

Rec # 1.019500 TO  
5/22/19

	City of Fitchburg Planning/Zoning Department 5520 Lacy Road Fitchburg, WI 53711 (608-270-4200)	<h2>REZONING APPLICATION</h2>
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The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the EH district to the PDD district the following described property:

1. **Location of Property/Street Address:** 5237 Verona Road

**Legal Description - (Metes & Bounds, or Lot No. And Plat):**

Parcel #0609-064-8160-5. Full legal description in attached PDF document for reference

\*\*\*Also submit in electronic format (MS WORD or plain text) by email to: [planning@fitchburgwi.gov](mailto:planning@fitchburgwi.gov)

2. **Proposed Use of Property - Explanation of Request:**

Multi-story, conditioned indoor self-storage

3. **Proposed Development Schedule:** Spring/Summer 2019 submittal and approval, Fall 2019 building permit

\*\*\*Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

\*\*\*Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to [planning@fitchburgwi.gov](mailto:planning@fitchburgwi.gov). Additional information may be requested.

**Type of Residential Development (If Applicable):** \_\_\_\_\_

**Total Dwelling Units Proposed:** \_\_\_\_\_ **No. Of Parking Stalls:** \_\_\_\_\_

**Type of Non-residential Development (If Applicable):** \_\_\_\_\_

**Proposed Hours of Operation:** Mon-Sat 10-7 **No. Of Employees:** 2-3

**Floor Area:** 103,000 **No. Of Parking Stalls:** 7-10

**Sewer:** Municipal  Private  **Water:** Municipal  Private

**Current Owner of Property:** NFW Enterprises

**Address:** 5315 Voges Road, Madison, WI 53718 **Phone No:** 608-575-1747

**Contact Person:** Rob O'Loughlin

**Email:** roloughlin@laserlinkgolf.com

**Address:** 5315 Voges Road, Madison, WI 53718 **Phone No:** 608-575-1747

**Respectfully Submitted By:** Daniel P. McCoy **Daniel P. McCoy**  
 Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

**For City Use Only:** **Date Received:** 5/21/19 **Publish:** \_\_\_\_\_ and \_\_\_\_\_

**Ordinance Section No.** \_\_\_\_\_ **Fee Paid:** \$900.00

**Permit Request No.** R2-2296-19

CITY OF FITCHBURG  
5520 LACY RD  
FITCHBURG WI 53711

608-270-4200

Receipt No: 1.019501

May 23, 2019

NFW ENTERPRISES

LICENSES & PERMITS

RZ-2296-19

900.00

Total:

900.00

CHECK

Check No: 202

900.00

Payor:

DANIEL MCCOY

Total Applied:

900.00

Change Tendered:

.00

05/23/2019 02:40PM

# 5237 Verona Road

## GENERAL IMPLEMENTATION PLAN

May 21, 2019



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## Project Team

### **BSH Companies**

44 Cook Street, Suite 400  
Denver, CO 80206  
303.886.5900

### **Mohagen Hansen Architecture | Interiors**

1000 Twelve Oaks Center Dr.  
Suite #200  
Wayzata, MN 55391  
952.426.7400

### **MSA Engineers**

2901 International Lane  
Madison, WI 53704  
608.242.7779



# Project Overview

BSH Companies' proposed Fitchburg development will be Dane County's first multi-story, climate controlled, self-storage facility. The project will provide Fitchburg residents with a new product choice not currently found in the community. Additionally, this project will add storage capacity to keep up with the city's growth and addition of multi-family housing units, as well as commercial growth in this area of town.

Our facility will be located on a 4.66 acre site that formerly housed Nedrebo's Formal Wear. The site is located at the southeast corner of the Verona Frontage Road and Discovery Drive intersection, directly east of U.S. Highway 18/151, south of the Williamsburg Way exit.

## Adjacent Properties

The project site is bordered to the north and east by Thermo Fisher Scientific and by Saris Manufacturing to the South. Neighboring uses are industrial and manufacturing-based activities. BSH Companies has met with or spoken with representatives from all neighbors located within 300' of the project, per the requirements of the PDD rezoning process.

## Brownfield Reclamation & Adaptive Re-use

Prior use of this site resulted in significant environmental contamination with dry cleaning solvents. BSH's proposed use is compatible with the ongoing limitations on use of the site and would enable the land's return to active use, generating significant additional tax revenues for the City of Fitchburg.

## Existing Topography and Vegetation

The site slopes from West to East, with a steep step down toward the far east side of the site. The former building was demolished in 2016 to allow for environmental cleanup. Currently, the site is predominantly open grass, with a small number of trees, varying in size and species.



# Legal Description

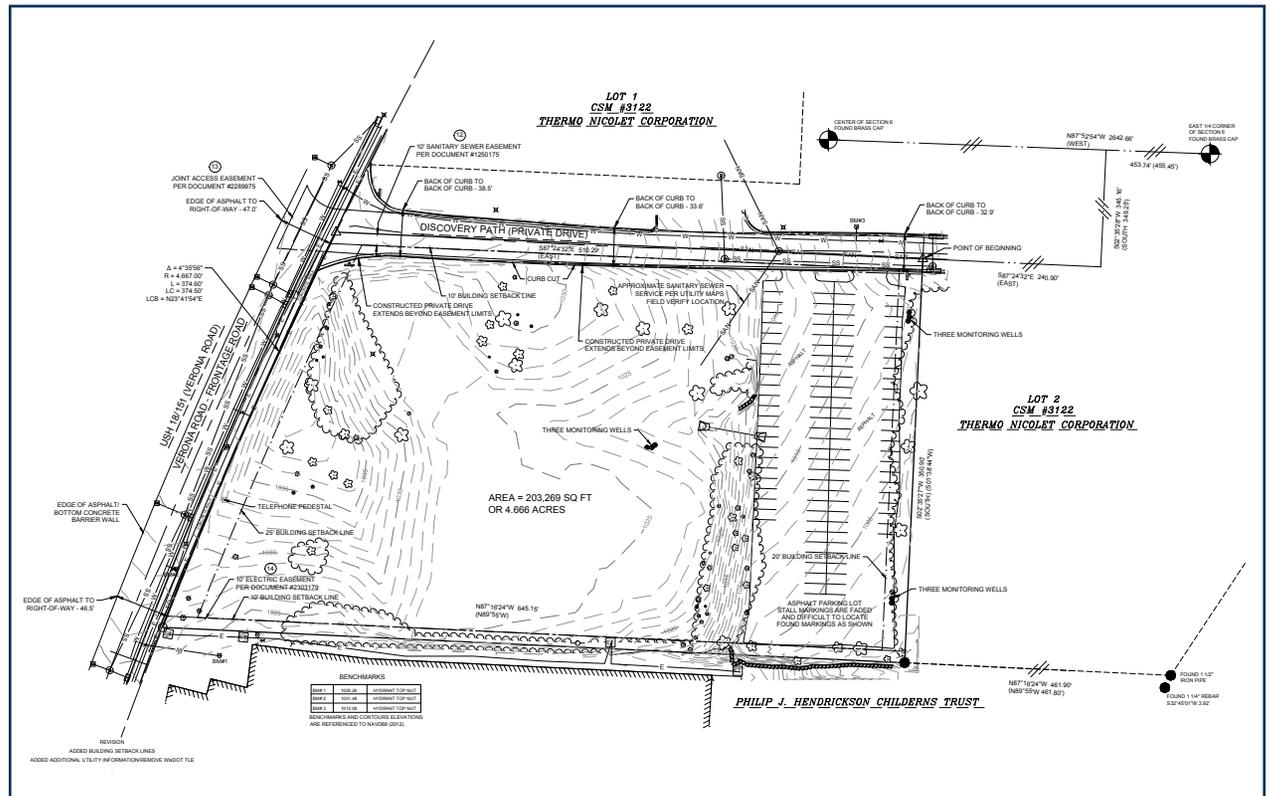
Part of the North 1/2 of the Southeast 1/4 of Section 6, Township 6 North, Range 9 East, City of Fitchburg, Dane County, Wisconsin, which is more fully described as follows: Commencing at the East Quarter Corner of said Section 6; thence West along the North line of the Southeast 1/4 of said Section 6, 455.45 feet; thence South 349.25 feet; thence West parallel to the North line of the Northeast 1/4 of the Southeast 1/4, 240.9 feet to the point of beginning of this description; thence continue West, parallel to the North line of the Northeast 1/4 of the Southeast 1/4, 553.2 feet to the East line of U.S. Highway No. 18; thence Southwesterly along said East line of highway and on a curve to the left whose radius is 5,696.65 feet and whose chord bears South 20°50' West for a distance of 374.3 feet to the North line of parcel of land described in **Volume 524 of Deeds on page 597**, Dane County Registry; thence South 89°55' East, along the North line of said parcel, 686.0 feet; thence North 350.9 feet to the point of beginning. Also all land lying between the most Westerly line of the above described parcel and the East line of U.S. Highway No. 18.

Excepting from all of the above that part described as follows: Beginning at a concrete monument at the South Quarter Corner of said Section 6, Township 6 North, Range 9 East; Thence S 89°09'56" E, 255.34 feet, along the South line of said Section 6; Thence North 52°57'54" East, 278.16 feet; Thence N 15°05'44" E, 1,322.28 feet; Thence northeasterly 146.14 feet along the arc of a curve concave to the

northwest having a radius of 7,759.44 feet (the long chord bears N 15°38'07" E, 146.14 feet); Thence N 80°06'45" W, 10.06 feet; Thence northeasterly 208.01 feet along the arc of a curve concave for the northwest having a radius of 7,769.44 feet (the long chord bears N16°56'01" E, 208.00 feet); Thence N 18°07'35" E, 115.48 feet Thence N 57°48'07" E, 469.82 feet; Thence S 18°39'38" W, 195.87 feet; Thence S 19°14'35" W, 362.13 feet; Thence S 19°59'09" W, 161.96 feet; Thence S 13°24'02" E, 108.82 feet; Thence continuing S 13°24'02" E, 99.50 feet; Thence

S15°05'44" W, 100.00 feet; Thence N 74°54'16" W, 115.00 feet; Thence S 14°49'58" W, 1089.39 feet; Thence S 37°02'06" E, 114.96 feet; Thence S 01°45'50" E, 93.10 feet; Thence S 52°57'54" W, 208.12 feet; Thence N 88°21'11" W, 264.73 feet; Thence N 89°09'56" W, 385.84 feet; Thence N 01°32'10" E, 157.01 feet to the Point of Beginning.

FURTHER EXCEPTING land conveyed in Award of Damages recorded March 9, 2016, as Document No. 5219434



## Zoning Code Limitations Related to Self-Storage

During Spring 2018 meetings and conversations with City of Fitchburg planning staff, it was expressed that the City is not supportive of additional single-story self-storage projects utilizing large parcels of land. After gaining additional understanding regarding the potential for multi-story, retail-oriented storage construction, staff suggested the planned development district (PDD) process as means to achieve this type of use within the city's existing zoning code.

The subject property is currently zoned B-H (Business Highway), which does not allow for self-storage. City zoning only allows for self-storage in the R-D (Rural Development) areas. The City does not rezone any property to the R-D district, and therefore the PDD process is the only method by which City staff would recommend consideration of the project. Staff and the City Attorney believe PDD process enables consideration/approval of the project while maintaining appropriate controls over permitting of any future self-storage projects within the City of Fitchburg's boundaries.

## Compatibility with Arrowhead Redevelopment Plan

Rezone via PDD, and subsequent redevelopment activities, would provide an excellent opportunity to upgrade the aesthetic design and architectural feel along the Highway 151/18 corridor. The Arrowhead Redevelopment Plan completed in 2013 by MSA Engineers for this part of the City encourages multi-story, dense development with lower setback requirements to facilitate a more urban format. BSH's proposed 3-story structure, use of brick and architectural metal panel materials supports these design goals. MSA Engineers is serving as BSH's survey and engineering partner and their familiarity with the City's desired redevelopment outcomes for the Arrowhead neighborhood is actively reflected in our proposal.

## Brownfield Redevelopment

The subject parcel has limitations imposed on its go-forward development by Wisconsin Department of Natural Resources (DNR) due to contaminants released previously on the property. PDD zoning enables a land use that involves minimal human occupancy and avoids disturbance to environmentally restricted portions of the site, while returning the parcel to active commercial use and tax revenue generation.

## Facilitating Infill Use of Land

Use of the PDD Process in this instance will allow for potential development with a product type use not currently allowed at this location within the parameters of the City's current zoning code. PDD enables consideration and potential approval of BSH's requested use, thereby fostering high density development and at the same time minimizing the acres of raw land used in the process.

## Transition to Future Land Use Plans

With existing infrastructure and utilities present along both Verona Frontage Road and Discovery Drive, PDD rezoning and subsequent completion of the project will drive higher utilization of existing City infrastructure and utilities already in place. The Arrowhead Redevelopment Plan supports transition from the historic industrial uses in this area to a blend of industrial/commercial uses. BSH's self-storage facility development is in line with this desired goal.

BSH's ownership team has met with City of Fitchburg Planning and Economic Development Staff on multiple occasions to exchange ideas regarding the best approach for redevelopment of 5237 Verona Road, listen to staff feedback and provide our thoughts regarding how the site can best be returned to productive use. Our plans specifically support the intent and direction of the comprehensive plan by:

## Preserving Land & Agricultural Resources in Fitchburg

BSH Companies project returns a piece of land currently caught in environmental limbo to active and productive use. Our new building will not replace any existing agricultural land or modify naturally significant qualities. Quite the opposite, the project restores a previously contaminated parcel, further caps and protects the existing condition present on the site. The project is not in a wetland area, not in a floodplain and our proposed use actually reduces its historic impervious area, planting grass and vegetation on a considerable portion of the site.

## Reduces Impervious Area % — Greater Open Space

Under the sites previous use 2.7 acres of the land qualified as impervious area. Under BSH's proposed design and site layout, this amount will be reduced with only 1.9 acres of impervious surface, representing a net reduction in impervious area.

## Compact Urban Development

By building “*up rather than out*” BSH is lowering the amount of raw land necessary for development to take place. This type of storage facility uses significantly less land than older, legacy single-story layouts. Development is served by gravity flow sewer and water, within the urban growth boundary and is consistent with the Arrowhead Neighborhood redevelopment plan goals.

## Efficient Use of Existing Utilities & Infrastructure

The project utilizes sewer, water, electric and gas utilities already paid for and in place for years. Fire and police protection is present via existing stations and infrastructure, with little to no impact from the project expected on these departments. As a multi-story building, the facility will be fully sprinkled and provides clear access to hydrants at multiple locations.

## Protects the Natural Environment

The project meets the City's storm water and erosion control guidelines, is not dependent on private well or septic systems and avoids impact on wetlands or floodplains. Additionally, by capping over the portion of the site with historic contamination issues, BSH's layout and proposed design further protects the environment while simultaneously boosting tax receipts 4X to the City of Fitchburg.

## Minimizes Traffic Impact

The project is oriented to minimize setbacks and situates the building closer to sidewalks and streets, with low off street parking requirements. BSH's self storage building integrates well with existing road uses in the neighborhood and will place minimal to no impact on those areas of heavy traffic nearby. Customer use is largely off hours and on weekends, providing complementary timing to typical traffic flow patterns.

# Social and Economic Benefits of the Project

The proposed project will enable the redevelopment of a brownfield contaminated site and enable significant increase in tax revenues generated from this parcel.

The below table provides a preliminary estimate of anticipated future increased tax revenues resulting from the proposed project:

	Assessed Value	Tax Amount
2015 Nedrebo's	\$1,645,000.00	\$37,821.11
2016 Nedrebo's	\$1,645,000.00	\$38,922.74
2017 Nedrebo's	\$1,300,000.00	\$30,623.89
2018 Vacant	\$1,150,000.00	\$27,090.36
2019 Vacant	\$1,150,000.00	\$27,090.36
<b>2020 Phase 1</b>	<b>\$4,500,000.00</b>	<b>\$103,462.00</b>
<b>2021 Phase 1</b>	<b>\$4,500,000.00</b>	<b>\$103,462.00</b>

## Comparable 2017 Assessments

Saris	\$2,976,600.00	\$70,032.44
Ecostar	\$2,641,900.00	\$62,147.96
Benjamin Plumbing	\$3,010,000.00	\$70,819.25
2881 Commerce Park	\$2,300,000.00	\$54,093.88

**Compact Development** — Efficient use of a brownfield site with a history of environmental contamination uses infrastructure already paid for by the City's citizens and maximizes efficiency. Multi-story, dense development at this site provides easy access and circulation while minimizing the amount of land used for development

**Serves Residents of All Income Levels** — Storage is a product type in strong demand from a wide variety of residents and businesses alike. Apartment residents with excess storage needs, businesses storing inventory or records, empty nest/seniors downsizing homes, growing families all need storage at different times. Regardless of economic background, BSH Companies facility will offer a needed service to Fitchburg residents.

**Facilitates Economic Growth** — Provides easy access in the City's core for business storage, supporting growth for start-ups and other small businesses. For companies not yet ready to rent or build a large facility of their own, conditioned storage provides a safe, temperate location in which to store inventory, prototypes, records or other valuable business property.

**Minimizes Traffic and Drive Time** — Most of Fitchburg's existing storage options are located on the fringe of town, near the edge of development. By providing a more centralized location near more homes and apartments, drive time to reach storage is reduced and traffic impact lowered. Customers will be closer to their stored goods and able to reach them more quickly.

**Enhances Streetscape along US 18/151 Entry to City** — Located at the main highway entry point in to Fitchburg/Madison, this new, high quality building designed with modern materials enhances the look and feel along the US 18/151 corridor in a manner similar to the new office building at McKee and Verona Roads.

# Environmental Benefits of the Project

Due to the presence of solvents and other chemicals released during the site's 20+ years as the site of an active dry-cleaning operation, 5237 Verona Road is designated with a Recognized Environmental Condition as classified by the Wisconsin Department of Natural Resources (DNR).

Braun Intertec (BI) was hired by the current owner to determine the extent and nature of the contamination and create a Remediation Action Plan for DNR. In late 2016, the existing facilities on site were demolished and removed. Testing was then done by BI to determine the exact nature and extent of contamination on the site. Subsequent to these tests, excavation to a depth of 27 feet was completed to remove certain contaminated soils, replacing them with sand.

BI filed with DNR on behalf of the site's current owners on March 16, 2018 for final closure and an amended application is being submitted in late October to summarize the results of additional testing Braun Intertec has completed, additional testing via two offsite wells and two onsite soil samples. According to the current owner and BI, they hope to receive their DNR closure letter within the next 45-60 days.

BSH Companies' redevelopment benefits the environment by:

- **Avoiding Disturbance** of the historic contamination release area to the extent possible. Orienting the new structure near the west property line limits activity near the formerly contaminated area.
- **Reduces Drive Time** for storage customers by locating a facility in town, close to customers' places of residence or businesses. Storage is a needed product, but is often located on the outskirts of town, increasing drive times and surface road traffic.

- **Redevelops Brownfield Site** and returns this land to productive use. With limited developable land in the City of Fitchburg, maximizing the use of available parcels is important to provide for continued growth. BSH's plan reuses an infill, urban location already served by roads, sewer, water and other utilities infrastructure.
- **Supports Efficient Dwelling Unit Sizes** by providing storage in a wide range of sizes, in a clean, safe and heated/cooled environment. Most of Fitchburg's current storage options are not heated or cooled and offer large units focused on boat or car storage. With a wide variety of unit sizes, BSH's project supports efficient housing sizes by allowing for storage of important goods away from home in a safe, secure, clean location not impacted by changes in temperatures and seasonality.



## Development and Design Overview

BSH Companies proposed new facility would be a 3 story, indoor, elevator-served self-storage facility. Fully heated and cooled, this type of structure represents the new means by which growing community's storage needs are met. Along the east side of the building is a fully enclosed drive through bay to allow customers to load and unload their goods out of the elements.

Access to all property units will be controlled by fob and code access, overseen by on site professional property management staff.

Digital video surveillance cameras throughout the property add another layer of oversight and provide customers with security for their property, as well as themselves, while at the building.

**5237 VERONA ROAD - SITE PLAN** | Fitchburg, WI  
BSH Companies | 5/20/2019





**NORTHWEST BIRDSEYE**



**WEST ELEVATION**



**NORTHEAST BIRDSEYE**



**NORTHWEST STREET VIEW**

## Project Ownership

Title to the property will be held by BSH Companies LLC, or a wholly-owned affiliate thereof.

## Property Management and Ongoing Oversight

Modern storage properties control tenant access, payment receipt and operations in the same manner as does a commercial landlord with office, apartment or retail properties. Full-time staff will be present on property during hours of operation; multiple digital security cameras cover the property; key fob or numeric keypad access control limit entry into the property and track exits to ensure all customers have left at the end of day.

Office staff will sell a variety of moving supplies, including boxes, tape, moving blankets, packing materials and other supplies, eliminating the need for customers to make multiple trips to different stores to prepare for their moving needs.

BSH Companies will either self-manage the property via an affiliate entity controlled by the same owners (Dan McCoy and Win Stewart), or hire a 3rd party management firm to complete this work scope. The self-storage industry has a variety of management models depending on project size, location and owner preference. BSH Companies will make this determination during the Spring of 2019.



# Proposed Development Schedule and Timeframe

**July 2019**— Anticipated receipt of Wisconsin Department of Natural Resources closure letter by current site owner

**August 2019** — BSH Companies obtain GIP rezone approval from City of Fitchburg Planning Commission and City Council

**August 2019 – September 2019** — BSH Companies and our design team work in concert with City of Fitchburg staff process to achieve mutually agreeable architectural elements and aesthetic design outcomes and SIP approval

**September/October 2019** — Close of land purchase by BSH Companies

**October 2019** — Receipt of building permit and other necessary approvals for construction from City of Fitchburg and any other relevant jurisdictions

**October 2019** — Commencement of construction

**Fall 2020** — New Storage Facility Open for Business



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# 5237 VERONA ROAD BSH COMPANIES

## CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

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- G 3 STREET DETAILS
- G 4 UTILITY DETAILS
- G 5 SITE DETAILS

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- ST 3 GRADING PLAN (SOUTHWEST)
- ST 4 GRADING PLAN (NORTH)
- ST 5 GRADING PLAN (SOUTHEAST)
- ST 6 GRADING PLAN (BIOFILTER)
- ST 7 UTILITY PLAN

#### L - LANDSCAPE PLANS

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- L 2 PLANTING SCHEDULE
- L 3 PLANTING DETAILS



PROJECT LOCATION



PROJECT LOCATION  
5237 VERONA ROAD  
FITCHBURG, WI 53711

**LOCATION MAP**  
NOT TO SCALE



Dial **811** or (800) 242-8511

www.DiggersHotline.com

NOTE:  
UTILITY LOCATIONS SHOWN ON PLANS ARE APPROXIMATE AND CONTRACTOR SHALL HAVE APPROPRIATE UTILITY MARK EXACT LOCATIONS PRIOR TO CONSTRUCTION.

### LEGEND

- EXISTING WATER MAIN
- EXISTING WATER MAIN, VALVE & HYDRANT
- EXISTING WATER SERVICE & CURB STOP
- PROPOSED WATER MAIN, VALVE, & HYDRANT
- PROPOSED WATER SERVICE & CURB STOP
- EXISTING SANITARY SEWER & MANHOLE
- PROPOSED SANITARY SEWER & MANHOLE
- EXISTING FORCEMAIN
- EXISTING STORM SEWER & INLET
- PROPOSED STORM SEWER & INLET
- PROPOSED STORM SEWER & MANHOLE
- BURIED ELECTRIC
- BURIED GAS & VALVE
- BURIED CABLE TELEVISION
- BURIED TELEPHONE
- BURIED FIBER OPTICS
- OVERHEAD UTILITY
- RAILROAD TRACKS
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- EXISTING CULVERT PIPE
- PROPOSED CULVERT PIPE
- FENCE LINE
- DRAINAGE ARROW
- SILT FENCE
- RIGHT-OF-WAY
- BASELINE
- PROPERTY LINE
- TREE LINE
- BENCHMARK
- IRON PIPE
- IRON ROD
- CONTROL POINT
- UTILITY POLE & GUY
- SOIL BORING
- LIGHT POLE
- PEDESTAL
- STREET SIGN
- MAILBOX
- FLAGPOLE
- TREE - DECIDUOUS
- TREE - CONIFEROUS
- TREE TO BE REMOVED

### UTILITIES

#### GAS:

M&E  
133 S. BLAIR STREET  
MADISON, WI 53701  
CONTACT: JANE ROSSING  
OFFICE: (608) 252-7099  
EMAIL: GROSSING@MGE.COM

#### ELECTRIC:

M&E  
133 S. BLAIR STREET  
MADISON, WI 53701  
CONTACT: RICH PARKER  
OFFICE: (608) 252-7379  
EMAIL: RPARKER@MGE.COM

#### ALLIANT ENERGY

2147 CITY RD PB  
VERONA, WI 53595  
CONTACT: JEFF NELSON  
OFFICE: (608) 845-1148  
EMAIL: JEFFNELSON@ALLIANTENERGY.COM

#### TELEPHONE:

#### AT & T

318 W. WASHINGTON AVE.  
MADISON, WI 53703  
CONTACT: LISA GUNDLACH  
OFFICE: (608) 262-2432  
EMAIL: LG6852@ATT.COM

#### CATV:

CHARTER COMMUNICATIONS  
2701 DANIELS STREET  
MADISON, WI 53718  
CONTACT: BRANDON STORM  
OFFICE: (608) 444-9493  
EMAIL: BRANDON.STORM@CHARTERCOM.COM

#### FIBER:

WINDSTREAM  
CONTACT: CHRISTOPHER WISNOUKY  
OFFICE: (800) 289-1901  
EMAIL: CHRISTOPHER.WISNOUKY@WINDSTREAM.COM

#### EXTENT SYSTEMS

3030 WARRENVILLE ROAD  
LISLE, IL 60532  
GENERAL OFFICE: (630) 505-3800

#### PACKERLAND BROADBAND

105 KENT STREET  
IRON MOUNTAIN, MI 49801  
CONTACT: ANDY HEIGL  
OFFICE: (800) 776-2609  
EMAIL: ANDY.HEIGL@PACKERLANDBROADBAND.COM

#### WISDOT:

WISCONSIN DEPARTMENT OF TRANSPORTATION  
SOUTHWEST REGION PROJECT FIELD OFFICE  
111 INTERSTATE BLVD.  
EDGEMONT, WI 53534  
CONTACT: CHRIS FREDRICK, P.E.  
CONSTRUCTION PROJECT MANAGER FOR VERONA ROAD PROJECT  
OFFICE: (608) 884-7130  
EMAIL: CHRISTOPHER.FREDRICK@DOT.WI.GOV

#### PUBLIC WORKS:

CITY OF FITCHBURG  
5500 LACY ROAD  
FITCHBURG, WI 53711  
CONTACT: LISA COLEMAN, DPW  
OFFICE: (608) 270-4260  
EMAIL: LISA.COLEMAN@FITCHBURG.GOV

#### SEWER & WATER:

CITY OF FITCHBURG  
5500 LACY ROAD  
FITCHBURG, WI 53711  
SEWER & WATER CONTACT: PHIL MANION  
OFFICE: (608) 728-1730  
EMAIL: PHILIP.MANION@FITCHBURG.GOV

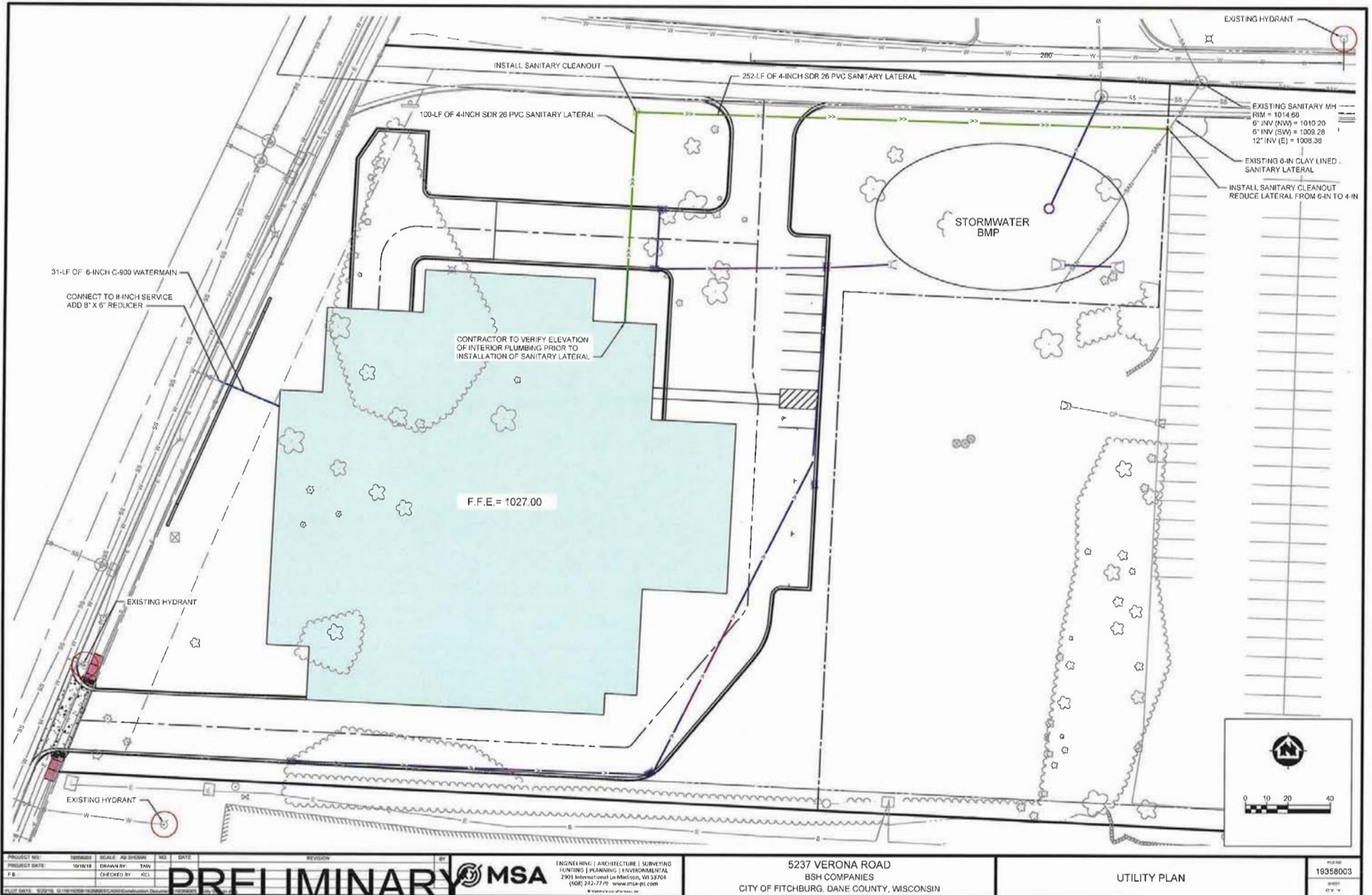
#### MADISON METROPOLITAN SEWERAGE DISTRICT

1610 MOORLAND ROAD  
MADISON, WI 53713  
SEWER CONTACT: RAY SCHWEIDER  
OFFICE: (608) 347-3628  
EMAIL: RAYS@MADESEWER.ORG

PROJECT NO. 19358003	SCALE: AS SHOWN	NO.	DATE	REVISION	BY	5237 VERONA ROAD BSH COMPANIES CITY OF FITCHBURG, DANE COUNTY, WISCONSIN	TITLE SHEET	19358003
PROJECT DATE: 10/18/18	DRAWN BY: TAVI	CHECKED BY: KCL						
<p><b>PRELIMINARY</b>  MSA</p> <p>ENGINEERING   ARCHITECTURE   SURVEYING FUNDING   PLANNING   ENVIRONMENTAL 2901 International Ln Madison, WI 53704 608.252.7779 www.msa-us.com</p>								

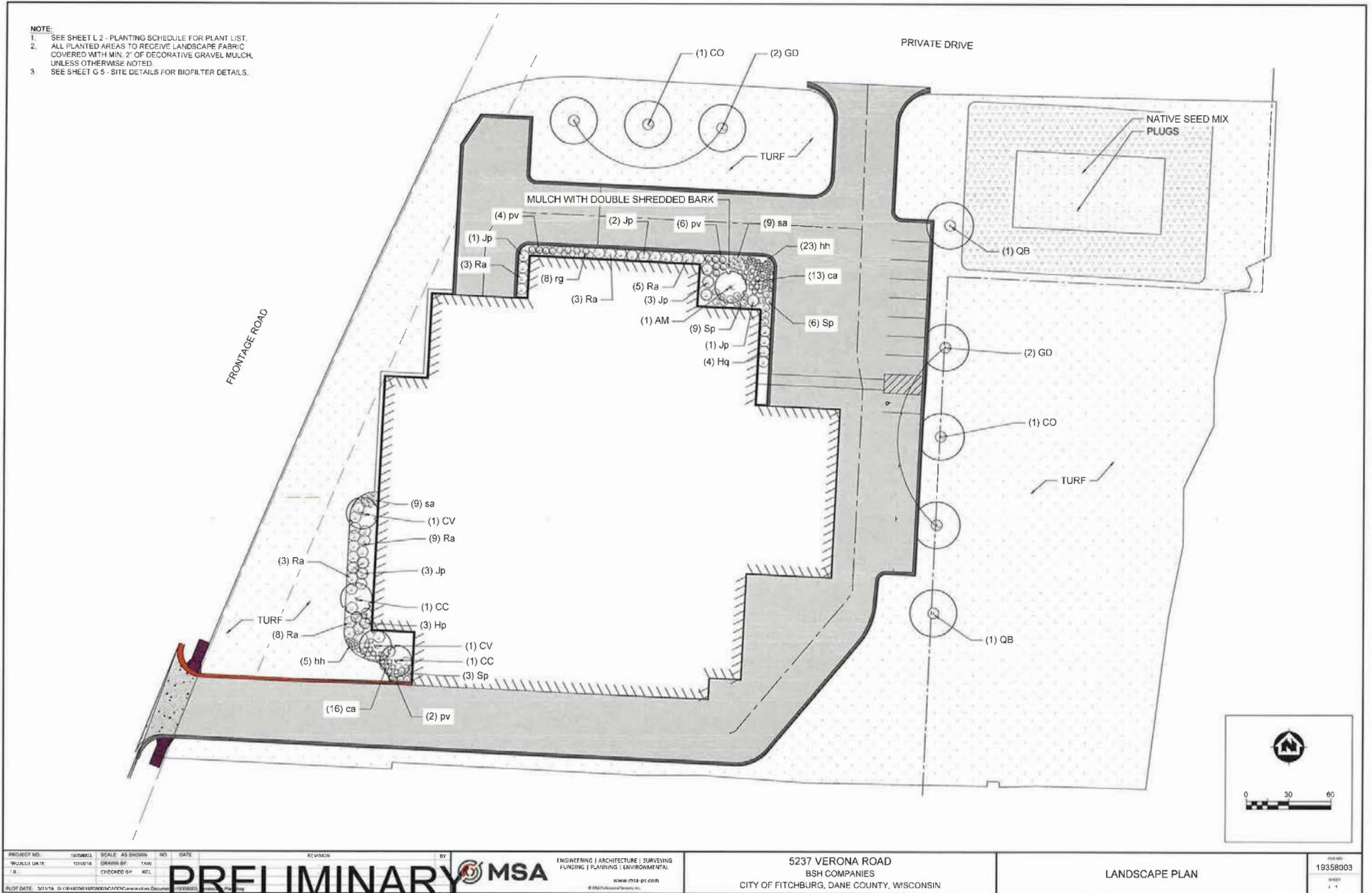


# General Implementation Plan 5237 VERONA ROAD



PROJECT NO. 191818	ISSUED FOR PERMIT NO. 191818	DATE 10/18/18	REVISION	BY	DATE	ENGINEERING   ARCHITECTURE   SURVEYING PLUMBING   PLANNING   ENVIRONMENTAL 2903 International Ln. Madison, WI 53704 (608) 242-7779 www.msa-ps.com	5237 VERONA ROAD BSH COMPANIES CITY OF FITCHBURG, DANE COUNTY, WISCONSIN	UTILITY PLAN	PLAT NO. 19358003
<p><b>PRELIMINARY</b> MSA</p>									

General Implementation Plan  
5237 VERONA ROAD



PROJECT NO.: 1935803	SCALE: AS SHOWN	NO. DATE	REVISION	BY	ENGINEERING   ARCHITECTURE   SURVEYING FUNDING   PLANNING   ENVIRONMENTAL	5237 VERONA ROAD BSH COMPANIES CITY OF FITCHBURG, DANE COUNTY, WISCONSIN	LANDSCAPE PLAN	PLANT NO.: 19358003
PROJECT DATE: 10/18/19	DRAWN BY: T.M.S.	CHECKED BY: MCL	<b>PRELIMINARY</b> MSA			www.msa-ps.com		SHEET 2 of 4
PLANT DATE: 10/18/19	G:\1935803\1935803\1935803\1935803.dwg							

# 5237 VERONA ROAD BSH COMPANIES

## CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



PROJECT LOCATION



PROJECT LOCATION  
5237 VERONA ROAD  
FITCHBURG, WI 53711

**LOCATION MAP**  
NOT TO SCALE

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- G 2 EROSION CONTROL DETAILS
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- G 4 UTILITY DETAILS
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- ST 2 SITE LAYOUT & EROSION CONTROL
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- ST 4 GRADING PLAN (NORTH)
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- ST 6 GRADING PLAN (BIOFILTER)
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#### L - LANDSCAPE PLANS

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- L 2 PLANTING SCHEDULE
- L 3 PLANTING DETAILS

### LEGEND

	EXISTING WATER MAIN
	EXISTING WATER MAIN, VALVE & HYDRANT
	EXISTING WATER SERVICE & CURB STOP
	PROPOSED WATER MAIN, VALVE, & HYDRANT
	PROPOSED WATER SERVICE & CURB STOP
	EXISTING SANITARY SEWER & MANHOLE
	PROPOSED SANITARY SEWER & MANHOLE
	EXISTING FORCEMAIN
	EXISTING STORM SEWER & INLET
	PROPOSED STORM SEWER & INLET
	PROPOSED STORM SEWER & MANHOLE
	BURIED ELECTRIC
	BURIED GAS & VALVE
	BURIED CABLE TELEVISION
	BURIED TELEPHONE
	BURIED FIBER OPTICS
	OVERHEAD UTILITY
	RAILROAD TRACKS
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	EXISTING CULVERT PIPE
	PROPOSED CULVERT PIPE
	FENCE LINE
	DRAINAGE ARROW
	SILT FENCE
	RIGHT-OF-WAY
	BASELINE
	PROPERTY LINE
	TREE LINE
	BENCHMARK
	IRON PIPE
	IRON ROD
	CONTROL POINT
	UTILITY POLE & GUY
	SOIL BORING
	LIGHT POLE
	PEDESTAL
	STREET SIGN
	MAILBOX
	FLAGPOLE
	TREE - DECIDUOUS
	TREE - CONIFEROUS
	TREE TO BE REMOVED

### UTILITIES

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2147 CTY RD PB  
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EMAIL: LG6852@ATT.COM

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MADISON, WI 53718  
CONTACT: BRANDON STORM  
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EMAIL: BRANDON.STORM@CHARTERCOM.COM

**FIBER:**  
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GENERAL OFFICE: (630) 505-3800

PACKERLAND BROADBAND  
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IRON MOUNTAIN, MI 49801  
CONTACT: ANDY HEIGL  
OFFICE: (906) 776-2609  
EMAIL: ANDY.HEIGL@PACKERLANDBROADBAND.COM

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EDGERTON, WI 53534  
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CONSTRUCTION PROJECT MANAGER FOR VERONA ROAD PROJECT  
OFFICE: (608) 884-7130  
EMAIL: CHRISTOPHER.FREDRICK@DOT.WI.GOV

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**SEWER & WATER:**  
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FITCHBURG, WI 53711  
SEWER & WATER CONTACT: PHIL MANION  
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EMAIL: PHILLIP.MANION@FITCHBURG.GOV  
  
MADISON METROPOLITAN SEWERAGE DISTRICT  
1610 MOORLAND ROAD  
MADISON, WI 53713  
SEWER CONTACT: RAY SCHNEIDER  
OFFICE: (608) 347-3628  
EMAIL: RAYS@MADSEWER.ORG



Dial **811** or (800) 242-8511  
www.DiggersHotline.com

NOTE:  
UTILITY LOCATIONS SHOWN ON PLANS ARE APPROXIMATE AND CONTRACTOR SHALL HAVE APPROPRIATE UTILITY MARK EXACT LOCATIONS PRIOR TO CONSTRUCTION.

PROJECT NO.	19358003	SCALE: AS SHOWN	NO.	DATE	REVISION	BY
PROJECT DATE:	10/18/18	DRAWN BY:	TAW			
F.B.		CHECKED BY:	KCL			
PLOT DATE: 5/29/19, G:\19\19358\19358003\CADD\Construction Documents\119358003_Sheet 01.dwg						

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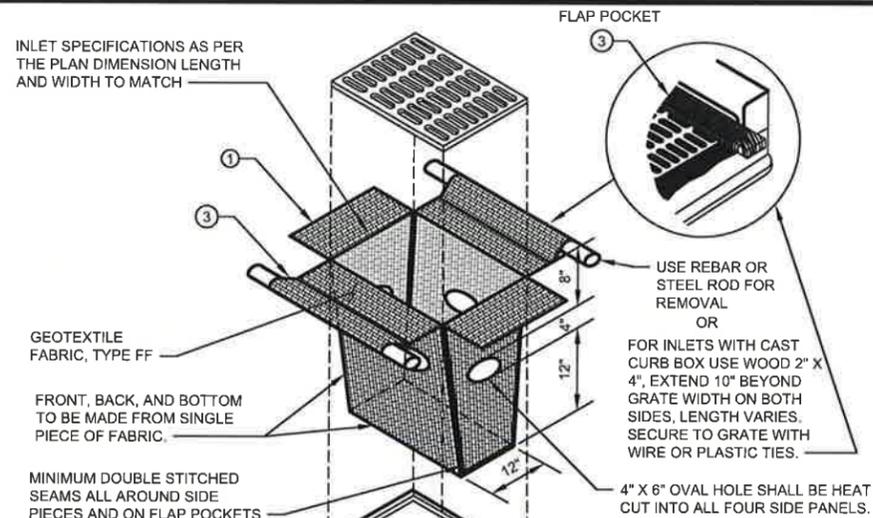
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BSH COMPANIES  
CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

TITLE SHEET

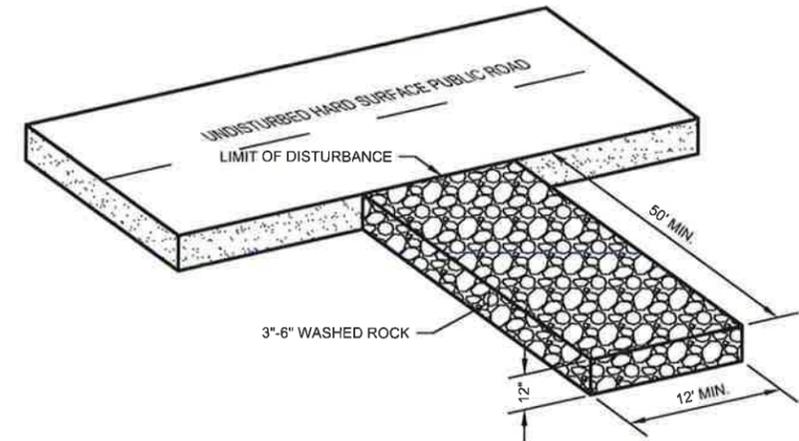
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**CONSTRUCTION SITE  
EROSION CONTROL REQUIREMENTS**

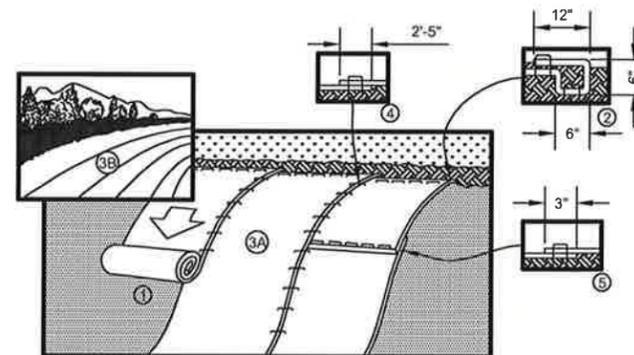
- 1.) SECTION NR216.46 OF WISCONSIN STATE ADMINISTRATIVE CODE IDENTIFIES REQUIREMENTS FOR CONSTRUCTION SITE AND POST-CONSTRUCTION EROSION CONTROL. IT IS THE INTENT OF THESE PLANS TO SATISFY THESE REQUIREMENTS. THE METHODS AND STRUCTURES USED TO CONTROL EROSION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL IMPLEMENT AN APPROPRIATE MEANS OF CONTROLLING EROSION DURING SITE OPERATION AND UNTIL THE VEGETATION IS RE-ESTABLISHED. ADJUSTMENTS TO THE CONTROL SYSTEM SHALL BE MADE AS REQUIRED.
- 2.) ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE WISCONSIN DNR'S CONSERVATION PRACTICE STANDARDS. THESE STANDARDS ARE PERIODICALLY UPDATED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND REFERENCE THE MOST RECENTLY RELEASED STANDARD.
- 3.) THIS INFORMATION IS ONLY ONE PART OF THE OVERALL EROSION CONTROL REQUIREMENTS. ADDITIONAL REQUIREMENTS MAY ALSO BE SHOWN ON THE CONTRACT DRAWINGS AND IN THE ACCOMPANYING SPECIFICATIONS.
- 4.) ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE OWNER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- 5.) THE AREA OF EROSION EXPOSED TO THE ELEMENTS BY GRUBBING, EXCAVATION, TRENCHING, BORROW AND FILL OPERATIONS AT ANY ONE TIME SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING. ALL DISTURBED AREAS SHALL BE TREATED WITH PERMANENT STABILIZATION MEASURES WITHIN 3 WORKING DAYS OF FINAL GRADING.
- 6.) ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN HAS OCCURRED. ALL NECESSARY REPAIR AND MAINTENANCE WILL BE DONE AT THIS INSPECTION TIME.
- 7.) ALL EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE PROPERLY INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS WITHIN THEIR RESPECTIVE DRAINAGE AREAS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
- 8.) ALL EROSION CONTROL DEVICES SHALL BE PROPERLY INSTALLED PRIOR TO ANY SOIL DISTURBANCE.
- 9.) ANY SLOPES STEEPER THAN 3H:1V SHALL BE STAKED WITH EROSION CONTROL FABRIC UNLESS INDICATED ON THE PLAN.
- 10.) ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- 11.) WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH, OR A TACKING AGENT MAY BE REQUIRED TO PROTECT NEARBY RESIDENCES AND WATER RESOURCES.
- 12.) CHANNELIZED RUNOFF ENTERING THE PROJECT SITE FROM ADJOINING LANDS SHALL BE DIVERTED THROUGH NATURALLY OR ARTIFICIALLY EROSION-RESISTANT CONVEYANCES. IF CHANNELIZED RUNOFF CANNOT BE DIVERTED, SITE BEST MANAGEMENT PRACTICES MUST ACCOUNT FOR THE ADDITIONAL FLOW RATES AND EROSION POTENTIAL THAT SUCH RUNOFF PRESENTS.
- 13.) THE CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS TO PREVENT SOILS FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPED (NOT FLUSHED) PERIODICALLY TO REMOVE SOIL, DIRT, AND/OR DUST.
- 14.) EROSION CONTROLS SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF TEMPORARY STOCKPILES. ANY SOIL STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING. ALL STOCK PILES SHALL BE PLACED AT LEAST 75 FEET FROM STREAMS OR WETLANDS.
- 15.) ADDITIONAL EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) SHALL INCLUDE THE FOLLOWING:
  - a. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - b. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - c. DISCHARGE OF TRENCH WATER OR DEWATERING EFFLUENT MUST BE PROPERLY TREATED TO REMOVE SEDIMENT IN ACCORDANCE WITH THE WDNR CONSERVATION PRACTICE STANDARD 1061 - DEWATERING OR A SUBSEQUENT WDNR DEWATERING STANDARD PRIOR TO DISCHARGE INTO A STORM SEWER, DITCH, DRAINAGEWAY, OR WETLAND OR LAKE.
- 16.) ALL DRAINAGE CULVERTS, STORM DRAIN INLETS, MANHOLES, OR ANY OTHER EXISTING STRUCTURES THAT COULD BE DAMAGED BY SEDIMENTATION SHALL BE PROTECTED ACCORDING TO THE VARIOUS METHODS PROVIDED IN THE PRINTED CONSERVATION PRACTICE STANDARDS.
- 17.) ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- 18.) DURING THE FIRST SIX WEEKS AFTER INITIAL STABILIZATION OF A DISTURBED WATERING OF ALL NEWLY SEEDING AND MULCHED AREAS SHALL BE PROVIDED WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- 19.) WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BMP'S SUCH AS SILT FENCES, STRAW BALES, AND SEDIMENT TRAPS SHALL BE REMOVED AND THESE AREAS STABILIZED.
- 20.) ALL TEMPORARY BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED.
- 21.) ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH SEED AND MULCH UNLESS OTHERWISE SPECIFIED. A MINIMUM OF FOUR INCHES OF TOPSOIL SHALL BE APPLIED TO ALL AREAS TO BE SEEDING OR SODDED.



- INSTALLATION NOTES:**
- 1) DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
  - 2) TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
  - 3) THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCHE THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.
- INLET PROTECTION, TYPE D**  
NO SCALE  
CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE

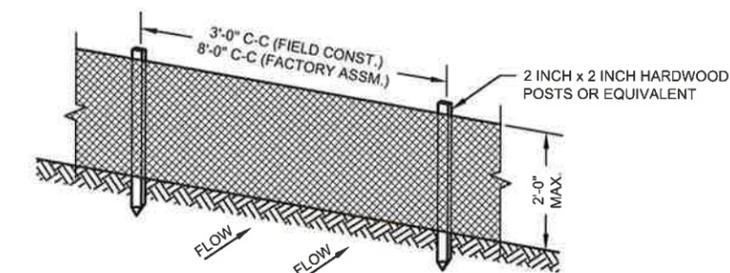
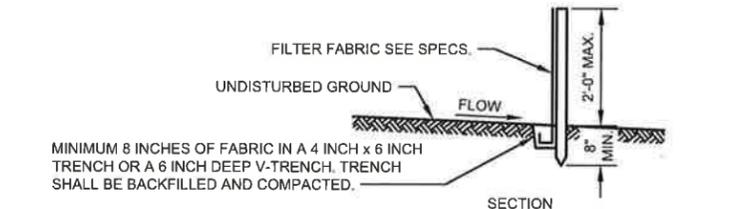


**VEHICLE TRACKING PAD**  
NO SCALE



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
  2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE BLANKET.
  3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
  4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2'-5" (5 CM-12.5 CM) OVERLAP DEPENDING ON BLANKET TYPE.
  5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE BLANKET WIDTH.
- NOTE:**  
\*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

**EROSION CONTROL BLANKET DETAIL**  
NO SCALE



- GENERAL NOTES:**
1. ENDS OF FENCE SHALL BE TURNED UPSLOPE 1 TO 2 FEET IN ELEVATION TO PREVENT FLANKING.
  2. STAPLE FABRIC WITH 1/2 INCH (MINIMUM) STAPLES TO THE UPSLOPE SIDE OF THE POSTS.
  3. WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.

**TYPICAL SILT FENCE INSTALLATION AT SITE PERIMETER DETAIL**  
NO SCALE

PROJECT NO.:	19358003	SCALE:	AS SHOWN	NO.		DATE		REVISION		BY	
PROJECT DATE:	10/18/18	DRAWN BY:	TAW								
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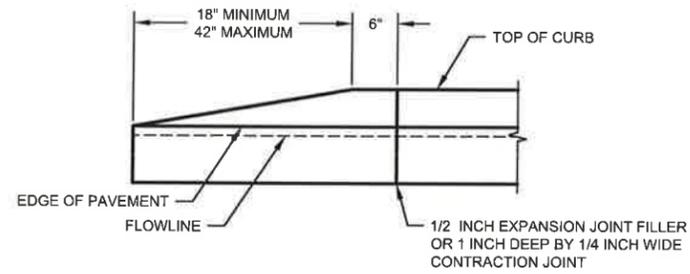
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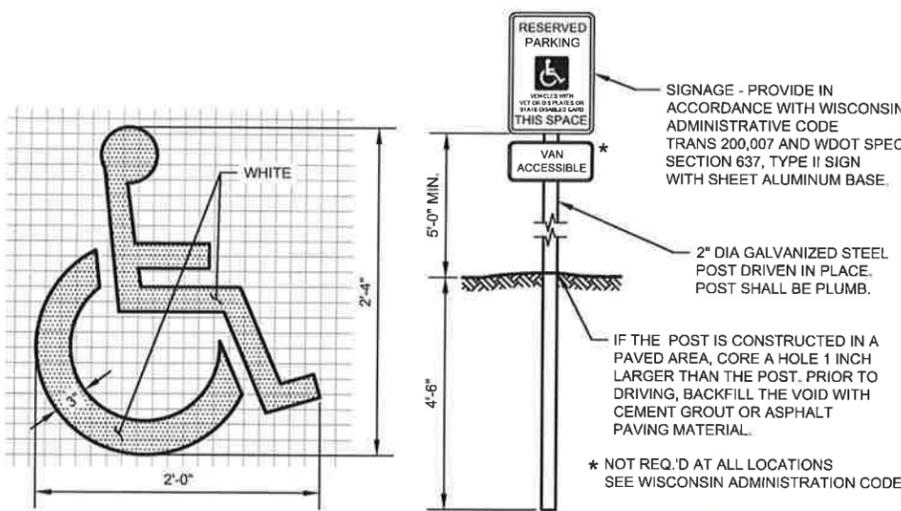
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CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

EROSION CONTROL DETAILS

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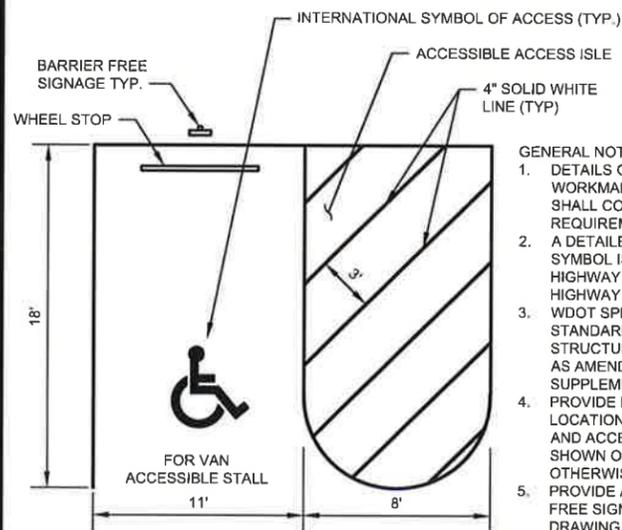


**CURB END DETAIL**  
NO SCALE



**INTERNATIONAL SYMBOL OF ACCESS**  
NO SCALE

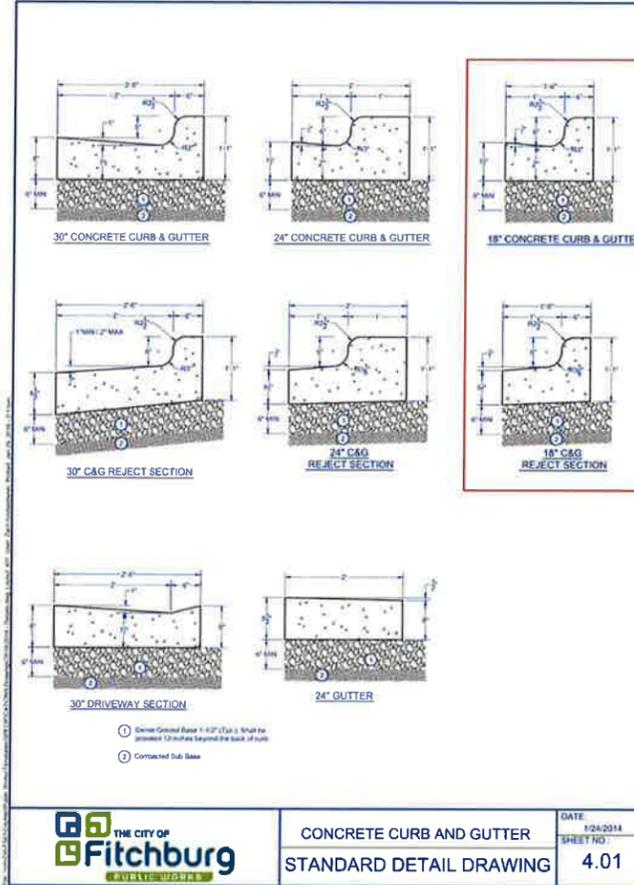
**BARRIER FREE SIGNAGE**  
NO SCALE



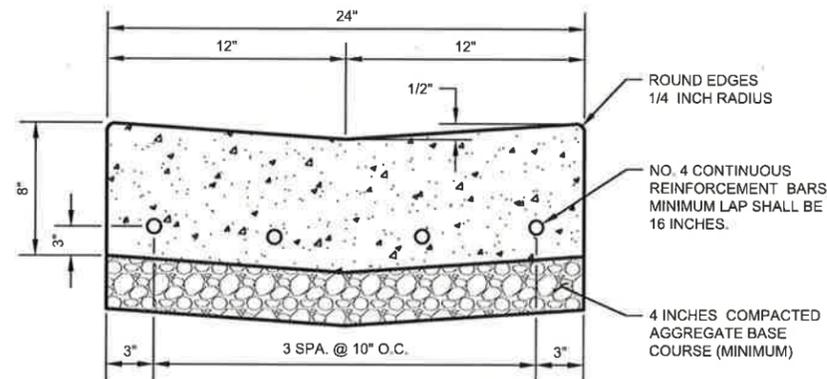
**ACCESSIBLE PARKING STALL**  
NO SCALE

**GENERAL NOTES:**

1. DETAILS OF INSTALLATION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS.
2. A DETAILED DRAWING OF THE DISABLED PARKING SYMBOL IS ILLUSTRATED IN THE "STANDARD HIGHWAY SIGNS MANUAL" BY THE FEDERAL HIGHWAY ADMINISTRATION.
3. WDOT SPEC. MEANS THE STATE OF WISCONSIN STANDARD SPECIFICATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AS AMENDED BY THE MOST CURRENT INTERIM SUPPLEMENTAL SPECIFICATION.
4. PROVIDE DISABLED PARKING STALLS AT LOCATIONS SHOWN ON THE DRAWINGS. STALL AND ACCESS ISLE DIMENSIONS SHALL BE AS SHOWN ON THE DETAIL UNLESS INDICATED OTHERWISE ON THE DRAWING.
5. PROVIDE A DISABLED SYMBOL AND BARRIER FREE SIGNAGE FOR EACH STALL SHOWN ON THE DRAWING.
6. PROVIDE WHEEL STOPS WHEN SHOWN ON THE DRAWINGS.
7. THE MAXIMUM SURFACE SLOPE, ACROSS STALLS OR ACCESSIBLE ROUTES, IN ANY DIRECTION, SHALL BE 2%.

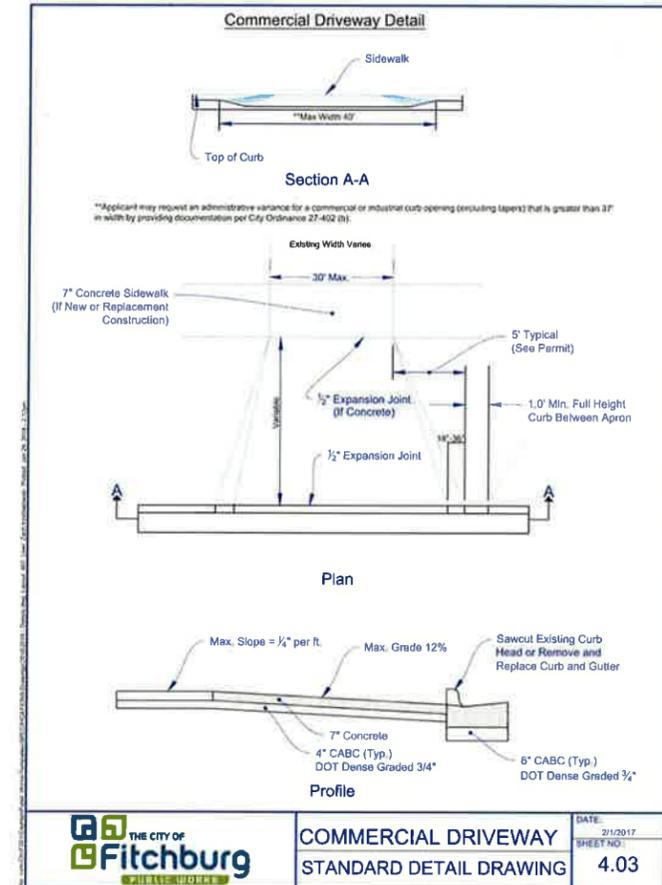


**CONCRETE FLUME DETAIL**  
NO SCALE

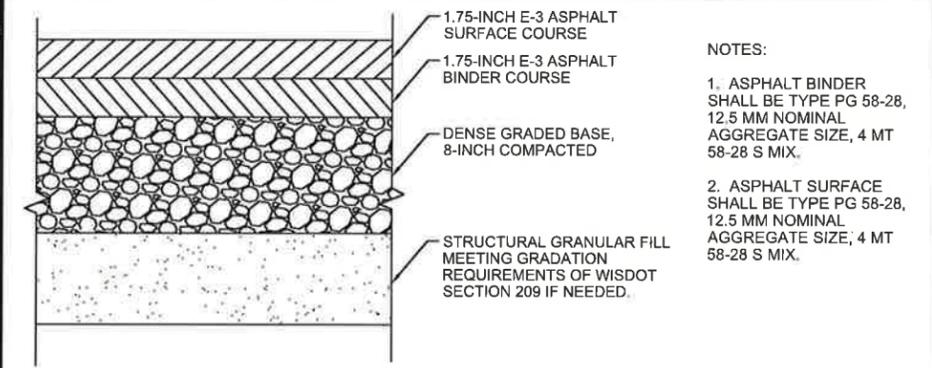


**GENERAL NOTES:**

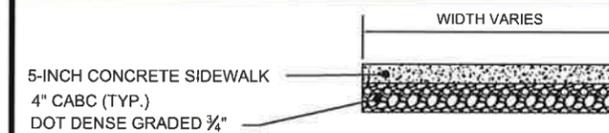
1. BAR STEEL REINFORCEMENT SHALL BE EMBEDDED 3 INCHES CLEAR.
2. BAR STEEL REINFORCEMENT SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE SPECIFICATIONS.
3. BAR STEEL REINFORCEMENT SHALL BE FREE OF ALL RUST AND MILL SCALE.
4. CAST-IN-PLACE CONCRETE SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE SPECIFICATIONS.
5. CONCRETE ACCESSORIES OF EXPANSION JOINT MATERIAL AND CURING COMPOUND SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE SPECIFICATIONS.



**COMMERCIAL DRIVEWAY STANDARD DETAIL DRAWING**  
4.03



**TYPICAL ASPHALT PAVEMENT SECTION**  
NTS



**NOTES:**

1. SIDEWALK THICKNESS SHALL BE 7-INCHES THROUGH DRIVEWAYS, 7-INCHES AT RAMPS, AND 5-INCHES FOR ALL PUBLIC SIDEWALK.
2. SIDEWALK CROSS SLOPE SHALL BE 1.5% AND NOT EXCEED 2%.
3. PROVIDE 1/2 INCH EXPANSION JOINTS AT ALL RAMP LOCATIONS THROUGH DRIVEWAYS, AGAINST CURB & GUTTER, AT RADII, AND EVERY 200 FEET OF SIDEWALK.
4. CONSTRUCTION FORMS SHALL BE EQUAL TO OR GREATER THAN THE SIDEWALK THICKNESS.

**TYPICAL CONCRETE SIDEWALK SECTION**  
NOT TO SCALE

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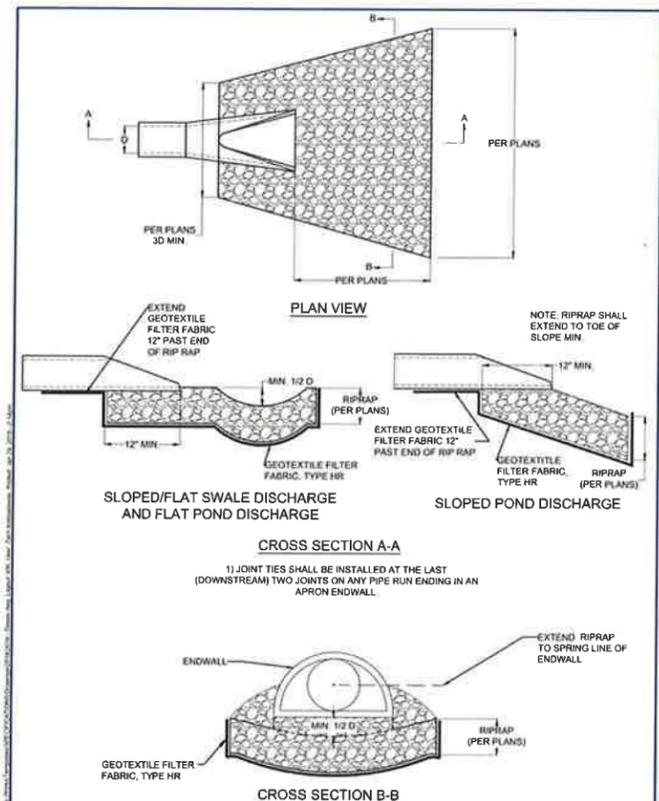
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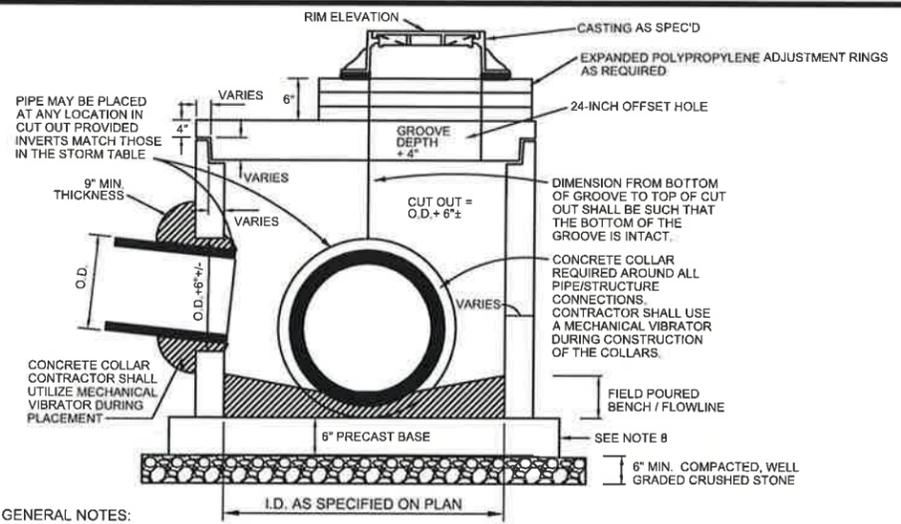
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STREET DETAILS

FILE NO.  
19358003  
SHEET  
G 3



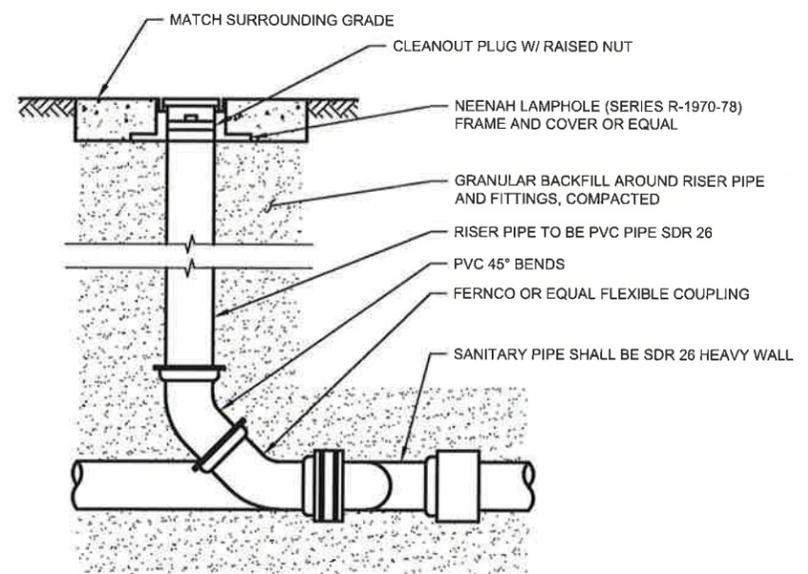
**RIP RAP AND ENDWALL INSTALLATION**  
STANDARD DETAIL DRAWING 6.06



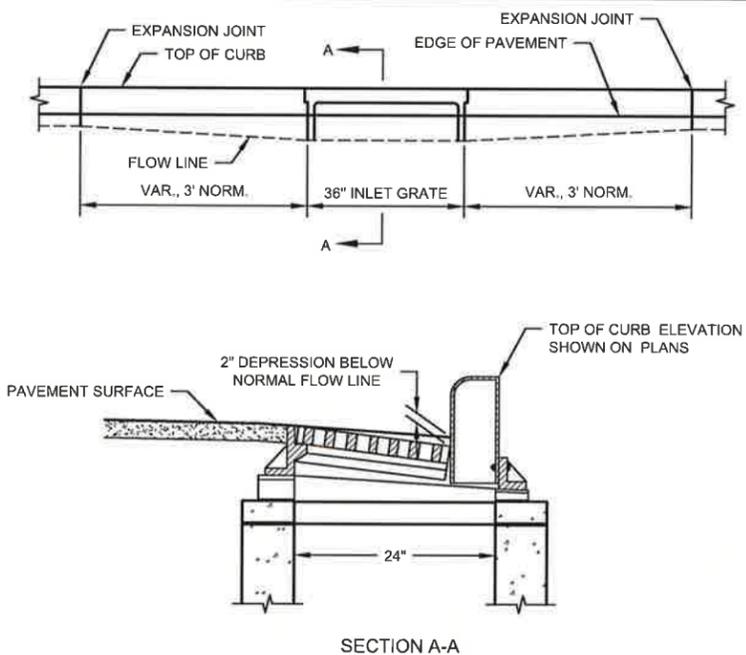
**GENERAL NOTES:**

1. SEE PLANS FOR SIZE, NUMBER, AND LOCATION OF PIPES.
2. DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS.
3. DETAILED DRAWINGS FOR PROPOSED ALTERNATE DESIGNS FOR UNDERGROUND DRAINAGE STRUCTURES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PROVIDING THAT SUCH ALTERNATE DESIGNS MAKE PROVISION FOR EQUIVALENT CAPACITY AND STRENGTH.
4. ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF AASHTO DESIGNATION M 199.
5. PRECAST REINFORCED BASES SHALL BE PLACED ON A BED OF MATERIAL AT LEAST 6 INCHES IN DEPTH, WHICH MEETS THE REQUIREMENTS FOR WELL GRADED CRUSHED STONE. THIS BEDDING SHALL BE COMPACTED AND PROVIDE UNIFORM SUPPORT FOR THE ENTIRE AREA OF THE BASE.
6. ALL BAR STEEL AND WELDED WIRE FABRIC REINFORCEMENT SHALL BE EMBEDDED 2 INCHES CLEAR UNLESS OTHERWISE SHOWN OR NOTED.
7. PRECAST REINFORCED CONCRETE RISERS SHALL BE PLACED WITH TONGUE DOWN.
8. OVERHANGING BASE NOT REQUIRED WHERE INTEGRAL BASE IS ALLOWED. SEE SPECIAL PROCEDURES OR CONTACT ENGINEER TO VERIFY.

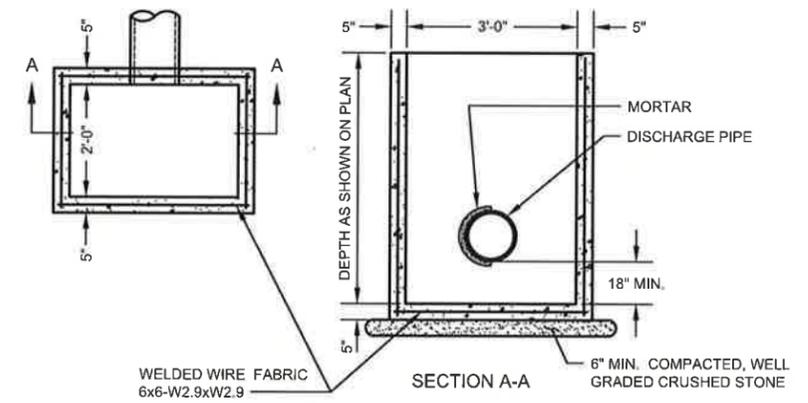
**STORM MANHOLE DETAIL**  
NO SCALE



**SANITARY SEWER CLEANOUT**  
NO SCALE



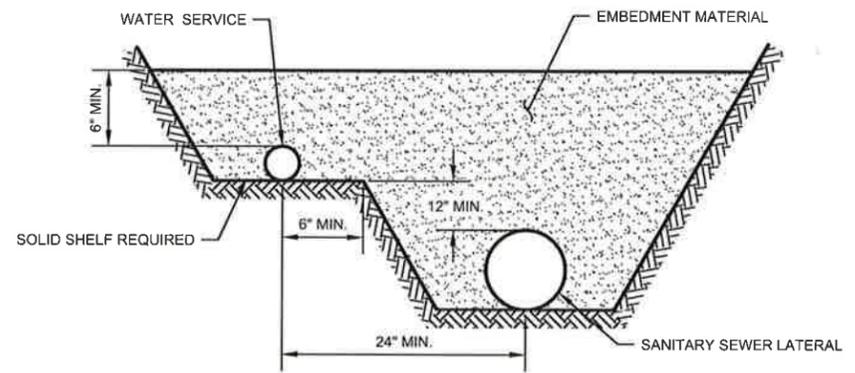
**CURB AND GUTTER AT INLETS DETAIL**  
NO SCALE



**GENERAL NOTES:**

1. SEE PLANS FOR SIZE, NUMBER, AND LOCATION OF PIPES.
2. DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS.
3. DETAILED DRAWINGS FOR PROPOSED ALTERNATE DESIGNS FOR UNDERGROUND DRAINAGE STRUCTURES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PROVIDING THAT SUCH ALTERNATE DESIGNS MAKE PROVISION FOR EQUIVALENT CAPACITY AND STRENGTH.
4. ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF AASHTO DESIGNATION M 199.
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6. PRECAST REINFORCED CONCRETE FLAT SLAB TOPS MAY BE USED ON THE STRUCTURES. THE TOPS SHALL BE INSTALLED ON A BED OF MORTAR.
7. ALL BAR STEEL AND WELDED WIRE FABRIC REINFORCEMENT SHALL BE EMBEDDED 2 INCHES CLEAR UNLESS OTHERWISE SHOWN OR NOTED.
8. PRECAST REINFORCED CONCRETE RISERS SHALL BE PLACED WITH TONGUE DOWN.

**2' x 3' INLET WITH SUMP DETAIL**  
NO SCALE



**GENERAL NOTES:**

1. WATER SERVICES 2 INCHES IN DIAMETER AND LESS SHALL BE LAID WITH A CLEAR HORIZONTAL SEPARATION NOT LESS THAN 2 FEET FROM THE SANITARY LATERAL.

**WATER SERVICE AND SANITARY SEWER LATERAL DETAIL**  
NO SCALE

PROJECT NO.:	19358003	SCALE:	AS SHOWN	NO.		DATE:		REVISION:		BY:	
PROJECT DATE:	10/18/18	DRAWN BY:	TAW			CHECKED BY:	KCL				
F.B.:											
PLOT DATE:	5/20/19	G:\19\19358\19358003\CADD\Construction Documents\19358003									

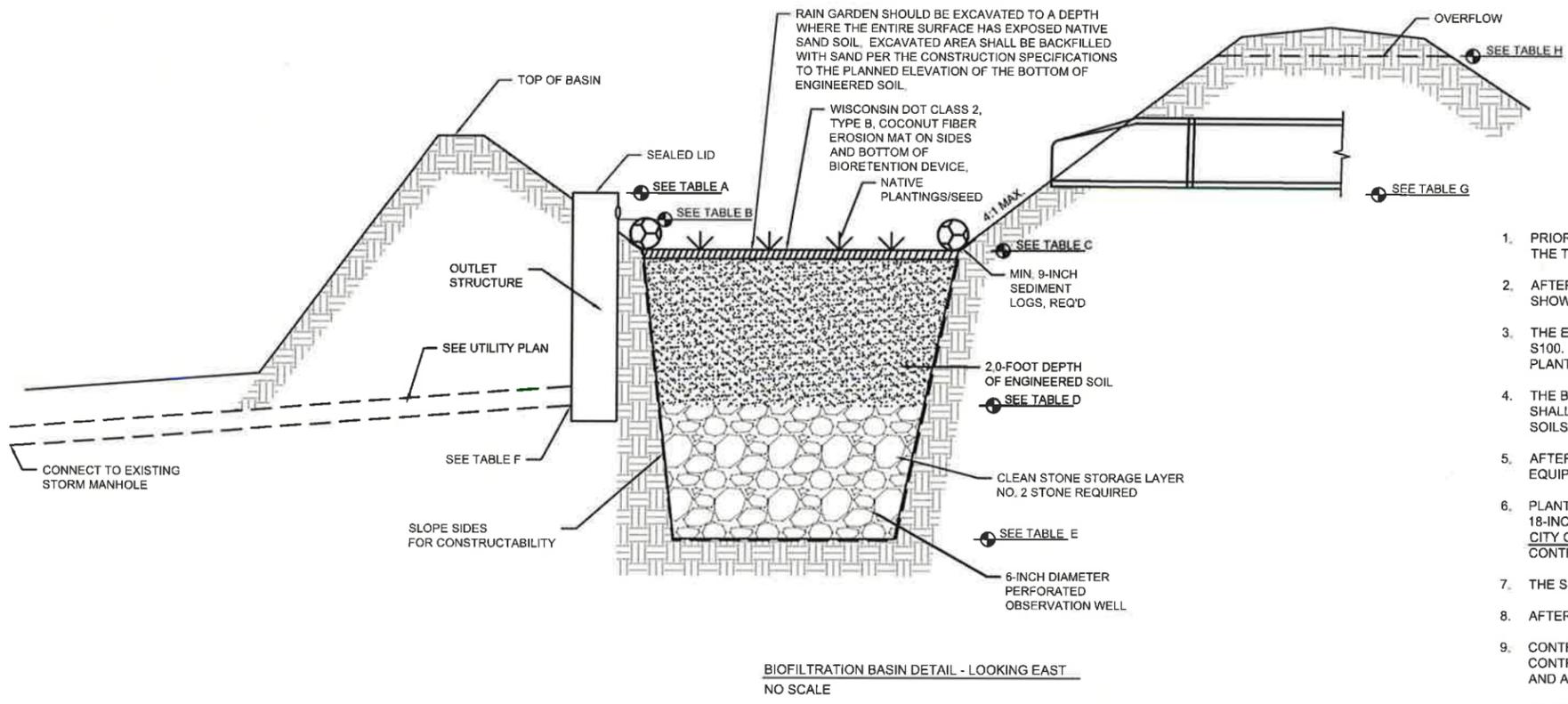
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UTILITY DETAILS

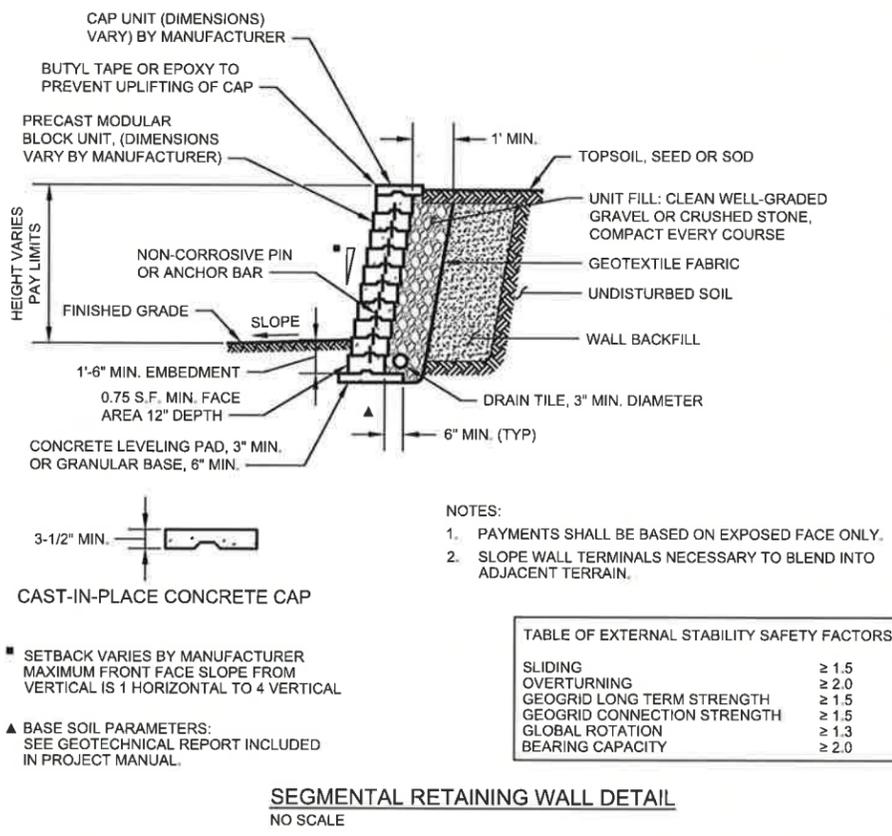
FILE NO.  
19358003  
SHEET  
G 4



BIOFILTRATION BASIN DETAIL - LOOKING EAST  
NO SCALE

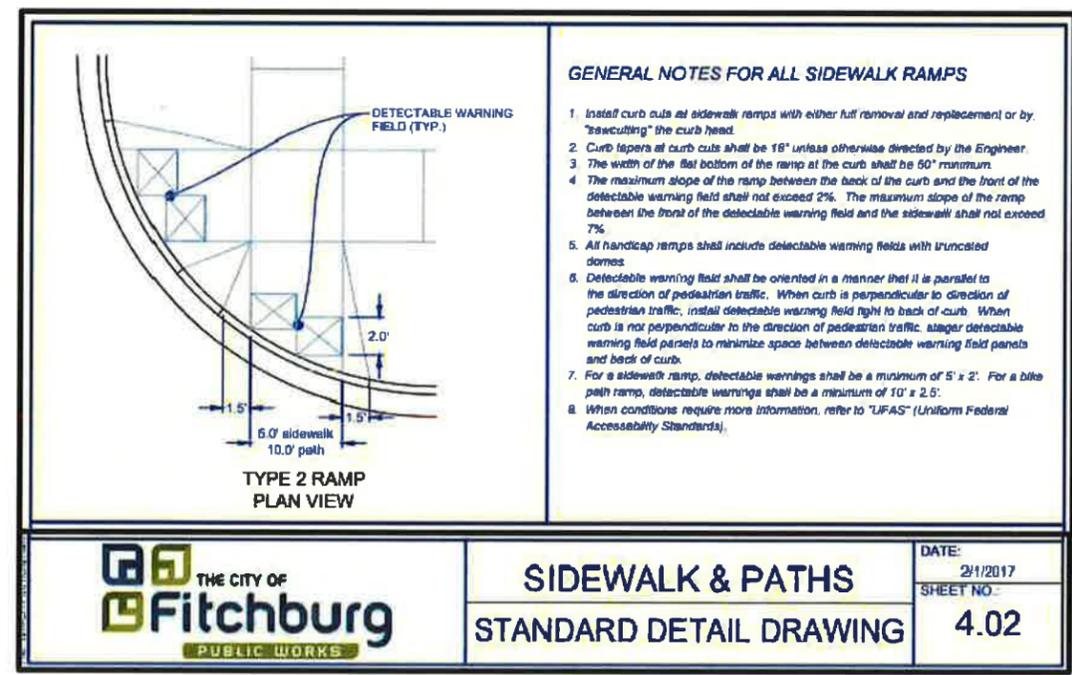
**BIOFILTRATION BASINS  
CONSTRUCTION  
REQUIREMENTS  
REQUIRED AT BOTH BASINS**

1. PRIOR TO EXCAVATING THE BIOFILTRATION BASINS, ALL UPSTREAM AREAS SHALL BE RESTORED PER THE LANDSCAPING PLAN, 70% OF THE TURF SEED GERMINATED, AND ALL HARD SURFACE AREAS PAVED.
2. AFTER ALL UPSTREAM AREAS ARE STABILIZED PER THE REQUIREMENTS ABOVE, THE BASIN SHALL BE EXCAVATED TO ELEVATIONS SHOWN IN TABLE. A 21-INCH LAYER OF NO. 2 CLEAN STONE AND A 2.0-FOOT LAYER OF ENGINEERED SOIL SHALL BE PLACED.
3. THE ENGINEERED SOIL SHALL BE COMPOSED OF 70%-75% SAND/GRANULAR FILL AND 25%-30% COMPOST CONFORMING TO WDNR CPS S100. PLEASE NOTE, THE SAND/COMPOST COMPOSITION FOR THIS PROJECT IS SLIGHTLY CHANGED TO ACCOMMODATE THE NATIVE PLANTINGS.
4. THE BIOFILTRATION BASIN SHALL BE EXCAVATED WITH ONLY WIDE-TRACKED CONSTRUCTION EQUIPMENT. ACTIVITY WITHIN THE BASIN SHALL BE MINIMIZED PRIOR TO EXCAVATION AND ELIMINATED AFTER EXCAVATION TO CONTROL UNNECESSARY COMPACTION OF SOILS.
5. AFTER INITIAL EXCAVATION AND FINAL GRADING, THE BIOFILTRATION BASIN SHALL BE SECURED SO NO OTHER CONSTRUCTION EQUIPMENT USES THE AREA.
6. PLANTINGS - THE BIOFILTRATION BASIN SHALL BE RESTORED WITH THE FOLLOWING PLANTINGS AT AN APPROXIMATE SPACING OF 18-INCHES ON CENTER:  
CITY OF MADISON "FULL SUN" MIX  
CONTRACTOR SHALL SUBMIT PROPOSED PLANT LAYOUT TO OWNER AND ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
7. THE SIDE SLOPES OF THE BASIN SHALL BE SEEDED WITH A TURF LAWN MIX.
8. AFTER THE BASIN IS SEEDED, A 3-INCH LAYER OF WOOD MULCH SHALL BE INSTALLED BETWEEN ALL THE PLUGS AND PLANTS.
9. CONTRACTOR SHALL WEED THE BIOFILTRATION BASIN AT THE END OF THE FIRST GROWING SEASON AFTER INSTALLATION (YEAR 1). CONTRACTOR SHALL ALSO WEED THE BIOFILTRATION BASIN BETWEEN MAY 15 AND JUNE 30 OF THE NEXT GROWING SEASON (YEAR 2) AND AGAIN AT THE END OF THE SECOND GROWING SEASON.
10. CONTRACTOR SHALL WATER THE BIOFILTRATION BASIN WEEKLY THRU THE FIRST GROWING SEASON UNTIL THE PLANTS ARE ESTABLISHED. CONTRACTOR SHALL ALSO WATER THE BASIN WEEKLY THRU JUNE 21 OF THE SECOND GROWING SEASON. WATERING IS ONLY REQUIRED IF THE EQUIVALENT OF 0.50" OF RAIN DOES NOT FALL AT THE SITE WEEKLY.



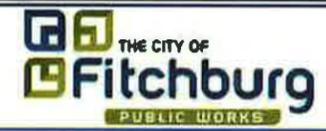
SEGMENTAL RETAINING WALL DETAIL  
NO SCALE

TABLE OF EXTERNAL STABILITY SAFETY FACTORS	
SLIDING	≥ 1.5
OVERTURNING	≥ 2.0
GEOGRID LONG TERM STRENGTH	≥ 1.5
GEOGRID CONNECTION STRENGTH	≥ 1.5
GLOBAL ROTATION	≥ 1.3
BEARING CAPACITY	≥ 2.0



**GENERAL NOTES FOR ALL SIDEWALK RAMPS**

1. Install curb cuts at sidewalk ramps with either full removal and replacement or by "sawcutting" the curb head.
2. Curb lipsers at curb cuts shall be 18" unless otherwise directed by the Engineer.
3. The width of the flat bottom of the ramp at the curb shall be 60" minimum.
4. The maximum slope of the ramp between the back of the curb and the front of the detectable warning field shall not exceed 2%. The maximum slope of the ramp between the front of the detectable warning field and the sidewalk shall not exceed 7%.
5. All handicap ramps shall include detectable warning fields with truncated domes.
6. Detectable warning field shall be oriented in a manner that it is parallel to the direction of pedestrian traffic. When curb is perpendicular to direction of pedestrian traffic, install detectable warning field right to back of curb. When curb is not perpendicular to the direction of pedestrian traffic, stagger detectable warning field panels to minimize space between detectable warning field panels and back of curb.
7. For a sidewalk ramp, detectable warnings shall be a minimum of 5' x 2'. For a bike path ramp, detectable warnings shall be a minimum of 10' x 2.5'.
8. When conditions require more information, refer to "UFAS" (Uniform Federal Accessibility Standards).



**SIDEWALK & PATHS  
STANDARD DETAIL DRAWING**

DATE:	2/1/2017
SHEET NO.:	4.02

**CONTACT INFORMATION:**

**OWNER**  
NFW ACQUISITION CORP  
715 FARWELL DRIVE  
MADISON, WI 53704  
(608) XXX-XXXX

**DEVELOPER**  
BSH COMPANIES  
DAN MCCOY  
44 COOK STREET, SUITE 400  
DENVER, CO 80206  
DAN@BSHCOMPANIES.COM  
(303) 886-5900

**ENGINEER**  
MSA PROFESSIONAL SERVICES, INC  
KEVIN LORD  
2901 INTERNATIONAL LANE SUITE 300  
MADISON, WI 53704  
KLORD@MSA-PS.COM  
(608)242-7779

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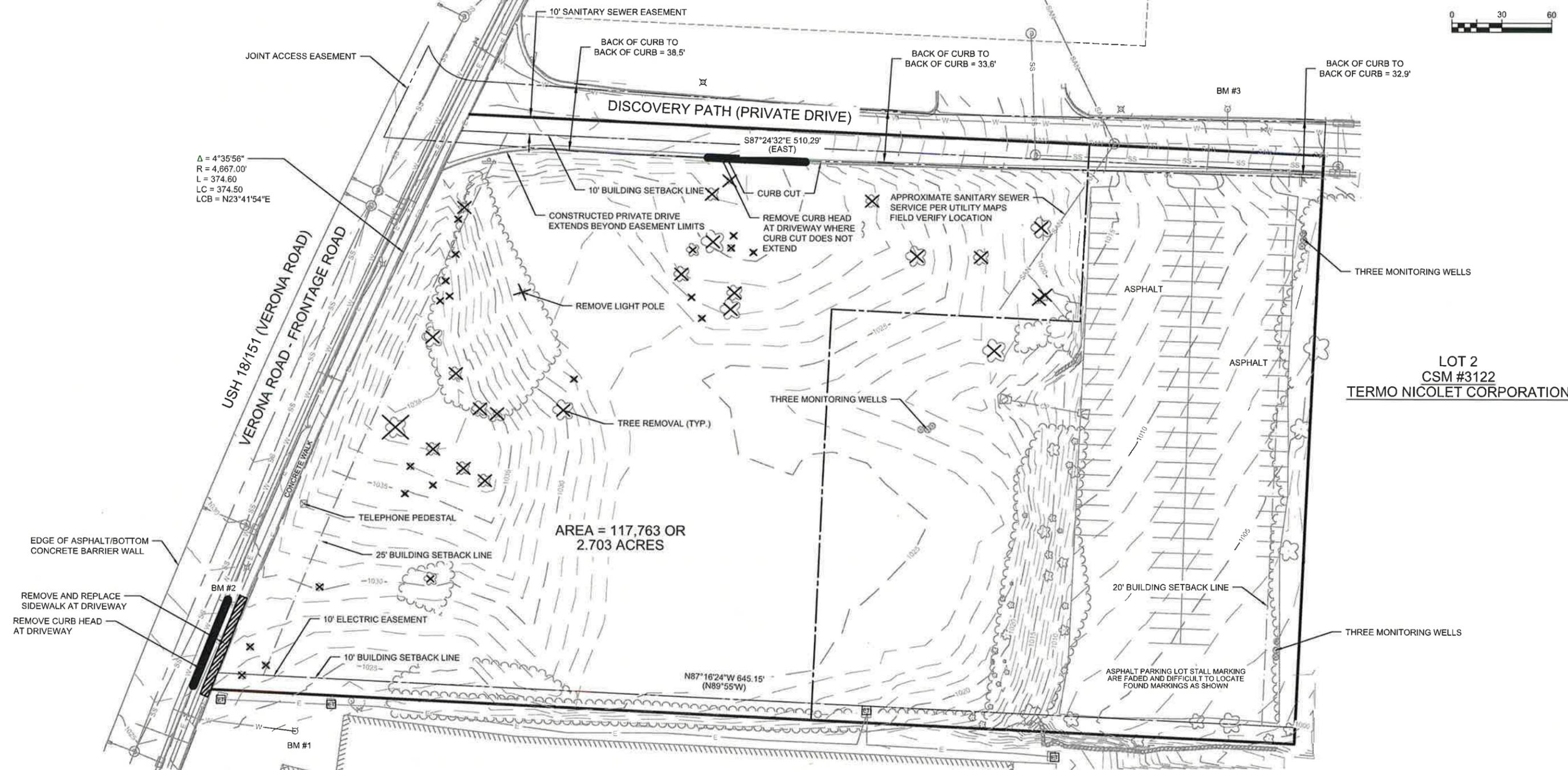
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SITE DETAILS

FILE NO.	19358003
SHEET	G 5

LOT 1  
CSM #3122  
THERMO NICOLET CORPORATION



$\Delta = 4^{\circ}35'56''$   
 $R = 4,667.00'$   
 $L = 374.60'$   
 $LC = 374.50'$   
 $LCB = N23^{\circ}41'54''E$

AREA = 117,763 OR  
2.703 ACRES

BENCHMARK TABLE

BM. NO.	NORTHING	EASTING	DESCRIPTION	ELEV.
BM #1	463247.39	798290.17	TOP OF NUT	1025.26
BM #2	463222.28	798252.89	TOP OF NUT	1031.48
BM #3	463519.55	798843.38	TOP OF NUT	1013.09

PHILIP J. HENDRICKSON CHILDRENS TRUST

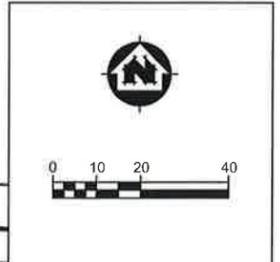
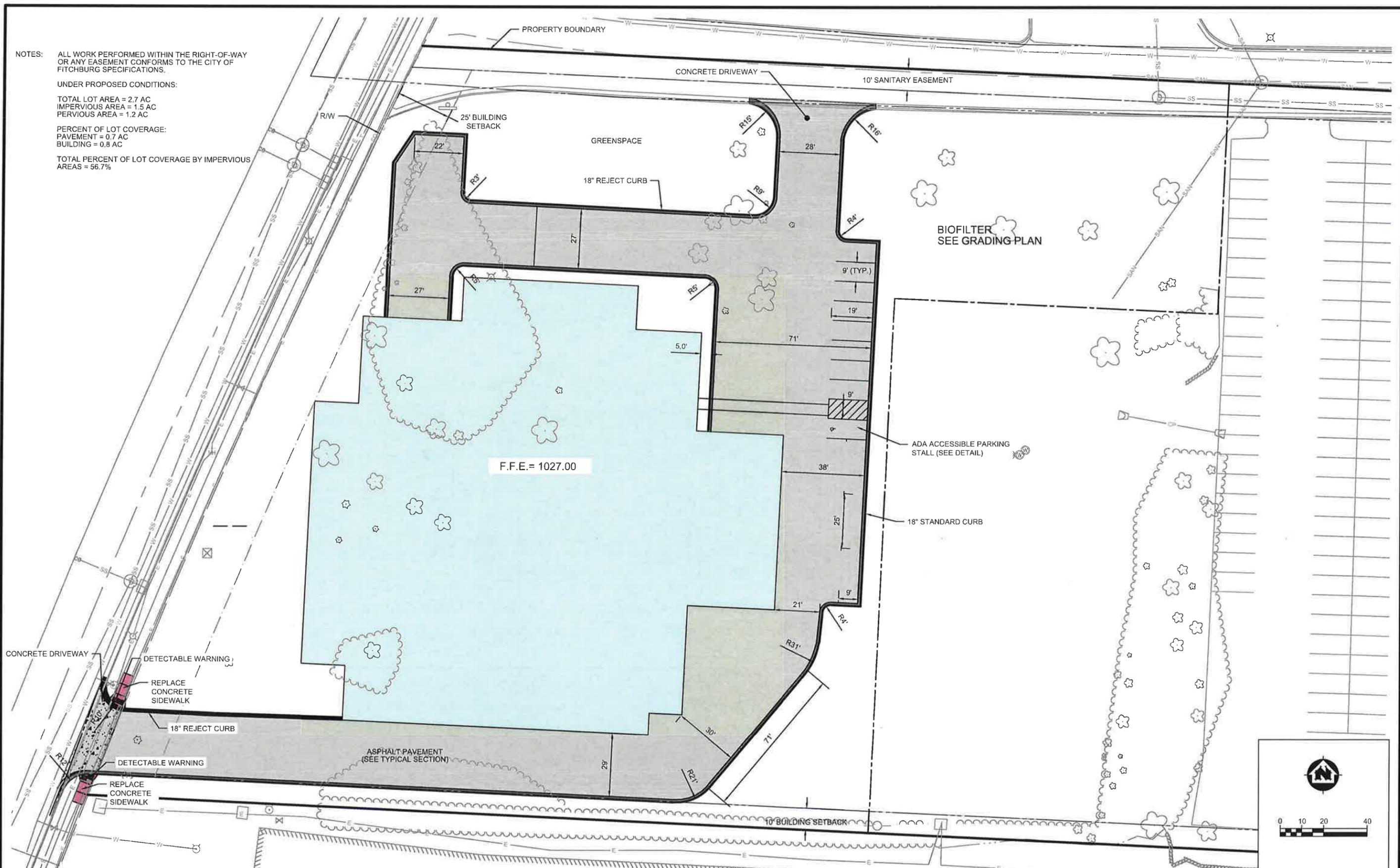
NOTES: ALL WORK PERFORMED WITHIN THE RIGHT-OF-WAY OR ANY EASEMENT CONFORMS TO THE CITY OF FITCHBURG SPECIFICATIONS.

UNDER PROPOSED CONDITIONS:

TOTAL LOT AREA = 2.7 AC  
 IMPERVIOUS AREA = 1.5 AC  
 PERVIOUS AREA = 1.2 AC

PERCENT OF LOT COVERAGE:  
 PAVEMENT = 0.7 AC  
 BUILDING = 0.8 AC

TOTAL PERCENT OF LOT COVERAGE BY IMPERVIOUS AREAS = 56.7%



PROJECT NO.	SCALE	AS SHOWN	NO.	DATE	REVISION	BY
19358003	AS SHOWN					
PROJECT DATE:	10/16/18	DRAWN BY:	TAW			
F.B.		CHECKED BY:	KCL			
PLOT DATE: 5/20/19, G:\19358003\19358003\CADD\Construction Documents\19358003.dwg						

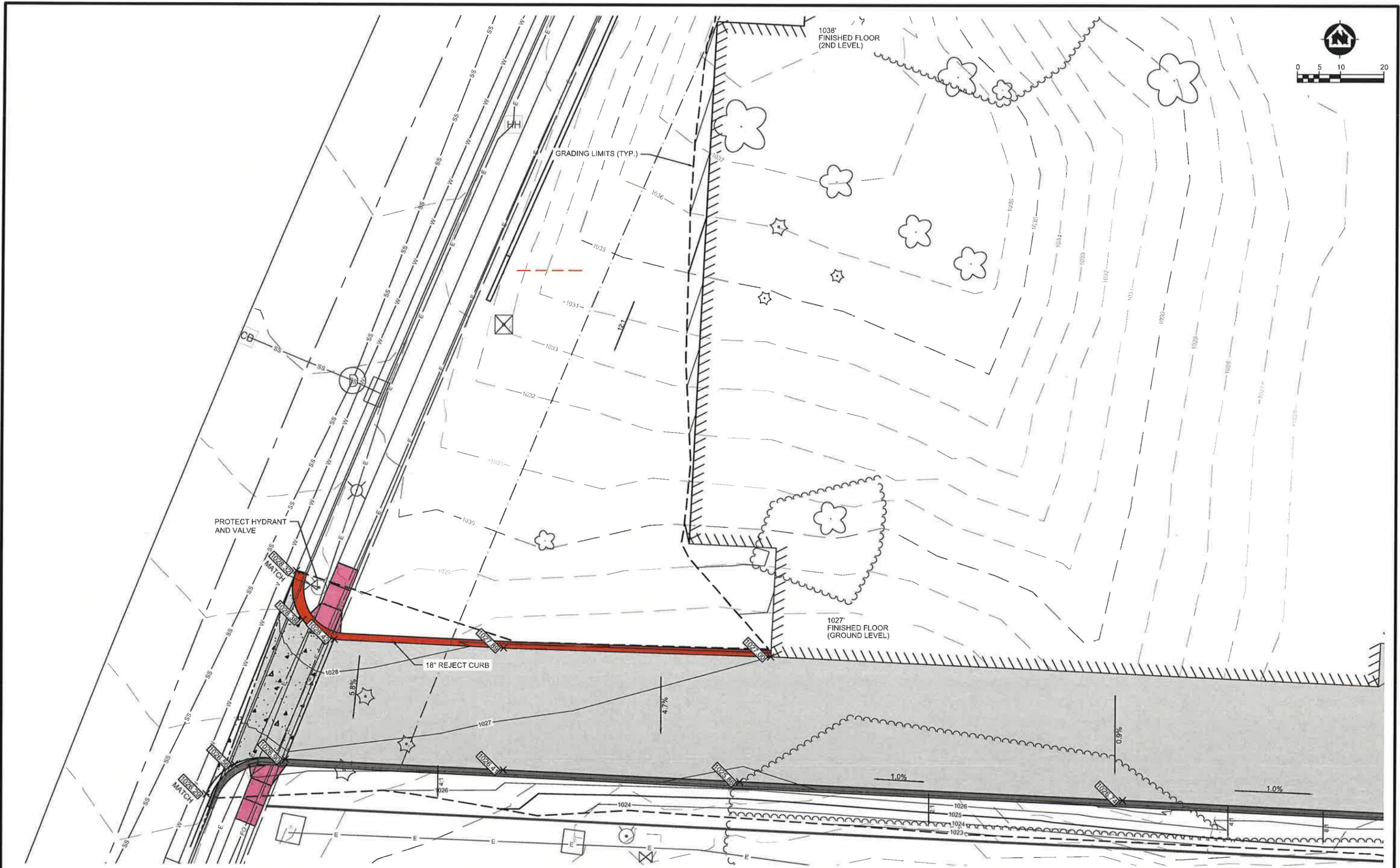
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SITE LAYOUT AND EROSION CONTROL

PROJECT NO. 19358003  
 SHEET ST 2



PROJECT NO.	SCALE	AS SHOWN	NO.	DATE	REVISION	BY
19358003	AS SHOWN					
PROJECT DATE	DRAWN BY:		DATE			
10/18/18	TAW					
F.B.	CHECKED BY:		DATE			
	KCL					

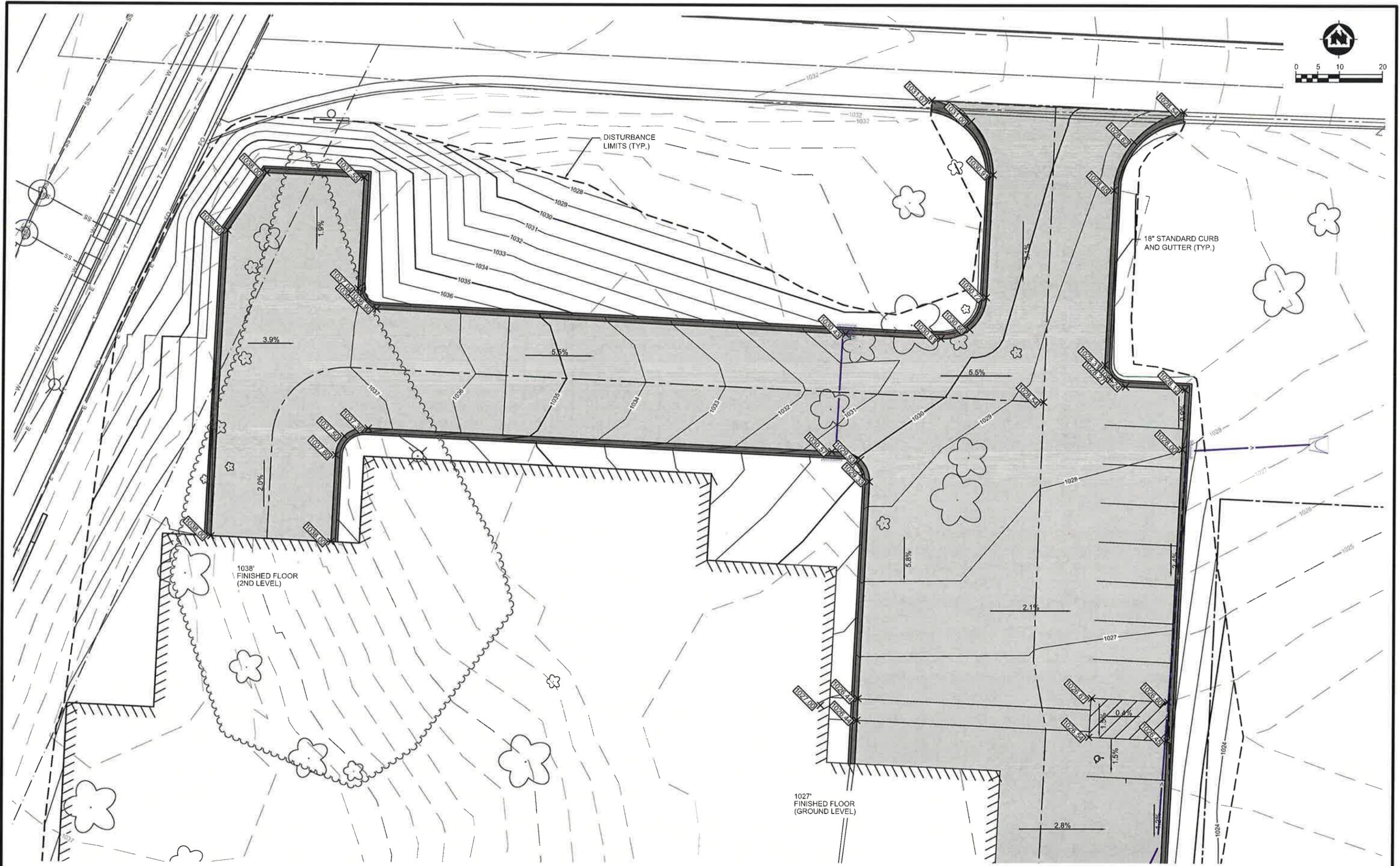
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GRADING PLAN (SOUTHWEST)

FILE NO.  
19358003  
 SHEET  
ST 3



PROJECT NO.	SCALE	NO.	DATE	REVISION	BY
19358003	AS SHOWN				
PROJECT DATE: 10/18/18	DRAWN BY: TAW				
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PLOT DATE: 5/20/19, G:\19358003\19358003\CADD\Construction Documents\19358003.dwg					

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GRADING PLAN (NORTH)

FILE NO. 19358003  
 SHEET ST 4



PROJECT NO.	SCALE	AS SHOWN	NO.	DATE	REVISION	BY
19358003	AS SHOWN					
PROJECT DATE:	10/18/18	DRAWN BY:	TAW			
F.B.		CHECKED BY:	KCL			

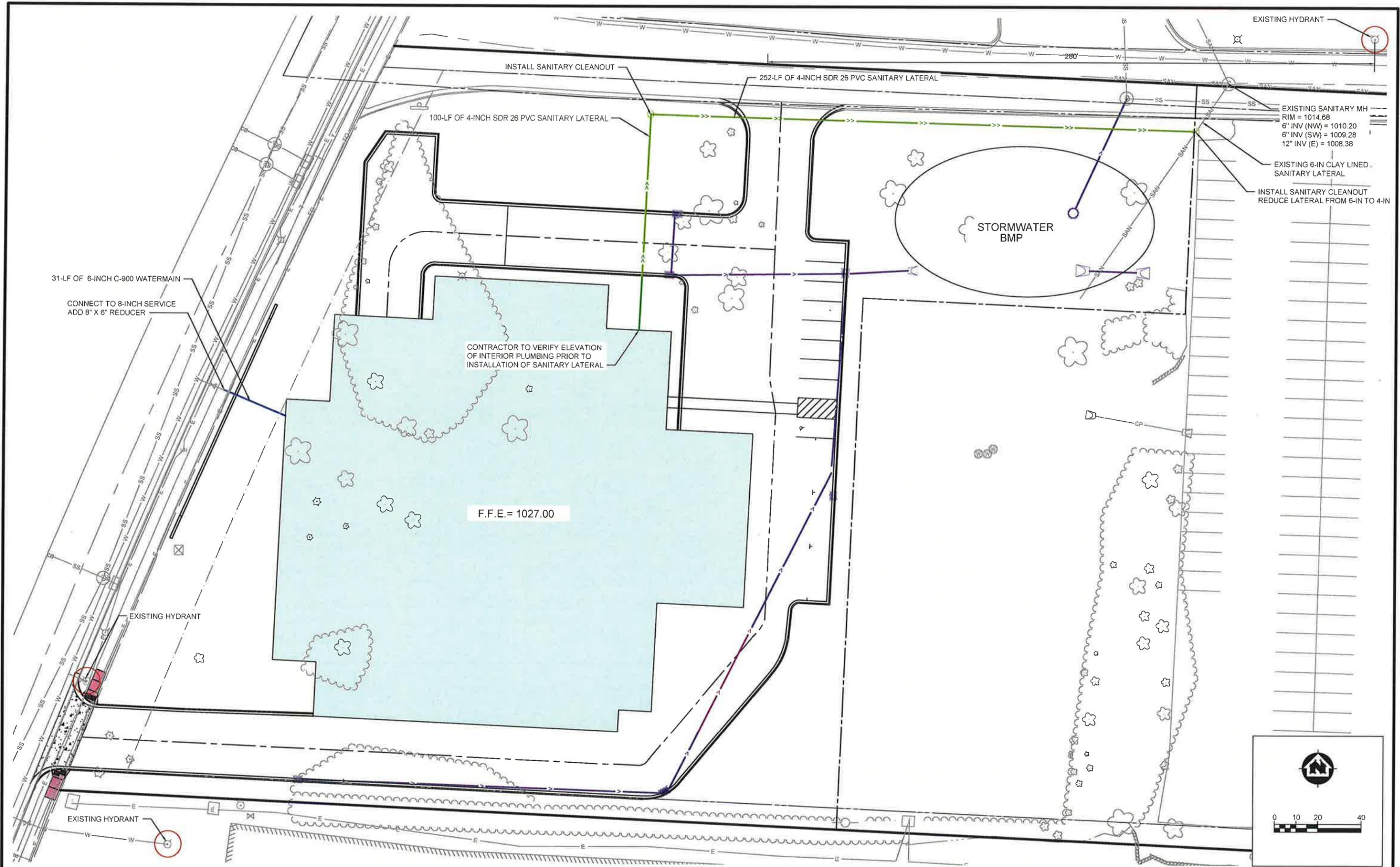
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GRADING PLAN (SOUTHEAST)

FILE NO: 19358003  
 SHEET: ST 5



PROJECT NO:	19358003	SCALE:	AS SHOWN	NO.		DATE	
PROJECT DATE:	10/18/18	DRAWN BY:	TAW	REVISION			
F.B.		CHECKED BY:	KCL	BY			

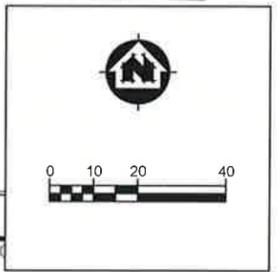
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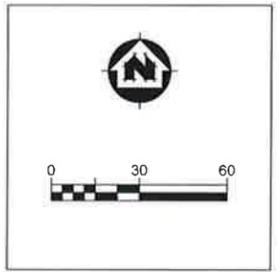
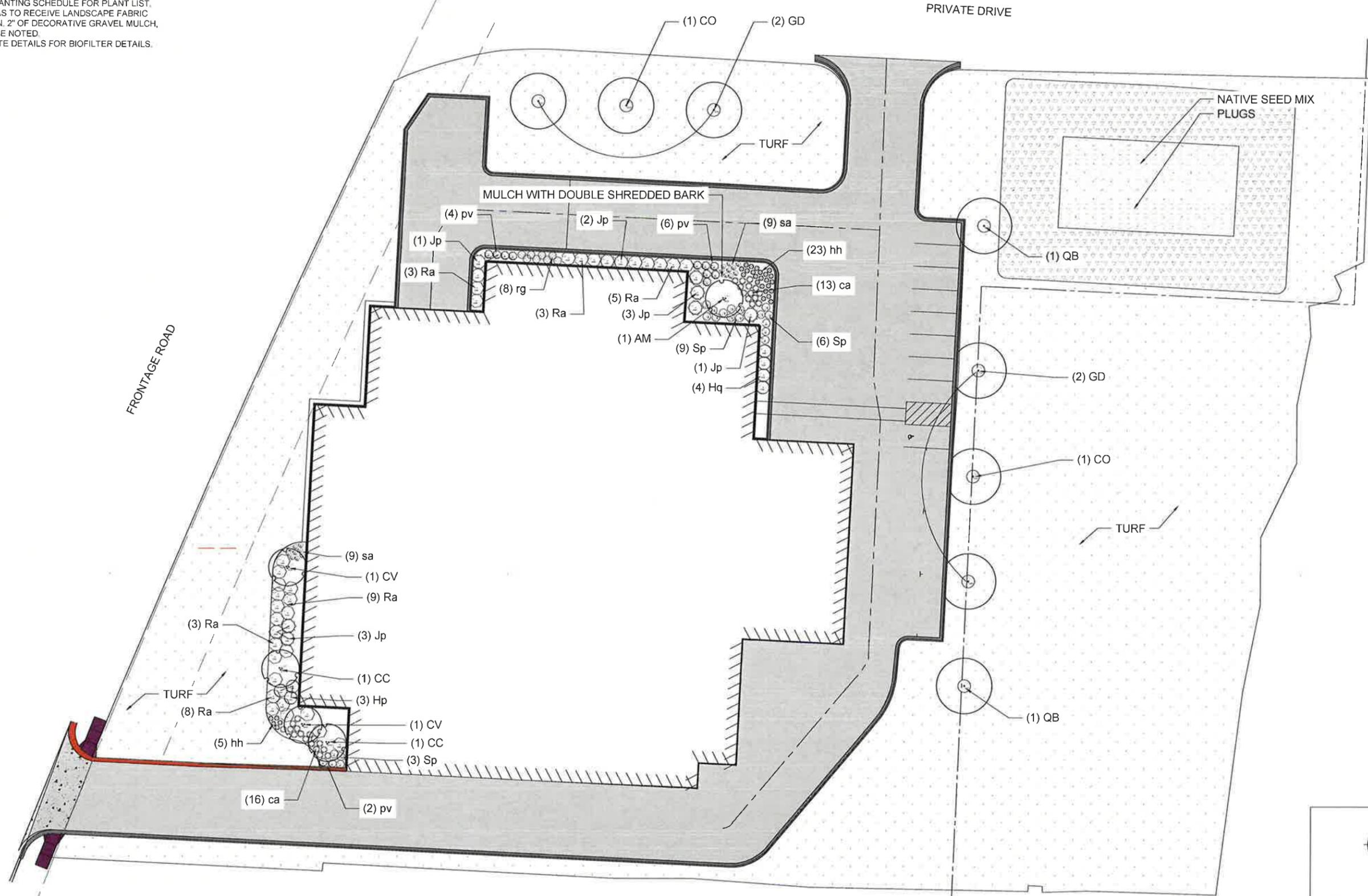
UTILITY PLAN

FILE NO	19358003
SHEET	ST 7



**NOTE:**

1. SEE SHEET L 2 - PLANTING SCHEDULE FOR PLANT LIST.
2. ALL PLANTED AREAS TO RECEIVE LANDSCAPE FABRIC COVERED WITH MIN. 2" OF DECORATIVE GRAVEL MULCH, UNLESS OTHERWISE NOTED.
3. SEE SHEET G 5 - SITE DETAILS FOR BIOFILTER DETAILS.



PROJECT NO.:	19358003	SCALE:	AS SHOWN	NO.		DATE	
PROJECT DATE:	10/18/18	DRAWN BY:	TAW	REVISION		BY	
F.B.		CHECKED BY:	KCL				

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LANDSCAPE PLAN

FILE NO.  
19358003  
SHEET  
L 1

**PLANT MATERIALS LIST**

ID	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING & NOTES*	QUANTITY
<b>Deciduous Trees</b>						
AM	Acer rubrum 'Morton'	State Street Maple	2" cal	B&B	as drawn	1
CO	Cornus occidentalis 'Pavane Prizer'	Prayer Prizer Blackberry	2" cal	B&B	as drawn	2
CV	Crataegus mollis 'Winter King'	Winter King Hawthorn	1.75" cal	B&B	as drawn	2
CE	Cornus canadensis	Eastern Red Dog	1.5" cal	B&B	as drawn	2
GD	Gymnocladia dioica 'Prayer Tree'	Prayer Tree Kentucky Coffee Tree	2" cal	B&B	as drawn, make only	2
GB	Gleditsia triacanthos	Southern Sycamore	2" cal	B&B	as drawn	2

<b>Coniferous Shrubs*</b>						
IS	Juniperus x altissima 'Sentry Compact'	Sentry's Compact Pillar Juniper	36" cal	B&B	as drawn	10

<b>Deciduous Shrubs</b>						
HP	Hydrangea paniculata 'BloomStruck®'	Quick Fire Hydrangea	3 gal	CONT.	as drawn	3
HS	Hydrangea paniculata 'SABOT®'	Little Quick Fire Hydrangea	3 gal	CONT.	as drawn	4
RA	Rhus aromatica 'Cora Bow'	Green Low Fragrant Sumac	3 gal	CONT.	as drawn	11
SP	Spiraea japonica 'Anthony Waterer'	Anthony Waterer Spirea	3 gal	CONT.	as drawn	38

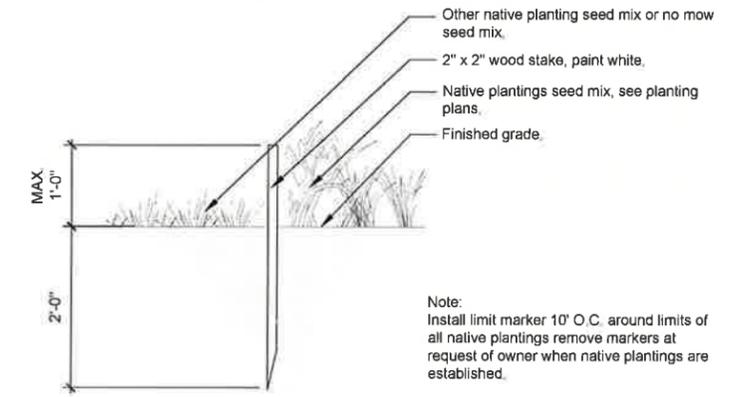
<b>Perennials and Grasses</b>						
EA	Calamagrostis x scutellaria 'Wark Fennel'	Wark Fennel Feather Reed Grass	1 gal	CONT.	as drawn	29
HA	Hemerocallis 'Misty Fountains'	Daylily	1 gal	CONT.	as drawn	28
AN	Anemone hepatica 'Hutchinson's'	Woodland Anemone	1 gal	CONT.	as drawn	13
BE	Berberis thunbergii 'Nana'	Black Eyed Susan	1 gal	CONT.	as drawn	8
SA	Sedum autumnale	Autumn Blaze Grass	1 gal	CONT.	as drawn	18

Bio-Filter: Wet Meadow Emergent Plants						
Plant plugs 1 foot on center. Plant species in groups of 5						
Canex ssp.	Common Sedges	Plugs	1 Foot on center	150		
Calamagrostis canadensis	Bluejoint Grass	Plugs	1 Foot on center	150		
Scirpus atrovirens	Fringed Sedge	Plugs	1 Foot on center	150		
Cyperus alternifolius	Flat Meadow Grass	Plugs	1 Foot on center	150		
Phalaris intermedia	Marsh Wild Timothy	Plugs	1 Foot on center	150		
M. alterniflora	Reedy Sedge	Plugs	1 Foot on center	150		
Phragmites communis	Four Square Grass	Plugs	1 Foot on center	150		
Sagittaria arifolia	Pine Barren Arrowhead	Plugs	1 Foot on center	150		
Lythrum hyssarifolium	New England Aster	Plugs	1 Foot on center	150		
Carduus marianus	Swamp Thistle	Plugs	1 Foot on center	150		
Galium aparine	Witchgrass	Plugs	1 Foot on center	150		
Agrostis hyemalis	Yellow Star Grass	Plugs	1 Foot on center	150		
Chenopodium album	Cowbane	Plugs	1 Foot on center	150		
Thalictrum flavum	Yellow Meadow Rue	Plugs	1 Foot on center	150		
Cypripedium pubescens	Yellow Lady Slipper	Plugs	1 Foot on center	150		
Pycnanthemum virginicum	Mountain Mint	Plugs	1 Foot on center	150		

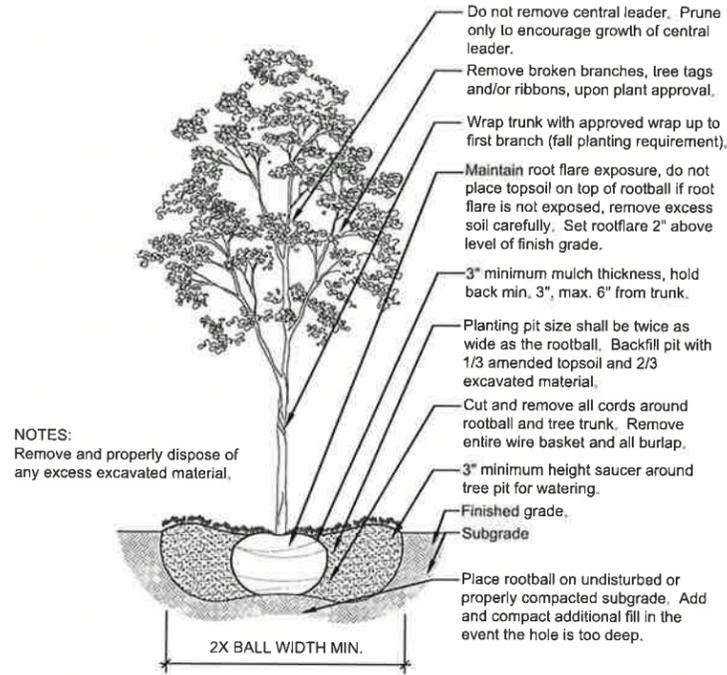
<b>SEED MIXES AND MATS</b>		*Consult manufacturer for appropriate seeding rates.	
Native Slope Stabilization	Turf	LaCrosse Seed (Madison Parks) or approved equal	7,250 SF 55,300 SF

**SITE PREPARATION, LAYOUT AND PLANTING NOTES**

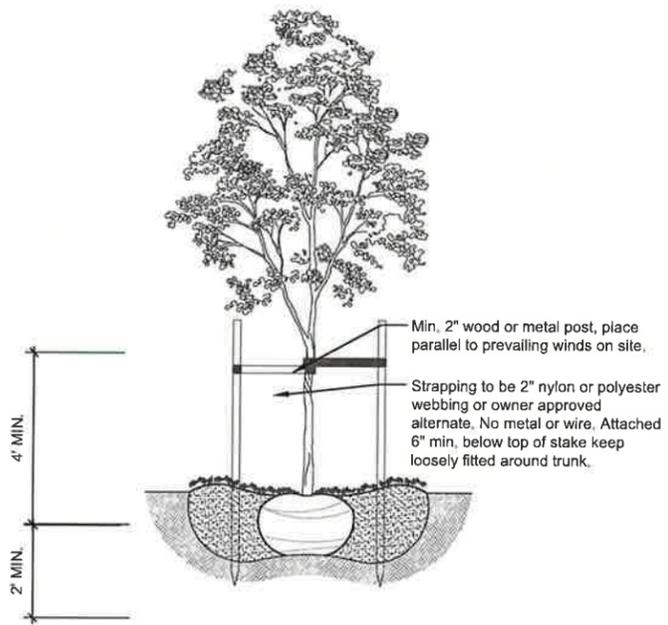
- REMOVE AND DISPOSE OF TURF/SOD AND OTHER EXISTING PLANTS, INCLUDING ESTABLISHED WEEDS PRIOR TO SEEDING.
- SEED LIMIT LINES ARE APPROXIMATE, SEED TO LIMITS OF GRADING AND DISTURBANCE.
- CONTRACTOR RESPONSIBLE FOR EROSION CONTROL IN ALL SEEDED AREAS. ALL DISTURBED AREAS ARE TO BE PROTECTED WITHIN 24 HOURS. DO NOT DISTURB MORE AREA THAN CAN BE COMPLETED AND PROTECTED WITHIN 24 HOURS.
- TREES AND SHRUBS SHALL BE PLACED AS DRAWN. NO SUBSTITUTES SHALL BE MADE WITHOUT PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT.
- EQUALLY SPACE PERENNIALS AS SPECIFIED PER NOTES LISTED ON DRAWINGS.
- ALL PLANT MATERIALS SHALL BE OF MATCHING FORMS AND SIZES WITHIN EACH SPECIES AND SIZE DESIGNATION ON THE DRAWINGS.
- PERENNIAL PLANTING BEDS TO BE COVERED WITH 2" MIN. TWICE SHREDDED HARD WOOD MULCH, UNLESS OTHERWISE NOTED. NO WEED BARRIER SHALL BE USED.
- ALL TREES PLANTED IN TURF SHALL RECEIVE A 5' DIAMETER MULCH RING WITH 3" MIN. TWICE SHREDDED HARD WOOD MULCH. ALL TREE RINGS TO RECEIVE SPADE EDGE.
- ALL PLANTING BEDS SHALL HAVE STEEL EDGING.
- ALL LANDSCAPE BED CURVES SHALL BE SMOOTH AND NOT SEGMENTED. SEGMENTED CURVES SHALL BE REPLACED WITH SMOOTH CURVES AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND SUMMARIZED FOR THE CONVENIENCE OF THE DEPARTMENT AND LOCAL AGENCY. CONFIRM AND INSTALL SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS DRAWN. NO ADDITIONAL PAYMENTS WILL BE MADE FOR MATERIALS REQUIRED TO COMPLETE THE WORK AS DRAWN.
- CONTRACTOR SHALL STAKE ALL PROPOSED TREE LOCATIONS PRIOR TO PLANTING. CONTRACTOR SHALL THEN NOTIFY THE FIELD ENGINEER AND OWNER ONCE THE STAKING IS COMPLETE FOR A WALK THRU REVIEW OF THE TREE LOCATIONS. FINAL TREE LOCATIONS ARE SUBJECT TO MOVING PER FINAL CONSTRUCTION AND LAYOUT. TREES SHALL BE PLANTED A MINIMUM OF 5' FROM ANY WALK OR PAVED EDGE.
- ADJUSTMENT TO STAKE LOCATIONS DUE TO DISCREPANCIES BETWEEN COORDINATES AND DIMENSIONS IS INCIDENTAL TO THE CONTRACT. NO ADDITIONAL PAYMENTS WILL BE MADE FOR THIS WORK.
- NO PERENNIAL OR ORNAMENTAL GRASS SHALL BE PLANTED WITHIN 12" IN OF ANY ADJACENT EDGE. NO SHRUB SHALL BE PLANTED WITHIN 30" ANY ADJACENT EDGE.
- ALL PLANT MATERIAL SHALL BE PRODUCED BY A NURSERY, BE HEALTHY AND FREE FROM INSECTS, DISEASE OR INJURY. SPECIMENS SHALL EXHIBIT NORMAL HABIT OF GROWTH TYPICAL FOR THE SPECIES. PLANT SIZE SHALL BE EQUAL TO OR EXCEEDING THE SIZE LISTED IN THE PLANT LIST.



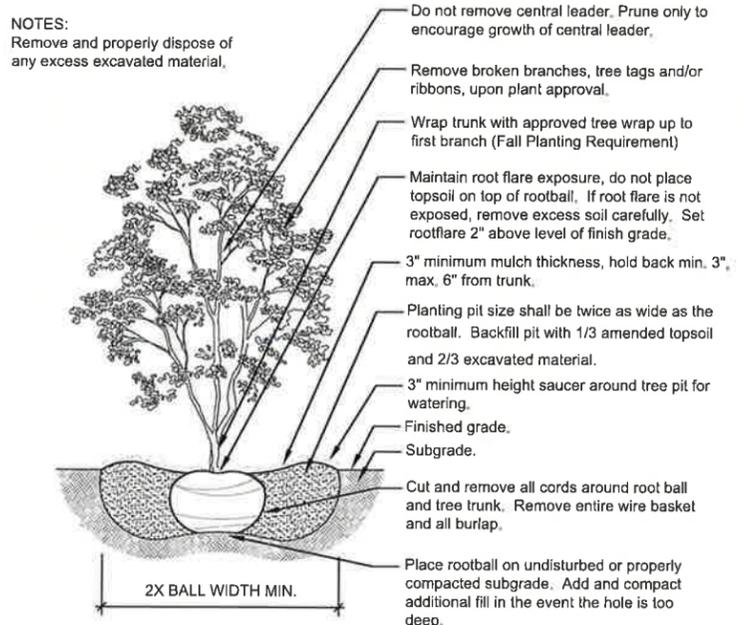
1 NATIVE AREA MARKER  
L2  
DETAIL  
Not To Scale



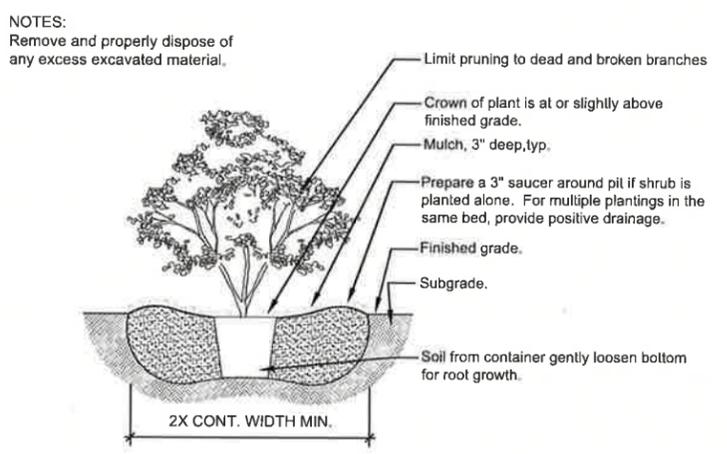
1 DECIDUOUS TREE PLANTING DETAIL  
L3 Not To Scale



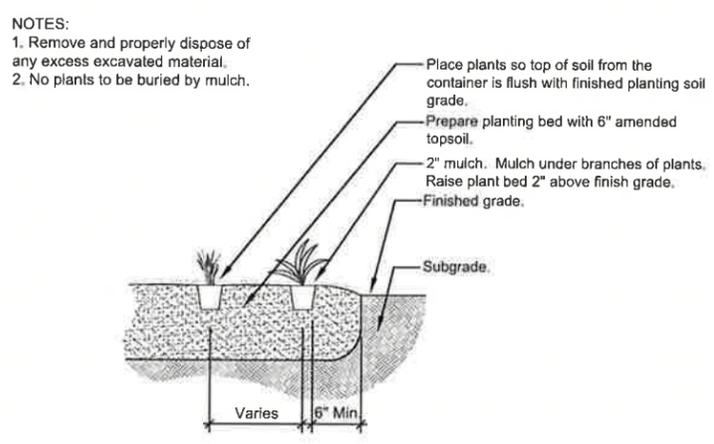
2 DECIDUOUS TREE STAKING DETAIL  
L3 Not To Scale



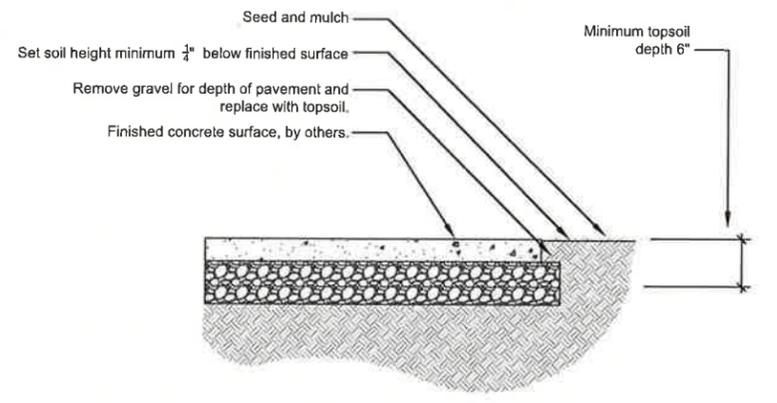
3 ORNAMENTAL TREE PLANTING DETAIL  
L3 Not To Scale



4 SHRUB PLANTING (CONTAINER) DETAIL  
L3 Not To Scale



5 PERENNIAL PLANTING DETAIL  
L3 Not To Scale



6 SEEDING ALONG SIDEWALK DETAIL  
L3 Not To Scale

PROJECT NO.:	19358003	SCALE:	AS SHOWN	NO.:		DATE:	
PROJECT DATE:	10/18/18	DRAWN BY:	TAW	REVISION:		BY:	
F.B.:		CHECKED BY:	KCL				

**PRELIMINARY** MSA

ENGINEERING | ARCHITECTURE | SURVEYING  
FUNDING | PLANNING | ENVIRONMENTAL

5237 VERONA ROAD  
BSH COMPANIES  
CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

PLANTING DETAILS

FILE NO.  
19358003  
SHEET  
L 3