. UTILITIES STUBS (SANITARY, WATER, STORM SEWER) TO BE PLUGGED AND MARKED WITH A 4"x4" HARDWOOD POST.
9. CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
10. SCOTCHMARK BALL MARKERS (PRODUCT NO. 1404-XR) SHALL BE INSTALLED DIRECTLY ABOVE SANITARY LATERALS AT WYE, TWO FEET FROM PROPERTY LINE (WITHIN RIGHT-OF-WAY), AT ANY BENDS, AND AT THE END OF LATERAL STUBS. BALL MARKERS SHALL BE GREEN IN COLOR AND INSTALLED BETWEEN 3.5' AND 4.5' FROM FINAL SURFACE ELEVATION. BALL MARKERS SHALL BE CHECKED FOR CONDUCTIVITY PRIOR TO INSTALLATION OF STREETS AND SIDEWALKS
11. ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY CITY.
12. STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSINGS WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.
13. MUNICIPAL WATER MAIN VALVES MAY ONLY BE OPERATED BY THE FITCHBURG UTILITY. SAFE SAMPLE RESULTS NEED TO BE PROVIDED TO THE FITCHBURG UTILITY PRIOR TO PRESSURE TESTING THE PRIVATE WATER MAINS.

PLAN KEY

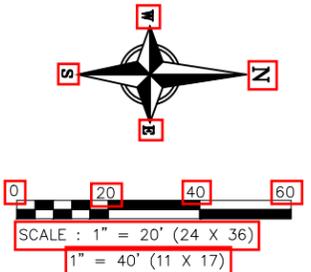
1. EXTEND WATER SERVICE TO DWELLINGS/GOLDFISH FROM EXISTING RISER IN PET SUPPLIES PLUS
2. CONNECT TO EXISTING 8" SANITARY SEWER WITH CUT-IN WYE AND STRONGBACK FERNCO
3. CONNECT TO SANITARY BUILDING SEWER, SEE PLUMBING PLANS
4. CLEANOUT
5. CONNECT TO EXISTING SANITARY SEWER STUB
6. EXISTING 10" STORM SEWER
7. CONNECT TO INTERNAL ROOF DRAIN

PIPE TABLE

NAME	SIZE	LENGTH	SLOPE	MATERIAL	START INVERT ELEVATION	END INVERT ELEVATION
P10.1	10"	22'	0.60%	ADS N-12	1006.13'	1006.00'
P10.2	8"	53'	0.60%	ADS N-12	1006.62'	1006.30'
P10.3	8"	9'	0.96%	ADS N-12	1006.70'	1006.62'
P10.4	10"	49'	0.60%	ADS N-12	1006.42'	1006.13'

STRUCTURE TABLE

STRUCTURE NAME	SIZE	TOP OF CASTING	PIPES IN	PIPES OUT	CASTING
10.1 STUB	CONNECT TO EXISTING STORM SEWER	1010.06	P10.1, 10" INV IN =1006.00		
10.2 WYE	WYE	1010.25	P10.4, 10" INV IN =1006.13 P10.2, 8" INV IN =1006.30	P10.1, 10" INV OUT =1006.13	
10.3 BEND	45° BEND	1010.77	P10.3, 8" INV IN =1006.62	P10.2, 8" INV OUT =1006.62	
10.4 ROOF	CONNECT TO ROOF DRAIN	1011.00		P10.3, 8" INV OUT =1006.70	
10.5 ROOF	CONNECT TO ROOF DRAIN	1011.00		P10.4, 10" INV OUT =1006.42	



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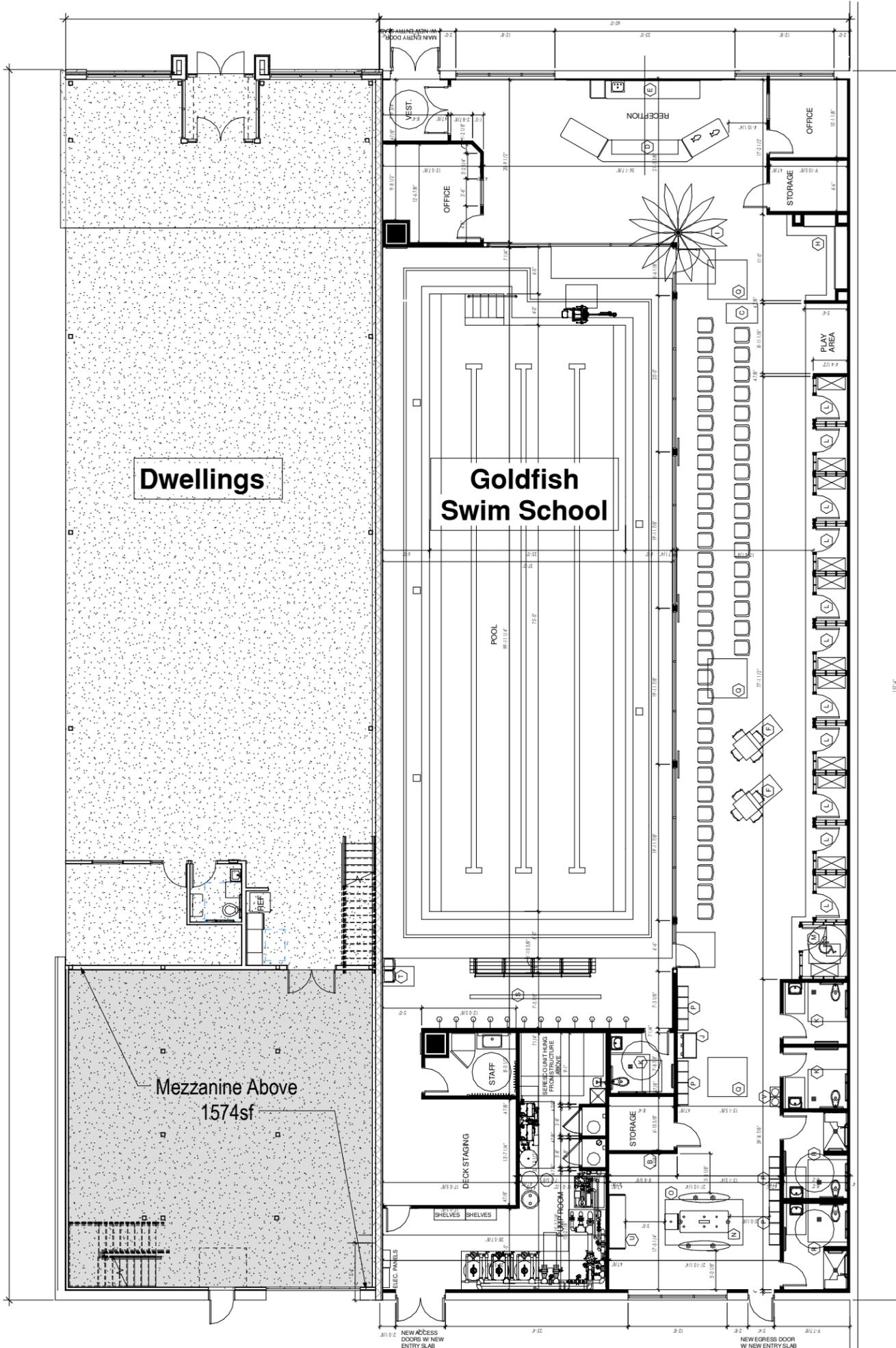
**DWELLINGS FURNISHINGS
UTILITY PLAN
FITCHBURG, WISCONSIN**

C400

40' - 1"

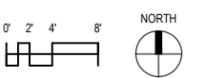
60' - 0"

157' - 5"

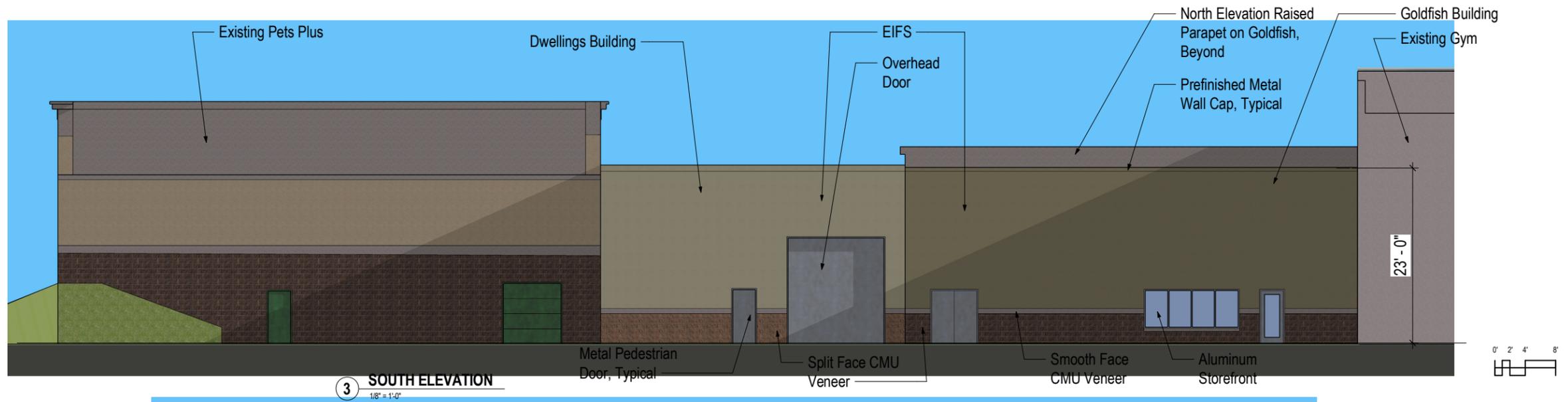


1 FIRST FLOOR PLAN
1/8" = 1'-0"

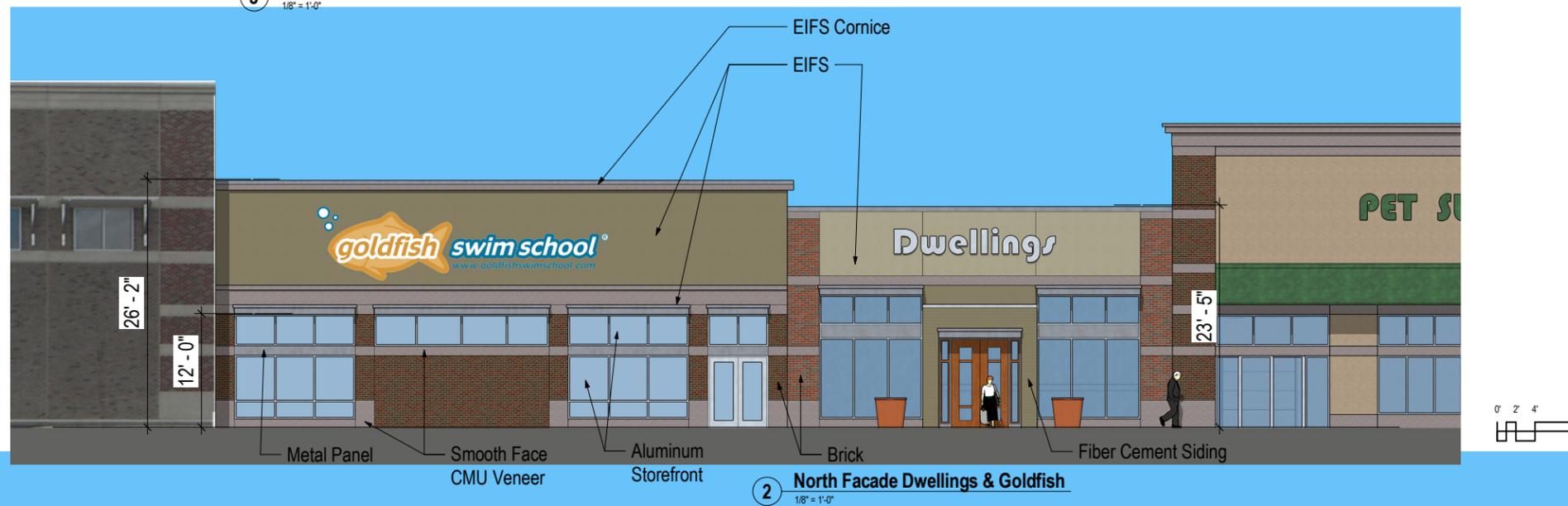
A 1.0



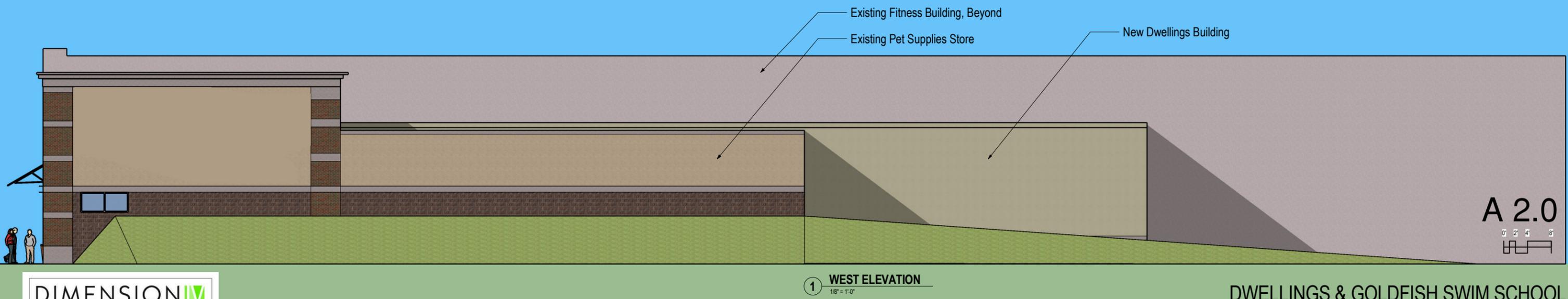
DWELLINGS & GOLDFISH SWIM SCHOOL



3 SOUTH ELEVATION
1/8" = 1'-0"



2 North Facade Dwellings & Goldfish
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"

A 2.0
0 2 4 8



① North Facade Overall.
3/32" = 1'-0"

A 2.1
0' 3' 6' 12'

DWELLINGS & GOLDFISH SWIM SCHOOL

