



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Marc Ott - JLA Architects

Address: 2418 Crossroads Drive, Suite 2300

Phone Number of Contact Person: 608-442-3867

City, State, Zip Code: Madison, Wi 53718

Email of Contact Person: mott@jla-ap.com

Project Address: _____

Lot: 10

Subdivision: Orchard Pointe

Project Type: **Multi-Family** **Commercial** **Industrial** **Other**
 New **Addition**

Impervious Surface Ratio (ISR): 45.91 (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details, including grading plan.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

Landscaping:

- 1. Location, species, size of existing trees, shrubs, and plantings.
- 2. Location, species, size of proposed plantings.
- 3. Location and size of all paved, seeded/sodded and gravelled areas.
- 4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed:  Date: 06-23-2020
Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: 6/23/20 Plan Commission Date: 7/21/20

Comments:



JLA
ARCHITECTS

June 23, 2020

City of Fitchburg – Planning & Zoning
5520 Lacy Road
Fitchburg, WI 53711

Re: Limestone Ridge Apartments
Lot 10 – Orchard Pointe
SIP & ADR Revision

Ms. Sonja Kruesel,

Please accept submitted packages for minor revision to the previously approved SIP and Architectural Design Review. The minor revision are as follows:

SIP

- Decrease total development density from originally approved 135 dwelling units to 116 dwellings units
 - o The footprint of the large building has not changed from the original approval. The smaller building has been eliminated, and the unit mix in the larger building has been modified. The unit mix has been revised as follows:

	<u>New</u>	<u>Original</u>
1 Bedroom Units:	78 (67.2%)	79 (58.5%)
2 Bedroom Units:	21 (18.1%)	33 (24.4%)
3 Bedroom Units:	17 (14.7%)	22 (16.3%)
Total	116	135

Architectural Design Review

- Minor revisions to exterior projections.
 - o The large building footprint has not changed. Some of the walk-up exterior first floor entries have been removed.
 - o The original smaller 24 unit building has been eliminated, along with the concrete plaza between the two buildings.

Thank you for your time in reviewing our proposal.

Sincerely,

Marc Ott
Project Manager

JLA ARCHITECTS + PLANNERS

SPECIFIC IMPLEMENTATION PLAN
REVISED
LIMESTONE RIDGE APARTMENTS

Fitchburg, Wisconsin



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PROJECT TEAM:



JT Klein, INC.
818 S. Park Street
Madison, Wisconsin 53715
Contact: Jacob Klein, 612.202.1577



JLA ARCHITECTS + PLANNERS
2418 Crossroads Drive, Suite 2300
Madison, Wisconsin 53718
Contact: Marc Ott, 608.241.9500



VIERBICHER, INC.
999 Fourier Drive, Suite 201
Madison, Wisconsin 53717
Contact: Randy Kolinske, 608.821.3950

PROJECT LOCATION & GENERAL DESCRIPTION

Limestone Ridge Apartments will be a high-quality mixed income residential community serving the increased demand for affordable housing in the Fitchburg area over the next five years and beyond. It will be located on a 3.78-acre parcel at the corner of Fitchrona Road and Limestone Lane in the Orchard Pointe development.

Surrounding Context

The project site is surrounded by existing big box retailers, commercial businesses, and restaurants.

Existing Topography

The majority of the project site has a small change in elevation, then drops 14 feet to the Limestone Lane on the east. The south property lines is contains a rock hill with dense trees that climbs upto 20 feet in height. There are no wetlands within the boundary of the parcel.

Existing Vegetation

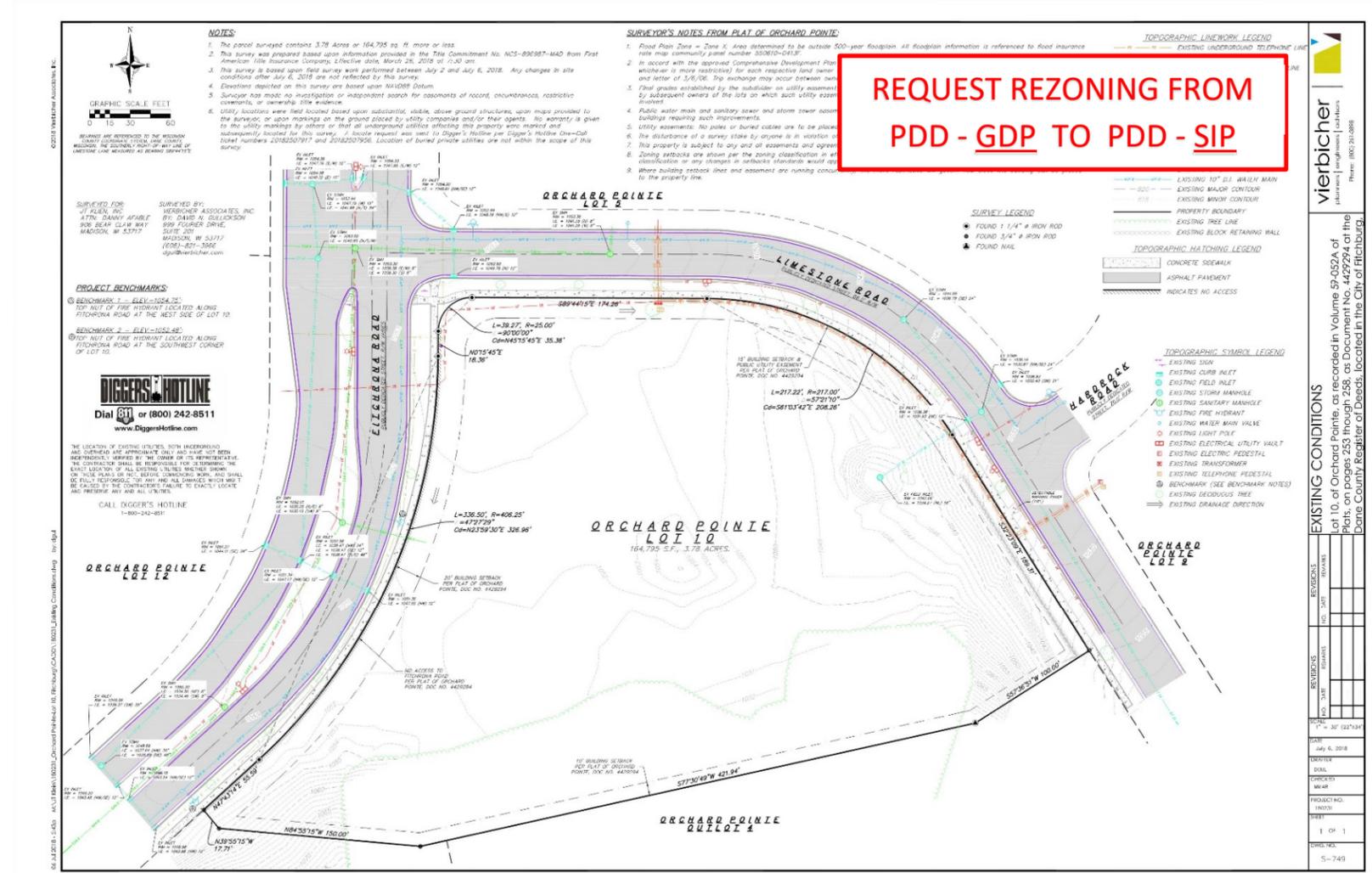
The project site currently has mature trees along the southern edge of the parcel and is otherwise a vacant lot with an open grass area.



LEGAL DESCRIPTION

Lot 10, Orchard Pointe, as recorded in Volume 59-052A of Plats, on Pages 253-258, as Document Number 4429294, Dane County Registry, located in the SW 1/4 - NW 1/4 of Section 07, Township 06 North, Range 09 East, City of Fitchburg, Dane County, Wisconsin.

Containing 164,795 square feet or 3.78 acres, more or less.



RATIONALE FOR A PLANNED DEVELOPMENT DISTRICT

We believe there is a need to take advantage of the option for Planned Development District Zoning for the Limestone Ridge Apartments in order to accomplish the goals of providing a quality infill development.

To accomplish these goals, we reference the City's Ordinance with the following reasons:

- Section 22-144 – Permitted Uses (3): Only permits up to 8 units per building. While we realize dwelling structures having greater than eight dwelling units are allowed as a Conditional Use (per 22-145 (6)), we desire the long-term stability afforded under a permanent zoning classification.
- Section 22-146 – Dimensional Standards (2) b: Requires a minimum of 2,200 square feet of lot area per each 1-bedroom unit, 2,400 square feet per each 2-bedroom unit, and 2,700 square feet per each 3-bedroom unit, with the provision that each structured parking space reduces the minimum lot area by 500 square feet. With our proposed unit mix and total unit count of 116 units, this standard would require a parcel of 411,100 square feet or 9.43 acres, over double our parcel size of 3.78 acres.
- Section 22-146 – Dimensional Standards (2) c: Restricts lot size to a maximum of 90,000 square feet. We are utilizing one developable lot for this project with an area of 164,795 square feet, or 3.78 acres.
- Section 22-146 – Dimensional Standards (4): Sets the minimum front setback (Limestone Lane) at 30 feet. In order to keep with our desire to provide a more urban feel to multi-family residential developments, we propose a minimum setback of 15.0 feet.

- Section 22-146 – Dimensional Standards (6): Sets the minimum street side setback (Fitchrona Road & Limestone Lane) at 25 feet. In order to keep with our desire to provide a more urban feel to multi-family residential developments, we propose a minimum setback of 15 feet.
- Section 22-146 – Dimensional Standards (8): Restricts the maximum building height to 45 feet or 3 stories, whichever is less. We are planning 4-stories of residential on top of an underground parking structure that is partially exposed due to grading on site. While we realize dwelling structures having greater than 3 stories is allowed as a Conditional Use (per 22-146 (8)), we desire the long-term stability afforded under a permanent zoning classification.
- Please refer to masterplan image on Page 6 for setbacks and dimensions.
- This specific implementation plan substantially complies with the previously approved General Implementation Plan.

ECONOMIC & SOCIAL IMPACTS

We believe that this project will have positive economic & social impacts on the area.

Property Values and Tax Revenue

This project represents a total investment of over \$26,800,000.00. It is estimated that this project would have an estimated value of approximately \$7,800,000.00

In addition to the value of this specific project, the surrounding properties could realize an increase in values because of this project - thus creating additional tax revenues.

Impact Fees

This project should generate the following estimated Impact Fees to the City (2018 fees listed):

Park Improvement Fee:	116 units x \$160 =	\$ 18,560.00
Fire Protection Fee:	(78) 1BR x \$311 =	\$ 24,258.00
	(21) 2BR x \$466 =	\$ 9,786.00
	(17) 3BR x \$466=	\$ 7,922.00
Water Impact Fee:	116 units x \$800 =	\$ 92,800.00
Total Projected Impact Fees:		\$153,326.00

Any fee in lieu of Street Frontage for Parks per Ordinance 24-15(e) and 22-647(3), or Parkland Dedication per Ordinances 24-2(d)(2)(a) and 24-2(d)(2)(e) shall be established by the time of the Final Plat.

- We acknowledge current City Ordinances include parkland dedication fees, however since the 133-unit apartment building will be affordable housing we intend to apply for a waiver of those fees. We have made similar requests for affordable housing and were awarded lower park and/or impact fees or a total fee waiver for recent projects in Madison, Middleton and Mount Horeb. We additionally understand that the Fitchburg Housing Task Force is

currently discussing the potential of recommending the waiver of Parkland Dedication and Parkland Improvement fees to encourage the development of affordable housing.

Social Impacts

Although social impacts cannot be predicted or quantified, we believe that this project will also have a positive social impact on the area.

- The addition of this quality residential community should improve the perceived image of the immediate area.
- The addition of this quality residential community will help to create workforce housing in an area of high retail employment.
- The addition of this quality residential community could serve as an example for future development - creating higher standards in design & living amenities.

Affordability

This project will feature Federal and potentially State low-income housing tax credit units with an average unit income restriction of approx. 55% County Median Income. The unit mix offers residents the choice between 1, 2, or 3-bedroom units featuring modern amenities such as an open floor plan, in unit washer and dryer, walk-in closets, outdoor patio/balcony areas, fitness room, underground parking, and outdoor play structure.

CONSISTENCY WITH COMPREHENSIVE PLAN

This project complies with the City of Fitchburg's Comprehensive Plan. Specifically, the following is an analysis of how this project meets or advances the goals, objectives, and policies outlined in the Comprehensive Plan.

Land Use Goal 1:

This project preserves and enhances the natural and agricultural resources of the City as follows:

Objective 1: This project is consistent with the long term urban growth map and related phasing plan.

Policies: (2) This project will be served by gravity flow sanitary sewer
 (3) This project is being developed on an urban infill site within the urban growth boundary and is not replacing high quality agricultural lands.

Objective 2: This project is protecting environmental resources by using high density, sustainable development, and revitalization of underutilized land.

Policies: (2) This project is not within or near identified wetlands.
 (7) This project is not within or near identified floodplains

Land Use Goal 2:

This project is a compact urban community that is visually and functionally distinct from the rural and agricultural community.

Objective 1: This is a project that is a significant reinvestment in the community as a redevelopment of urban infill land.

Policies: (1) This is a redevelopment of land in accord with the Future Land Use map.

Objective 2: This is a project that will restore underutilized land within current commercial neighborhoods.

Policies: (2) A plan for redevelopment has been established to help guide the use of City resources.

Objective 3: This is a compact development that will have a logical and sustainable mix of uses and will preserve open space and natural areas within the surrounding area by utilizing higher density design.

Policies: (1) This project provides in-demand affordable work force residential rental units utilizing low income housing tax credits.
 (2) This project fits in well with the existing and planned infrastructure and land uses.

Objective 5: Utilities and infrastructure are being extended to this project in an efficient manner.

Policies: (1) This project is within the urban growth boundary.
 (3) This high-density project is located at the intersection of Fitchrona Road and Limestone Lane and is therefore consistent with proposed functional roadway classifications.

Objective 6: This project's location encourages options to alternative transit modes.

Policies: (1) This project falls along an existing bus route.

Objective 7: This project is within the urban service area.

Policies: (3) This project is within the urban service area.

Objective 8: This project is consistent with the Future Land Use map.

Policies: (1) PDD zoning is consistent with the High Density Residential land use designation and the Future Land Use map.

Natural Resources Goal 1:

This project will protect the natural environment.

Objective 3: This project will protect natural resources

- Policies:
- (1) This project will meet all current City storm water control requirements.
 - (2) This project will meet all current City erosion control requirements.
 - (3) This project will meet all current Floodplain and Wetland ordinances. There are no floodplains or wetlands within the project boundary.
 - (5) This project is not developed on private septic.

Housing Goal 1:

This project will provide a much in-demand housing choice: Work force housing tax credit rental units.

Objective 1: This project promotes the development of housing to meet the current and future needs of senior residents within the City.

- Policies:
- (1) This project is an efficient use of land in the urban service area and provides for multi-modal friendly densities.
 - (2) This project adds variety to the area.
 - (4) This project will meet the demand of income qualified residents within the community.

Objective 2: This project promotes the development of housing for low-moderate income residents.

- Policies:
- (1) This project promotes high level and quality sustainable construction by implementing higher standards in design and living amenities.
 - (2) This project will utilize federal and state low income housing tax credits.
 - (3) This project will provide affordable housing for low-income persons.

Housing Goal 2:

This project makes efficient use of land for housing.

Objective 1: This project is a compact neighborhood.

- Policies:
- (1) This project creates compactness and efficiency which helps preserve rural land resources.
 - (2) This project will provide a variety of housing types by offering one-bedroom, two-bedroom, and three-bedroom units as well as various open space uses.
 - (3) The boundary of this project site does not fall within an environmental corridor.
 - (4) This infill project makes wise use of underutilized land in the current urban service area, where service provisions already occur.
 - (5) We are proposing high residential density, which promotes wise use of the land resource and reduces land located elsewhere required to meet housing demand. This helps to preserve agricultural and other open space land outside the urban service area.
 - (6) By utilizing the PDD design review process, the City will be allowed to ensure sound sustainable housing design.

Objective 2: This residential development is occurring in an area with existing infrastructure and sewer.

- Policies:
- (1) This residential housing project is in an area served by full urban services, including sanitary sewers and public water with convenient access to community facilities, retail centers, and to arterial highways.
 - (2) This project is not an un-sewered development.

Utilities Goal 1:

This project will provide and maintain high quality public utility services.

Objective 1: This project will provide and maintain an adequate supply of safe water for drinking and fire protection needs.

Policies: (1) This project will meet all requirements of the Safe Drinking Water Act.

Utilities Goal 2:

This project will maintain and extend existing public utility systems within the urban development boundary.

Objective 1: This project will maintain and improve the condition of existing sanitary sewer and water infrastructure.

Policies: (4) This project will be served with gravity flow sanitary sewer.

Objective 2: This project is being developed within the existing urban service area and adjacent to existing public infrastructure.

Policies: (3) Utilities will not be placed in wetlands or other environmentally sensitive areas.

Utilities Goal 4:

This project will improve the Fitchburg park and open space system.

- We acknowledge current City Ordinances include parkland dedication fees, however since the 109 units of the building will be affordable housing we intend to apply for a waiver of those fees. We have made similar requests for affordable housing and were awarded lower park and/or impact fees or a total fee waiver for recent projects in Madison, Middleton and Mount Horeb. We additionally understand that the Fitchburg Housing Task Force is currently discussing the potential of recommending the waiver of Parkland Dedication and Parkland Improvement fees to encourage the development of affordable housing.

Transportation Goal 1:

This project is part of a coordinated land use and transportation system.

Objective 1: This project is a compact, urban development.

Policies: (1) This project features buildings closer to the sidewalks, street trees, street lighting, lower parking ratios, structured parking, and parking behind buildings.

Transportation Goal 2:

In conjunction with this project, a safe and efficient transportation system will be provided for the neighborhood.

Objective 2: This project will maintain a transportation system that allows for proper traffic management.

Policies: (2) The pattern of streets and sidewalks in the project area will maximize the connectivity of land uses within the neighborhood and to areas outside the neighborhood.
 (4) The streets in this project area are interconnected to preserve mobility and avoid travel delays.
 (6) This project is not located with direct access to major streets and roadways.
 (7) This project is not located with direct access to major streets and roadways.

LAND USE

When complete, this project will contain multi-family residential use. This 3.78-acre parcel will be consistent with the City's Comprehensive Plan with a High-Density Multi-Family Residential Use. It will have 109 workforce housing tax credit units, 24 market rate units, along with their associated common amenity spaces. At the time of this Specific Implementation Plan, the mix of residential units is as follows:

	<u>New</u>	<u>Original</u>
• 1 Bedroom Units:	78 (67.2%)	79 (58.5%)
• 2 Bedroom Units:	21 (18.1%)	33 (24.4%)
• 3 Bedroom Units:	17 (14.7%)	22 (16.3%)
Total	116	135

Within each unit type there will be a variety of unit sizes. This mix of unit types & sizes will serve a variety of potential residents.

In addition to the residential units themselves, the project will contain various common space amenities integrated within the buildings or around the site. At the time of this Specific Implementation Plan, the anticipated common amenities are:

- On-site Management/ Leasing Office
- Commons Area w/ patio
- Fitness Center
- Outdoor Play Structure
- Walking Access to Target and HyVee.

SITE DESIGN & ZONING STANDARDS

The Masterplan of Limestone Ridge Apartments has been thoughtfully designed to address numerous site challenges including the existing topography.

Masterplan Design Highlights:

- The bulk of building is located at the “rear” of the site to take advantage of the topography and soften the street edge.
- Surface parking is kept to the interior of the site to reduce its visual impact from the public streets.
- Pedestrian pathways not only connect the site internally, but also connect the project site with adjacent parcels.

Off Street Parking:

The City’s typical parking requirement is 2.0 parking stalls per residential dwelling unit. Based on our experience with workforce housing tax credit developments, and considering the unit mix, and access to public transportation and retail stores, we find that this requirement would be excessive. Therefore, we are proposing a minimum of 1.24 parking stalls per dwelling unit. We believe that providing this level of parking will be appropriate for this project, will allow the site to have less impervious paving, and will minimize the visual impact of surface parking on the site and the surrounding areas.

Off-Street Bicycle Parking:

In addition to off-street vehicular parking, we are proposing a minimum of 0.20 bicycle parking stalls per dwelling unit. Exterior stalls are located with proximity to the entrances of the building. For long-term storage, bike racks are proposed within the Lower Level parking area.

Storm Water Management Overview:

Storm water management for this site will be satisfied with the construction of a below grade management system located beneath the parking areas. All storm water management for this site will remain within the site boundaries. All City of Fitchburg ordinance requirements will be met.

Maintenance of all storm sewer structures and pipes within the development parcel will be the responsibility of the property Owner.

Landscape Design:

The new landscape design for this project will meet all City of Fitchburg landscape design requirements. Please see Appendix 'C' of this document for the Preliminary Landscape Plan.

Refuse & Recycling Storage & Removal:

This building will have a refuse & recycling room on the Lower Level centrally located near the elevator and stairs. A private waste management company will be contracted to provide recycling & refuse services as appropriate for the development.

Specific Implementation Plan Data

At the time of this Specific Implementation Plan, the Masterplan Data is as follows. This data is subject to change as the design of the project proceeds. However, final Masterplan Data that meets the “Planned Development Zoning Standards” on the following page will be provided in the subsequent Specific Implementation Plans for this project.

LIMESTONE RIDGE APARTMENTS - CONCEPTUAL MASTERPLAN DATA FEBRUARY 19, 2019									
BUILDING						PARKING			
NAME	USE	FOOTPRINT	FLOOR AREA	UNITS	COVERED	SURFACE	TOTAL	RATIO	
	Multi-Family	47,109 S.F.	124,887 S.F.	116	95	49	144	1.24 / UNIT	
TOTALS		47,109 S.F.	124,887 S.F.	116	95	49	144	1.24 / UNIT	

FITCHBURG SENIOR APARTMENTS ZONING REQUIREMENT VALUES – AS OF JUNE 19, 2018 (SUBJECT TO CHANGE)						
ZONING REQUIREMENT	CURRENT DESIGN VALUE		CALCULATIONS			
SITE DENSITY	3.29	Units/Acre	116	Units /	35.18	AC. = 3.29
BUILDING COVERAGE	20.8%	of Parcel	34,333	S.F. /	164,795	S.F. = 20.8%
LANDSCAPE AREA	42.5%	of Parcel	102,367	S.F. /	164,795	S.F. = 62.1%
IMPERVIOUS SURFACE	42.8%	of Parcel	28,096	S.F. /	164,795	S.F. = 17.0%
FLOOR AREA RATIO	0.934%	of Parcel	124,887	S.F. /	164,795	S.F. = 0.757%

LIMESTONE RIDGE APARTMENTS BICYCLE PARKING – AS OF FEBRUARY 19, 2019						
BUILDING		BICYCLE PARKING				
NAME	UNITS	COVERED	SURFACE	TOTAL	RATIO	
BUILDING	116	7	16	23	0.20 PER UNIT	
TOTALS	116	7	16	23	0.20 PER UNIT	

Planned Development Zoning Standards

Under the proposed Planned Development Zoning, the project shall meet the following Zoning Standards:

- Residential Density: 36 units per acre (maximum)
- Building Height: Maximum of 4 Stories and Maximum 65 feet (to mid-point of roof)
- Front Street Setback: 15.0' (minimum)
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Side Street Setback: 15.0' (minimum)
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Side Yard Setback: 15.0' (minimum)
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Rear Yard Setback: 30' (minimum)
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Building Coverage: 47,570 S.F. (28.8%) of Parcel Area (maximum)
- Floor Area Ratio: 0.934
- Impervious Surface Ratio: 75,665 S.F. (45.9%) of Parcel Area (maximum)
- Off-Street Parking: 1.29 Auto Spaces per Dwelling Unit (minimum)
- Off-Street Bicycle Parking: 0.25 Bike Spaces per Dwelling Unit (minimum)

ENVIRONMENTAL BENEFITS OF PLANNED DEVELOPMENT ZONING

The Environmental Benefits of using Planned Development District Zoning for this project come from the greater flexibility in both density & zoning standards that is allowed under PDD Zoning than would be allowed under the City's High Density Residential Zoning.

Reduction of Sprawl

Because of PDD Zoning, more units can be developed on this site. Therefore, this development can help meet the increasing need for residential units on less land area than would otherwise be required under the City's High Density Residential Zoning.

Less Impervious Surface Area

Because of PDD Zoning, there is greater flexibility in the amount of vehicular parking that must be provided on site. In our Development Team's experience, the parking requirements of the City's High Density Residential Zoning District are excessive for this project - and would result in more impervious surface area across the site than what our plan proposes. Utilizing PDD Zoning for this project will decrease run-off and allow additional landscaped areas.

Enhanced Public Realm

With PDD Zoning, the site can be designed to enhance the character and visual aesthetics of the public realm. Under PDD Zoning, the building setbacks can be reduced to allow the buildings to be located & orientated to address the street edge and to help define the public realm.

ORGANIZATIONAL STRUCTURE

In November 2014, Jacob T. Klein formed JT Klein Company, Inc. with the ambition to develop affordable and senior housing for Wisconsin's low-income families and seniors. Prior to forming JT Klein Company, Inc. Jacob was Vice President and lead developer for a regional multi-family developer based in Minneapolis, MN where he was an owner and minority partner in the firm.

The company has developed and completed Meadow Ridge Middleton, a 95-unit family affordable project in Middleton, WI. 8Twenty Park (affordable family, 95 units), located in Madison. Oak Ridge (affordable senior, 83 units) located in Middleton. Stagecoach Trail Apartments (Middleton TIF-supported workforce and market rate apartments, 46 units) began construction in May 2018.

Over the past 14 years Jacob has been involved with the development and construction of affordable and market rate apartments, independent senior apartments, assisted living and memory care. Jacob's role includes site identification, market analysis, securing entitlements, sourcing debt and equity financing and construction project management. Between his experience with his former firm and with JT Klein Company, Jacob has developed over 1,350 units with project costs totaling over \$200,000,000. He has also served as construction project manager for over 600 of those units with construction contracts of exceeding \$60,000,000.

This project will be professionally managed by an entity controlled by Oakbrook Corporation, Inc.

Oakbrook's multifamily property management group has extensive experience managing apartment communities of all types and sizes including urban mixed-use properties. These properties consist of senior or family communities which operate as market rate properties or were financed with Section 42 Low Income Housing Tax Credits or under various other state and federal programs. Oakbrook Corporation currently employs over 280 individuals and manages over 8,300 apartments in 118 different

properties in Wisconsin, Iowa and Illinois, and 46 commercial properties in the Madison area totaling over 1,900,000 square feet.

Supervision

We have the most experienced, well-trained supervisory employees.

- We have corporate reviews for each property on a bi-monthly basis – and are updated daily on emergency maintenance issues.
- Each on-site Property Manager conducts a daily staff meeting and is the key contact person for each property.
- We maintain continual maintenance personnel contact, so we are on top of all existing or potential maintenance issues.
- We implement thorough bi-monthly property inspections for each property.

Applicant Screening

To help ensure that we are attracting quality residents, we obtain the following information from prospective residents:

- Criminal background checks
- Credit checks
- Recommendations/Referrals of previous landlords
- Income qualifications & verifications

PROJECT IMPLEMENTATION

The construction of the Limestone Ridge Apartments is anticipated to maintain the following schedule in one single phase with completion in the Summer of 2020:

Schedule

Anticipated Construction Start – October 2020

Anticipated Leasing – September 2021

APPENDIX 'A'
SPECIFIC IMPLEMENTATION PLAN
DEVELOPMENT SITE PLAN

APPENDIX 'B'
SPECIFIC IMPLEMENTATION PLAN
GRADING & UTILITY PLANS

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING CURB INLET
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WELL
- EXISTING GAS VALVE
- EXISTING GAS METER
- EXISTING AIR CONDITIONING PEDESTAL
- EXISTING TRANSFORMER
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE

- EXISTING TELEPHONE PEDESTAL
- EXISTING SHRUB
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

GRADING AND EROSION CONTROL LEGEND

- SILT FENCE
- DISTURBED LIMITS
- INLET PROTECTION
- TRACKING PAD
- STRAW WADDLE

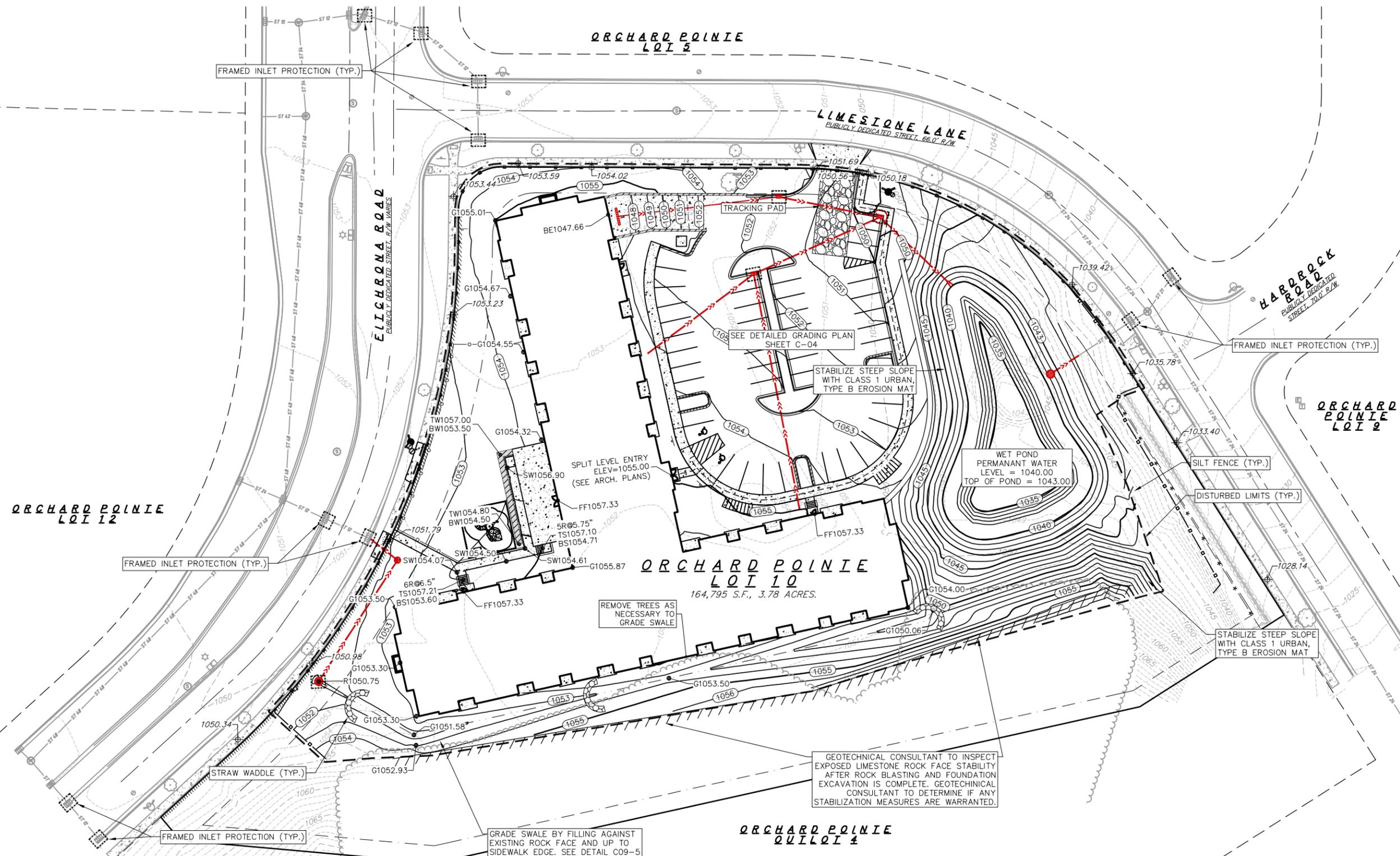
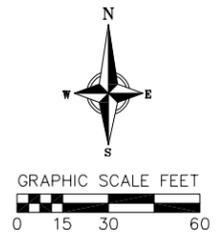
ABBREVIATIONS

- FF - FINISHED FIRST FLOOR
- SL - SPLIT LEVEL ELEV.
- BE - BASEMENT ELEVATION
- TC - TOP OF CURB
- SW - TOP OF SIDEWALK
- P - PAVEMENT
- G - GROUND ELEVATION
- TW - TOP OF WALL
- BW - BOTTOM OF WALL
- R - RIM

NOTES:

- CONTOURS SHOWN ARE FOR REFERENCE ONLY. ALL IMPROVEMENTS SHALL BE CONSTRUCTED BASED ON SPOT ELEVATIONS PROVIDED.
- ALL CURB FACE IS 4" HEIGHT.
- ADA REQUIREMENTS SPECIFY PARKING STALLS SLOPE MUST BE LESS THAN 2% IN ANY DIRECTION. ADA WALKWAYS MUST NOT EXCEED 5% SLOPE IN LONGITUDINAL DIRECTION WITHOUT A RAILING AND 8.3% WITH A RAILING. THE CROSS SLOPE OF AN ADA WALKWAY MUST NOT EXCEED 1.5% SLOPE.
- TYPICAL SIDEWALK CROSS SLOPE IS 1.5% UNLESS OTHERWISE NOTED.

NOT FOR CONSTRUCTION



Grading and Erosion Control Plan

Limestone Ridge
City of Fitchburg
Dane County, Wisconsin

NO.	DATE	REVISIONS	REMARKS

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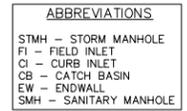
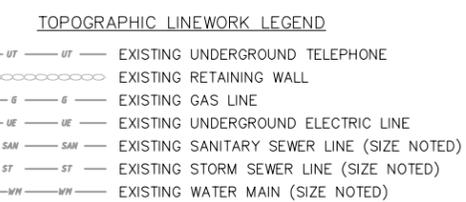
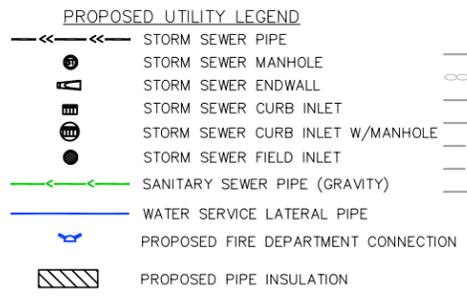
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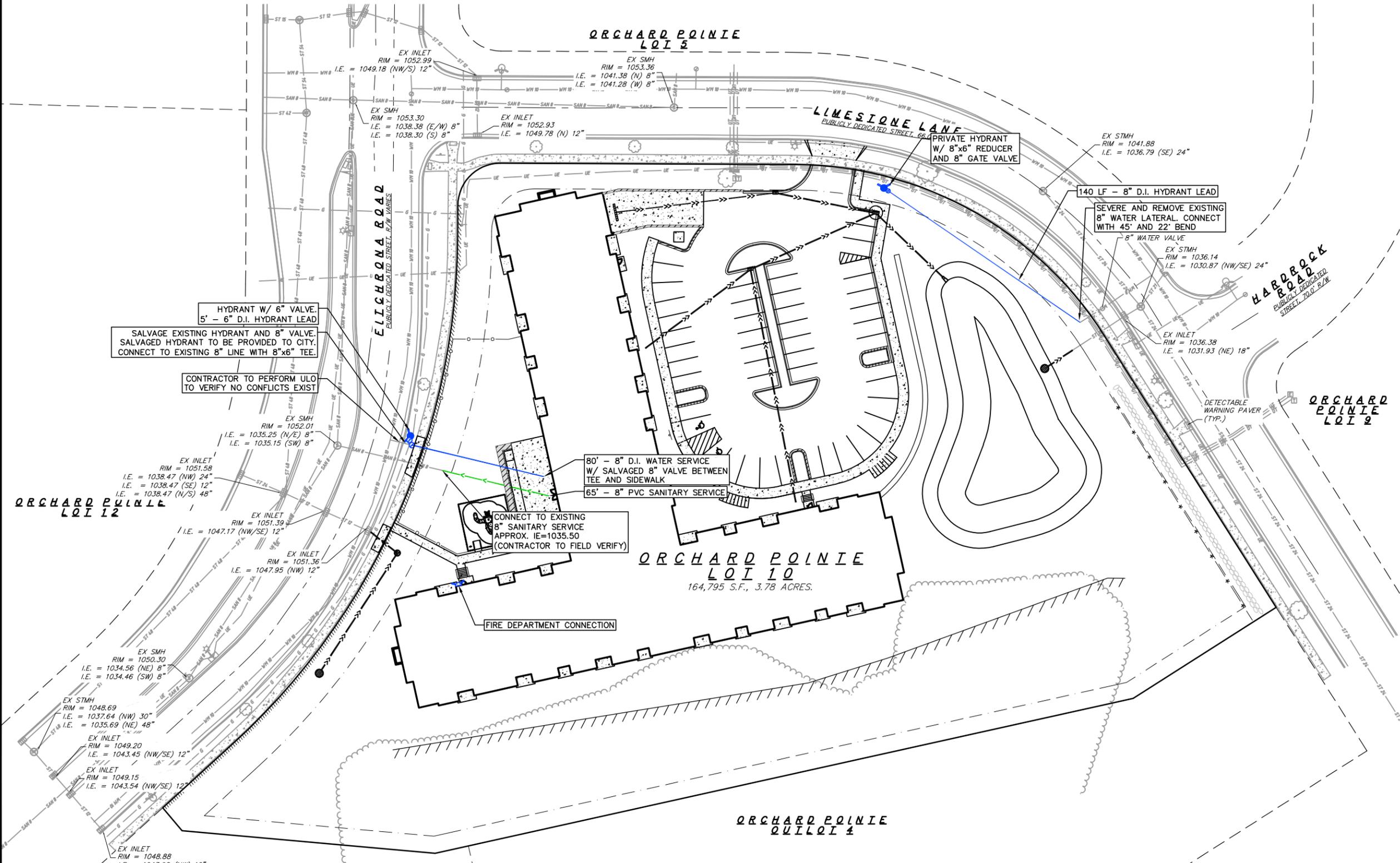
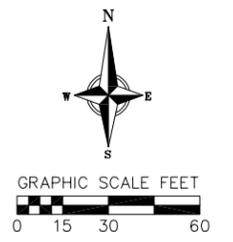
PROJECT NO.: 180231

C
03



- NOTES:**
- CONTRACTOR TO PERFORM UTILITY LINE OPENINGS FOR ALL UTILITY WORK WITHIN UTILITY EASEMENTS OR WITHIN 15 FEET OF THE PROPERTY BOUNDARY PRIOR TO STARTING ANY WORK. NOTIFY THE ENGINEER IF ANY CONFLICTS EXIST.
 - A CITY OF FITCHBURG PERMIT TO EXCAVATE IN THE PUBLIC RIGHT-OF-WAY IS REQUIRED FOR ALL WORK IN THE LIMESTONE LANE AND FITCHRONA ROAD RIGHT-OF-WAYS.
 - ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - ALL WATER MAIN BETWEEN THE PUBLIC WATER MAIN UP TO AND INCLUDING PRIVATE HYDRANTS SHALL BE INSTALLED PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - PER CITY ORDINANCE, CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VALVES. THE CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 270-4270 FOR OPERATION OF THESE VALVES.

- SAFE SAMPLE RESULTS NEED TO BE PROVIDED TO THE FITCHBURG UTILITY PRIOR TO PRESSURE TESTING THE PRIVATE WATER MAINS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE AT THE POINT OF CONNECTION.
- CASTINGS WITH OPEN PICK HOLES ARE PROHIBITED FOR SANITARY MANHOLES.
- ALL WATER SERVICES TO BE 6.5' BELOW FINISHED GRADE AND HAVE A MINIMUM OF 18" OF SEPARATION WHEN CROSSING BELOW STORM SEWER OR STORMWATER FACILITIES.



NO.	DATE	REVISIONS	REMARKS

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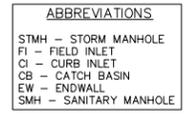
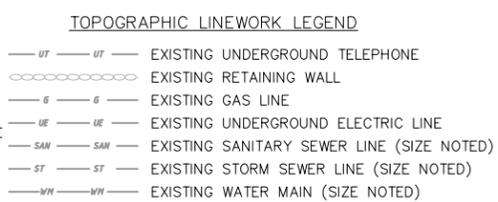
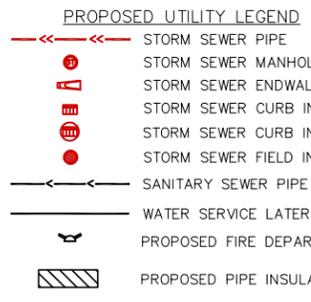
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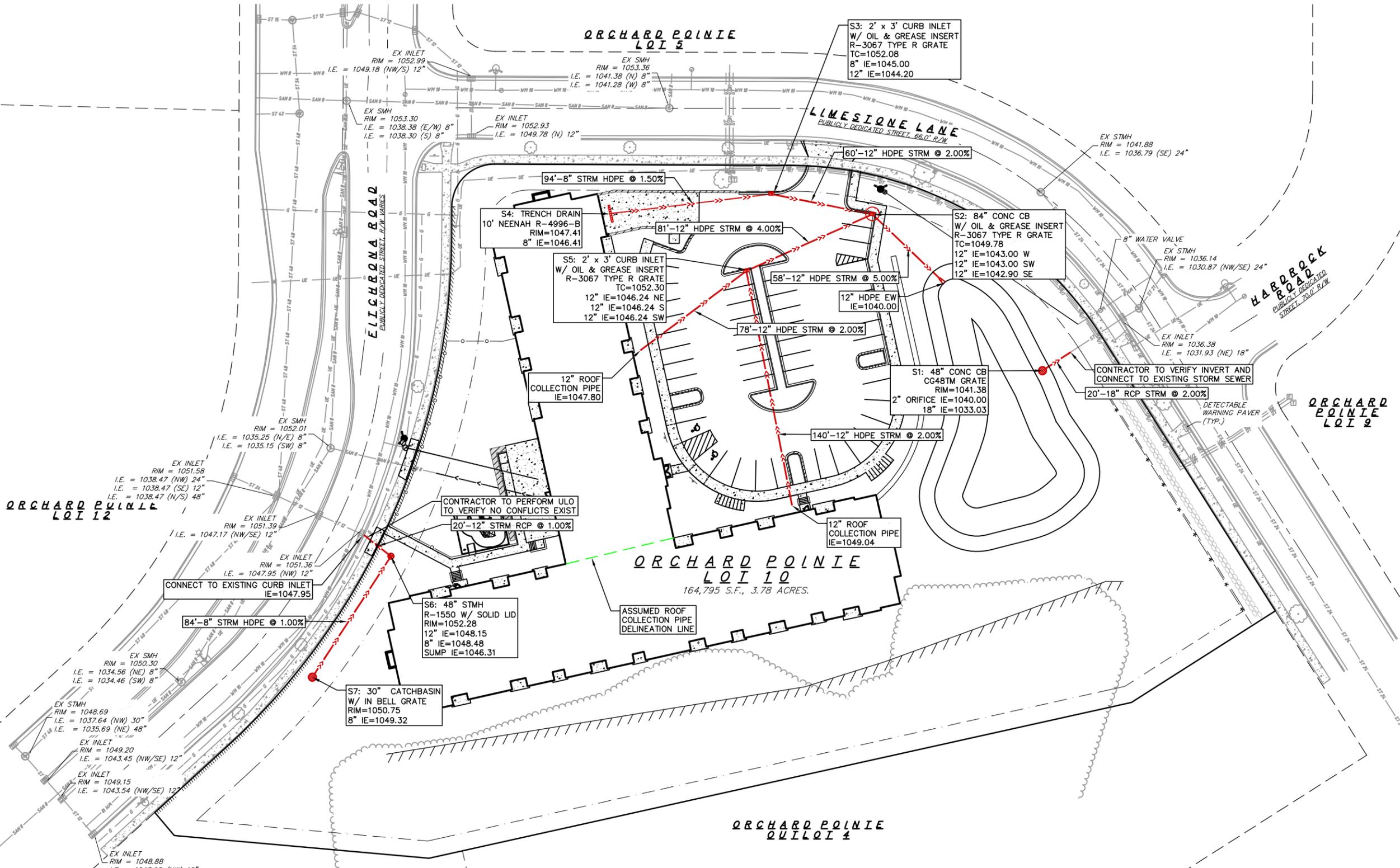
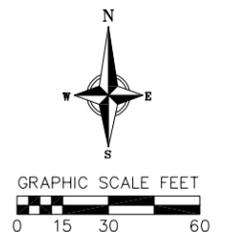
PROJECT NO.: 180231

C
05



- NOTES:**
- CONTRACTOR TO PERFORM UTILITY LINE OPENINGS FOR ALL UTILITY WORK WITHIN UTILITY EASEMENTS OR WITHIN 15 FEET OF THE PROPERTY BOUNDARY PRIOR TO STARTING ANY WORK. NOTIFY THE ENGINEER IF ANY CONFLICTS EXIST.
 - A DANE COUNTY STREET OPENING PERMIT IS REQUIRED FOR ALL WORK WITHIN THE LIMESTONE ROAD RIGHT OF WAY.
 - THE SANITARY SEWER WITHIN THE RIGHT OF WAY IS REQUIRED TO BE INSTALLED WITH TRENCHLESS TECHNOLOGY. SANITARY SEWER MATERIALS IN THE RIGHT OF WAY SHALL BE PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - ALL WATER MAIN BETWEEN THE PUBLIC WATER MAIN UP TO AND INCLUDING PRIVATE HYDRANTS SHALL BE INSTALLED PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - PER CITY ORDINANCE, CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VALVES. THE CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 270-4270 FOR OPERATION OF THESE VALVES.

- SAFE SAMPLE RESULTS NEED TO BE PROVIDED TO THE FITCHBURG UTILITY PRIOR TO PRESSURE TESTING THE PRIVATE WATER MAINS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE AT THE POINT OF CONNECTION.
- CASTINGS WITH OPEN PICK HOLES ARE PROHIBITED FOR SANITARY MANHOLES.



NO.	DATE	REVISIONS	REMARKS

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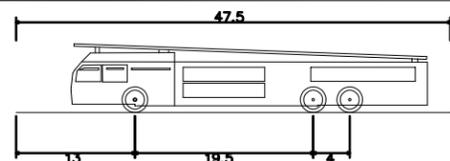
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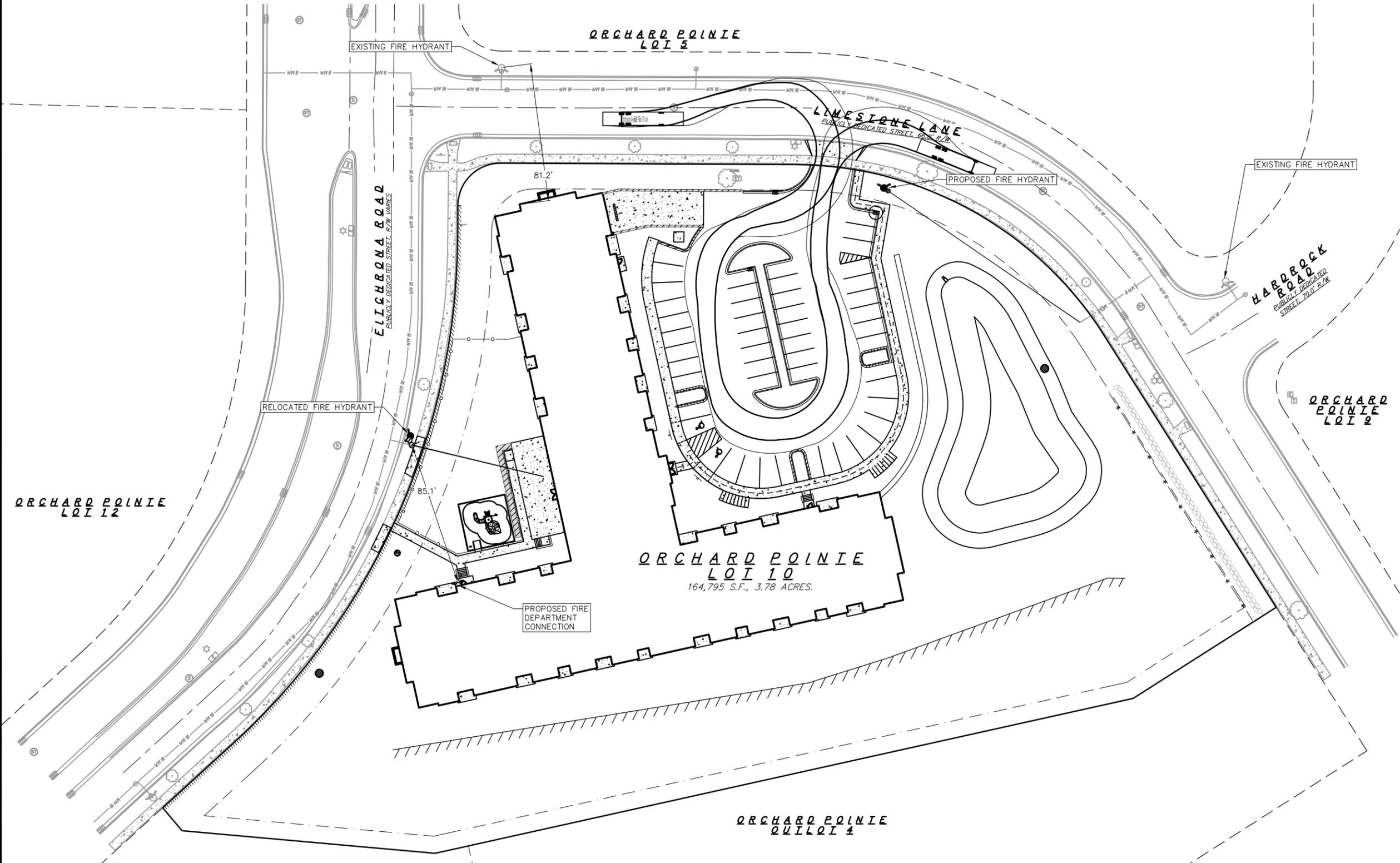
PROJECT NO.: 180231

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06



Fitchburg Aerial Fire Truck
 Overall Length 47.500ft
 Overall Width 8.000ft
 Overall Body Height 7.471ft
 Min Body Ground Clearance 0.721ft
 Track Width 8.000ft
 Lock-to-lock time 5.00s
 Wall to Wall Turning Radius 51.000ft

NOT FOR CONSTRUCTION



Fire Apparatus Plan
 Limestone Ridge
 City of Fitchburg
 Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE: AS SHOWN

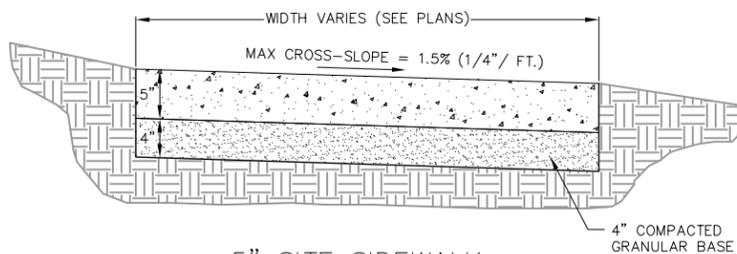
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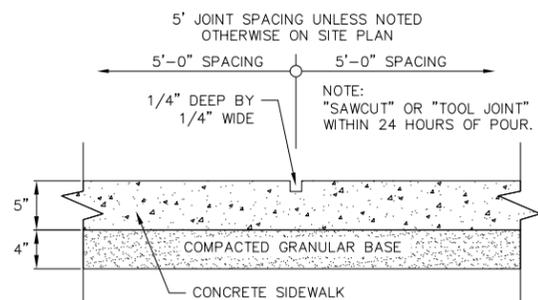
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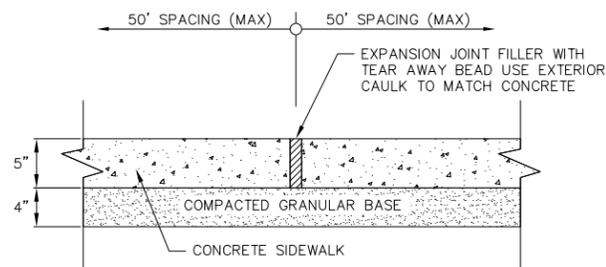
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07



5" SITE SIDEWALK

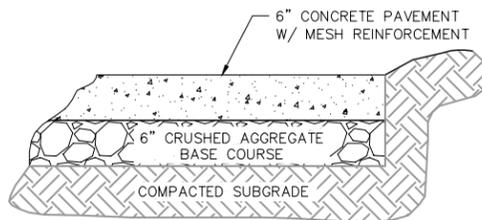
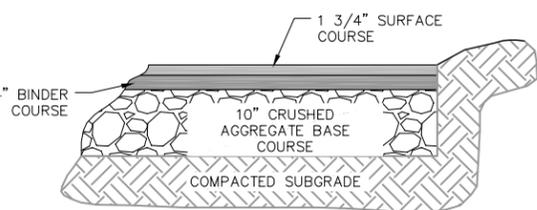


SIDEWALK CONTROL JOINT



SIDEWALK EXPANSION JOINT

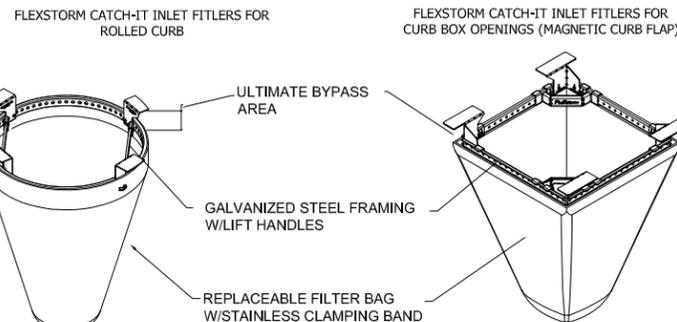
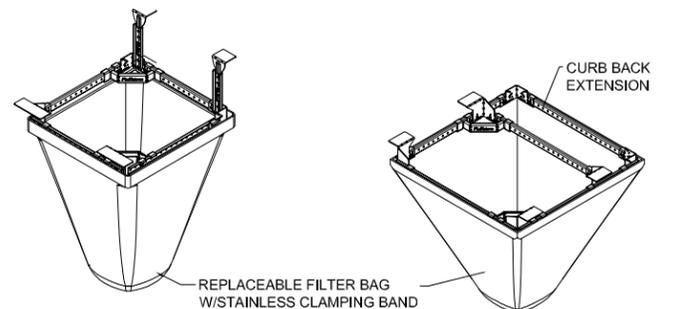
1 5" SIDEWALK
9 NOT TO SCALE



PAVEMENT RECOMMENDATIONS BASED ON GEOTECHNICAL EXPLORATION REPORT PREPARED BY CGC INC, DATED 02/15/2019. SEE SECTION 6 OF THIS REPORT FOR FULL GEOTECHNICAL RECOMMENDATION.

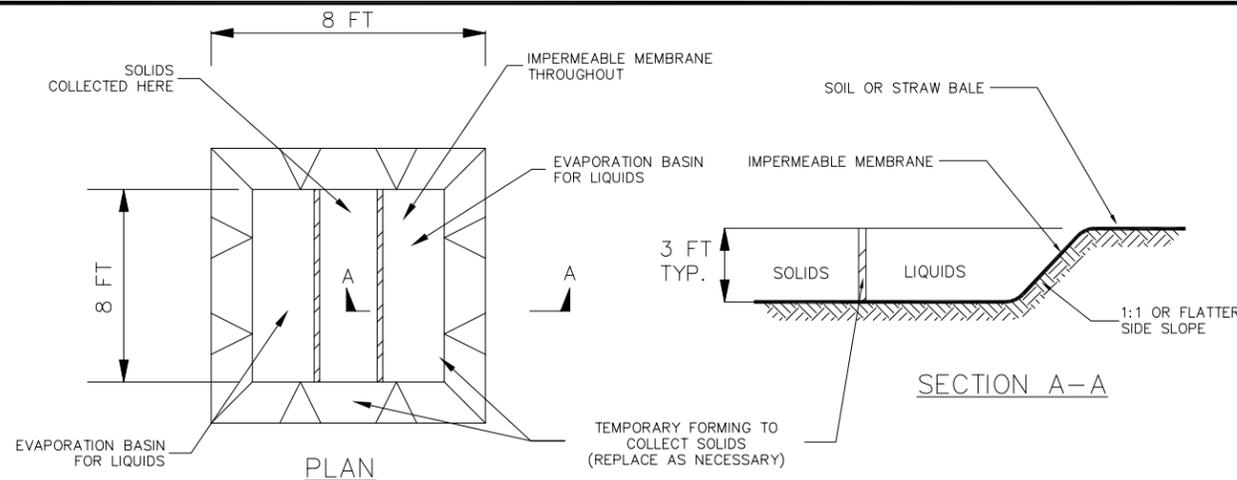
2 SITE PAVEMENT
9 NOT TO SCALE

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
WHEN REMOVING OR MAINTAINING INLET PROTECTION, ANY TRAPPED MATERIAL THAT FALLS INTO THE INLET SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.



NEENAH CASTING	INLET TYPE	GRATE SIZE	OPENING SIZE	ADS P/N
1040/1642/1733	ROUND	26	24	62MRDFX
3067 W/FLAP	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3067 EXTENDED BACK	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3246A	CURB BOX	35.75 X 23.875	33.5 X 21.0	62LCBFX
3030	SQUARE/RECT	23 X 16	20.5 X 13.5	62MCBFX
3067-C	SQUARE/RECT	35.25 X 17.75	33 X 15	62LSQFX

3 FLEXSTORM INLET PROTECTION
9 NOT TO SCALE

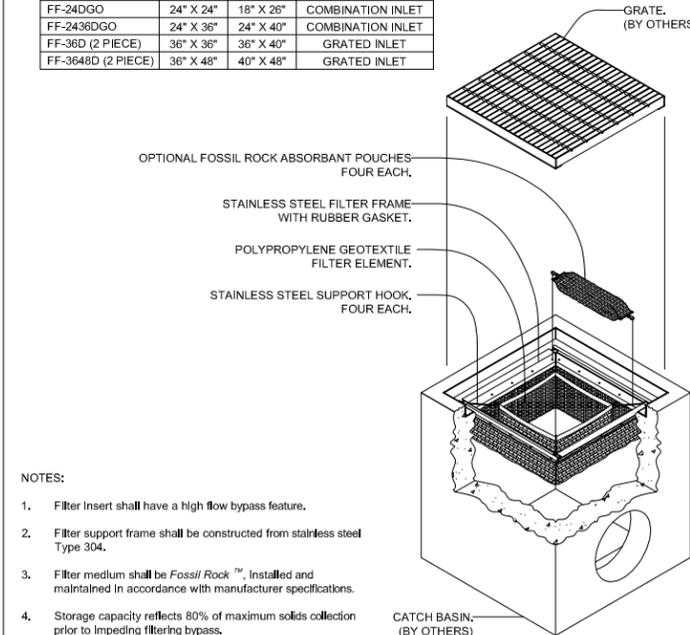


CONSTRUCTION SPECIFICATIONS

- LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
- PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
- KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

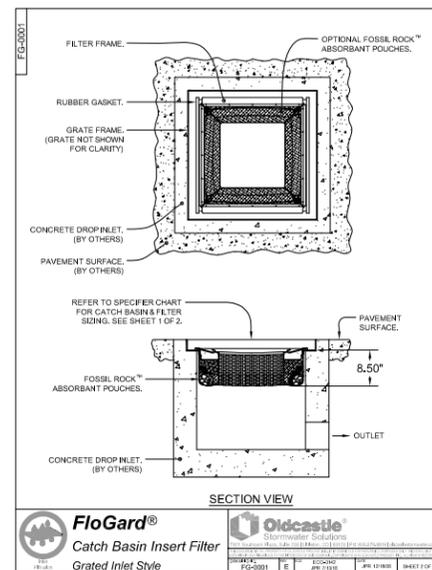
5 CONCRETE WASHOUT
9 NOT TO SCALE

MODEL	INLET ID	GRATE OD	COMMENTS
FF-12D	12" X 12"	15" X 15"	GRATED INLET
FF-16D	16" X 16"	18" X 18"	GRATED INLET
FF-18D	18" X 18"	20" X 20"	GRATED INLET
FF-1836SD	18" X 36"	18" X 40"	GRATED INLET
FF-1836DGO	18" X 36"	18" X 40"	COMBINATION INLET
FF-24D	24" X 24"	26" X 26"	GRATED INLET
FF-2436SD	24" X 36"	24" X 40"	GRATED INLET
FF-24DGO	24" X 24"	18" X 26"	COMBINATION INLET
FF-2436DGO	24" X 36"	24" X 40"	COMBINATION INLET
FF-36D (2 PIECE)	36" X 36"	36" X 40"	GRATED INLET
FF-3648D (2 PIECE)	36" X 48"	40" X 48"	GRATED INLET



NOTES:

- Filter insert shall have a high flow bypass feature.
- Filter support frame shall be constructed from stainless steel Type 304.
- Filter medium shall be Fossil Rock™. Installed and maintained in accordance with manufacturer specifications.
- Storage capacity reflects 80% of maximum solids collection prior to impeding filtering bypass.



FloGard® Catch Basin Insert Filter Grated Inlet Style
Oldcastle Stormwater Solutions
7701 Southpark Plaza, Suite 200 | Littleton, CO | 80120 | P: 800.579.8919 | oldcastlestormwater.com

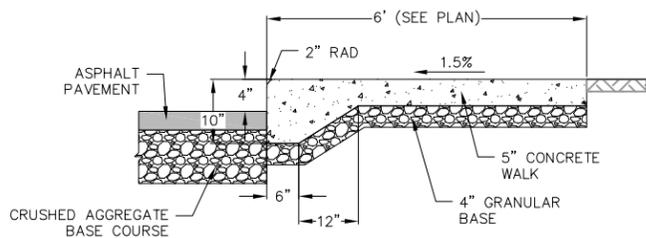
FloGard® Catch Basin Insert Filter Grated Inlet Style

Oldcastle Stormwater Solutions
DRAWING NO. FG-0001
REV. E
EQUIV. PER 1210
DATE JPR 12/16/06
SHEET 1 OF 2

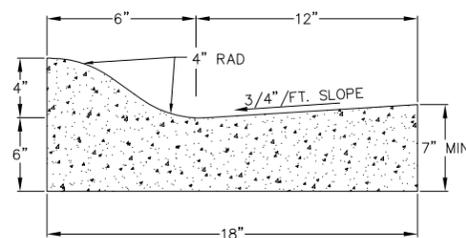
4 OIL & GREASE INLET FILTER
9 NOT TO SCALE

REVISIONS	NO.	DATE	REMARKS

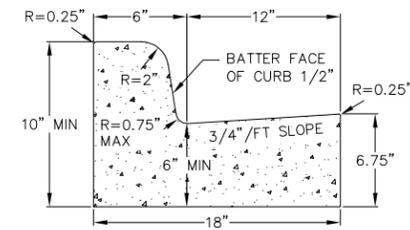
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DRAFTER: AMEA
CHECKED: JDOY
PROJECT NO.: 180231



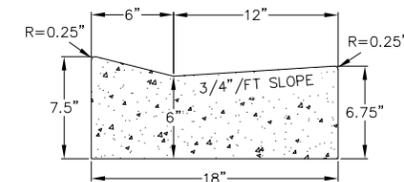
1 CURBED SIDEWALK SITE DETAIL
11 NOT TO SCALE



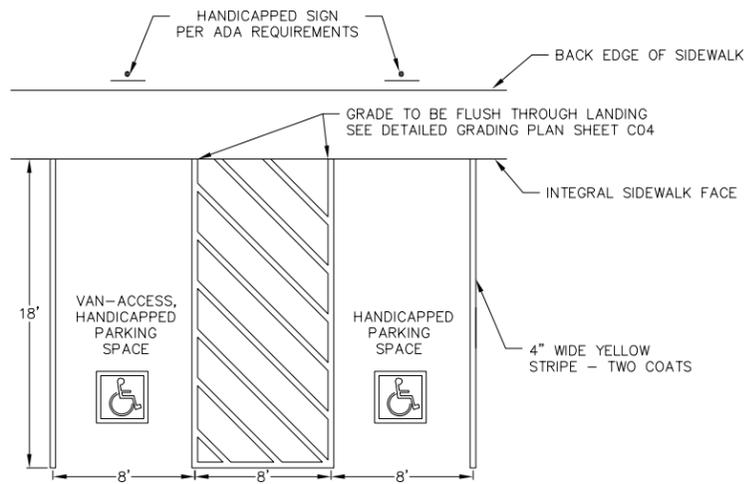
CURB AND GUTTER CROSS SECTION



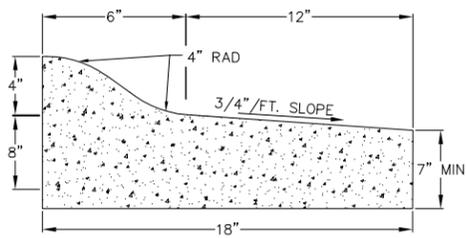
CURB AND GUTTER CROSS SECTION



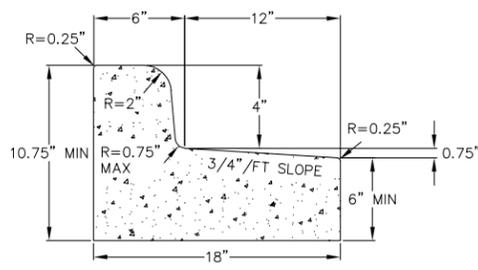
DRIVEWAY GUTTER CROSS SECTION



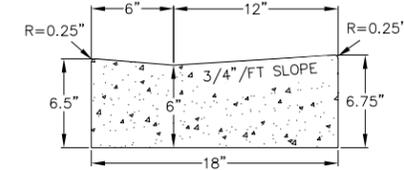
2 HANDICAP STRIPING
10 NOT TO SCALE



CURB AND GUTTER REJECT SECTION



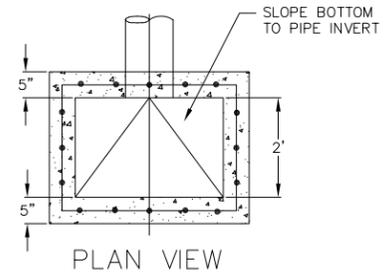
CURB AND GUTTER REJECT SECTION



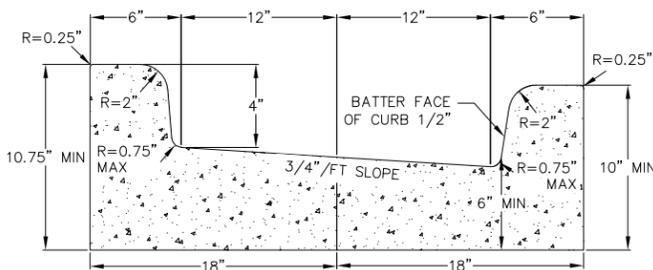
HANDICAP RAMP GUTTER CROSS SECTION

4 MOUNTABLE 18" CURB SECTION
10 NOT TO SCALE

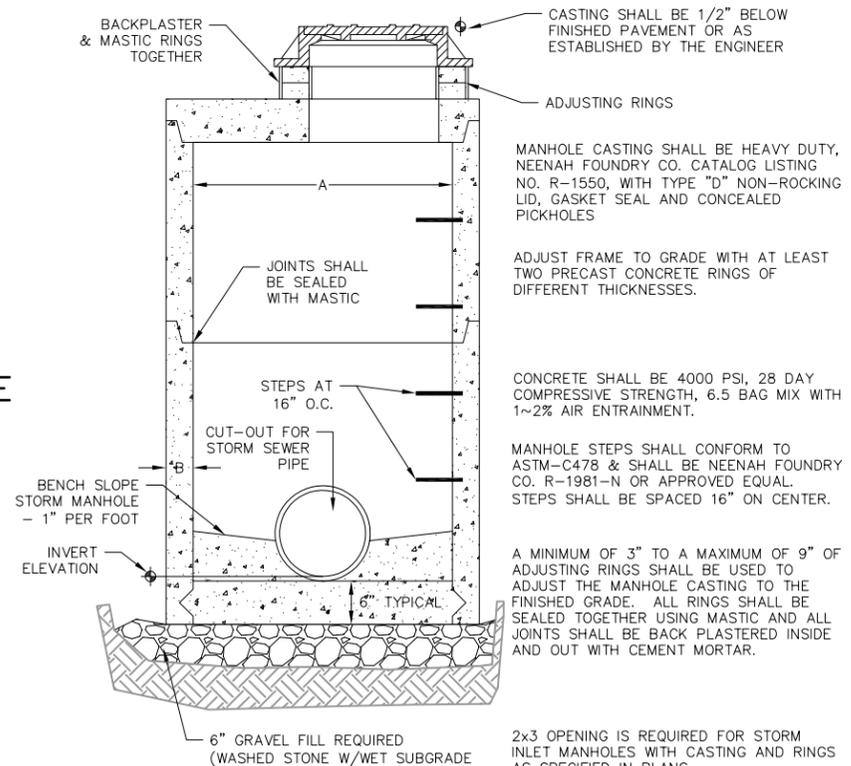
6 18" CONCRETE CURB AND GUTTER
10 NOT TO SCALE



PLAN VIEW



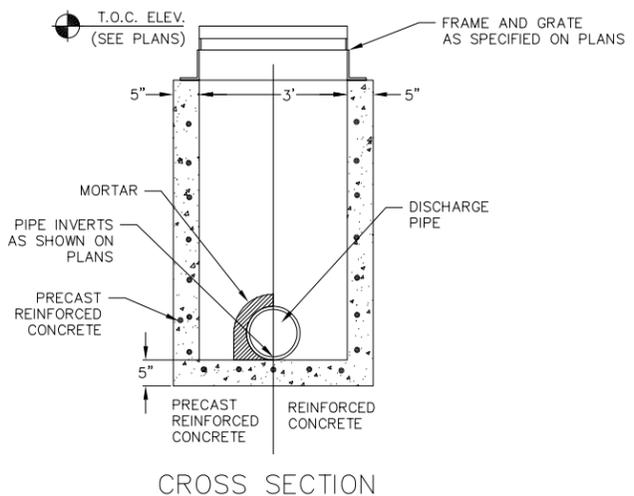
5 24" CONCRETE CURB AND GUTTER FLUME
10 NOT TO SCALE



STORM MANHOLE DIMENSIONS

MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

7 STORM SEWER MANHOLE
10 NOT TO SCALE



CROSS SECTION

3 2' x 3' CURB INLET
10 NOT TO SCALE

NO.	DATE	REVISIONS	REMARKS
SCALE AS SHOWN			
DATE 06/23/2020			
DRAFTER AMEA			
CHECKED JDOY			
PROJECT NO. 180231			

APPENDIX 'C'
SPECIFIC IMPLEMENTATION PLAN
LANDSCAPE PLAN

Plant Material List

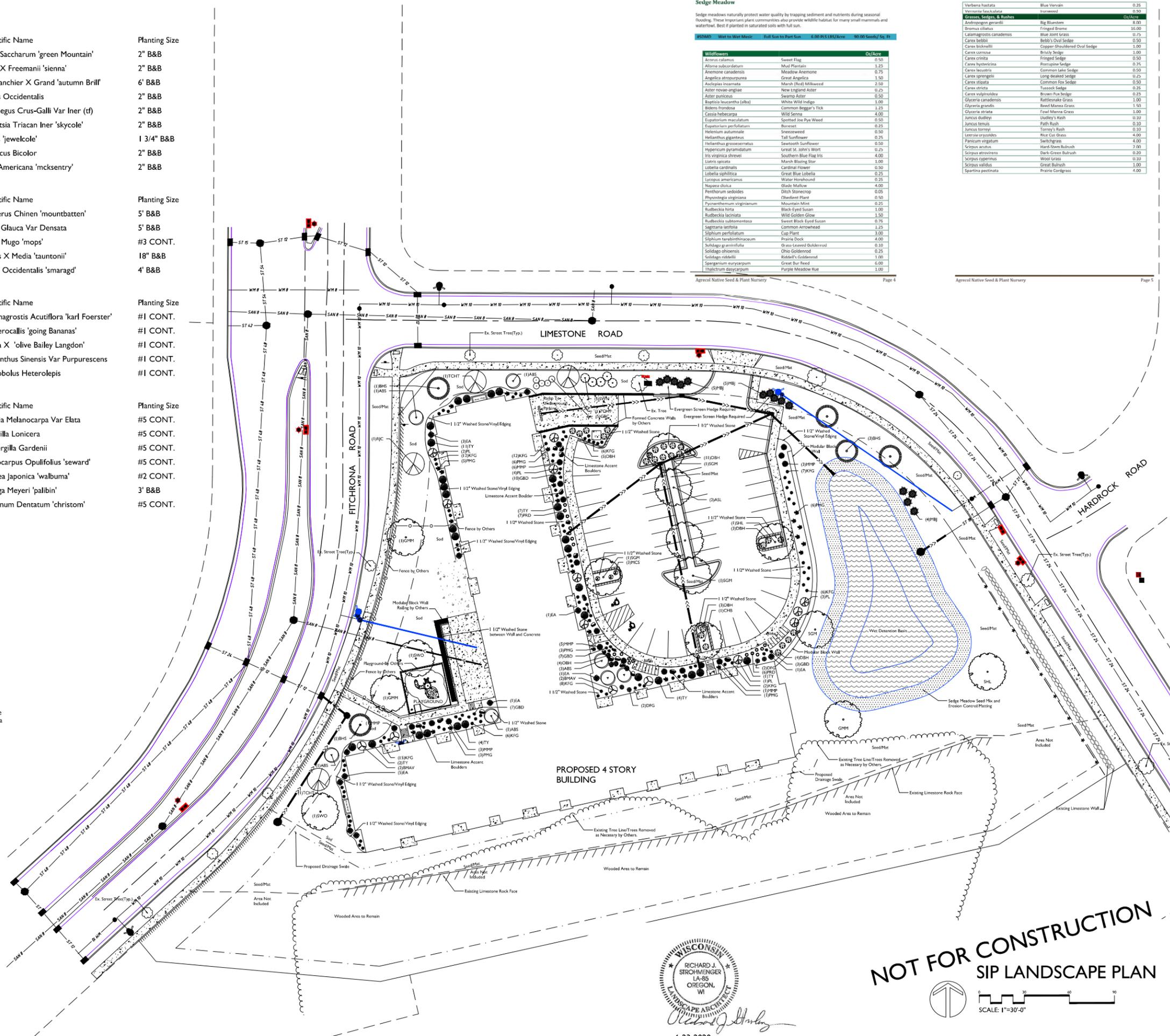
Quantity	Code Name	Common Name	Scientific Name	Planting Size
3	GMM	Green Mountain Sugar Maple	Acer Saccharum 'green Mountain'	2" B&B
4	SGM	Sienna Glen Maple	Acer X Freemanii 'sienna'	2" B&B
7	ABS	Autumn Brill Serviceberry	Amelanchier X Grand 'autumn Brill'	6' B&B
1	CHB	Common Hackberry	Celtis Occidentalis	2" B&B
3	TCHT	Thins Cockspar Hawthorn (f)	Crataegus Crus-Galli Var Iner (f)	2" B&B
2	SHL	Skyline Thins Honeylocust	Gleditsia Triacan Iner 'skycote'	2" B&B
1	RJC	Red Jewel Crabapple	Malus 'jewelcole'	1 3/4" B&B
2	SWO	Swamp White Oak	Quercus Bicolor	2" B&B
2	ASL	Amer Sentry Linden	Tilia Americana 'mksentry'	2" B&B

Quantity	Code Name	Common Name	Scientific Name	Planting Size
14	MBJ	Mountbatten Juniper	Juniperus Chinen 'mountbatten'	5' B&B
5	BHS	Black Hills Spruce	Picea Glauca Var Densata	5' B&B
19	MMP	Mops Mugo Pine	Pinus Mugo 'mops'	#3 CONT.
29	TY	Taunton Yew	Taxus X Media 'tauntonii'	18" B&B
12	EA	Emerald Arborvitae	Thuja Occidentalis 'smaragd'	4' B&B

Quantity	Code Name	Common Name	Scientific Name	Planting Size
74	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis Acutiflora 'karl Foerster'	#1 CONT.
27	GBD	Going Bananas Daylily	Hemerocallis 'going Bananas'	#1 CONT.
4	OBH	Olive Bailey Langdon Hosta	Hosta X 'olive Bailey Langdon'	#1 CONT.
24	PMG	Purple Maiden Grass	Miscanthus Sinensis Var Purpurescens	#1 CONT.
18	PRD	Prairie Dropseed	Sporobolus Heterolepis	#1 CONT.

Quantity	Code Name	Common Name	Scientific Name	Planting Size
5	GBC	Glossy Black Chokeberry	Aronia Melanocarpa Var Elata	#5 CONT.
26	DBH	Dwf Bush-Honeysuckle	Diervilla Lonicera	#5 CONT.
4	DFG	Dwf Fothergilla	Fothergilla Gardenii	#5 CONT.
5	SVN	Summer Wine Ninebark	Physocarpus Opulifolius 'seward'	#5 CONT.
3	MCS	Magic Carpet Spirea	Spiraea Japonica 'walbuma'	#2 CONT.
10	PL	Palibin Lilac	Syringa Meyer 'palibin'	3' B&B
4	BMAV	Blue Muffin Arwd Viburnum	Viburnum Dentatum 'christom'	#5 CONT.

- GENERAL NOTES**
- A) Areas labeled "Brown Wood Mulch" to receive a mixture of recycled wood mulch, colored brown, spread to a 3" depth over pre-emergent herbicide.
 - B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown, spread to a minimum 3" depth (3' wide beds for shrub groupings).
 - C) "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.
 - D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.
 - E) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.
 - F) Seed shall consist of the following mixture:
 10% Palmer IV Perennial Ryegrass
 20% Dragon Kentucky Bluegrass
 20% Diva Kentucky Bluegrass
 20% Foxy II Creeping Red Fescue
 15% Vail II Perennial Ryegrass
 15% Ginney Kentucky Bluegrass
 - G) Areas labeled "Seed/Mat" shall be seeded with the above-noted premium lawn seed mixture and overlaid with D575 straw erosion control netting that is then pegged into the soil with Biodegradable staples.
 - H) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.
 - I) Plant beds adjacent to building foundation to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric weed barrier.



Sedge Meadow

Sedge meadows naturally protect water quality by trapping sediment and nutrients during seasonal flooding. These important plant communities also provide wildlife habitat for many small mammals and waterfowl. Best if planted in saturated soils with full sun.

Wet to Wet-Mesic	Full Sun to Part Sun	6,000 RW/1.05/Acre	W/00 Sandy/Sp. Ft.
Wildflowers			Qt/Acre
Asterion columnis	Sweet Flag		0.10
Allonia subcordatum	Mud Plantain		1.25
Anemone canadensis	Meadow Anemone		0.75
Asperula atrorubra	Great Angelica		1.50
Astilbea spicata	Marsh (Blue) Milkweed		2.50
Aster novae-angliae	New England Aster		0.25
Aster punctatus	Swamp Aster		0.50
Baptisia leucantha (alba)	White Wild Indigo		1.00
Bidens frondosa	Common Beggar's Tick		1.25
Cassia hebecarpa	Wild Senna		4.00
Eleocharis maculata	Spotted Joe Pye Weed		0.50
Eupatorium perfoliatum	Burnweed		0.25
Helianthus autumnalis	Sneezeweed		0.50
Helianthus giganteus	Tall Sunflower		0.25
Helianthus grosseserratus	Sawtooth Sunflower		0.50
Hypericum pyramidatum	Great St. John's Wort		0.25
Iris virginica (shreve)	Southern Blue Flag Iris		1.00
Liatris spicata	Marsh Blueing Star		1.00
Lobelia cardinalis	Cardinal Flower		0.50
Lobelia siphilitica	Great Blue Lobelia		0.25
Lyropus americanus	Water Horehound		0.25
Najas dioica	Slade Mallow		4.00
Penthorum sedoides	Ditch Stonewort		0.05
Physocarpus virginiana	Chinese Plant		0.50
Pycnanthemum virginianum	Mountain Mint		0.25
Rudbeckia hirta	Black Eyed Susan		1.00
Rudbeckia laciniata	Wild Golden Glow		1.50
Rudbeckia subtomentosa	Sweet Black Eyed Susan		0.75
Sagittaria latifolia	Common arrowhead		1.25
Silphium perfoliatum	Cup Plant		3.00
Silphium terebinthaceum	Prairie Dock		4.00
Solidago canadensis	Gold-Rod		0.10
Solidago ohioensis	Ohio Goldenrod		0.25
Solidago odora	Baldwin's Goldenrod		1.00
Spergularium eurycarpum	Great Bur Reed		6.00
Thalictrum flavum	Purple Meadow Rue		1.00

Blue Vervain	Qt/Acre
Verbena hastata	0.25
Verbena stricta	0.50
Grasses	Qt/Acre
Andropogon gerardi	8.00
Bromus ciliatus	16.00
Calamagrostis canadensis	0.75
Carex bebbii	0.50
Carex bicknelli	1.00
Carex comosa	1.00
Carex crinita	0.50
Carex hystericina	0.25
Carex lasiocoma	0.50
Carex spraguei	0.25
Carex stipata	0.50
Carex stricta	0.25
Carex vulpinoidea	0.25
Glyceria canadensis	1.00
Glyceria grandis	1.50
Glyceria striata	1.00
Juncus dudleyi	0.10
Juncus tenuis	0.10
Juncus torreyi	0.10
Lernaea corniculata	4.00
Panicum virgatum	4.00
Scirpus arifolius	2.00
Scirpus americanus	0.10
Scirpus cyperinus	0.10
Scirpus validus	1.00
Spartina pectinata	4.00

the brace company
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 LANDSCAPE CONTRACTORS
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 MIDDLETON, WI 53562-0330
 TEL: (608) 836-7041
 FAX: (608) 831-6266

LIMESTONE RIDGE APARTMENTS
 LIMESTONE ROAD
 FITCHBURG, WISCONSIN 53711

Checked By: SS
 Drawn By: 6/23/20

Revised:
 Revised:
 Revised:
 Revised:
 Revised:
 Revised:
 Revised:



6-23-2020

NOT FOR CONSTRUCTION
 SIP LANDSCAPE PLAN

SCALE: 1"=30'-0"

L1

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12020 CAD/STV/SHORT/LIMESTONE RIDGE/LIMESTONE/DWG Created: 6/23/2020, Saved: 6/23/2020, Printed: 6/23/2020

APPENDIX 'D'
SPECIFIC IMPLEMENTATION PLAN
LIGHTING PLAN

Symbol	Label	Quantity	Manufacturer	Catalog Number	Light Loss Factor	Wattage
	OA	2	RAB LIGHTING INC.	ALED4178N (TYPE IV)	1	152.4
	OB	1	RAB LIGHTING INC.	ALED4178N (TYPE IV)	1	76.2
	OD	4	RAB LIGHTING INC.	ALED3178N (TYPE III)	1	75.9
	OE	3	RAB LIGHTING INC. RC LIGHTING	BLEDR24N	1	23.3
	OF	1	RAB LIGHTING INC. RC LIGHTING	SLIM26N	1	29.9
	OD1	1	RAB LIGHTING INC.	ALED3178N (TYPE III)	1	75.9

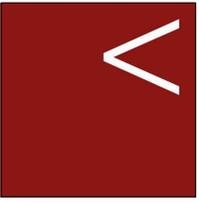
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	3.0 fc	12.6 fc	0.4 fc	31.5:1	7.5:1
Calc Zone #2	+	3.4 fc	7.7 fc	1.4 fc	5.5:1	2.4:1

Note
 1. 20FT POLE WITH 3FT BASE (STANDARD)
 2. TYPE OD1 - 15FT POLE



Plan View
 Scale - 1" = 25ft

APPENDIX 'E'
SPECIFIC IMPLEMENTATION PLAN
FLOOR PLANS



JLA
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MADISON : MILWAUKEE
ja-qp.com

JLA PROJECT NUMBER: 190424



LIMESTONE RIDGE
APARTMENTS

DATE OF ISSUANCE: JUNE 8, 2020

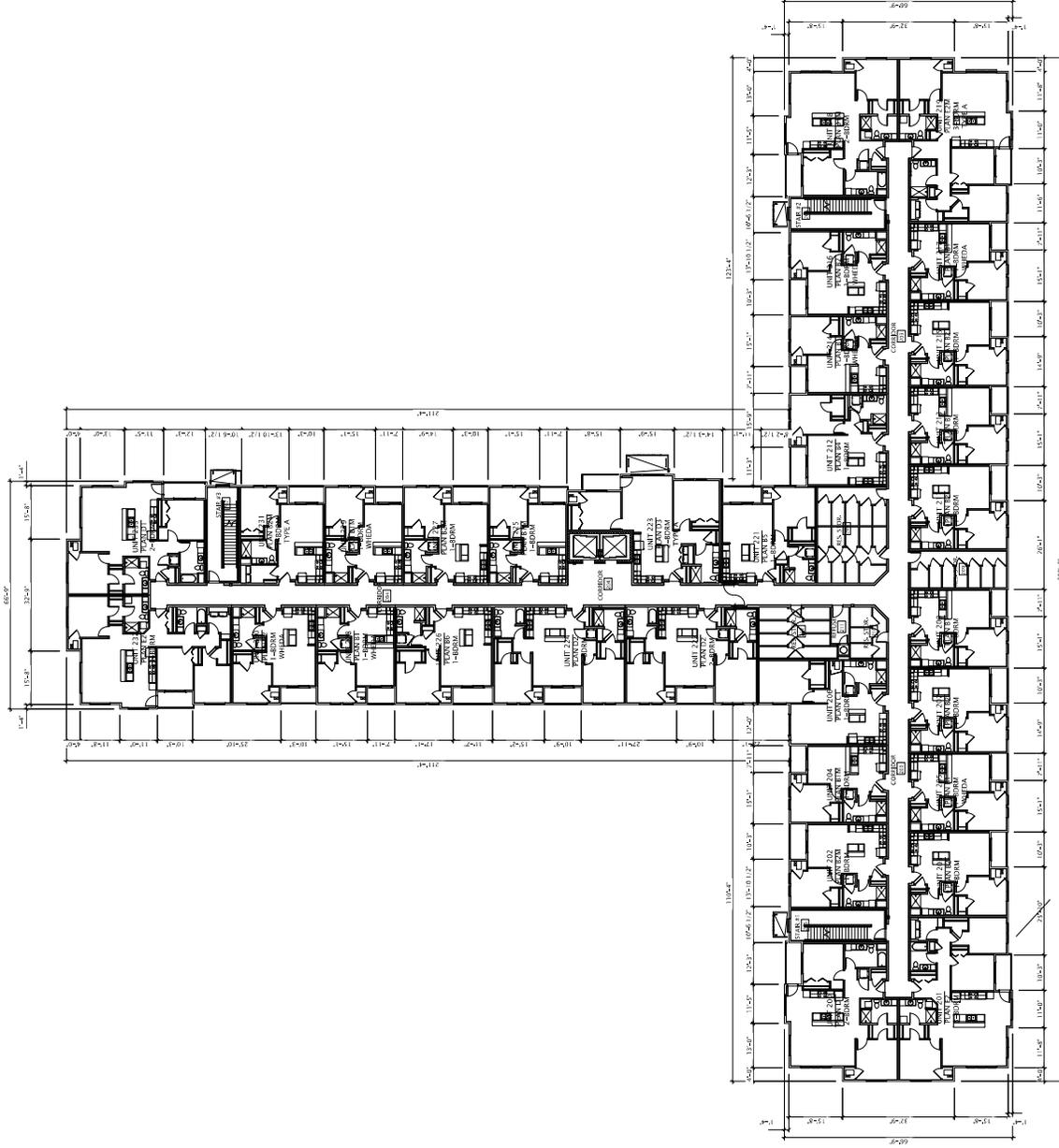
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NO.	DESCRIPTION

SHEET TITLE

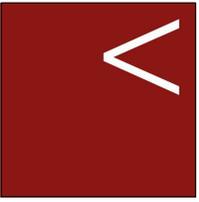
SECOND FLOOR
PLAN - OVERALL

SHEET NUMBER

A102



Ⓒ SECOND FLOOR PLAN
1/8" = 1'-0"



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MADISON : MILWAUKEE
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JLA PROJECT NUMBER: 190424



LIMESTONE RIDGE
APARTMENTS

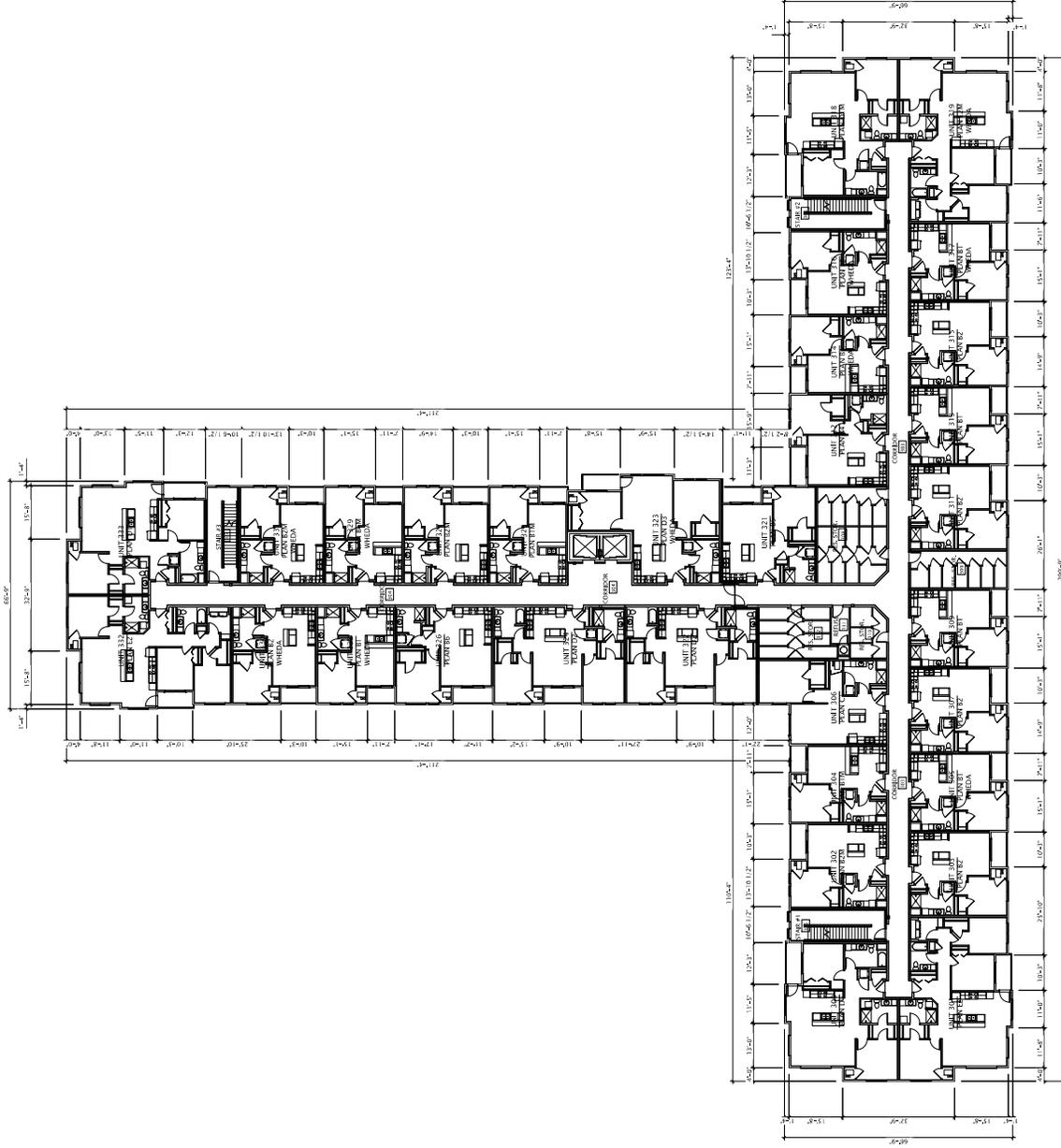
DATE OF ISSUANCE: JUNE 8, 2020

REVISION SCHEDULE	
NO.	DESCRIPTION

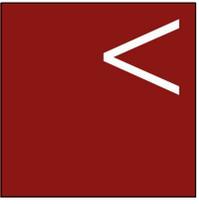
SHEET TITLE
THIRD FLOOR
PLAN - OVERALL

SHEET NUMBER

A103



③ THIRD FLOOR PLAN
1/8" = 1'-0"



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MADISON : MILWAUKEE
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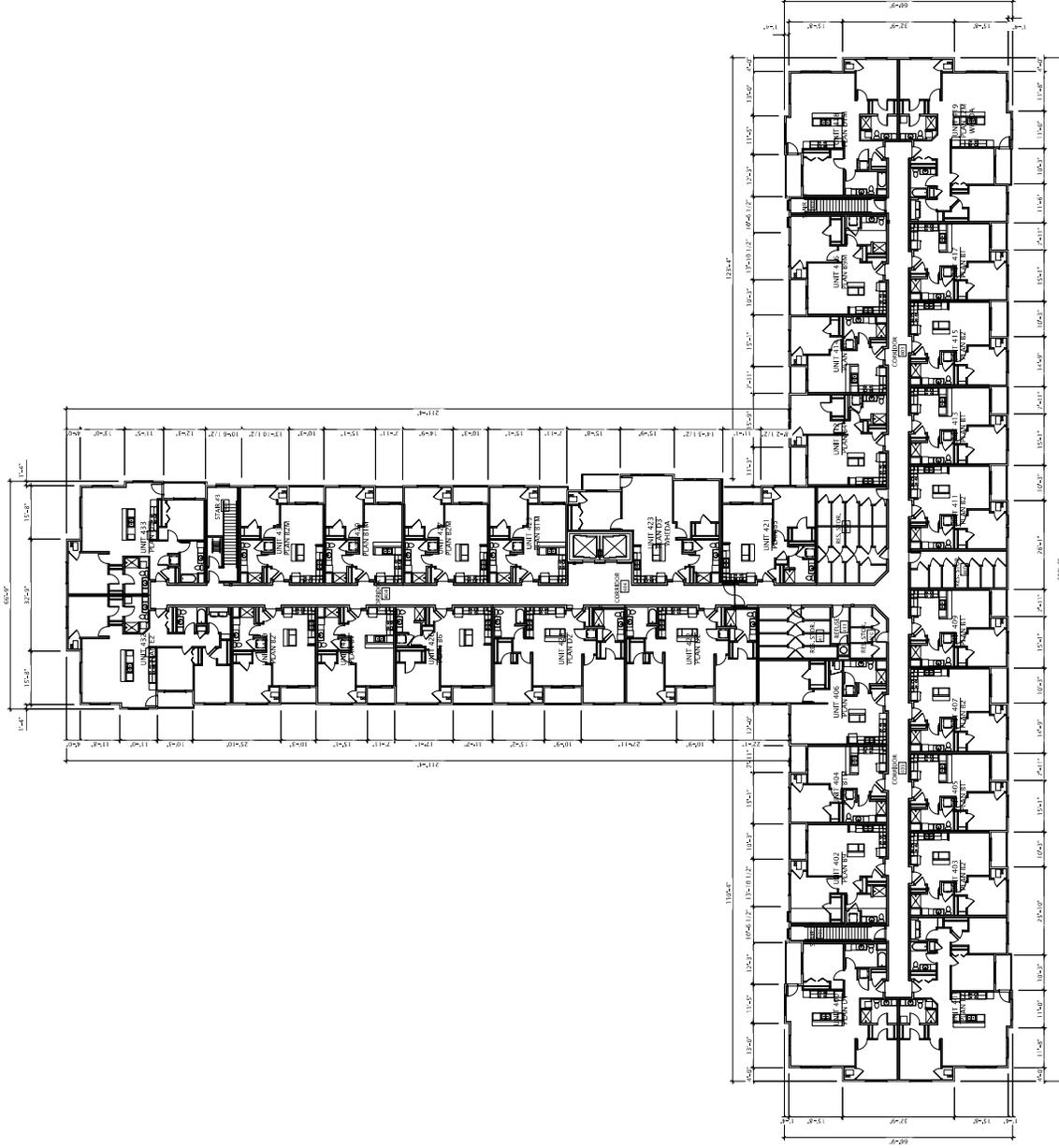
REVISION SCHEDULE	
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SHEET TITLE

FOURTH FLOOR
PLAN - OVERALL

SHEET NUMBER

A104



FOURTH FLOOR PLAN
1/8" = 1'-0"

APPENDIX 'F'
SPECIFIC IMPLEMENTATION PLAN
EXTERIOR ELEVATIONS



LIMESTONE RIDGE APARTMENTS

CONCEPT PERSPECTIVES – REVISED

JUNE 23, 2020



LIMESTONE RIDGE APARTMENTS

CONCEPT PERSPECTIVES – REVISED

JUNE 23, 2020



LIMESTONE RIDGE APARTMENTS

CONCEPT PERSPECTIVES – REVISED

JUNE 23, 2020