

## **FITCHBURG SENIOR HOUSING, LP**

6515 Grand Teton Plaza, Suite 300  
Madison, WI 53719

December 17, 2019

City of Fitchburg  
Planning & Zoning  
5520 Lacy Road  
Fitchburg, WI 53711

Re: Minor Modification to PDD-SIP for Fitchburg Senior Housing, LP

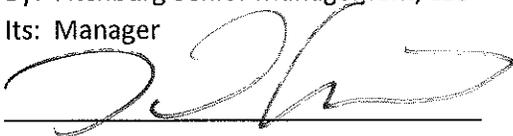
Fitchburg Senior Housing, LP would like to propose a minor modification to the Planned Development District Specific Implementation Plan for Lot 3 of CSM 12064, to be known as The Highline Senior Apartments (Zoning Ordinance Number 2018-O-47).

- Currently, item (A).6. of Zoning Ordinance 2018-O-47 states that signage shall follow the sign regulations for multi-family residential zoning districts as identified in Chapter 26, Sign Ordinance. We are proposing one (1) blade sign of approximately 120 SF and three (3) address number signs of approximately 9 SF each. The total signage for the property will be less than 150 SF. Please see attached sign renderings. Our goal is to create an attractive iconic sign that addresses prospective residents on Fish Hatchery and creates a landmark presence in this up and coming neighborhood. The blade sign is similar to the one shown graphically on our original submittal and is necessary given the speed of travel on Fish Hatchery and the grading and prairie landscaping that is scheduled for the east property line. The signage will be located entirely on our property and is outside of the new Right of Way.

Thank you very much for considering this request.

Sincerely,

Fitchburg Senior Housing, LP  
By: Fitchburg Senior Ventures, LLC  
Its: General Partner  
By: Fitchburg Senior Management, LLC  
Its: Manager

A handwritten signature in black ink, appearing to read 'D. Gevers', is written over a horizontal line.

By: David Gevers, Vice President

# FITCHBURG SENIOR APARTMENTS

FITCHBURG, WISCONSIN

**E. J. PLESKO**  
—  
& ASSOCIATES, INC.



MINOR PDD-SIP MODIFICATION

**CONTENTS:**

- PAGE 3 PROJECT LOCATION & GENERAL DESCRIPTION
- PAGE 4 LEGAL DESCRIPTION
- PAGE 5 RATIONALE FOR A PLANNED DEVELOPMENT DISTRICT
- PAGE 6 ECONOMIC & SOCIAL IMPACTS
- PAGE 7 CONSISTENCY WITH COMPREHENSIVE PLAN
- PAGE 10 LAND USE
- PAGE 11 SITE DESIGN & ZONING STANDARDS
- PAGE 13 SIGNAGE
- PAGE 14 ENVIRONMENTAL BENEFITS OF PLANNED DEVELOPMENT ZONING
- PAGE 15 PROPERTY MANAGEMENT
- PAGE 16 PROJECT IMPLEMENTATION/ NEIGHBORHOOD INPUT
- APPENDIX 'A' SIP CIVIL PLANS AND DETAILS
- APPENDIX 'B' SIP LANDSCAPE PLANS AND DETAILS
- APPENDIX 'C' SITE LIGHTING PLAN
- APPENDIX 'D' SIP ARCHITECTURAL SITE PLAN, FLOOR PLANS, & ELEVATIONS
- APPENDIX 'E' SIGANAGE PLANS

**PROJECT TEAM:**



E.J. PLESKO & ASSOCIATES, INC.  
 6515 Grand Teton Plaza, Suite 300  
 Madison, Wisconsin 53719  
 Contact: David S. Gevers  
 608.833.7600 x219



JLA ARCHITECTS + PLANNERS  
 2418 Crossroads Drive, Suite 2300  
 Madison, Wisconsin 53718  
 Contact: Marc Ott  
 608.241.9500



D'ONOFRIO KOTKE & ASSOCIATES, INC.  
 7530 Westward Way  
 Madison, Wisconsin 53717  
 Contact: Bruce Hollar

608.833.7530

## PROJECT LOCATION & GENERAL DESCRIPTION

The Fitchburg Senior Apartments will be a quality residential community serving the increased demand for senior housing in the Fitchburg area over the next five years and beyond. It will be located on a 2.956 acre parcel at the corner of Fish Hatchery Road and Traceway Drive.

### Surrounding Context

The project site is surrounded by existing businesses, a public golf course, an elementary school, several parks and recreation areas, and a mix of residential apartments and homes.

### Existing Topography & Wetlands

The project site has a change in elevation of about 25 feet from the southern site boundary abutting the golf course to the northern site boundary of Traceway Drive. A majority of this site has an elevation change of only about 14 feet until it drops off to its full depth at the southeastern corner. There are no wetlands within the boundary of the parcel.

### Existing Vegetation

The project site currently has trees scattered along the edges of the parcel with the highest density abutting the Nine Springs Golf Course and is otherwise a vacant lot with an open grass area.



### LEGAL DESCRIPTION

All of Lot 3, Certified Survey Map Number 12064, recorded as Document Number 4280556, Dane County Registry, located in part of the SE 1/4 of the NW 1/4 and part of the SW 1/4 of the NE 1/4 of Section 3, and all of Lot 2, Certified Survey Map Number 12276, recorded as Document Number 4364106, Dane County Registry, located in part of the SE 1/4 of the NW 1/4 of Section 3, all in T6N, R9E, City of Fitchburg, Dane County, Wisconsin.

Containing 435,556 square feet (10.000 acres)



## RATIONALE FOR A PLANNED DEVELOPMENT DISTRICT

We believe there is a need to take advantage of the option for Planned Development District Zoning for the Fitchburg Senior Apartments in order to accomplish the goals of providing a quality infill development and maintain the more urban feel desired.

To accomplish these goals, we reference the City's Ordinance with the following reasons:

- Section 22-144 – Permitted Uses (3): Only permits up to 8 units per building. While we realize dwelling structures having greater than eight dwelling units are allowed as a Conditional Use (per 22-145 (6)), we desire the long-term stability afforded under a permanent zoning classification.
- Section 22-146 – Dimensional Standards (2) b: Requires a minimum of 2,000 square feet of lot area per each Efficiency unit, 2,200 square feet of lot area per each 1 bedroom unit, 2,400 square feet per each 2 bedroom unit, and 2,700 square feet per each 3 bedroom unit, with the provision that each structured parking space reduces the minimum lot area by 500 square feet. With our proposed unit mix and total unit count of 160 units, this standard would require a parcel of 313,200 square feet or 7.19 acres, over double our parcel size of 2.956 acres.
- Section 22-146 – Dimensional Standards (2) c: Restricts lot size to a maximum of 90,000 square feet. We are utilizing one developable lot for this project with an area of 128,782 square feet, or 2.956 acres.
- Section 22-146 – Dimensional Standards (4): Sets the minimum front setback (Fish Hatchery Road) at 30 feet. In order to keep with our desire to provide a more urban feel to multi-family residential developments, we propose a minimum setback of 2.0 feet.

- Section 22-146 – Dimensional Standards (5): Sets the minimum side setback at 10 feet. In order to keep with our desire to provide a more urban feel to multi-family residential developments, we propose a minimum setback of 5.0 feet.
- Section 22-146 – Dimensional Standards (6): Sets the minimum street side setback (Traceway Drive) at 25 feet. In order to keep with our desire to provide a more urban feel to multi-family residential developments, we propose a minimum setback of 2.0 feet.
- Section 22-146 – Dimensional Standards (8): Restricts the maximum building height to 45 feet or 3 stories, whichever is less. We are planning 4-stories of residential on top of an underground parking structure that is partially exposed due to grading on site. While we realize dwelling structures having greater than 3 stories is allowed as a Conditional Use (per 22-146 (8)), we desire the long-term stability afforded under a permanent zoning classification.

**ECONOMIC & SOCIAL IMPACTS**

We believe that this project will have positive economic & social impacts on the area.

Property Values and Tax Revenue

This project represents a total investment of over \$30,000,000. It is estimated that this project would have a total assessed value of approximately \$12,550,000. At this value, using the City’s 2017 property tax rate the following estimated tax receipts to the community could be realized annually:

Dane County:	\$39,730.00
City of Fitchburg:	\$107,300.00
Madison Metropolitan School District:	\$121,630.00
<u>Madison Area Tech. College:</u>	<u>\$11,890.00</u>
<b>Total Projected Annual Property Tax:</b>	<b>\$280,550.00</b>

In addition to the value of this specific project, the surrounding properties could realize an increase in values because of this project - thus creating additional tax revenues.

Impact Fees

This project should generate the following estimated Impact Fees to the City (2018 fees listed) based on the fact there has been a prior dedication of 127 units for Park Improvement Fees:

Park Improvement Fee:	33 units x \$160 =	\$5,280.00
Fire Protection Fee:	(79) 1BR x \$311 =	\$24,569.00
	(81) 2BR x \$466 =	\$37,746.00
<u>Water Impact Fee:</u>	<u>160 units x \$800 =</u>	<u>\$128,000.00</u>
<b>Total Projected Impact Fees:</b>		<b>\$195,595.00</b>

Any fee in lieu of Street Frontage for Parks per Ordinance 24-15(e) and 22-647(3), or Parkland Dedication per Ordinances 24-2(d)(2)(a) and 24-2(d)(2)(e) shall be established by the time of the Final Plat.

Social Impacts

Although social impacts cannot be predicted or quantified, we believe that this project will also have a positive social impact on the area.

- The addition of this quality residential community should improve the perceived image of the immediate area.
- The addition of this quality residential community will help to keep existing residents in Fitchburg and bring new residents into Fitchburg.
- The addition of this quality residential community could serve as a catalyst for other uses - such as retail & commercial - to locate in the immediate area.
- The addition of this quality residential community could serve as an example for future development - creating higher standards in design & living amenities.

Affordability

This project will feature Federal and State low income housing tax credit units with an average unit income restriction of 60% County Median Income. The unit mix offers residents the choice between 1 bedroom, 1 bedroom plus den, and 2 bedroom units featuring modern amenities such as an open floor plan, in unit washer and dryer, storage closets, and outdoor patio/balcony areas.

**CONSISTENCY WITH COMPREHENSIVE PLAN**

This project complies with the City of Fitchburg's Comprehensive Plan. Specifically, the following is an analysis of how this project meets or advances the goals, objectives, and policies outlined in the Comprehensive Plan.

**Land Use Goal 1:**

This project preserves and enhances the natural and agricultural resources of the City as follows:

Objective 1: This project is consistent with the long term urban growth map and related phasing plan.

Policies: (2) This project will be served by gravity flow sanitary sewer  
(3) This project is being developed on an urban infill site within the urban growth boundary and is not replacing high quality agricultural lands.

Objective 2: This project is protecting environmental resources by using high density, sustainable development, and revitalization of underutilized land.

Policies: (2) This project is not within or near identified wetlands.  
(7) This project is not within or near identified floodplains

**Land Use Goal 2:**

This project is a compact urban community that is visually and functionally distinct from the rural and agricultural community.

Objective 1: This is a project that is a significant reinvestment in the community as a redevelopment of urban infill land.

Policies: (1) This is a redevelopment of land in accord with the Future Land Use map.

Objective 2: This is a project that will restore underutilized land within current commercial and residential neighborhoods.

Policies: (2) A plan for redevelopment has been established to help guide the use of City resources.

Objective 3: This is a compact development that will have a logical and sustainable mix of uses and will preserve open space and natural areas within the surrounding area by utilizing higher density design.

Policies: (1) This project provides in-demand senior residential rental units utilizing low income housing tax credits.  
(2) This project fits in well with the existing and planned infrastructure and land uses.

Objective 5: Utilities and infrastructure are being extended to this project in an efficient manner.

Policies: (1) This project is within the urban growth boundary.  
(3) This high-density project is located at the intersection of Traceway Drive and Fish Hatchery Road, and is therefore consistent with proposed functional roadway classifications.

Objective 6: This project's location encourages options to alternative transit modes.

Policies: (1) This project falls along an existing bus route and future pedestrian multi-use path.

Objective 7: This project is within the urban service area.

Policies: (3) This project is within the urban service area.

Objective 8: This project is consistent with the Future Land Use map.

Policies: (1) PDD zoning is consistent with the High Density Residential land use designation and the Future Land Use map.

**Natural Resources Goal 1:**

This project will protect the natural environment.

Objective 3: This project will protect natural resources

- Policies:
- (1) This project will meet all current City storm water control requirements.
  - (2) This project will meet all current City erosion control requirements.
  - (3) This project will meet all current Floodplain and Wetland ordinances. There are no floodplains or wetlands within the project boundary.
  - (5) This project is not developed on private septic.

**Natural Resources Goal 2:**

This project will provide public access to natural areas.

Objective 1: This project will dedicate sufficient lands for recreational purposes.

- Policies:
- (1) This project will provide accessible parks within a convenient distance.

**Housing Goal 1:**

This project will provide a much in-demand housing choice: Senior low income housing tax credit rental units.

Objective 1: This project promotes the development of housing to meet the current and future needs of senior residents within the City.

- Policies:
- (1) This project is an efficient use of land in the urban service area and provides for multi-modal friendly densities.
  - (2) This project adds variety to the area.
  - (4) This project will meet the demand of income qualified senior residents within the community.

Objective 2: This project promotes the development of housing for low to moderate income residents.

- Policies:
- (1) This project promotes high level, quality sustainable construction by implementing higher standards in design and living amenities.
  - (2) This project will utilize federal and state low income housing tax credits.
  - (3) This project will provide affordable housing for low-income persons.

**Housing Goal 2:**

This project makes efficient use of land for housing.

Objective 1: This project is a compact neighborhood.

- Policies:
- (1) This project creates compactness and efficiency which helps preserve rural land resources.
  - (2) This project will provide a variety of housing types by offering one-bedroom, one-bedroom plus, and two-bedroom units as well as various open space uses.
  - (3) The boundary of this project site does not fall within an environmental corridor.
  - (4) This infill project makes wise use of underutilized land in the current urban service area, where service provisions already occur.
  - (5) We are proposing higher but livable residential density, which promotes wise use of the land resource and reduces land located elsewhere required to meet housing demand. This helps to preserve agricultural and other open space land outside the urban service area.
  - (6) By utilizing the PDD design review process, the City will be allowed to ensure sound, sustainable housing design.

Objective 2: This residential development is occurring in an area with existing infrastructure and sewer.

Policies: (1) This residential housing project is located in an area served by full urban services, including sanitary sewers and public water with convenient access to community facilities, retail centers, and to arterial highways.  
 (2) This project is not an unsewered development.

**Utilities Goal 1:**

This project will provide and maintain high quality public utility services.

Objective 1: This project will provide and maintain an adequate supply of safe water for drinking and fire protection needs.

Policies: (1) This project will meet all requirements of the Safe Drinking Water Act.

**Utilities Goal 2:**

This project will maintain and extend existing public utility systems within the urban development boundary.

Objective 1: This project will maintain and improve the condition of existing sanitary sewer and water infrastructure.

Policies: (4) This project will be served with gravity flow sanitary sewer.

Objective 2: This project is being developed within the existing urban service area and adjacent to existing public infrastructure.

Policies: (3) Utilities will not be placed in wetlands or other environmentally sensitive areas.

**Utilities Goal 4:**

This project will improve the Fitchburg park and open space system.

Objective 1: This project will provide park space to help meet outdoor recreation needs.

Policies: (3) This project will meet the requirements of dedication of park land or park fees.

**Transportation Goal 1:**

This project is part of a coordinated land use and transportation system.

Objective 1: This project is a compact, urban development.

Policies: (1) This project features buildings closer to the sidewalks, street trees, street lighting, lower parking ratios, structured parking, and parking behind buildings.

**Transportation Goal 2:**

In conjunction with this project, a safe and efficient transportation system will be provided for the neighborhood.

Objective 2: This project will maintain a transportation system that allows for proper traffic management.

Policies: (2) The pattern of streets and sidewalks in the project area will maximize the connectivity of land uses within the neighborhood and to areas outside the neighborhood.  
 (4) The streets in this project area are interconnected to preserve mobility and avoid travel delays.  
 (6) This project is not located with direct access to major streets and roadways.  
 (7) This project is not located with direct access to major streets and roadways.

## LAND USE

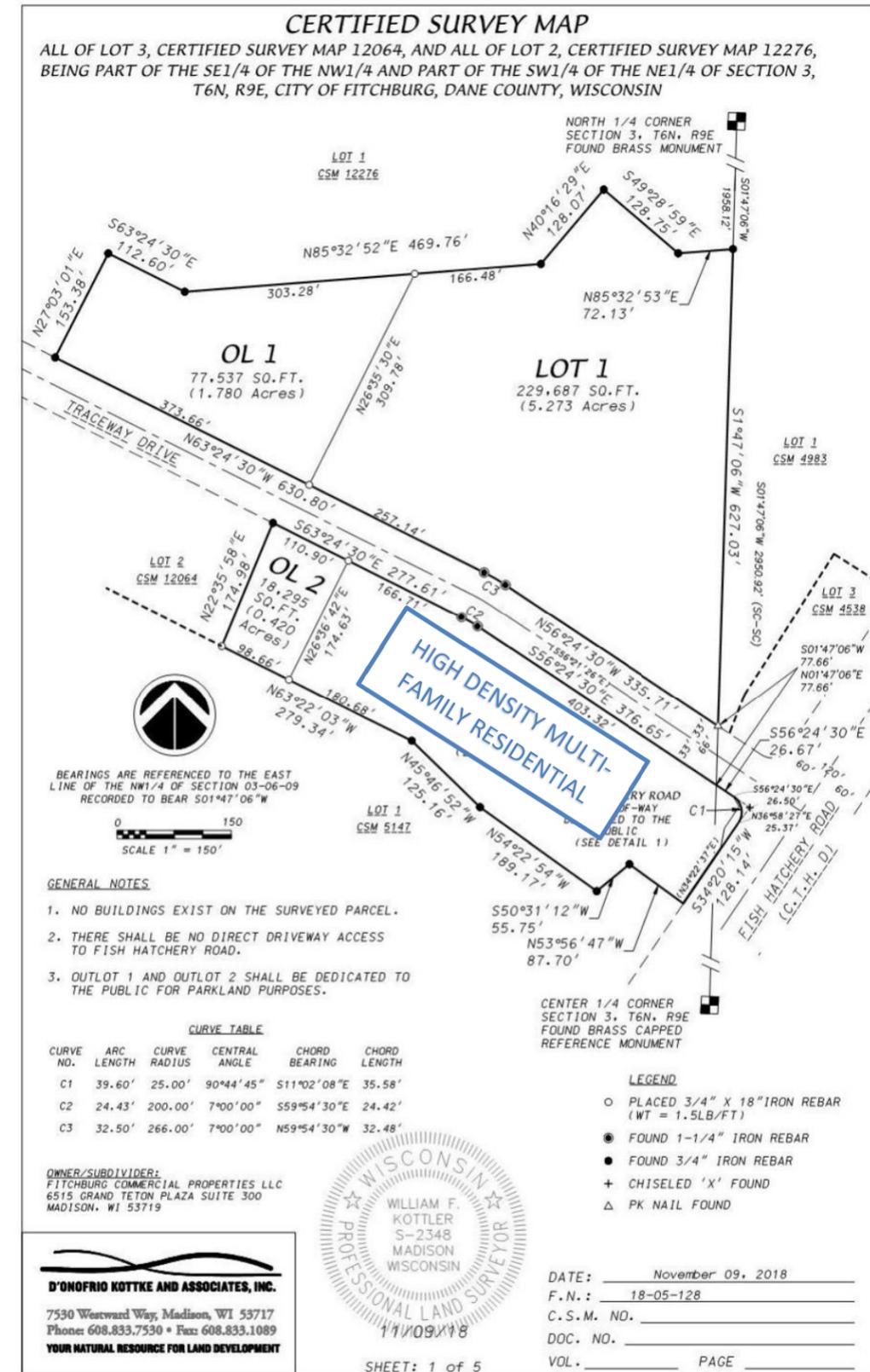
When complete, this project will contain multi-family residential use. This 2.956 acre parcel will be consistent with the City's Comprehensive Plan with a High Density Multi-Family Residential Use. It will have 160 senior low income housing tax credit units along with their associated common amenity spaces. At the time of this Specific Implementation Plan, the mix of residential units is as follows:

- Studio Units: 0%
- 1 or 1 Bedroom+Den Units: 49%
- 2 or 2 Bedroom+Den Units: 51%

Within each unit type there will be a variety of unit sizes - with an average unit size of approximately 810 square feet. This mix of unit types & sizes will serve a variety of potential residents.

In addition to the residential units themselves, the project will contain various common space amenities integrated within the building or around the site. At the time of this Specific Implementation Plan, the anticipated common amenities are:

- On-site Management/ Leasing Office
- On-site parcel room
- Commons Area featuring screened-in patio and fireplaces
- Fitness Center
- Connection to Walking Paths
- Connection to existing bus routes
- Other Green and/or Open Space for passive and active activities



Nov 09, 2018-11:01am U:\User\1805128\Drawings\1805128 CSM.dwg Printed by: wkottler

## SITE DESIGN & ZONING STANDARDS

The Masterplan of Fitchburg Senior Apartments has been thoughtfully designed to address numerous site challenges including the existing topography and project identity.

### Masterplan Design Highlights:

- The building is located & orientated to address the street edge and to help define the public realm.
- Surface parking is kept to the interior of the site to reduce its visual impact from the public streets.
- Pedestrian pathways not only connect the site internally, but also connect the project site with adjacent parcels.
- The site design features parkland dedication that can be utilized as a passive activity area for the residents.

### Off Street Parking:

The City's typical parking requirement is 2.0 parking stalls per residential dwelling unit. Based on our experience with senior housing developments, and considering the unit mix, we find that this requirement would be excessive. Therefore, we are proposing a minimum of 1.13 parking stalls per dwelling unit. We believe that providing this level of parking will be appropriate for this project, will allow the site to have less impervious paving, and will minimize the visual impact of surface parking on the site and the surrounding areas.

### Off-Street Bicycle Parking:

In addition to off-street vehicular parking, we are proposing a minimum of 0.25 bicycle parking stalls per dwelling unit. Exterior stalls are located with proximity to the entrances of the building. For long-term storage, bike racks are proposed within the Lower Level parking area.

### Storm Water Management Overview:

Storm water management for this site will be satisfied with the construction of a below grade management system located beneath the parking areas. All storm water management will remain within the site boundaries. All City of Fitchburg ordinance requirements will be met.

Maintenance of all storm sewer structures and pipes within the development parcel will be the responsibility of the property Owner.



Landscape Design:

The new landscape design for this project will meet all City of Fitchburg landscape design requirements. Please see Appendix 'B' of this document for the SIP Landscape Plan.

Refuse & Recycling Storage & Removal:

This building will have a refuse & recycling room in the Lower Level centrally located near the elevator. A private waste management company will be contracted to provide recycling & refuse services as appropriate for the development.

Specific Implementation Plan Data

At the time of this Specific Implementation Plan, the Masterplan Data is as follows.

FITCHBURG SENIOR APARTMENTS - CONCEPTUAL MASTERPLAN DATA							NOVEMBER 20, 2018			
BUILDING					PARKING					
NAME	USE	FOOTPRINT	FLOOR AREA	UNITS	COVERED	SURFACE	TOTAL	RATIO		
A1	Multi-Family	40,979 S.F.	39,228 S.F.	160	110	75	185	1.156 / UNIT		
<b>TOTALS</b>		<b>40,979 S.F.</b>	<b>39,228 S.F.</b>	<b>160</b>	<b>110</b>	<b>75</b>	<b>185</b>	<b>1.156 / UNIT</b>		

FITCHBURG SENIOR APARTMENTS ZONING REQUIREMENT DATA – AS OF NOV. 20, 2018 (SUBJECT TO CHANGE)						
ZONING REQUIREMENT	CURRENT DESIGN VALUE		CALCULATIONS			
SITE DENSITY	54.13	Units/Acre	160	Units	/	2.956 AC. = 54.13
BUILDING COVERAGE	31.8%	of Parcel	40,979	S.F.	/	128,782 S.F. = 31.8%
LANDSCAPE AREA	41.8%	of Parcel	53,792	S.F.	/	128,782 S.F. = 41.8%
IMPERVIOUS SURFACE	57.9%	of Parcel	74,615	S.F.	/	128,782 S.F. = 57.9%
FLOOR AREA RATIO	123.2%	of Parcel	158,663	S.F.	/	128,782 S.F. = 123.2%

FITCHBURG SENIOR APARTMENTS BICYCLE PARKING – AS OF NOVEMBER 20, 2018						
BUILDING		BICYCLE PARKING				
NAME	UNITS	COVERED	SURFACE	TOTAL	RATIO	
BUILDING 'A1'	160	23	22	45	0.28	PER UNIT
<b>TOTALS</b>	<b>160</b>	<b>23</b>	<b>22</b>	<b>45</b>	<b>0.28</b>	<b>PER UNIT</b>

**Planned Development Zoning Standards**

Under the proposed Planned Development Zoning, the project shall meet the following Zoning Standards:

- Residential Density: 55 units per acre (maximum)
- Building Height: Maximum of 4 Stories and Maximum 65 feet
- Front Street Setback: 2.0' (minimum)  
(Fish Hatchery Road) Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Side Street Setback: 2.0' (minimum)  
(Traceway Drive) Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Side Yard Setback: 5.0' (minimum)  
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Rear Yard Setback: 25.0' (minimum)  
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Building Coverage: 35% of Parcel Area (maximum)
- Floor Area Ratio: 1.25 (maximum)
- Impervious Surface Ratio: 65% of Parcel Area (maximum)
- Off-Street Parking: 1.13 Auto Spaces per Dwelling Unit (minimum)
- Off-Street Bicycle Parking: 0.25 Bike Spaces per Dwelling Unit (minimum)

**SIGNAGE**

Sec. 26-60. - Setback requirements.

In zoning districts where setbacks are required for building construction, no part of any sign shall extend over the property line. Any signs projecting over sidewalks shall have a minimum of eight feet of clearance. No sign shall be located within or over any public street right-of-way unless a street encroachment permit approved by the common council has been issued therefor.

Sec. 26-61. - Height requirements.

No part of any sign shall be more than 25 feet in perpendicular height above the nearest established street grade.

Sec. 26-82. - On-site signs.

- a) A flat sign shall be permitted on the face or side of any principal building. The total area of such sign or signs shall not exceed one-tenth of the area of the face or side (including doors and windows) of the principal building, provided that the total area of such sign or signs shall not exceed 150 square feet.
- b) A projecting sign which is attached to a building shall not extend into the street right-of-way. The total area (in square feet) of a projecting sign shall not exceed 32 on one side or 64 on both sides. The total area of a projecting sign on the face or side of a principal building in combination with a flat sign shall not exceed one-tenth of the area of the face or side of the building.
- c) Two detached signs shall be permitted for any building subject to the following:
  - 1) The detached signs shall not project closer than one foot from the street right-of-way.
  - 2) The area of the detached sign or signs shall not be greater than 150 square feet on either side.
  - 3) The maximum height of any detached sign shall be 25 feet.

- d) The total signed area per business shall not exceed 150 square feet.

Sec. 26-121. - Multifamily residential districts.

In multifamily residential districts, no sign shall be permitted, except the following:

- 1) Signs permitted in a single-family residential district.
- 2) A sign identifying an apartment/townhouse complex not to exceed a maximum of 40 square feet per sign. Total signage allowed shall not exceed 150 square feet. A sign identifying an apartment/townhouse complex may be allowed up to 80 square feet if the following criteria are met:
  - a. Complex is set back a minimum of 150 feet from a street or street intersection due to a publicly dedicated stormwater facility; and
  - b. Sign is placed on a water feature or retaining wall that is incorporated into the design of the project; and
  - c. Total signage allowed for the complex, including this sign, shall not exceed 150 square feet; and
  - d. All other aspects of chapter 26 sign ordinance are met.
- 3) A sign advertising the sale or rental of the premises or any part thereof. Any such sign six square feet or less is exempt under section 26-4(8). Nonexempt signs are permitted according to the number of residential units in the building or complex involved as follows:

Number of Residential Units	Maximum Sign Area
Four to 15	12 square feet
16 or more	35 square feet

Sec. 26-125. - Planned development districts.

In planned development districts, a master sign program can be developed to create a coordinated system of signing which will be effective, fair and reasonable for all parties concerned, including the city, the developers and surrounding property owners, as determined by the city council. Such a program may involve relaxing sign number and area standards and shall be included with the general development plan of the proposed planned development district

Proposed Project Signage

We are proposing one (1) blade sign of approximately 120 SF and three (3) address number signs of approximately 9 SF each. The total signage for the property will be less than 150 SF. Please see attached sign renderings in Appendix E. Our goal is to create an attractive iconic sign that addresses prospective residents on Fish Hatchery and creates a landmark presence in this up and coming neighborhood. The blade sign is similar to the one shown graphically on our original submittal and is necessary given the speed of travel on Fish Hatchery and the grading and prairie landscaping that is scheduled for the east property line. The signage will be located entirely on our property and is outside of the new Right of Way.

**ENVIRONMENTAL BENEFITS OF PLANNED DEVELOPMENT ZONING**

The Environmental Benefits of using Planned Development District Zoning for this project comes from the greater flexibility in both density & zoning standards that is allowed under PDD Zoning than would be allowed under the City's High Density Residential Zoning.

Reduction of Sprawl

Because of PDD Zoning, more units can be developed on this site. Therefore, this development can help meet the increasing need for residential units on less land area than would otherwise be required under the City's High Density Residential Zoning.

Less Impervious Surface Area

Because of PDD Zoning, there is greater flexibility in the amount of vehicular parking that must be provided on site. In our Development Team's experience, the parking requirements of the City's High Density Residential Zoning District are excessive for this project - and would result in more impervious surface area across the site than what our plan proposes. Utilizing PDD Zoning for this project will decrease run-off and allow additional landscaped areas.

Enhanced Public Realm

With PDD Zoning, the site can be designed to enhance the character and visual aesthetics of the public realm. Under PDD Zoning, the building setbacks can be reduced to allow the buildings to be located & orientated to address the street edge and to help define the public realm. This also provides additional land area behind the buildings - so surface parking can be kept to the interior of the site and reduce its visual impact on the public streets.

## PROPERTY MANAGEMENT- OAKBROOK CORPORATION

At Oakbrook Corporation, we manage our clients' properties from an owner's perspective with expertise that has developed during an extended period of property ownership by the company's principals. We apply the same thoughtful, aggressive, goal-oriented approach to the management of our clients' properties as we do in successfully managing our own. We understand the importance of protecting your asset, providing customer service to your tenants, and being cost efficient. Our residential management group manages over 7,200 residential apartment homes throughout the Midwest with extensive experience in market rate, mixed use, affordable, and senior housing.

Oakbrook is a Madison-based company; our management group and owners reside just 15 minutes from your properties. We know the market, we know the vendors, and most importantly we know how to manage your real estate at the highest level.

### Property Management Team

Oakbrook Corporation continuously recruits individuals that have a passion for real estate, an unwavering commitment to continuous improvement, and an understanding that integrity and excellence are the cornerstones of success. We believe that our associates are our most valuable resource, enabling us to maintain a distinct advantage within our industry.

- Vice President of Property Management: Provides strategic division leadership for the residential portfolio and directs regional and support teams for execution of operations and overall portfolio performance. Acts as client relations liaison to execute short and long term objectives, client success, and partnership growth.
- Regional Property Managers: Provides oversight to the area managers for overall performance guidance and direction of property and client objectives. Acts as client relations liaison to identify and exceed client expectations.
- Area Managers: Provides oversight to the on-site management teams and works with the support teams to achieve property performance and client expectations.

- On Site Teams: Executes daily operations and acts as owner's representative to deliver exceptional customer service and performance for internal and external customers.
- Director, Recruiting, and Corporate Marketing: Recruits top talent to ensure employees experience, education, and performance align with client expectations. Assists with portfolio wide marketing execution to ensure consistent brand awareness.
- Director of Training and Employee Development: Provides on board and recurring one-on-one training for on-site teams directed at operational, financial, and property specific performance.
- Director of Compliance: Provides oversight to the compliance department for overall performance guidance and direction of affordable housing compliance in accordance with federal and state programs guidelines.

### PROCESS

Our process starts at project inception, where our Vice President of Property Management and Regional teams independently evaluate and make recommendations on design, market, revenue and expense assumptions, and overall client expectations to ensure optimum performance.

Pre-Leasing begins six months prior to unit delivery with active marketing, customer service, and prospect communication. Internet presence and print materials are created to ensure the prospects have a complete leasing experience. We keep a pulse on the market by completing market studies of competitors on a monthly basis and attending relevant, local events to create and maintain awareness.

Permanent on-site team members are hired during the pre-leasing process to ensure all residents begin the customer service relationship from the beginning. The property manager is responsible for all lease up activities with constant support from the corporate team. All prospects are screened through a 3<sup>rd</sup> party system to ensure each resident meets the specific resident selection criteria outlined for the property. This screening includes income, credit, and criminal verification in accordance with federal, state, and local ordinances.

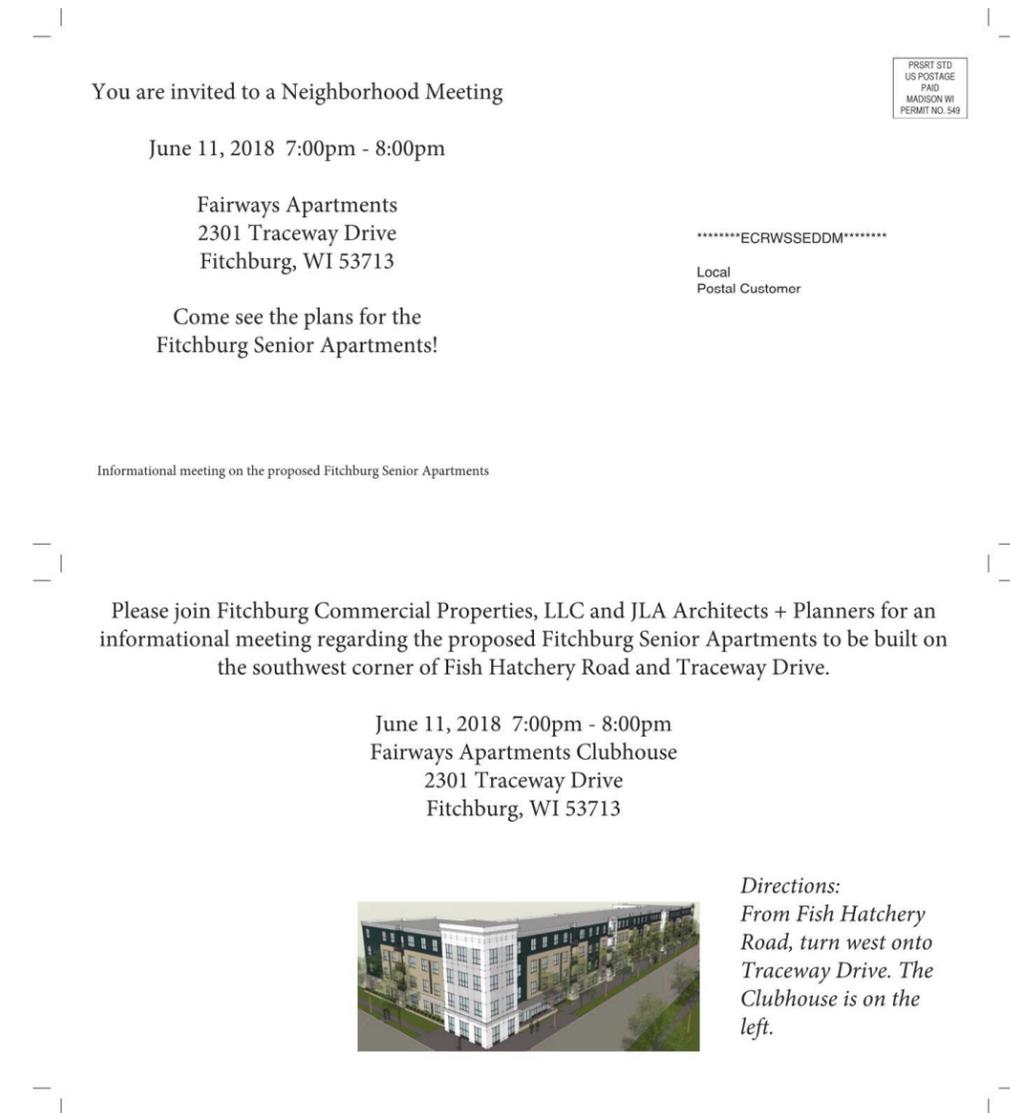
## PROJECT IMPLEMENTATION

The construction of the Fitchburg Senior Apartments is anticipated to maintain the following schedule in one single phase with completion in March of 2020:

<u>Building</u>	<u>Schedule</u>
'A1'	Anticipated Construction Start – February 2019

## NEIGHBORHOOD INPUT

On June 11, 2018, E.J. Plesko & Associates, Inc. hosted a Neighborhood Meeting at the property adjacent to the subject site. Several residents from surrounding properties attended as well as City staff and the development team. The proposed development and its features, including affordability, was discussed at length. The guests asked several great questions regarding the building design, affordability, timing, senior services, transportation routes, etc. Overall, there was significant support for the project and no objections. Several of the attendants requested that they be added to a waiting list to apply for one of the units.



APPENDIX 'A'  
MINOR PDD&SIP MODIFICATION  
CIVIL PLANS AND DETAILS

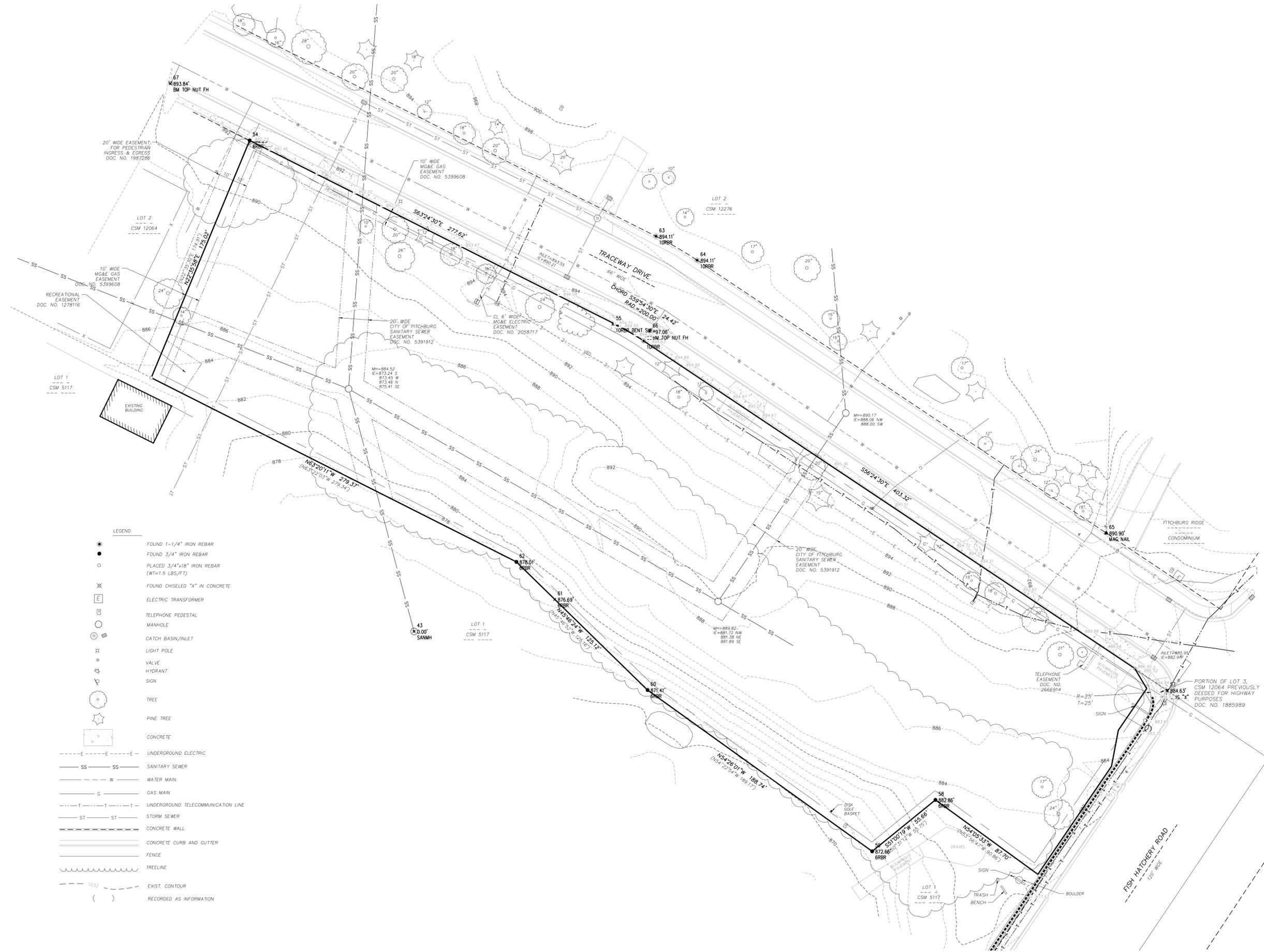
EXISTING CONDITIONS SURVEY  
**FITCHBURG SENIOR APARTMENTS**  
 TRACEWAY DRIVE  
 FITCHBURG, WISCONSIN



SCALE: 1" = 30'  
 (PAGE SIZE: 24x36)

DATE: 01-16-2019  
 REVISED:

DRAWN BY:  
 FN: 18-05-128  
 Sheet Number:  
**COO1**



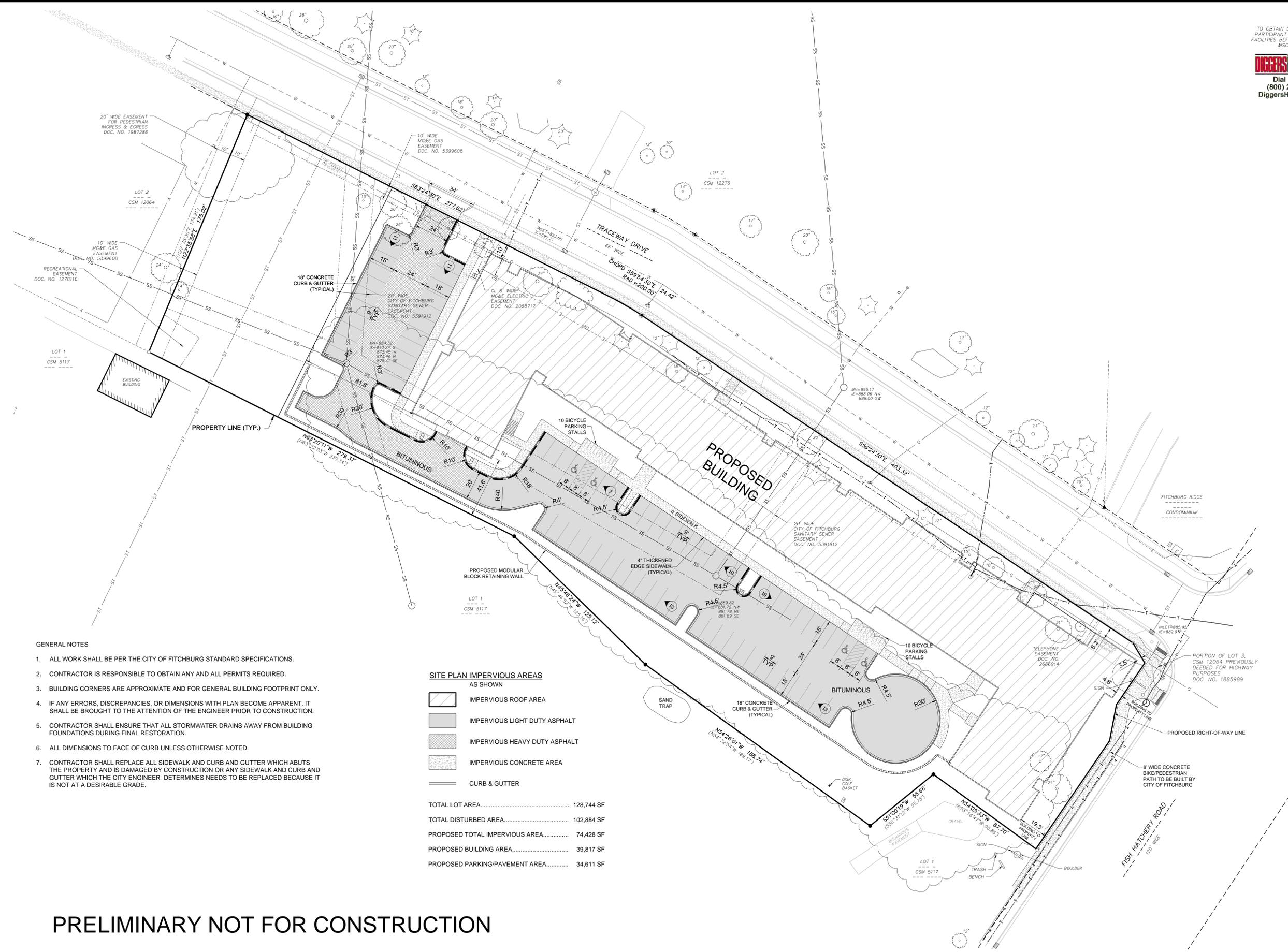
- LEGEND**
- FOUND 1-1/4" IRON REBAR
  - FOUND 3/4" IRON REBAR
  - PLACED 3/4"x18" IRON REBAR (WT=1.5 LBS/FT)
  - ✕ FOUND CHISELED "X" IN CONCRETE
  - ⊞ ELECTRIC TRANSFORMER
  - ⊞ TELEPHONE PEDESTAL
  - MANHOLE
  - ⊞ CATCH BASIN/INLET
  - LIGHT POLE
  - VALVE
  - HYDRANT
  - SIGN
  - TREE
  - PINE TREE
  - ▭ CONCRETE
  - - - UNDERGROUND ELECTRIC
  - - - SS SANITARY SEWER
  - - - W WATER MAIN
  - - - G GAS MAIN
  - - - T UNDERGROUND TELECOMMUNICATION LINE
  - - - ST STORM SEWER
  - ▬ CONCRETE WALL
  - ▬ CONCRETE CURB AND GUTTER
  - ▬ FENCE
  - ~ TREELINE
  - - - EXIST. CONTOUR
  - ( ) RECORDED AS INFORMATION

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**DIGGERS HOTLINE**

Dial 811 or  
(800) 242-8511  
DiggersHotline.com

**D'ONOFRIO KOTKE AND ASSOCIATES, INC.**  
7530 Westward Way, Madison, WI 53717  
Phone: 608.833.7530 • Fax: 608.833.1089  
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



- GENERAL NOTES**
1. ALL WORK SHALL BE PER THE CITY OF FITCHBURG STANDARD SPECIFICATIONS.
  2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
  3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
  4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
  5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION.
  6. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
  7. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY AND IS DAMAGED BY CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE.

SITE PLAN

**FITCHBURG SENIOR APARTMENTS**

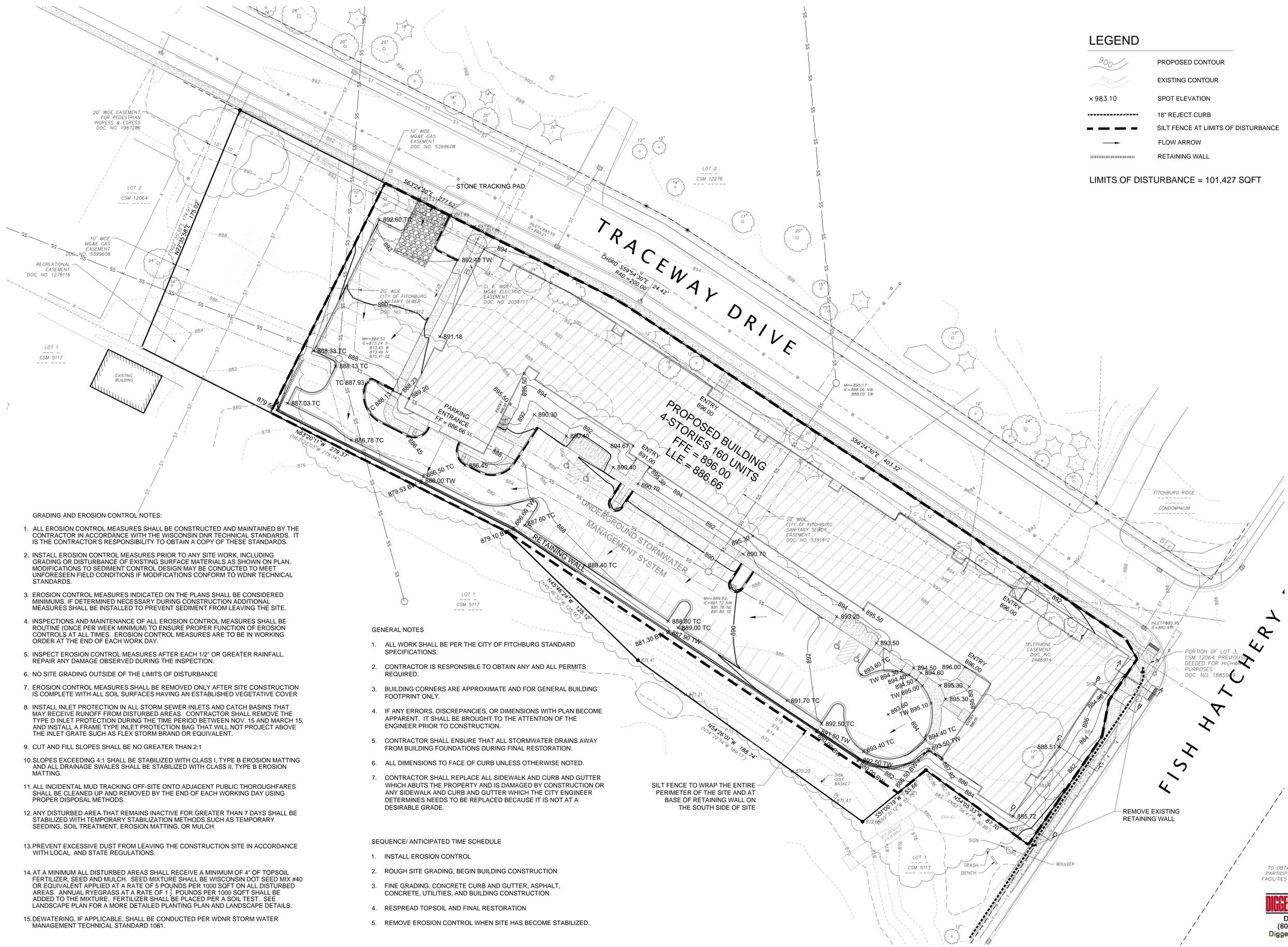
TRACEWAY DRIVE  
FITCHBURG, WISCONSIN



DATE: 01-16-2019  
REVISED:

DRAWN BY:  
FN: 18-05-128  
Sheet Number:  
**C100**

**PRELIMINARY NOT FOR CONSTRUCTION**



**LEGEND**

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
- 18' REJECT CURB
- SILT FENCE AT LIMITS OF DISTURBANCE
- FLOW ARROW
- RETAINING WALL

LIMITS OF DISTURBANCE = 101,427 SQFT

- GRADING AND EROSION CONTROL NOTES:**
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
  - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
  - EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
  - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
  - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
  - NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
  - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
  - INSTALL INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS. CONTRACTOR SHALL REMOVE THE TYPE D INLET PROTECTION DURING THE TIME PERIOD BETWEEN NOV. 15 AND MARCH 15, AND INSTALL A FRAME TYPE INLET PROTECTION BAG THAT WILL NOT PROJECT ABOVE THE INLET GRATE SUCH AS FLEX STORM BRAND OR EQUIVALENT.
  - CUT AND FILL SLOPES SHALL BE NO GREATER THAN 2:1
  - SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
  - ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
  - ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
  - PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
  - AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER. SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #0 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1.1 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST. SEE LANDSCAPE PLAN FOR A MORE DETAILED PLANTING PLAN AND LANDSCAPE DETAILS.
  - DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.

- GENERAL NOTES**
- ALL WORK SHALL BE PER THE CITY OF FITCHBURG STANDARD SPECIFICATIONS.
  - CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
  - BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
  - IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION.
  - ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY AND IS DAMAGED BY CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE.

- SEQUENCE/ ANTICIPATED TIME SCHEDULE**
- INSTALL EROSION CONTROL
  - ROUGH SITE GRADING, BEGIN BUILDING CONSTRUCTION
  - FINE GRADING, CONCRETE CURB AND GUTTER, ASPHALT, CONCRETE, UTILITIES, AND BUILDING CONSTRUCTION.
  - RESREAD TOPSOIL AND FINAL RESTORATION
  - REMOVE EROSION CONTROL WHEN SITE HAS BECOME STABILIZED.

SILT FENCE TO WRAP THE ENTIRE PERIMETER OF THE SITE AND AT BASE OF RETAINING WALL ON THE SOUTH SIDE OF SITE

**D'ONOFRIO HOTLINE AND ASSOCIATES, INC.**  
 7530 Westward Way, Madison, WI 53717  
 Phone: 608.833.7530 • Fax: 608.833.1089  
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

SITE GRADING AND EROSION CONTROL PLAN  
**FITCHBURG SENIOR APARTMENTS**  
 TRACEWAY DRIVE  
 FITCHBURG, WISCONSIN

SCALE: 1" = 30'  
 (PAGE SIZE: 24x36)

DATE: 01-16-2019  
 REVISED:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 DRAWN BY:  
 FN: 18-05-128  
 Sheet Number:  
**C200**

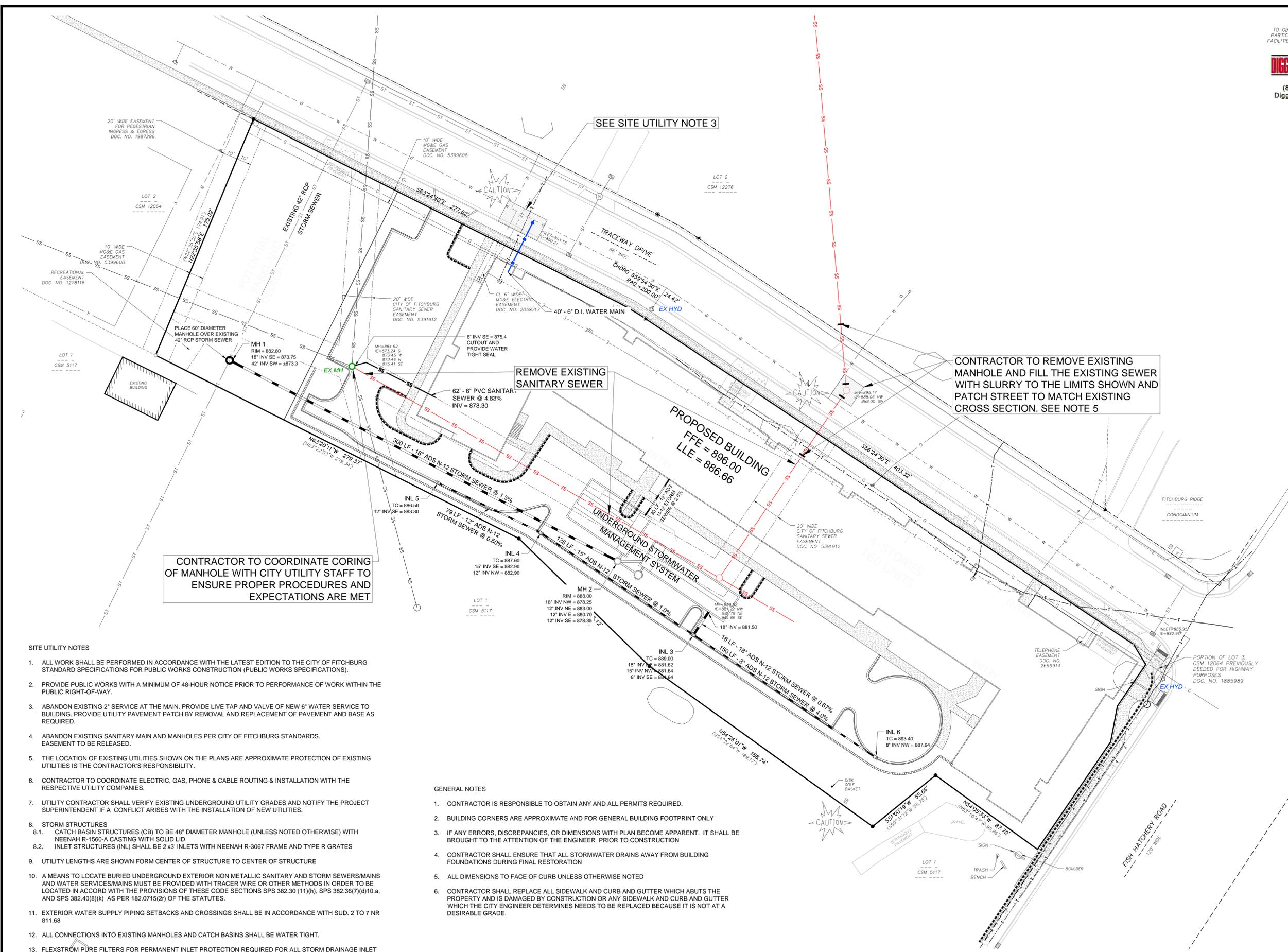
**PRELIMINARY NOT FOR CONSTRUCTION**

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



Dial 811 or (800) 242-8511 DiggersHotline.com

D'ONOFRIO KOTKE AND ASSOCIATES, INC. 7530 Westward Way, Madison, WI 53717 Phone: 608.833.7530 • Fax: 608.833.1089 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



CONTRACTOR TO COORDINATE CORING OF MANHOLE WITH CITY UTILITY STAFF TO ENSURE PROPER PROCEDURES AND EXPECTATIONS ARE MET

REMOVE EXISTING SANITARY SEWER

CONTRACTOR TO REMOVE EXISTING MANHOLE AND FILL THE EXISTING SEWER WITH SLURRY TO THE LIMITS SHOWN AND PATCH STREET TO MATCH EXISTING CROSS SECTION. SEE NOTE 5

SEE SITE UTILITY NOTE 3

SITE UTILITY NOTES

- 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION TO THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (PUBLIC WORKS SPECIFICATIONS).
2. PROVIDE PUBLIC WORKS WITH A MINIMUM OF 48-HOUR NOTICE PRIOR TO PERFORMANCE OF WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
3. ABANDON EXISTING 2" SERVICE AT THE MAIN. PROVIDE LIVE TAP AND VALVE OF NEW 6" WATER SERVICE TO BUILDING. PROVIDE UTILITY PAVEMENT PATCH BY REMOVAL AND REPLACEMENT OF PAVEMENT AND BASE AS REQUIRED.
4. ABANDON EXISTING SANITARY MAIN AND MANHOLES PER CITY OF FITCHBURG STANDARDS. EASEMENT TO BE RELEASED.
5. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
6. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE ROUTING & INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
7. UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.
8. STORM STRUCTURES
8.1. CATCH BASIN STRUCTURES (CB) TO BE 48" DIAMETER MANHOLE (UNLESS NOTED OTHERWISE) WITH NEENAH R-1560-A CASTING WITH SOLID LID.
8.2. INLET STRUCTURES (INL) SHALL BE 2'x3' INLETS WITH NEENAH R-3067 FRAME AND TYPE R GRATES
9. UTILITY LENGTHS ARE SHOWN FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE
10. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SANITARY AND STORM SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS SPS 382.30 (11)(h), SPS 382.36(7)(d)10.a, AND SPS 382.40(8)(k) AS PER 182.0715(2r) OF THE STATUTES.
11. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SUD. 2 TO 7 NR 811.68
12. ALL CONNECTIONS INTO EXISTING MANHOLES AND CATCH BASINS SHALL BE WATER TIGHT.
13. FLEXSTROM PURE FILTERS FOR PERMANENT INLET PROTECTION REQUIRED FOR ALL STORM DRAINAGE INLET STRUCTURES.

GENERAL NOTES

- 1. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
2. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
3. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT. IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
4. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
5. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED
6. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY AND IS DAMAGED BY CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE.

SITE UTILITY PLAN FITCHBURG SENIOR APARTMENTS

TRACEWAY DRIVE FITCHBURG, WISCONSIN



SCALE: 1" = 30' (PAGE SIZE: 24x36)

DATE: 01-16-2019 REVISED:

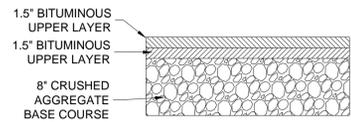
DRAWN BY:

FN: 18-05-128

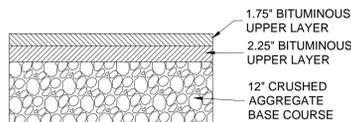
Sheet Number

C300

# PRELIMINARY NOT FOR CONSTRUCTION



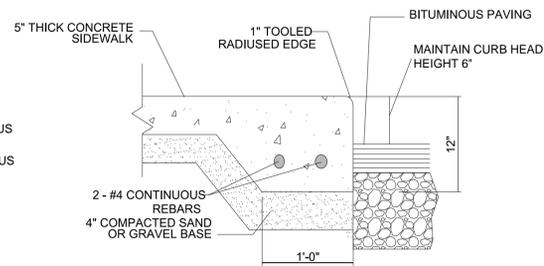
LIGHT DUTY PAVEMENT  
ASPHALT MIXTURE TYPE-LT



HEAVY DUTY PAVEMENT  
ASPHALT MIXTURE TYPE-MT

## STANDARD PAVEMENT SECTIONS

N.T.S.

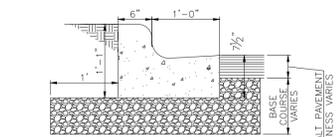
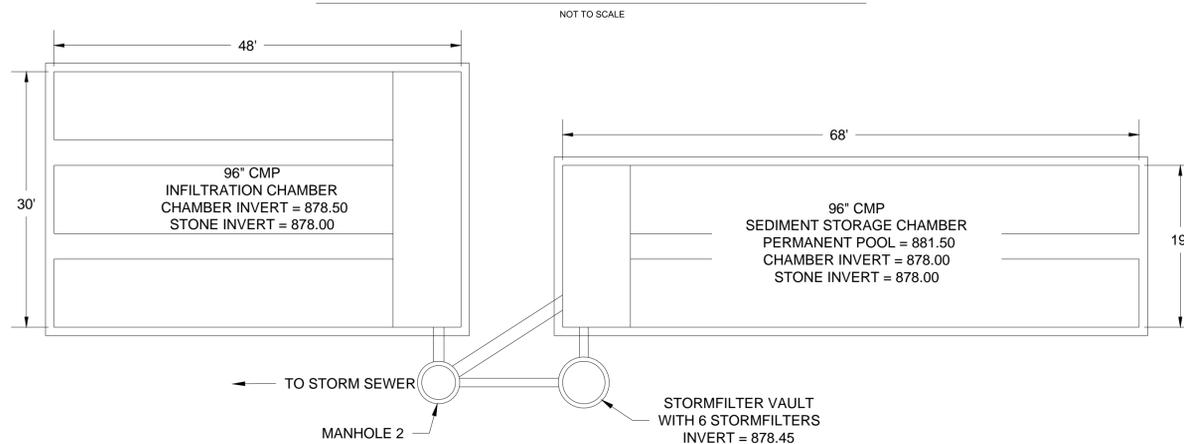


GENERAL NOTES:  
- PROVIDE 1/4" PER FOOT CROSS SLOPE ACROSS WALK  
- PROVIDE TOOLED JOINTS @ +/- 5'-0" O.C.

## THICKENED EDGE WALK DETAIL

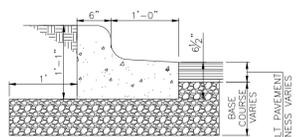
NOT TO SCALE

## UNDERGROUND STORMWATER MANAGEMENT SYSTEM



6" CONCRETE HOLDING CURB & GUTTER

NOT TO SCALE

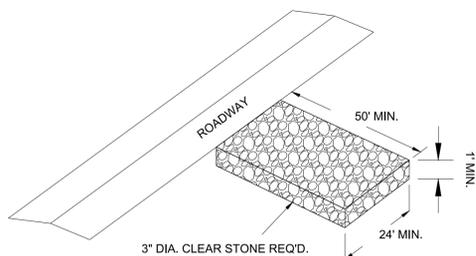


6" CONCRETE REJECT CURB & GUTTER

NOT TO SCALE

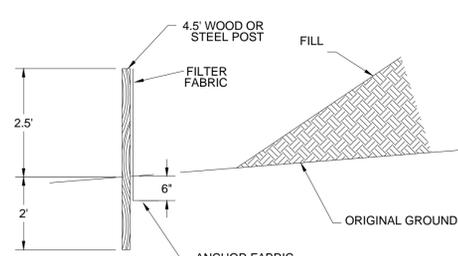
### GENERAL NOTES:

- SEE GRADING PLAN TO DETERMINE LOCATIONS OF HOLDING OR REJECT CURBS.
- IF SIDEWALK ABUTS CURB, BACK OF CURB TO BE "STRING LINE" STRAIGHT & RUBBED CLEAN.
- PROVIDE CONTROL JOINTS 10± O.C. PROVIDE EXPANSION JOINTS 50' O.C.
- EARTHWORK CONTRACTOR TO SUBGRADE AND STONE 12" BEYOND BACK OF CURB TO PROVIDE COMPACTED BASE FOR CURB AND GUTTER.
- EARTHWORK CONTRACTOR TO REMOVE ALL EXCESS STONE BEHIND BACK OF CURB IN LANDSCAPE ISLANDS. THIS APPLIES TO EXCESS STONE BEYOND 12" AT BACK OF CURB.
- PAVING CONTRACTOR SHALL PROVIDE FLUSH ASPHALT PAVING TO CONCRETE CURB. IF SURFACE COURSE IS RAISED AFTER PAVING, PAVING CONTRACTOR SHALL HEAT UP, REMOVE AND COMPACT EXCESS PAVEMENT.



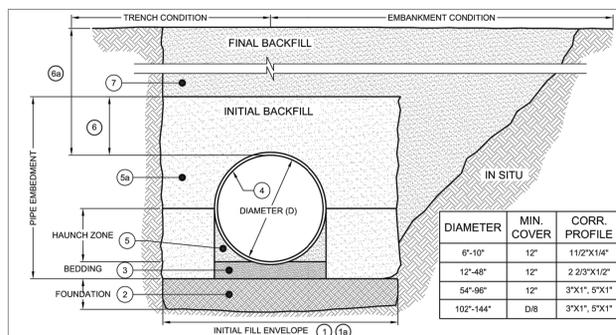
STONE TRACKING  
PAD DETAIL

NOT TO SCALE



SILT FENCE DETAIL

NOT TO SCALE



### BACKFILL REQUIREMENTS FOLLOW THE GUIDELINES OF AASHTO LRFD BRIDGE DESIGN (SEC 12) AND CONSTRUCTION (SEC 26).

- MINIMUM TRENCH WIDTH MUST ALLOW ROOM FOR PROPER COMPACTION OF HAUNCH MATERIALS UNDER THE PIPE.  
THE MINIMUM TRENCH WIDTH (12.6.6.1):  
PIPE ≤ 24" - D + 16"  
PIPE > 24" - 1.5D + 12"
- MINIMUM EMBANKMENT WIDTH (in feet) FOR INITIAL FILL ENVELOPE (12.6.6.2):  
PIPE < 24" - 3.0D  
PIPE 24" - 144" - D + 4.0'  
PIPE > 144" - D + 10.0'
- THE FOUNDATION UNDER THE PIPE AND SIDE BACKFILL SHALL BE ADEQUATE TO SUPPORT THE LOADS ACTING UPON IT (26.5.2).
- HAUNCH ZONE MATERIAL SHALL BE A RELATIVELY LOOSE MATERIAL THAT IS ROUGHLY SHAPED TO FIT THE BOTTOM OF THE PIPE, AND A MINIMUM OF TWICE THE CORRUGATION DEPTH IN THICKNESS, WITH THE MAXIMUM PARTICLE SIZE OF ONE-HALF OF THE CORRUGATION DEPTH (26.5.8.1, 26.5.3).
- CORRUGATED STEEL PIPE (CSP) (HEL-COR)
- HAUNCH ZONE MATERIAL SHALL BE HAND SHOVELED OR SHOVEL SLICED INTO PLACE TO ALLOW FOR PROPER COMPACTION (26.5.4).
- INITIAL BACKFILL FOR PIPE EMBEDEDMENT TO MEET AASHTO A-1, A-2 OR A-3 CLASSIFICATION OR APPROVED EQUAL, COMPACTED TO 90% STANDARD PROCTOR (T-99). MAXIMUM PARTICLE SIZE NOT TO EXCEED 3" (12.4.1.2). ALL LIFTS PLACED IN A CONTROLLED MANNER. IT IS RECOMMENDED THAT LIFTS NOT EXCEED AN 8" UNCOMPACTED LIFT HEIGHT TO PREVENT UNEVEN LOADING, AND THE LESSER OF 1/3 THE DIAMETER OR 24" AS THE MAXIMUM DIFFERENTIAL, SIDE TO SIDE (26.5.4).
- INITIAL BACKFILL ABOVE PIPE MAY INCLUDE ROAD BASE MATERIAL, (AND RIGID PAVEMENT IF APPLICABLE). SEE TABLE ABOVE.
- TOTAL HEIGHT OF COMPACTED COVER FOR CONVENTIONAL HIGHWAY LOADS IS MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT (12.6.6.3).
- FINAL BACKFILL MATERIAL SELECTION AND COMPACTION REQUIREMENTS SHALL FOLLOW THE PROJECT PLANS AND SPECIFICATIONS PER THE ENGINEER OF RECORD (26.5.4.1).

TYPICAL BACKFILL DETAIL

NOT TO SCALE

### FLEXSTORM PURE FILTERS FOR PERMANENT INLET PROTECTION

PRODUCT SELECTION AND SPECIFICATION DRAWING

For Round Openings with Grates	For Open Curbs (Setback - Mounted to Wall beneath Curb Opening)	For Rectangular/Openings with Grates
Flexstorm Pure Inlet Filter (PFI) - Round	Flexstorm Pure Inlet Filter (PFI) - Curbs	Flexstorm Pure Inlet Filter (PFI) - Rectangular
Flexstorm Pure Inlet Filter (PFI) - Round	Flexstorm Pure Inlet Filter (PFI) - Curbs	Flexstorm Pure Inlet Filter (PFI) - Rectangular

1. IDENTIFY YOUR FRAME STYLE AND SIZE  
2. SELECT YOUR BAG PART NUMBER BASED ON APPLICATION NOTES  
3. CREATE YOUR FLEXSTORM INLET FILTER PART NUMBER

INSTALLATION:  
1. REMOVE GRATE  
2. DROP FLEXSTORM INLET FILTER INTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE  
3. REPLACE GRATE

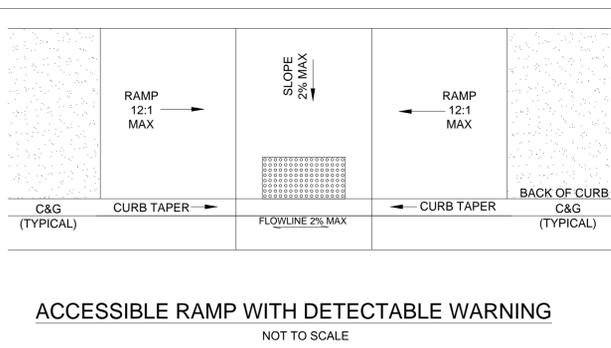
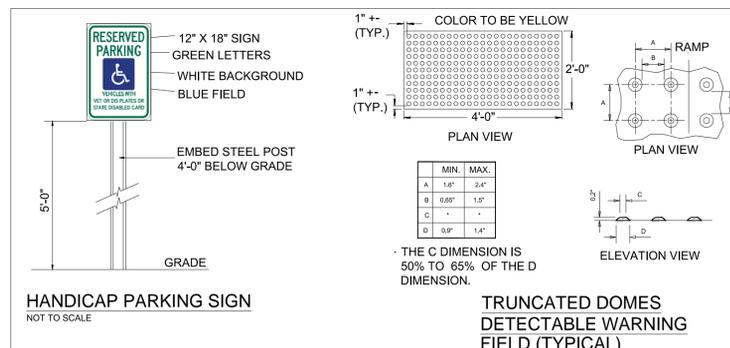
### FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION

PRODUCT SELECTION AND SPECIFICATION DRAWING

FRAME STYLE AND SIZE	FRAME P/N
Small Round (18" x 24")	420RD
Med Round (24" x 30")	420RD
Large Round (30" x 36")	420RD
Small Rect (24" x 30")	420RD
Med Rect (30" x 36")	420RD
Large Rect (36" x 42")	420RD

1. IDENTIFY YOUR FRAME STYLE AND SIZE  
2. SELECT YOUR BAG PART NUMBER  
3. CREATE YOUR FLEXSTORM INLET FILTER PART NUMBER

INSTALLATION:  
1. REMOVE GRATE  
2. DROP FLEXSTORM INLET FILTER INTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE  
3. REPLACE GRATE



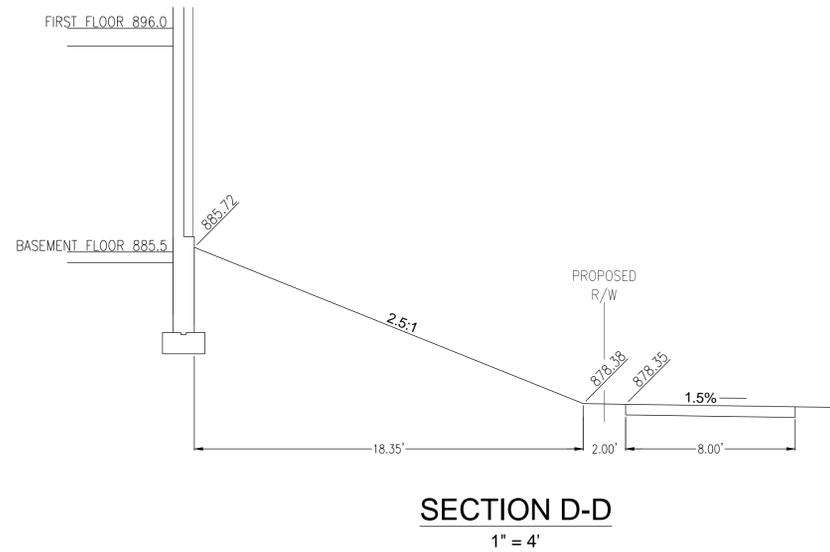
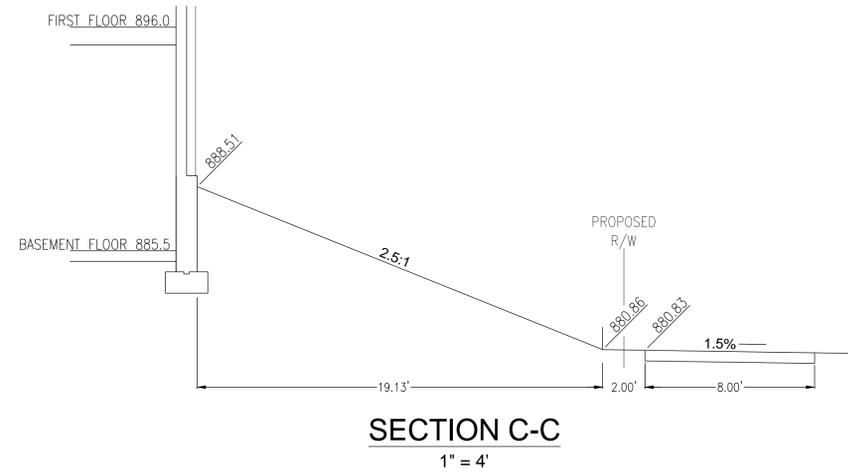
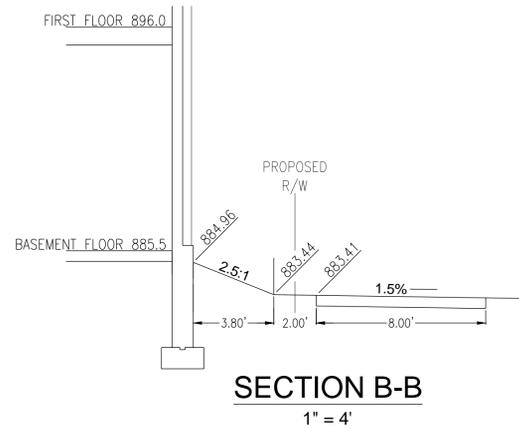
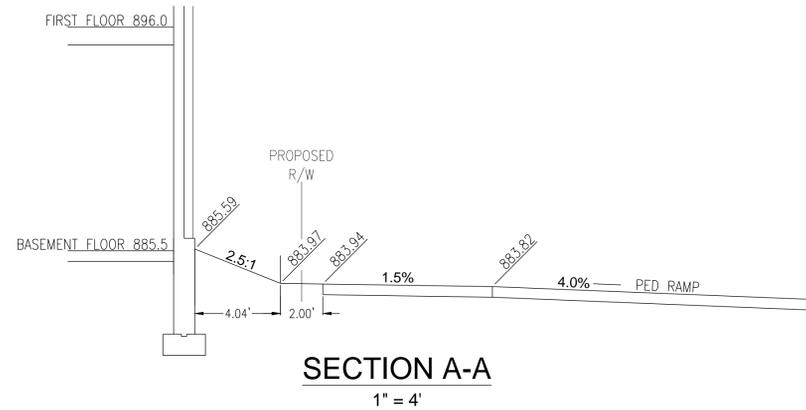
**D'ONOFRIO KOTKE AND ASSOCIATES, INC.**  
7530 Westward Way, Madison, WI 53717  
Phone: 608.833.7530 • Fax: 608.833.1089  
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

SITE DETAILS  
**FITCHBURG SENIOR APARTMENTS**  
TRACEWAY DRIVE  
FITCHBURG, WISCONSIN

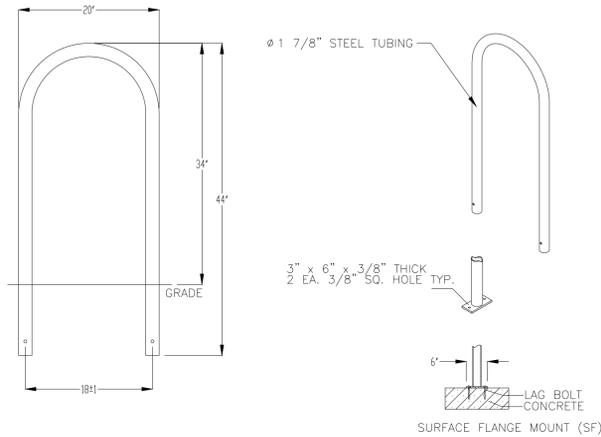
SCALE: 1" = 30'  
(PAGE SIZE: 24x36)

DATE: 01-16-2019  
REVISED:

DRAWN BY:  
FN: 18-05-128  
Sheet Number:  
**C400**

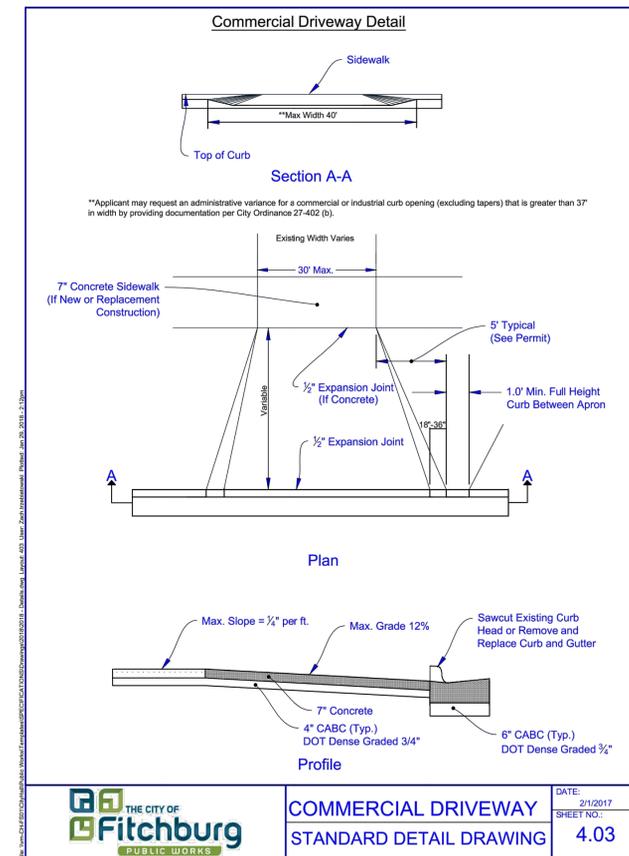


MADRAX DIVISION  
 GRABER MANUFACTURING, INC.  
 1080 UNIK DRIVE  
 WAUNAKEE, WI 53597  
 P(800) 448-7931, P(608) 849-1080, F(608) 849-1081  
 WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM



**BIKE RACK DETAIL**

NOT TO SCALE



**COMMERCIAL DRIVEWAY**  
**STANDARD DETAIL DRAWING**

**SITE DETAILS**  
**FITCHBURG SENIOR APARTMENTS**

TRACEWAY DRIVE  
 FITCHBURG, WISCONSIN



SCALE: 1" = 30'  
 (PAGE SIZE: 24x36)

DATE: 01-16-2019  
 REVISED:

DRAWN BY:

FN: 18-05-128

Sheet Number:  
**C401**

**PRELIMINARY NOT FOR CONSTRUCTION**

APPENDIX 'B'  
MINOR PDD & SIP MODIFICATION  
LANDSCAPE PLAN

**GROUND COVER LEGEND**

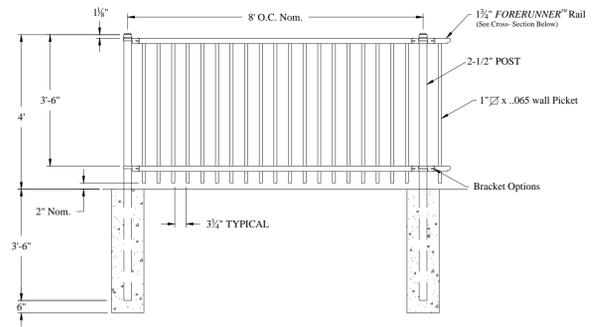
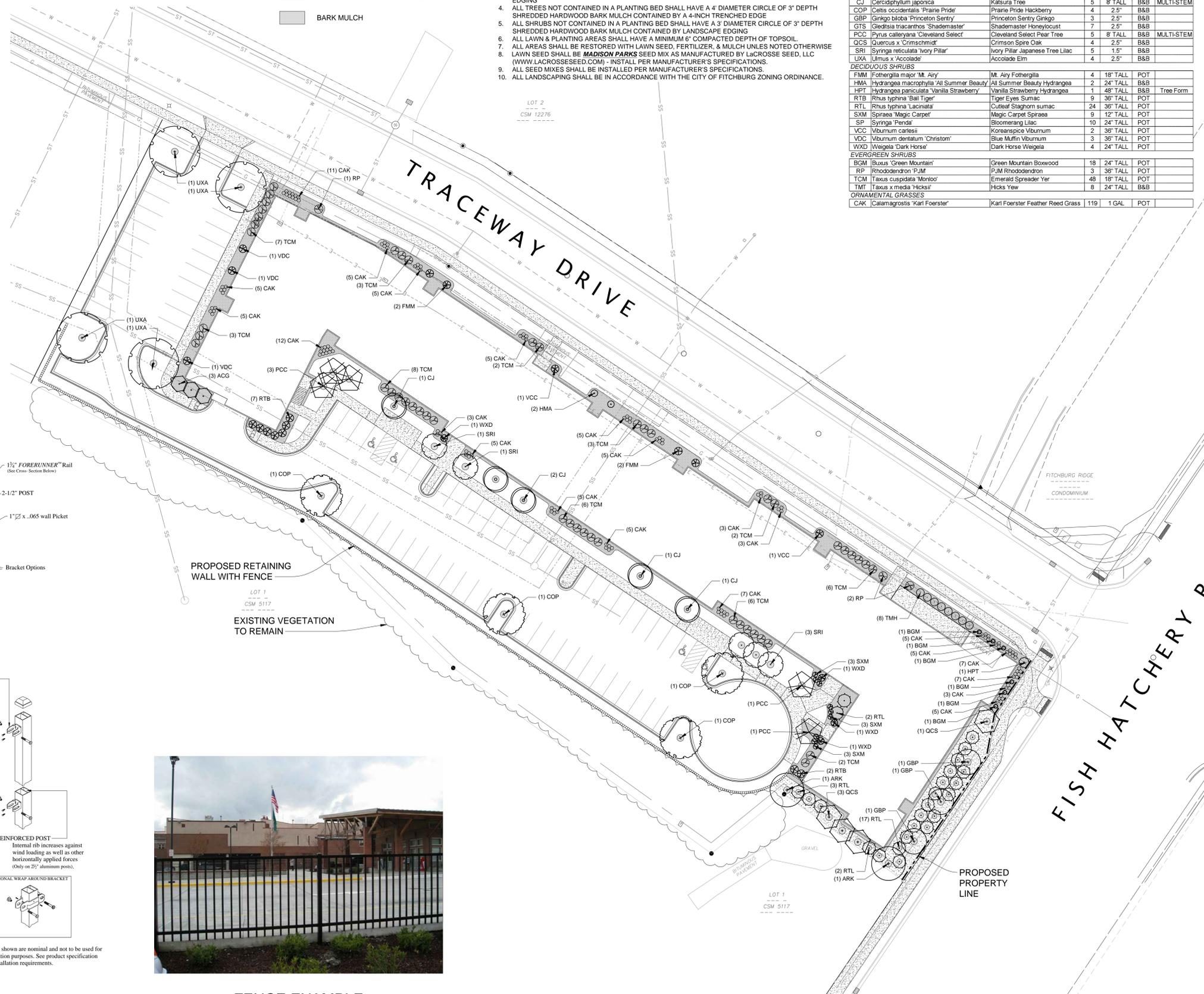
- SOD - PREPARE SOIL WITH FERTILIZER PER SOIL ANALYSIS REPORT
- 3-INCH DEPTH STONE MULCH VERIFY STONE MULCH WITH OWNER
- BARK MULCH

**SITE LANDSCAPE PLAN NOTES**

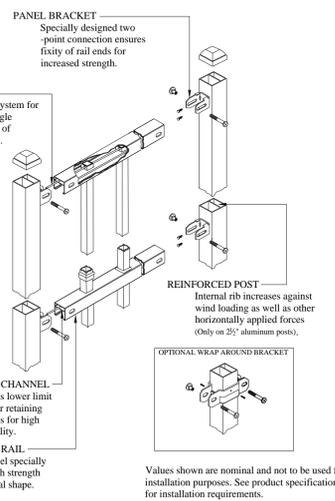
1. CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
3. ALL PLANTING BEDS THAT ARE TO RECEIVE STONE MULCH SHALL CONTAIN A 3" DEPTH OF STONE MULCH OVER NON-WOVEN GEOTEXTILE FILTER FABRIC (WISDOT TYPE DF) CONTAINED BLACK VINYL EDGING
4. ALL TREES NOT CONTAINED IN A PLANTING BED SHALL HAVE A 4' DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY A 4-INCH TRENCHED EDGE
5. ALL SHRUBS NOT CONTAINED IN A PLANTING BED SHALL HAVE A 3' DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING
6. ALL LAWN & PLANTING AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
7. ALL AREAS SHALL BE RESTORED WITH LAWN SEED, FERTILIZER, & MULCH UNLES NOTED OTHERWISE
8. LAWN SEED SHALL BE **MADISON PARKS** SEED MIX AS MANUFACTURED BY LACROSSE SEED, LLC (WWW.LACROSSESEED.COM) - INSTALL PER MANUFACTURER'S SPECIFICATIONS.
9. ALL SEED MIXES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
10. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG ZONING ORDINANCE.

**LANDSCAPE SCHEDULE**

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT COND	NOTES
<b>DECIDUOUS TREES</b>						
ACG	Ameiuchier canadensis 'Glenform'	Rainbow Pillar Serviceberry	6	6" TALL	B&B	MULTI-STEM
ARK	Acer rubrum 'Karpoc'	Karppick Red Maple	2	2.5"	B&B	
CJ	Cercidiphyllum japonica	Katsura Tree	5	8" TALL	B&B	MULTI-STEM
COP	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	4	2.5"	B&B	
GBP	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	3	2.5"	B&B	
GTS	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	7	2.5"	B&B	
PCC	Pyrus calleryana 'Cleveland Select'	Cleveland Select Pear Tree	5	8" TALL	B&B	MULTI-STEM
QCS	Quercus x 'Crimson'	Crimson Spire Oak	4	2.5"	B&B	
SRI	Syringa reticulata 'Ivory Pillar'	Ivory Pillar Japanese Tree Lilac	5	1.5"	B&B	
UXA	Ulmus x 'Accolade'	Accolade Elm	4	2.5"	B&B	
<b>DECIDUOUS SHRUBS</b>						
FMM	Fothergilla major 'M. Airy'	M. Airy Fothergilla	4	18" TALL	POT	
HMA	Hydrangea macrophylla 'All Summer Beauty'	All Summer Beauty Hydrangea	2	24" TALL	B&B	
HPT	Hydrangea paniculata 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea	1	48" TALL	B&B	Tree Form
RTB	Rhus typhina 'Ball Tiger'	Tiger Eyes Sumac	9	36" TALL	POT	
RTL	Rhus typhina 'Lacinata'	Cutleaf Staghorn sumac	24	36" TALL	POT	
SXM	Spiraea 'Magic Carpet'	Magic Carpet Spiraea	9	12" TALL	POT	
SP	Syringa 'Penda'	Blooming Lilac	10	24" TALL	POT	
VCC	Viburnum carlesii	Koreanspice Viburnum	2	36" TALL	POT	
VDC	Viburnum dentatum 'Christom'	Blue Muffin Viburnum	3	36" TALL	POT	
WXD	Wiegela 'Dark Horse'	Dark Horse Wiegela	4	24" TALL	POT	
<b>EVERGREEN SHRUBS</b>						
BGM	Buxus 'Green Mountain'	Green Mountain Boxwood	18	24" TALL	POT	
RP	Rhododendron 'PJM'	PJM Rhododendron	3	36" TALL	POT	
TCM	Taxus cuspidata 'Monlo'	Emerald Spreader Yew	48	18" TALL	POT	
TMT	Taxus x media 'Hicksii'	Hicks Yew	8	24" TALL	B&B	
<b>ORNAMENTAL GRASSES</b>						
CAK	Calamagrostis 'Karl Foerster'	Karl Foerster Feather Reed Grass	119	1 GAL.	POT	



- NOTES:**
1. Fence shall comply with specifications of **ECHOLON II - MAJESTIC** fence as manufactured by **AMERISTAR FENCE** or approved equal.
  2. Post size depends on fence height and wind loads.
  3. See **ECHOLON II** specifications for post sizing chart.



**FENCE DETAIL**

**FENCE EXAMPLE**

PRELIMINARY LANDSCAPE PLAN  
**FITCHBURG SENIOR APARTMENTS**

TRACEWAY DRIVE  
 FITCHBURG, WISCONSIN



DATE: 01-16-2019  
 REVISED:

DRAWN BY:  
 FN: 18-05-128  
 Sheet Number:  
**L100**

**D'ONOFRIO KOTTKE AND ASSOCIATES, INC.**  
 7590 Westward Way, Madison, WI 53717  
 Phone: 608.833.7530 • Fax: 608.833.1089  
**YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT**

**NON-PAVED AREA LEGEND  
(GREEN BUILT HOME REQUIREMENTS)**

26.51%		EXISTING VEGETATION TO REMAIN (NATIVE) 9,149 S.F.
19.60%		FOUNDATION PLANTINGS (NATIVE) 6,765 S.F.
7.97%		NATIVE PLANTS & NO-MOW GRASSES 2,752 S.F.
21.05%		NO-MOW GRASSES 7,260 S.F.
24.87%		LAWN 8,584 S.F.

**GROUND COVER LEGEND**

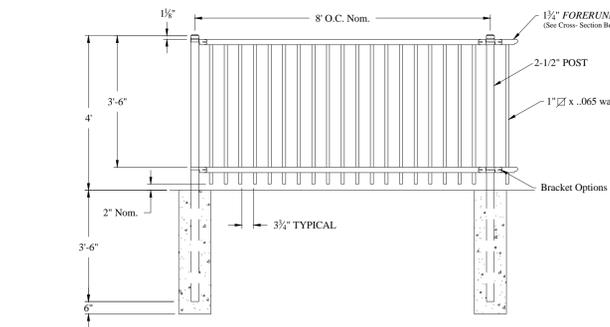
	SOD - PREPARE SOIL WITH FERTILIZER PER SOIL ANALYSIS REPORT
	3-INCH DEPTH STONE MULCH VERIFY STONE MULCH WITH OWNER
	BARK MULCH

**SITE LANDSCAPE PLAN NOTES**

- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
- ALL PLANTING BEDS THAT ARE TO RECEIVE STONE MULCH SHALL CONTAIN A 3" DEPTH OF STONE MULCH OVER NON-WOVEN GEOTEXTILE FILTER FABRIC (WISDOT TYPE DF) CONTAINED BLACK VINYL EDGING.
- ALL TREES NOT CONTAINED IN A PLANTING BED SHALL HAVE A 4" DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY A 4-INCH TRENCHED EDGE.
- ALL SHRUBS NOT CONTAINED IN A PLANTING BED SHALL HAVE A 3" DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
- ALL LAWN & PLANTING AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
- ALL AREAS SHALL BE RESTORED WITH LAWN SEED, FERTILIZER, & MULCH UNLESS NOTED OTHERWISE.
- LAWN SEED SHALL BE **MADISON PARKS** SEED MIX AS MANUFACTURED BY LACROSSE SEED, LLC (WWW.LACROSSESEED.COM) - INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- SRI Syringa reticulata 'Ivory Pillar' Ivory Pillar Japanese Tree Lilac
- UXA Ulmus x 'Accolade' Accolade Elm
- ALL SEED MIXES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG ZONING ORDINANCE.

**LANDSCAPE SCHEDULE**

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT COND	NOTES
<b>DECIDUOUS TREES</b>						
ACG	Amelanchier canadensis 'Glenform'	Rainbow Pillar Serviceberry	6	6" TALL	B&B	MULTI-STEM
ARK	Acer rubrum 'Karpick'	Karpick Red Maple	2	2.5"	B&B	
CJ	Cercidiphyllum japonica	Katsura Tree	5	8" TALL	B&B	MULTI-STEM
COP	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	4	2.5"	B&B	
GBP	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	3	2.5"	B&B	
GTS	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	7	2.5"	B&B	
PCC	Pyrus calleryana 'Cleveland Select'	Cleveland Select Pear Tree	6	8" TALL	B&B	MULTI-STEM
QCS	Quercus x 'Crimschmidt'	Crimson Spire Oak	4	2.5"	B&B	
SRI	Syringa reticulata 'Ivory Pillar'	Ivory Pillar Japanese Tree Lilac	5	1.5"	B&B	
UXA	Ulmus x 'Accolade'	Accolade Elm	4	2.5"	B&B	
<b>DECIDUOUS SHRUBS</b>						
FMM	Fothergilla major 'Mt. Airy'	Mt. Airy Fothergilla	7	18" TALL	POT	
HMA	Hydrangea macrophylla 'All Summer Beauty'	All Summer Beauty Hydrangea	2	24" TALL	B&B	
HPT	Hydrangea paniculata 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea	1	48" TALL	B&B	Tree Form
RTL	Rhus typhina 'Laciniata'	Cutleaf Staghorn sumac	22	36" TALL	POT	
SXM	Spiraea 'Magic Carpet'	Magic Carpet Spiraea	6	12" TALL	POT	
SP	Syringa 'Pendula'	Blooming Lilac	10	24" TALL	POT	
VCC	Viburnum carlesii	Koreanspice Viburnum	2	36" TALL	POT	
VDC	Viburnum dentatum 'Christom'	Blue Muffin Viburnum	3	36" TALL	POT	
WXD	Weigela 'Dark Horse'	Dark Horse Weigela	3	24" TALL	POT	
<b>EVERGREEN SHRUBS</b>						
BGM	Buxus 'Green Mountain'	Green Mountain Boxwood	18	24" TALL	POT	
RP	Rhododendron 'PJM'	PJM Rhododendron	3	36" TALL	POT	
TCM	Taxus cuspidata 'Moniod'	Emerald Spreader Yew	48	18" TALL	POT	
TMT	Taxus x media 'Hicksii'	Hicks Yew	8	24" TALL	B&B	
<b>ORNAMENTAL GRASSES</b>						
CAK	Calamagrostis 'Karl Foerster'	Karl Foerster Feather Reed Grass	138	1 GAL	POT	



- NOTES:**
- Fence shall comply with specifications of **ECHELON II - MAJESTIC** fence as manufactured by **AMERISTAR FENCE** or approved equal.
  - Post size depends on fence height and wind loads.
  - See **ECHELON II** specifications for post sizing chart.

**PANEL BRACKET**  
Specially designed two-point connection ensures fixity of rail ends for increased strength.

**INTERNAL RETAINING ROD**  
Variable pitch connection system for ease of installation, high angle bias ability and elimination of unsightly external fasteners.

**REINFORCED POST**  
Internal rib increases against wind loading as well as other horizontally applied forces (Only on 2 1/2" aluminum posts).

**INTERIOR GUIDE CHANNEL**  
Channel forms lower limit of roadway for retaining rod and allows for high angle bias ability.

**FORERUNNER™ RAIL**  
"U"-Channel specially formed high strength architectural shape.

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.



**FENCE EXAMPLE**

**FENCE DETAIL**

**D'ONFRIO KOTTKE AND ASSOCIATES, INC.**  
7550 Westward Way, Madison, WI 53717  
Phone: 608.833.7530 • Fax: 608.833.1089  
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

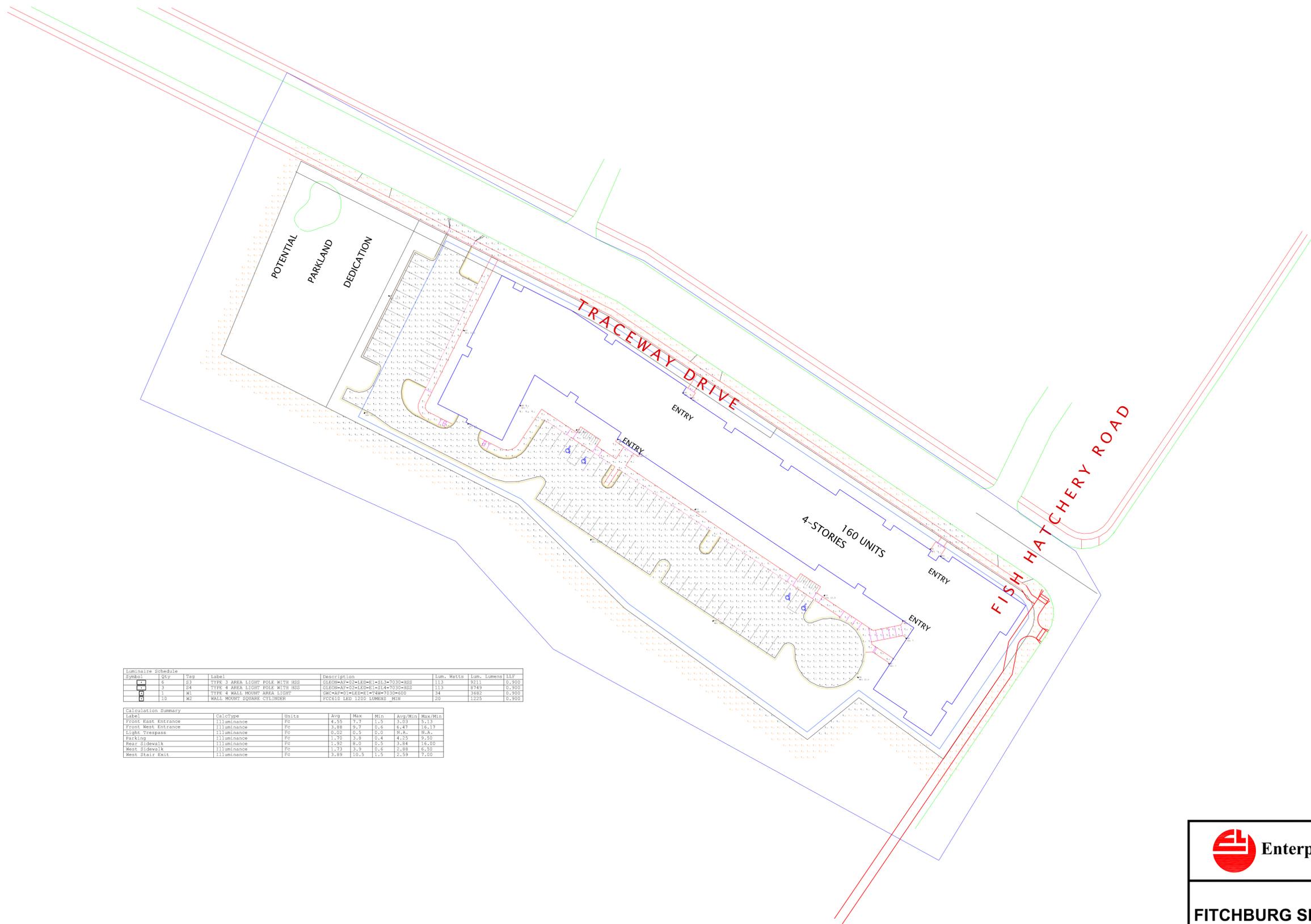
PRELIMINARY LANDSCAPE PLAN  
**FITCHBURG SENIOR APARTMENTS**  
TRACEWAY DRIVE  
FITCHBURG, WISCONSIN



DATE: 11-08-2018  
REVISED:

DRAWN BY:  
FN: 18-05-128  
Sheet Number:  
**L100**

APPENDIX 'C'  
MINOR PDD&SIP MODIFICATION  
SITE LIGHTING PLAN



Symbol	Code	Tag	Label	Description	Lum. Watts	Lum. Lumens	LLF
S3	S3		TYPE 3 AREA LIGHT POLE WITH HSS	GLE800-A1-01-LED-E1-013-7030-HSS	113	9211	0.900
S4	S4		TYPE 4 AREA LIGHT POLE WITH HSS	GLE800-A1-01-LED-E1-014-7030-HSS	113	8749	0.900
W1	W1		TYPE 4 WALL MOUNT AREA LIGHT	QRC60-W1-1400W1-1400-7030-600	14	1062	0.900
W2	W2		WALL MOUNT SQUARE CYLINDER	FOCE10 LED 1200 LUMENS MIN	20	1925	0.900

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Front East Entrance	Illuminance	Fc	4.55	7.7	1.5	3.03	5.13
Front West Entrance	Illuminance	Fc	3.88	9.7	0.6	6.47	16.13
Light Creeper	Illuminance	Fc	0.02	0.5	0.0	N/A	N/A
Parking	Illuminance	Fc	1.70	3.8	0.4	4.25	8.50
Rear Sidewalk	Illuminance	Fc	1.92	8.0	0.5	3.84	16.00
West Sidewalk	Illuminance	Fc	1.73	8.3	0.6	2.88	4.50
West Stair Exit	Illuminance	Fc	3.89	10.5	1.5	2.59	7.00



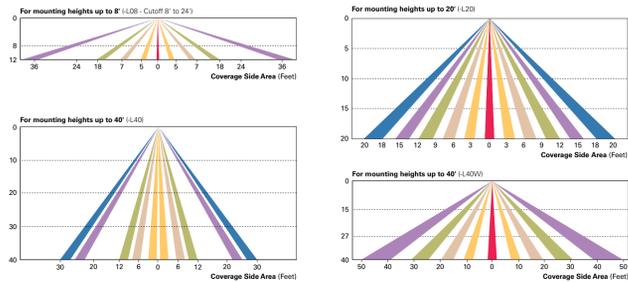
**FITCHBURG SENIOR APARTMENT**

**SITE LIGHTING LAYOUT**

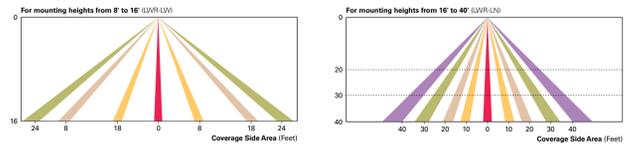
DATE NOV 20, 2018	SCALE 1" = 40' - 0"	SHEET NUMBER E1
----------------------	------------------------	--------------------

CONTROL OPTIONS

0-10V (DIM) This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method. Photocontrol (P, R and PER) Optional button-type photocontrol (P) and photocontrol receptacles (R and PER) provide a flexible solution to enable "dark-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER receptacle. After Hours Dim (AHD) This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dark-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information. Dimming Occupancy Sensor (MS-DIM-LXX, MS-X-LXX and MS-LXX) These sensors are factory installed in the luminaire housing. When the MS-DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS-DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS-X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines. These occupancy sensors include an integral photocell that can be activated with the FSR-100 accessory for "dark-to-dawn" control or daylight harvesting. The factory preset is OFF. The FSR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters. A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-4'0".

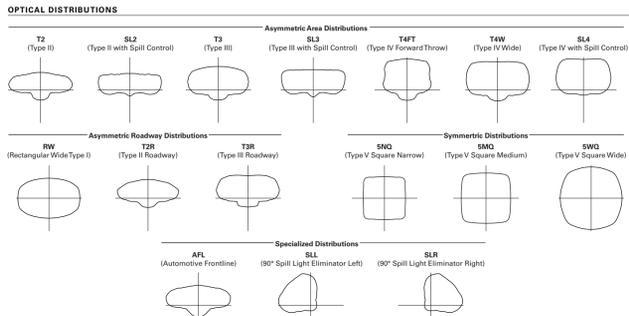
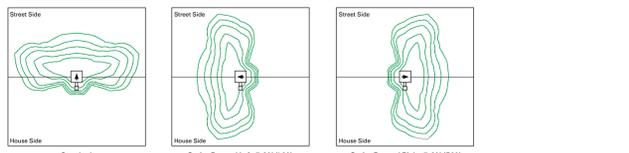


LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN) The Eaton LumaWatt Pro powered by Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.



WaveLinX Wireless Outdoor Lighting Control Module (WOLC-7P-10A) The 7-pin wireless outdoor lighting control module enables WaveLinX to control outdoor area, site and flood lighting. WaveLinX controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomical or time schedules based on a 7 day week. LumaSafe Integrated Network Security Camera (LID) Eaton brings ease of camera deployment to a whole new level. No additional wiring is needed beyond providing line power to the luminaire. A variety of networking options allows security integrators to design the optimal solution to meet the needs for active surveillance. An ideal solution to meet the needs for active surveillance, the LumaSafe Integrated Network Camera is a streamlined, outdoor-ready fixed dome that provides HDVI 1080p video. This IP camera is optimally designed for deployment in the video management system or security software platform of choice.

OPTIC ORIENTATION



LUMEN MAINTENANCE

Table with columns: Drive Current, Ambient Temperature, TM-21 Lumen Maintenance (60,000 Hours), Projected L70 (Hours). Rows show performance at 1A and 1.2A up to 50°C and 40°C.

LUMEN MULTIPLIER

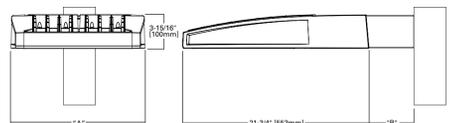
Table with columns: Ambient Temperature, Lumen Multiplier. Rows show multipliers for 0°C, 10°C, 25°C, 40°C, and 50°C.

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and ULULC Listed for wet locations.

SPECIFICATION FEATURES

Construction Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum and caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and vibration sink provides scalability with superior structural rigidity. 3G heat treated and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated. Electrical LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 5A/7.4/8Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standing upright with Eaton proprietary circuit module designed to withstand 15kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal). Mounting STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. QUICK MOUNT ARM: Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting. Finish Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Warranty Five-year warranty.

DIMENSIONS



DIMENSION DATA

Table with columns: Number of Light Squares, "A" Width, "B" Standard Arm Length, "B" Optional Arm Length, Weight with Arm (lbs.), EPA with Arm (Sq. Ft.). Rows show data for 1-4, 5-6, 7-8, and 9-10 light squares.

DRILLING PATTERN



ENERGY DATA Electronic LED Drive <math>\pm</math>3.9 Power Factor <math>\pm</math>20% Total Harmonic Distortion 3A/7.4 480V 60Hz 40°C Min. Temperature 40°C Max. Temperature 90°C Max. Temperature (HA Option)

Table with columns: Catalog #, Project, Comments, Prepared by, Type, Date.

GLEON GALLEON LED

1-10 Light Squares Solid State LED AREA/SITE LUMINAIRE



CERTIFICATION DATA ULULC Wet Location Listed (50-800) LM79 / LM80 Compliant 35 Variation Rated IP66 Rated DesignLights Consortium™ Qualified

ORDERING INFORMATION

Table with columns: Sample Number, Product Family, Light Engine, Number of Light Squares, Lamp Type, Voltage, Distribution, Color, Mounting. Includes options for accessories like photocontrol, occupancy sensors, and motion sensors.

Notes regarding engineering analysis, UL listing, and compatibility with various control systems and mounting options.

Table with columns: LumaSafe Technology, Camera Type, Data Backup. Lists options for camera integration and data storage.

NOMINAL POWER LUMENS (1A)

Table with columns: Number of Light Squares, 1, 2, 3, 4, 5, 6, 7, 8, 9, 10. Shows nominal power lumens for different configurations.

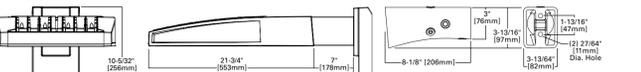
Optics

Table with columns: Optics, 4000K/5000K Lumens, 3000K Lumens, BUG Rating, T2R, T3, T4TFT, TWW, SLL, SWO, SLL/SRL, RW, AFL. Lists various optic options and their specifications.

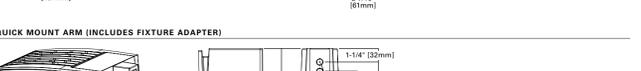
ARM MOUNTING REQUIREMENTS

Table with columns: Configuration, 90° Apart, 120° Apart, 2 @ 180°, 2 @ 90°, 4 @ 90°. Shows arm mounting configurations and requirements.

STANDARD WALL MOUNT



QUICK MOUNT ARM (INCLUDES FIXTURE ADAPTER)



QUICK MOUNT ARM DATA

Table with columns: Number of Light Squares, "A" Width, Weight with QM Arm (lbs.), Weight with OMEA Arm (lbs.), EPA (Sq. Ft.). Rows show data for 1-4, 5-6, and 7-8 light squares.

Notes regarding QM option availability and OMEA arm specifications.

**FCQS610**  
 6" Square Wall, Surface, or Pendant Mounted Die-Cast Aluminum Cylinder.



**ORDERING**  
 This product has Quick Ship options available. Click to view the FCSSS Quick Ship catalog.

SERIES	VOLTAGE	SOURCE/TEMPERATURE/LAMP	FINISH	LED OPTICS	ACCESSORIES
FCQS610	120V	PL 13T 18T 26T	BK Black	SP Spot	D Dimming (PL only, LED...)
FCQS610P	277V	INC 75W PAR30	BZ Bronze	NFL Narrow Flood	LD LED Dimming (0-10V)
FCQS610W	HID	20W MH G12 39W MH G12>	CC Custom Color	FL Flood	BBU Emergency Backup, Remote (PL only, LED...)
		LED 3K 700 Lumens (10W)	SL Silver	WFL Wide Flood	CPLX Custom Pendant Length (X=Inches)
		4K 1200 Lumens (15W)	WH White		
		35K 2000 Lumens (24W)			

► Wall and Pendant only

**SPECIFICATION**

**MOUNTING**  
 • Mounts directly to standard recessed junction box. Additional mounting holes allow unit to be attached directly to mounting surface. Pendant (18 in, standard) with swivel canopy. Custom pendant lengths available.

**CONSTRUCTION**  
 • Marine grade, corrosion resistant, heavy walled, high pressure die-cast aluminum with die-cast back mounting plate.  
 • Lens is 1/4" thick clear tempered glass. Precision formed semi-specular aluminum for maximum reflectance.  
 • Neoprene continuous closed cell gasket to seal out contaminants. Hidden fasteners allow for cover removal to facilitate installation and service.

**LED**  
 • Lumens stated are minimum delivered out of the luminaire. LED lifetime is greater than or equal to 70,000 hours with the lumen depreciation greater than L70. All of our luminaires are tested to LM 80 with a minimum CRI of 80 and color consistency of step 4 MacAdam Ellipse. Integral power supply standard. Input voltage 120V or 277V. Consult factory for dimming and any single color options.

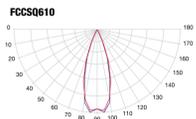
**FINISH**  
 • Six stage chemical pre-treatment process that includes iron phosphate, to prepare the substrate for a UV stable, super durable standard polyester powder coat.

**ELECTRICAL**  
 • **Socket PL:** Four pin plug-in type compact fluorescent lamp holder (*lamp by others*). INC (120V only): Medium base porcelain socket. HID: G12 base porcelain socket.  
 • **Ballast PL:** Fluorescent electronic, UL listed ballast standard. HID: Electronic ballast standard. Ballast has a manufacturer issued 5 year warranty. Please consult factory for other voltage options.

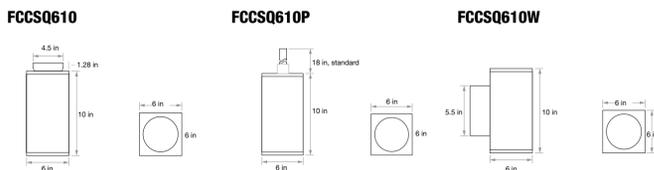
**LISTING**  
 • UL & cUL/ETL, U.S. and CA listed for wet location in up or down position.

FC Lighting, Inc. reserves the right to change lab test details or specifications without notice. Product use certifies agreement to FC Lighting's terms and conditions.  
 © 2018. FC Lighting, Inc. 3609 Swenson Ave., St. Charles, IL 60174 p. 800-900-1730 f. 630-889-8106 www.fcighting.com Rf Rev. 0118

**PHOTOMETRY**



**DIMENSIONS**



FC Lighting, Inc. reserves the right to change, without notice, details or specifications in product design. Product use certifies agreement to FC Lighting's terms and conditions.  
 © 2012. FC Lighting, Inc. 3609 Swenson Ave., St. Charles, IL 60174 p. 800-900-1730 f. 630-889-8106 www.fcighting.com JD Rev. 616

page 5

**ORDERING INFORMATION**  
 Sample Number: GWC-AF-02-LED-E1-T3-GM

Product Family	Light Engine	Number of Light Squares*	Lamp Type	Voltage	Distribution	Color	Mounting Options
GWC-Galleon Wall	AF-E1x Drive Current	61x11 02x2 2	LED-Solid State Light Emitting Diodes	E1=120-277V 247-347V * 480-480V **	T2=Type II T3=Type III T4=Type IV T5=Type V T6=Type VI T7=Type VII T8=Type VIII T9=Type IX T10=Type X T11=Type XI T12=Type XII T13=Type XIII T14=Type XIV T15=Type XV T16=Type XVI T17=Type XVII T18=Type XVIII T19=Type XIX T20=Type XX T21=Type XXI T22=Type XXII T23=Type XXIII T24=Type XXIV T25=Type XXV T26=Type XXVI T27=Type XXVII T28=Type XXVIII T29=Type XXIX T30=Type XXX	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White CC=Custom Color *	[BLANK]-Surface Mount

**Options (Add as Suffix)**  
 7000=70 CRI / 3000K \*  
 8000=80 CRI / 3000K \*  
 7000=70 CRI / 5000K \*  
 7000=70 CRI / 6000K \*  
 600=Drive Current Factory Set to 600mA  
 800=Drive Current Factory Set to 800mA  
 1200=Drive Current Factory Set to 1200mA  
 F=Single Fused 100, 277 or 347V. Must Specify Voltage!  
 FF=Double Fused 120, 240 or 480V. Must Specify Voltage!  
 10K=10W Surge Module  
 DIM=0-10V Dimming Leads \*\*  
 DALI=DALI Driver \*\*  
 HA=50°C High Ambient \*\*  
 UPL=Uplight Housing \*\*  
 BBU=Battery Backup  
 BBA=Battery Backup with Back Box \*\*\*  
 P=Button Type Photocontrol (L20, CR2, 240 or 277V. Must Specify Voltage)  
 R=NEMA Twistlock Photocontrol Receptacle  
 PER=NEMA 7-pin Twistlock Photocontrol Receptacle \*\*  
 AH016=After Hours Dim, 6 Hours \*\*  
 AH024=After Hours Dim, 12 Hours \*\*  
 AH036=After Hours Dim, 18 Hours \*\*  
 AH048=After Hours Dim, 24 Hours \*\*  
 AH072=After Hours Dim, 36 Hours \*\*  
 MS LXX=Motion Sensor for On/Off Operation \*\* \*\*  
 MS-DIM LXX=Motion Sensor for Dimming Operation \*\* \*\*  
 LWR=LWR-LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height \*\* \*\*  
 LWR-M=LWR-LumaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height \*\*\* \*\*  
 LBO=Optics Rotated 90° Right  
 LBL=Optics Rotated 90° Left  
 RW=Factory Installed Mesh Top  
 MT=Factory Installed Mesh Top  
 LCP=Light Square Trim Plate Painted to Match Housing \*\*  
 HSS=Factory Installed House Side Shield \*\*  
 CE=CE Marking and Small Terminal Block \*\*

**Accessories (Order Separately)**  
 OA/RA101=Photocontrol Shorting Cap  
 OA/RA102=NEMA Photocontrol - Multi Tap 105-285V  
 OA/RA103=NEMA Photocontrol - 347V  
 OA/RA104=NEMA Photocontrol - 480V  
 MA1252=10V Circuit Module Replacement  
 MA1655=3-Phase Branch Back Box (Must Specify Color)  
 FSIR-100=Wireless Configuration Tool for Occupancy Sensor \*\*  
 HSS=Field Installed House Side Shield \*\*  
 WOLC-7P-10A=WaveLinX Outdoor Control Module (7 pin) \*\*

- NOTES**
- Design Light Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
  - Standard 480V CCT and maximum 70 CRI.
  - Two light squares with BBU or CWB options limited to 20", 120-277V only.
  - Requires the use of a wire down transformer. Not available in combination with sensor options at 1200mA.
  - Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
  - Custom colors are available. Setup charges apply. Print chip samples required. Extended lead times apply.
  - Controlled by DALI protocol. Use dedicated IES files when performing layout.
  - Not available with UL socket.
  - Cannot be used with other control options.
  - Low voltage control (not brought into) variable fixture.
  - Only available with BBU or CWB in single light square. HA option available for single light square only. Limited to 1A and below.
  - Not available with 120V LPL, BBU and CWB options. Available for single light square only.
  - Not available with SL, SL3, SL4, MA, BBU, CWB, R, or PER7 options.
  - Requires a single light square. CWB weather option requires 50°C to 40°C, standard 0°C to 40°C. Backbox is non-painted.
  - Compatible with standard 3-pin photocontrol, 6-pin or 7-pin ANDI controls.
  - Requires the use of photocontrol or the PER7 or R photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
  - The FSIR-100 configuration tool is required to adjust orientation including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative or Eaton for more information.
  - Replace LXX with the available mounting height options: L20, L24, L40 or L40W are the only choices.
  - Includes integral photocontrol.
  - LumaWatt wireless sensors are factory installed requiring network components in appropriate quantities. See www.eaton.com/lighting for LumaWatt application information.
  - Brown sensor is shipped with bronze fixture. White sensor shipped on all other housing color options.
  - Not available with HSS option.
  - Only for use with SL3, SL4 and SL4 distributions. The light square trim plate is painted black when the HSS option is selected.
  - CE is not available with the 100, DALI, LWR, MS, MS-DIM, P, R or PER7 options. Available in 120-277V only.
  - One required for each light square.
  - Requires 7-pin NEMA twistlock photocontrol receptacle.

Eaton  
 1121 Highway 78 South  
 Peachtree City, GA 30089  
 P. 770-486-4800  
 www.eaton.com/lighting  
 Specifications and dimensions subject to change without notice.

page 3

**OPTICAL DISTRIBUTIONS**

**LUMEN MAINTENANCE**

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	> 416,000
1.2A	Up to 40°C	> 90%	> 205,600

**LUMEN MULTIPLIER**

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

page 4

**CONTROL OPTIONS**

**0-10V**  
 This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

**Photocontrol (P, R, and PER7)**  
 Optional button-type photocontrol (P) and photocontrol receptacles (R and PER7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

**After Hours Dim (AHD)**  
 This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

**Dimming Occupancy Sensor (MS-DIM-LXX and MS-LXX)**  
 These sensors are factory installed in the luminaire housing. When the MS-DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS-DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors include an integral photocell that can be activated with the FSIR-100 for five minutes for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool used for changing the dimming level, time delay, sensitivity and other parameters. A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-0".

Eaton  
 1121 Highway 78 South  
 Peachtree City, GA 30089  
 P. 770-486-4800  
 www.eaton.com/lighting  
 Specifications and dimensions subject to change without notice.

**LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)**  
 The Eaton's LumaWatt Pro powered by Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.

**WaveLinX Wireless Outdoor Lighting Control Module (WOLC-7P-10A)**  
 The 7-pin wireless outdoor lighting control module enables WaveLinX to control outdoor area, site and flood lighting. WaveLinX controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomical or time schedules based on a 7 day week.

Eaton  
 1121 Highway 78 South  
 Peachtree City, GA 30089  
 P. 770-486-4800  
 www.eaton.com/lighting  
 Specifications and dimensions subject to change without notice.  
 TDS14017EN  
 June 21, 2018 4:07 PM

page 2

**DESCRIPTION**  
 The Galleon™ Wall LED luminaire's appearance is complementary with the Galleon area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

**SPECIFICATION FEATURES**  
**Construction**  
 Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP66 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity. UPLIGHTING: Specify with the UPL option for inverted mount upright housing with additional protections to maintain IP rating.  
**Optics**  
 Choice of thirteen patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the light beam, maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K and 6000K CCT. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A, drive current and optional 1200mA, 800mA, and 600mA drive currents.  
**Electrical**  
 LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Drivers are provided standard with 0-10V dimming. An optional Eaton proprietary surge protection module is available and designed to withstand 10kV of transient line surge. The Galleon Wall LED luminaire is suitable for operation in 40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Emergency egress options for -20°C ambient environments and occupancy sensor available.  
**Mounting**  
 Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" j-box or wall with the Galleon Wall "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws which are concealed but accessible from bottom of fixture.  
**Finish**  
 Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.  
**Warranty**  
 Five-year warranty.

**ENERGY DATA**  
 Electric LED Driver  
 >0.9 Power Factor  
 <20% Total Harmonic Distortion  
 120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz  
 40°C Minimum Temperature  
 40°C Ambient Temperature Rating

**SHIPPING DATA**  
 Approximate Net Weight: 27 lbs. (12.2 kgs)

**DIMENSIONS**

**HOOK-N-LOCK MOUNTING**

**BATTERY BACKUP AND THRU-BRANCH BACK BOX**

**CERTIFICATION DATA**  
 IESNA Listed  
 LM79 LM80 Compliant  
 IP66 Housing  
 50-900  
 DesignLights Consortium® Qualified \*\*

**ENERGY DATA**  
 Electric LED Driver  
 >0.9 Power Factor  
 <20% Total Harmonic Distortion  
 120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz  
 40°C Minimum Temperature  
 40°C Ambient Temperature Rating

**SHIPPING DATA**  
 Approximate Net Weight: 27 lbs. (12.2 kgs)

Eaton  
 1121 Highway 78 South  
 Peachtree City, GA 30089  
 P. 770-486-4800  
 www.eaton.com/lighting  
 Specifications and dimensions subject to change without notice.  
 TDS14017EN  
 June 21, 2018 4:07 PM

page 2

**POWER AND LUMENS**

Number of Light Squares	1				2			
	600mA	800mA	1.0A	1.2A	600mA	800mA	1.0A	1.2A
Drive Current	34	44	58	67	66	85	113	129
Nominal Power (Watts)	0.30	0.39	0.51	0.58	0.58	0.77	1.02	1.16
Input Current @ 120V (A)	0.17	0.22	0.29	0.33	0.34	0.44	0.56	0.63
Input Current @ 208V (A)	0.15	0.19	0.26	0.29	0.30	0.38	0.48	0.55
Input Current @ 240V (A)	0.14	0.17	0.23	0.25	0.28	0.36	0.42	0.48
Input Current @ 277V (mA)	0.11	0.15	0.17	0.20	0.19	0.24	0.32	0.36
Input Current @ 480V (mA)	0.08	0.11	0.14	0.15	0.15	0.18	0.24	0.26

**Optics**

T2	4000K/5000K Lumens				3000K Lumens				
	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	
4000K/5000K Lumens	4,110	5,040	6,238	6,843	8,031	9,849	12,160	13,370	
3000K Lumens	3,638	4,461	5,522	6,057	7,109	8,718	10,791	11,838	
BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	
T3	4000K/5000K Lumens	4,189	5,138	6,359	6,975	8,187	10,039	12,425	13,630
3000K Lumens	3,708	4,548	5,629	6,174	7,247	8,887	10,999	12,065	
BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	
T4FT	4000K/5000K Lumens	4,214	5,167	6,395	7,016	8,233	10,097	12,497	13,708
3000K Lumens	3,730	4,574	5,661	6,211	7,288	8,938	11,062	12,135	
BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	
T5W	4000K/5000K Lumens	4,159	5,100	6,313	6,925	8,127	9,966	12,336	13,537
3000K Lumens	3,682	4,515	5,588	6,130	7,184	8,822	10,920	11,979	
BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	
SL2	4000K/5000K Lumens	4,102	5,032	6,227	6,831	8,018	9,832	12,170	13,330
3000K Lumens	3,631	4,454	5,512	6,047	7,098	8,703	10,773	11,817	
BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	
SL3	4000K/5000K Lumens	4,188	5,137	6,358	6,974	8,186	10,038	12,424	13,628
3000K Lumens	3,707	4,547	5,628	6,173	7,246	8,886	10,998	12,064	
BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	
SL4	4000K/5000K Lumens	3,980	4,880	6,040	6,626	7,776	9,537	11,803	12,949
3000K Lumens	3,523	4,320	5,347	5,865	6,883	8,442	10,448	11,462	
BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	
SNQ	4000K/5000K Lumens	4,251	5,206	6,436	7,053	8,243	10,258	12,814	14,057
3000K Lumens	3,825	4,680	5,805	6,367	7,474	9,164	11,243	12,442	
BUG Rating	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	
SMQ	4000K/5000K Lumens	4,400	5,396	6,678	7,336	8,598	10,544	13,059	14,315
3000K Lumens	3,895	4,777	5,911	6,485	7,611	9,334	11,552	12,672	
BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	
SWO	4000K/5000K Lumens	4,412	5,410	6,695	7,345	8,621	10,672	13,085	14,354
3000K Lumens	3,906	4,789	5,926	6,502	7,631	9,358	11,583	12,706	
BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	
SL/SBR	4000K/5000K Lumens	3,681	4,515	5,588	6,129	7,193	8,821	10,917	11,976
3000K Lumens	3,258	3,997	4,946	5,425	6,367	7,808	9,664	10,601	
BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G3		

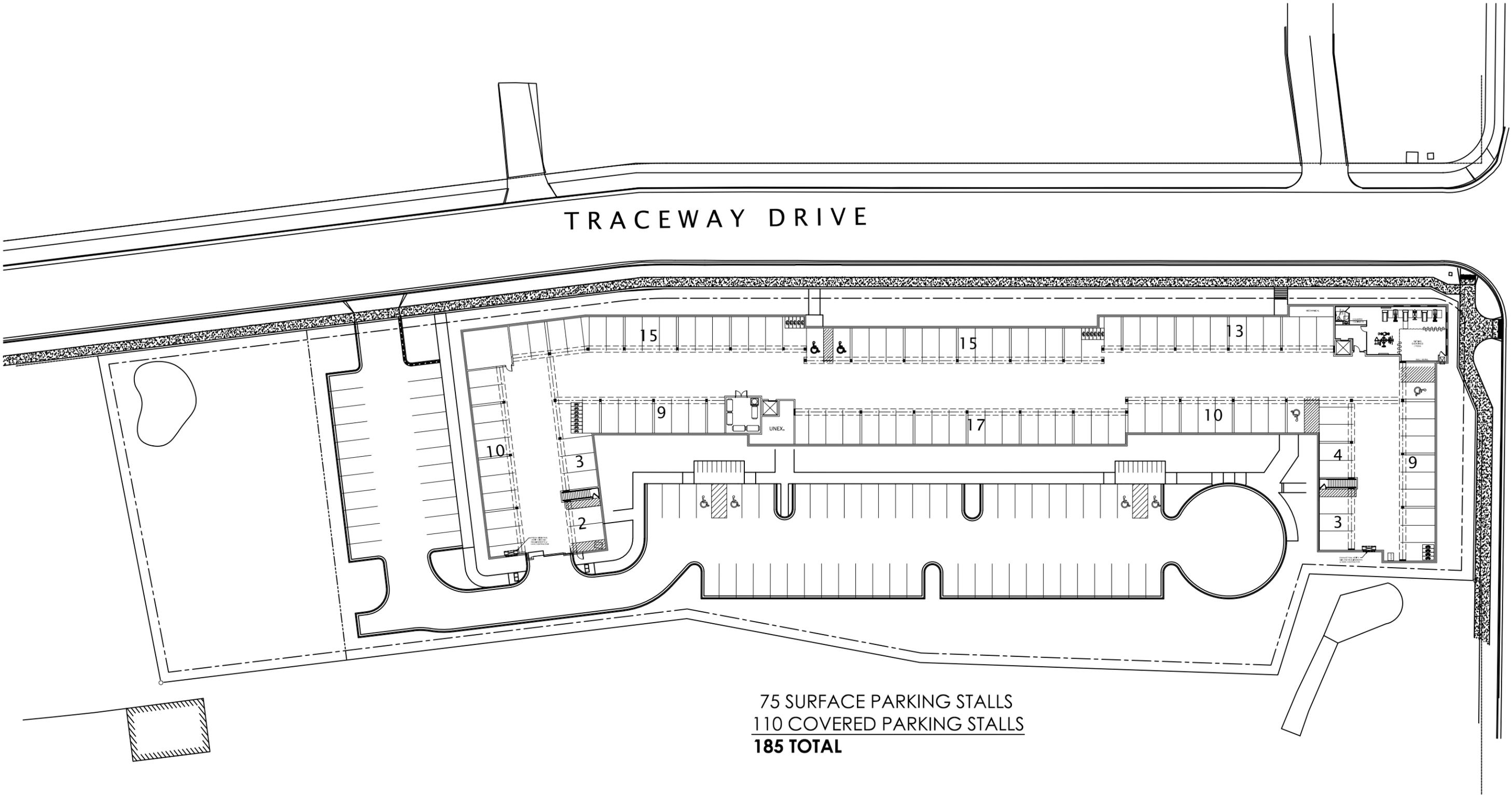
APPENDIX 'D'  
MINOR PDD & SIP MODIFICATION  
CONCEPTUAL MASTERPLAN, FLOOR PLANS, & ELEVATIONS

---



CONCEPT DATA											
FLOOR	BUILDING USE	AREA (G.S.F.)	RESIDENTIAL UNITS					COVERED	SURFACE	TOTAL	RATIO
			1 BR	1+ BR	2BR	TOTAL	BEDS				
4	APARTMENTS / CIRCULATION	39,228	16	4	21	41	62				
3	APARTMENTS / CIRCULATION	39,228	16	4	21	41	62				
2	APARTMENTS / CIRCULATION	39,228	16	4	21	41	62				
1	APARTMENTS / CIRCULATION	36,466	16	3	18	37	55				
	COMMONS	1,922									
	LEASING/MAIL/RESTROOMS	840									
T	TOTAL	156,912	64	15	81	160	241				
LL	PARKING LEVEL	40,979						110	75	185	1.156
	LOT AREA	109,417									
	BUILDING FOOTPRINT	40,979									
	TOTAL IMPERVIOUS AREA	74,615									
	PERVIOUS AREA	53,792									



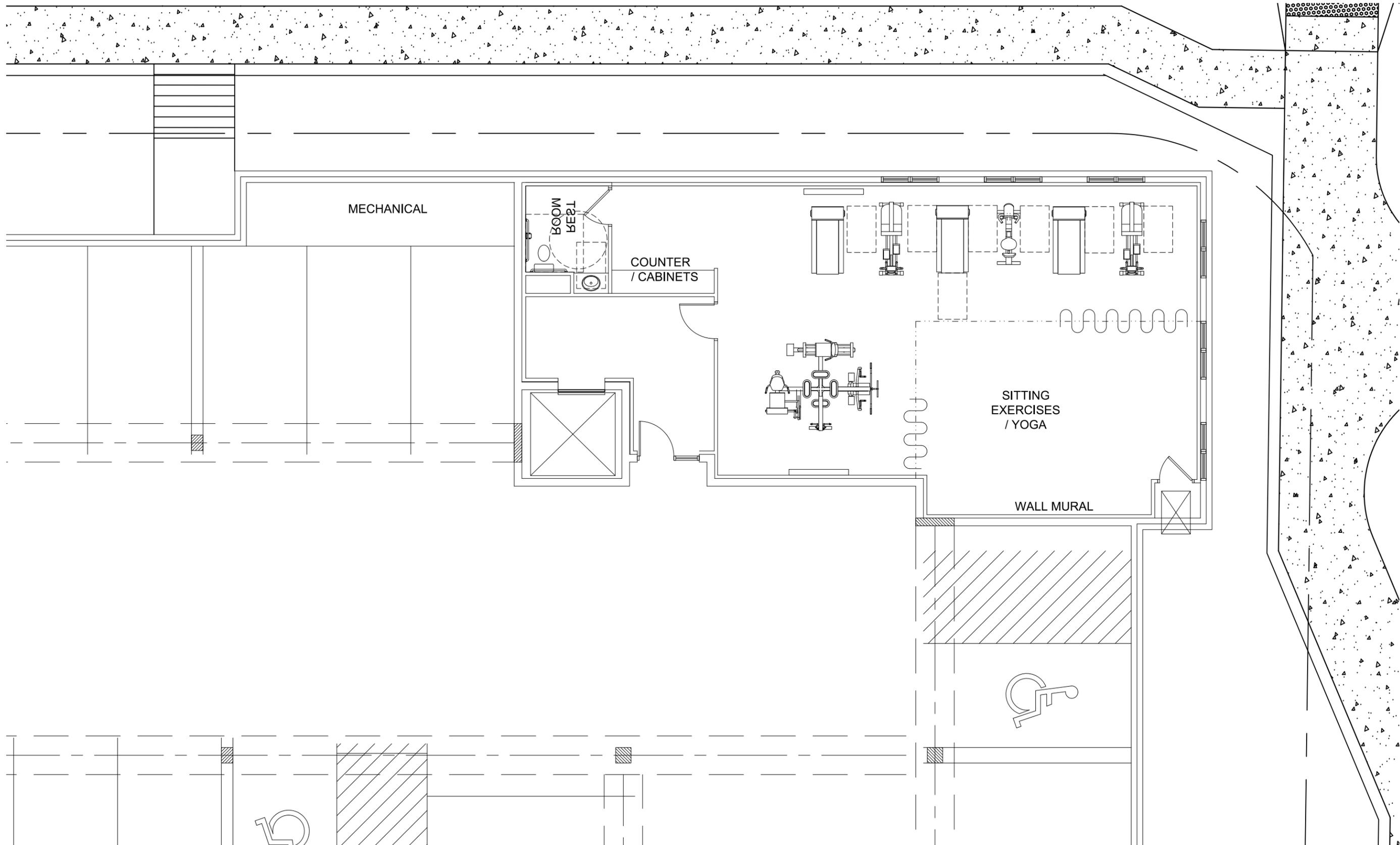


TRACEWAY DRIVE

FISH HATCHERY ROAD

75 SURFACE PARKING STALLS  
 110 COVERED PARKING STALLS  
**185 TOTAL**



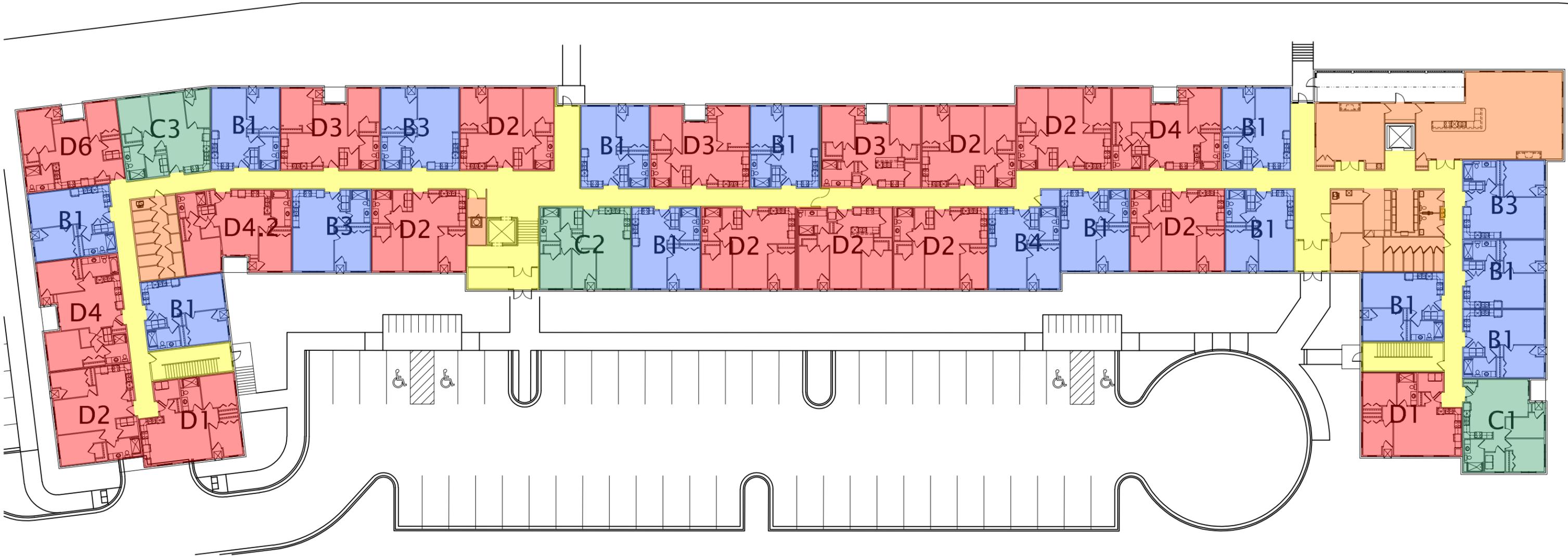


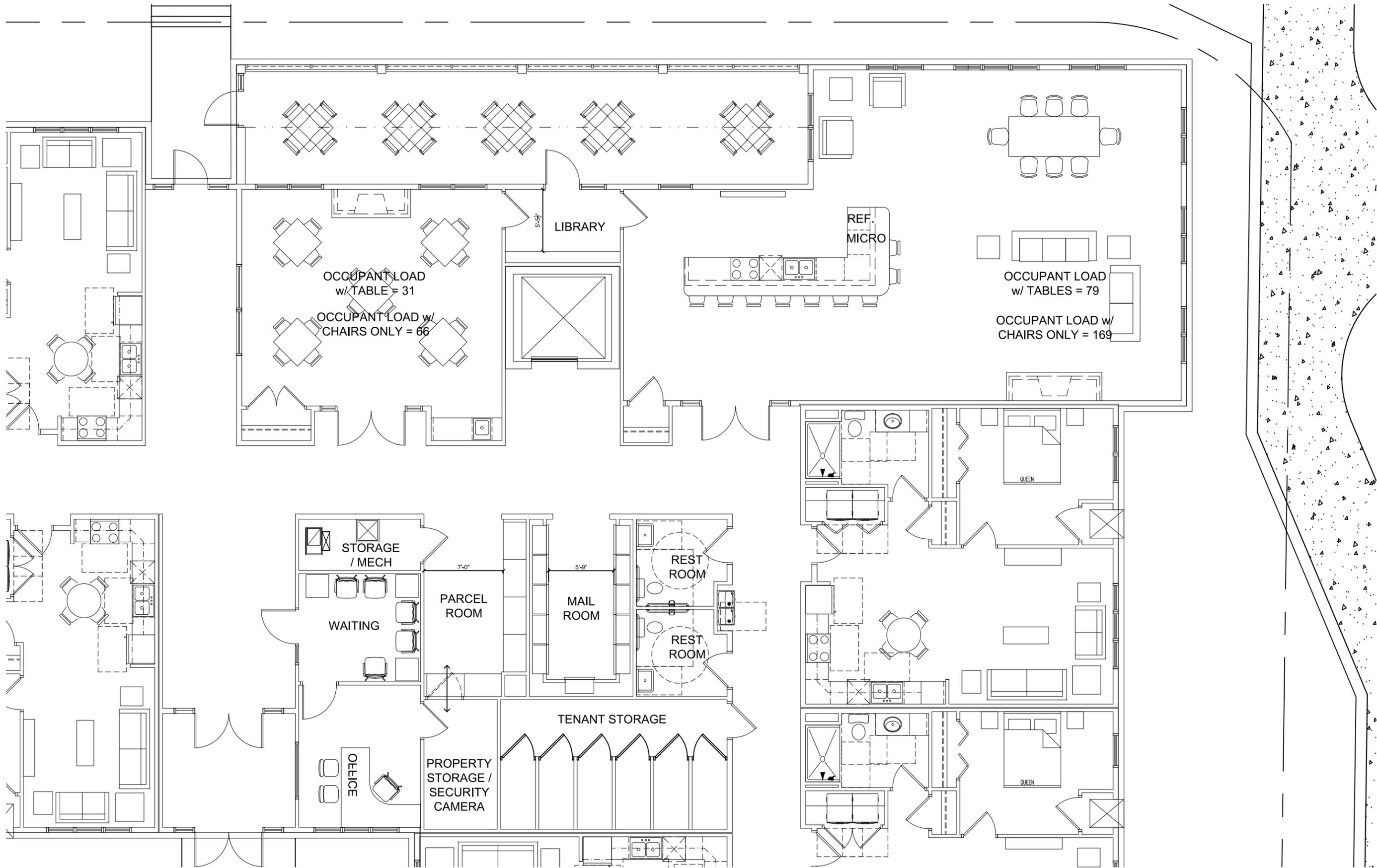
**JLA**  
ARCHITECTS

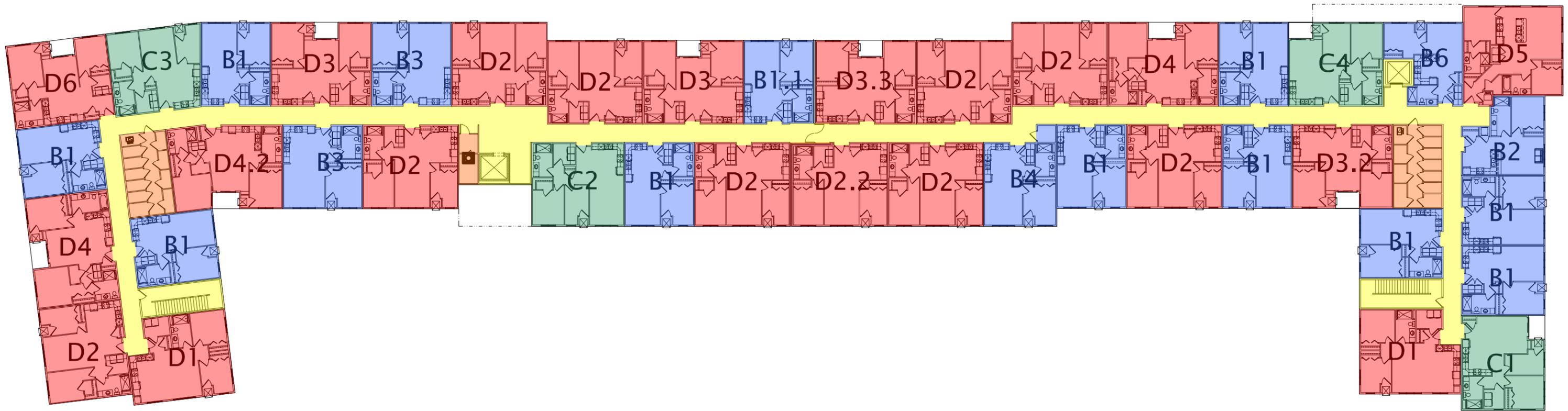
FITCHBURG SENIOR APARTMENTS  
LOWER LEVEL FITNESS ROOM

JANUARY 18, 2019

1/8"=1' @ 11x17









1 ELEVATION 1  
1/8" = 1'-0"



2 ELEVATION 2  
1" = 20'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-0305

FITCHBURG SENIOR  
APARTMENTS

PROGRESS SET

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 18, 2019

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

SKETCHUP  
ELEVATIONS

SHEET NUMBER

A200.1



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-0305



① ELEVATION 3  
1/8" = 1'-0"



② ELEVATION 4  
1" = 20'-0"

### FITCHBURG SENIOR APARTMENTS

PROGRESS SET

#### PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE **JANUARY 18, 2019**

#### REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

SKETCHUP ELEVATIONS

SHEET NUMBER

A201.1



1 ELEVATION 5  
1/8" = 1'-0"



2 ELEVATION 6  
1/8" = 1'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-0305

FITCHBURG SENIOR  
APARTMENTS

PROGRESS SET

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE **JANUARY 18, 2019**

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

SKETCHUP  
ELEVATIONS

SHEET NUMBER

**A202.1**



**JLA**  
ARCHITECTS

# FITCHBURG SENIOR APARTMENTS

CONCEPTUAL PERSPECTIVE

JANUARY 18, 2019

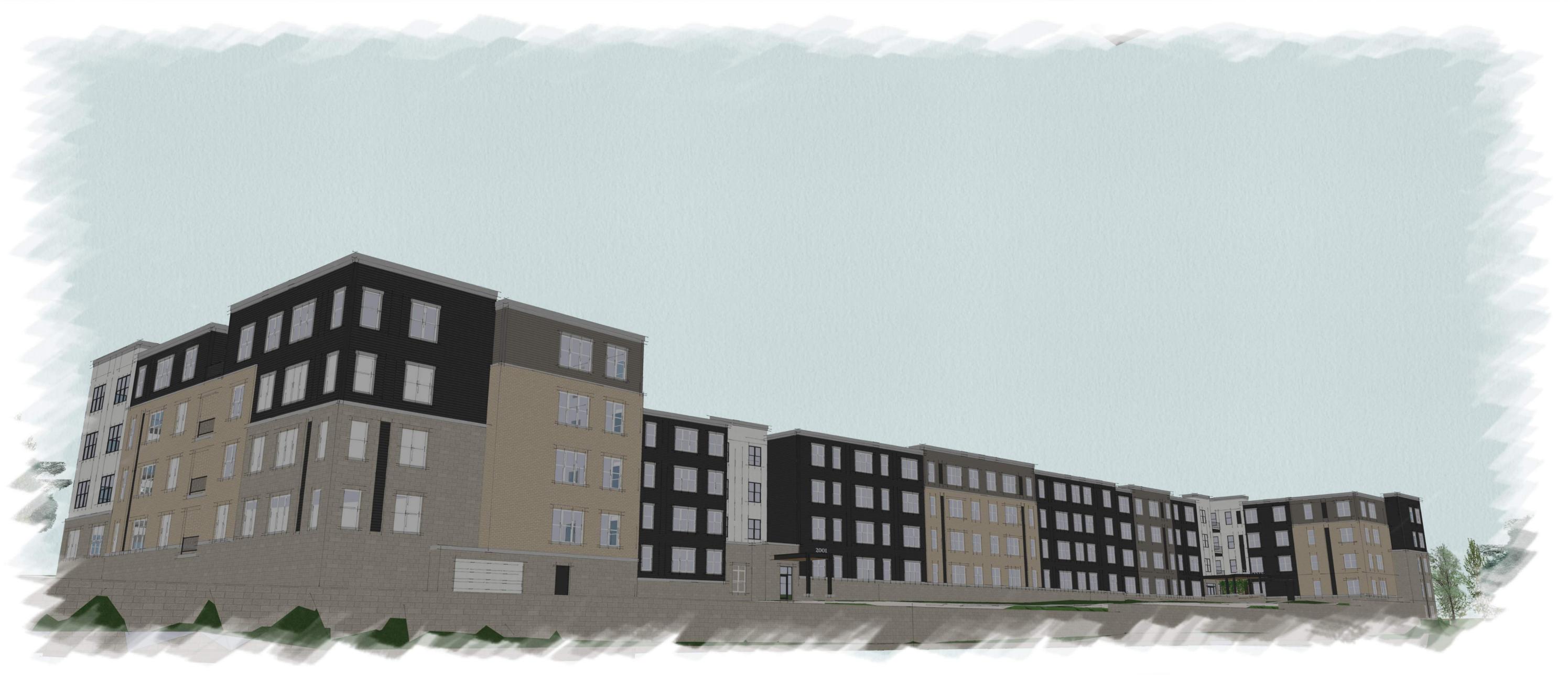
NTS



**JLA**  
ARCHITECTS

## FITCHBURG SENIOR APARTMENTS

JANUARY 18, 2019



**JLA**  
ARCHITECTS

# FITCHBURG SENIOR APARTMENTS

CONCEPTUAL PERSPECTIVE

JANUARY 18, 2019

APPENDIX 'E'  
MINOR PDD & SIP MODIFICATION  
SIGNAGE



